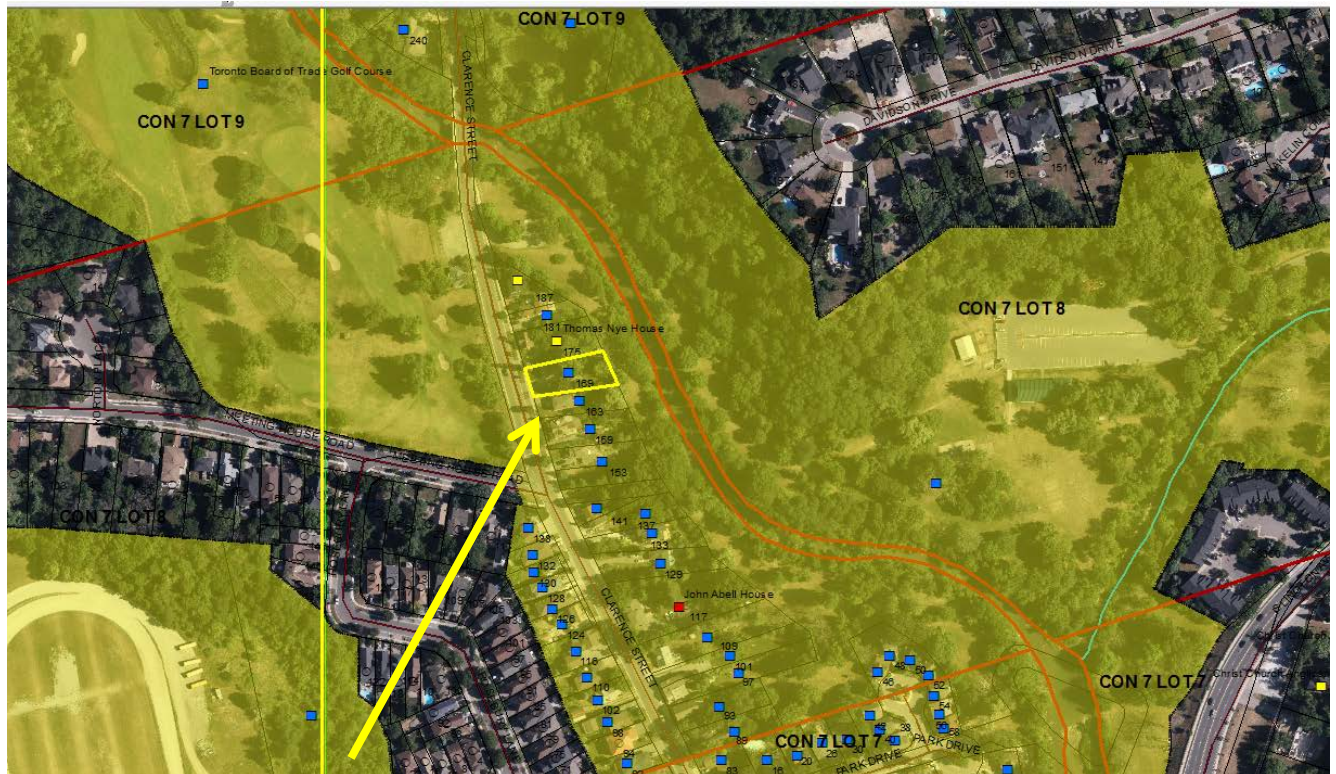


**Location Map**



**169 Clarence Street**

## Attachment 2

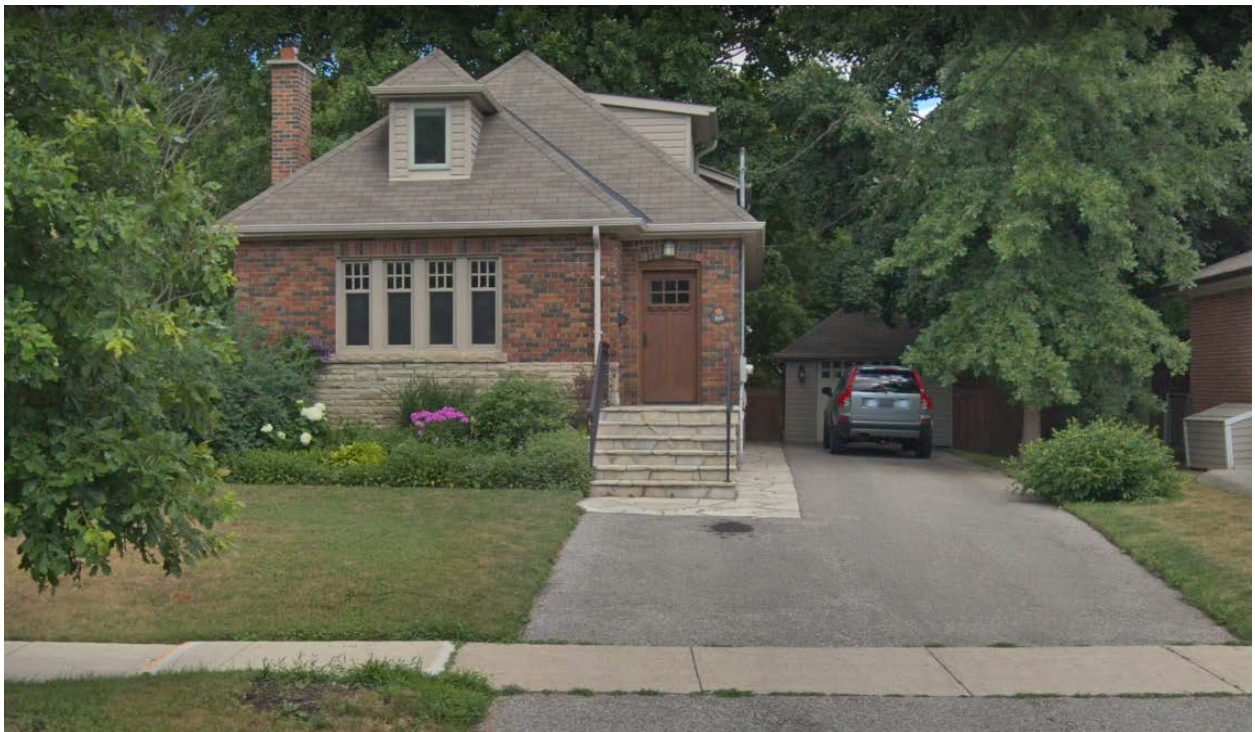
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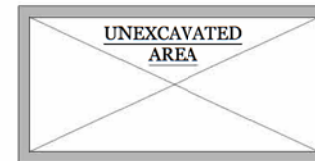
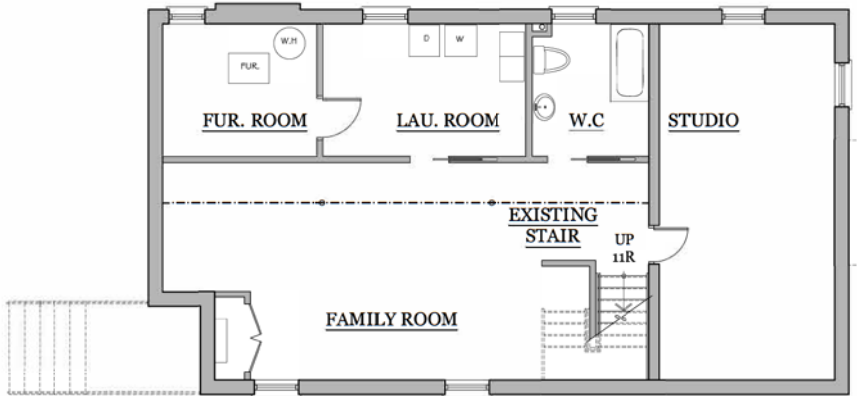




**Attachment 3**

**Streetview of 169 Clarence Street**





**PROPOSED  
RENOVATION & ADDITION**

Project:  
169 Clarence Street,  
Vaughan, ON., L4L1L4

Project #:  
13021  
(DA. 14.098)

No.	Description	Date	By
4.	REVISION AS PER CITY COMMENTS (4.4)	NOV 01, 2018	RR
3.	ISSUED FOR SITE DEVELOPMENT APP (4.3)	AUG. 2, 2018	GF
2.	ISSUED FOR SITE DEVELOPMENT APP (4.2)	JUL. 27, 2016	GS
1.	ISSUED FOR SITE DEVELOPMENT APP.	DEC. 23, 2014	GS



**EXISTING BASEMENT  
FLOOR PLAN**  
SCALE 1/8" = 1'-0"

1  
A4.1



# **PROPOSED RENOVATION & ADDITION**

Project:  
169 Clarence Street,  
Vaughan, ON., L4L1L4

Project #:  
13021  
(DA. 14.098)

No.	Description	Date	By
4.	REVISION AS PER CITY COMMENTS (4.4)	NOV 01, 2018	RR
3.	ISSUED FOR SITE DEVELOPMENT APP (4.3)	AUG. 2, 2018	GF
2.	ISSUED FOR SITE DEVELOPMENT APP (4.2)	JUL. 27, 2016	GS
1.	ISSUED FOR SITE DEVELOPMENT APP.	DEC. 23, 2014	GS



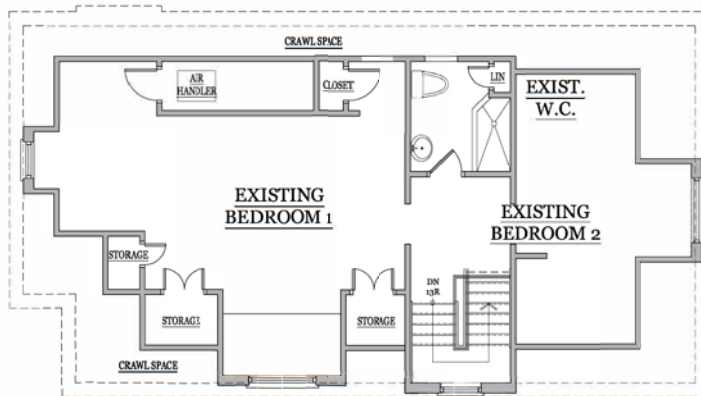
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1  
A5.1



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416.272.2024

2010giorgio@gmail.com  
giorgio@frascadesignandplanning.com



**PROPOSED  
RENOVATION & ADDITION**

Project:  
169 Clarence Street,  
Vaughan, ON., L4L1L4

Project #:  
13021  
(DA 14.098)

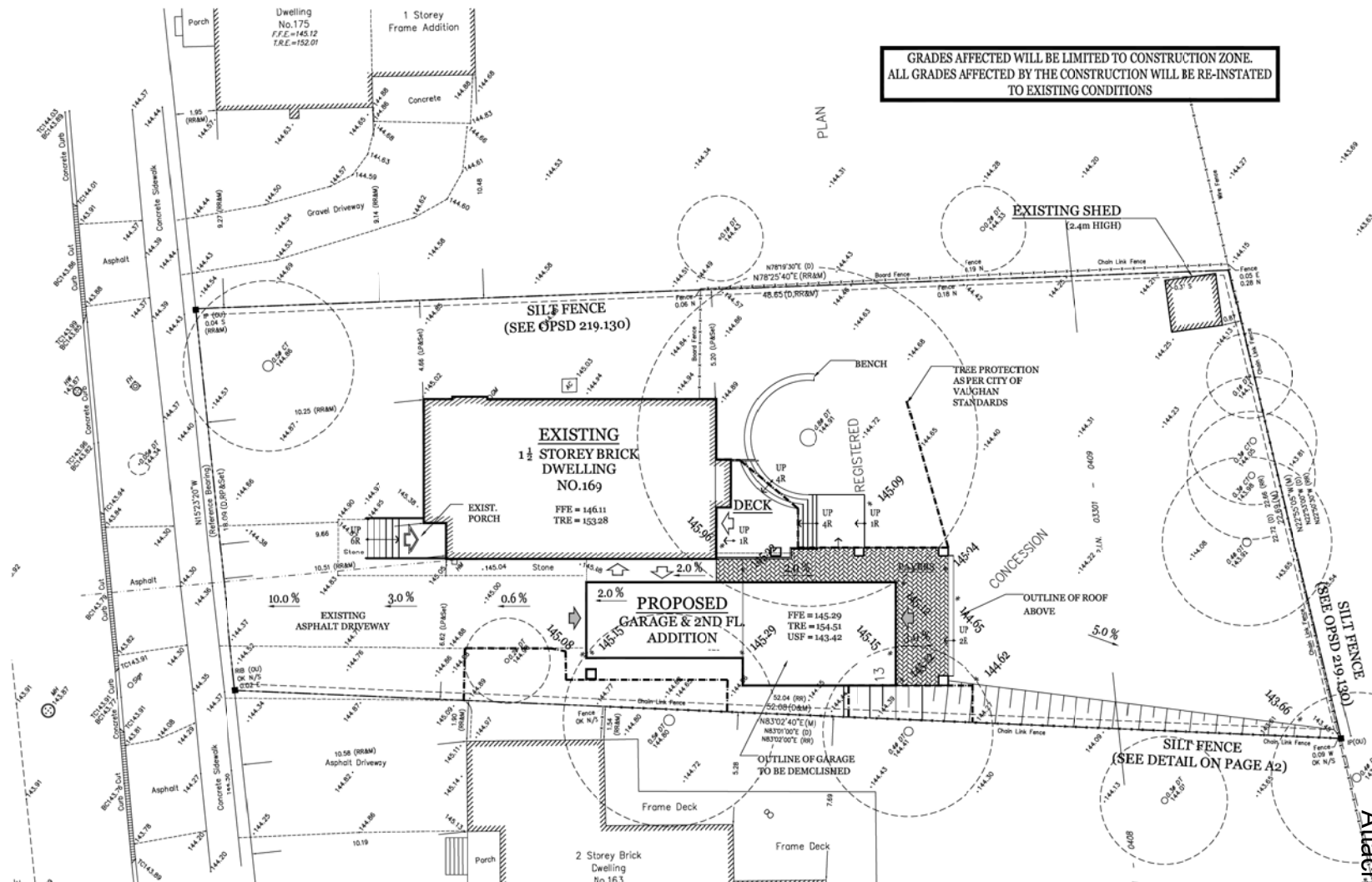
No.	Description	Date	By
4.	REVISION AS PER CITY COMMENTS (4.4)	NOV 01, 2018	RR
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2.	ISSUED FOR SITE DEVELOPMENT APP (4.2)	JUL. 27, 2016	GS
1.	ISSUED FOR SITE DEVELOPMENT APP.	DEC. 23, 2014	GS



**EXISTING SECOND  
FLOOR PLAN**  
SCALE 1/8"=1'-0"

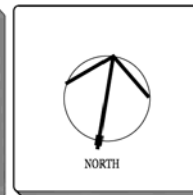
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A6.1

SITE DATA	
SINGLE FAMILY DETACHED DWELLING	
ZONE	R3
LOT NUMBER	PART OF LOT 13
LOT AREA	1,006.36SM (10,832SF)
BLDG. AREA	239.86 (2,581SF) (INCL. NEW & EXISTING)
NO. 0 STOREYS	2 (NEW) - 1 1/2 (EXISTING)



<b>PROPOSED</b> <b>RENOVATION &amp; ADDITION</b>	
Project: 169 Clarence Street, Vaughan, ON., L4L1L4	Project #: 13021  (DA. 14.098)

2.	REVISION AS PER CITY COMMENTS (44)	NOV 01, 2018	RR
3.	ISSUED FOR SITE DEVELOPMENT APP (43)	AUG. 2, 2018	GF
2.	ISSUED FOR SITE DEVELOPMENT APP (42)	JUL. 27, 2016	GS
1.	ISSUED FOR SITE DEVELOPMENT APP.	DEC. 23, 2014	GS
No.	Description	Date	By



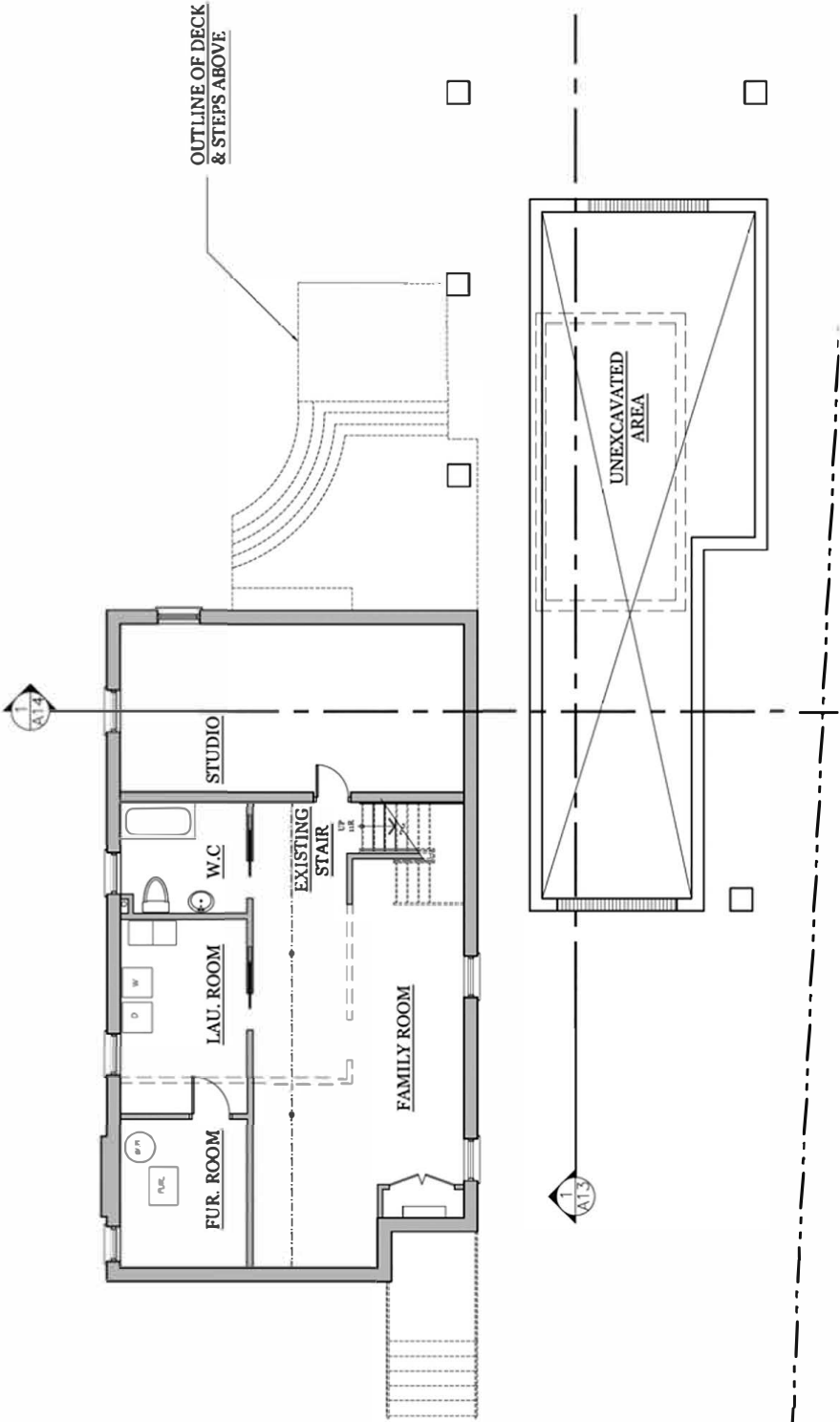
**SITE GRADING PLAN**  
**SCALE 1/16"=1'-0"**

1  
A3.1



2781 HIGHWAY 7, VAUGHAN, ON.,  
416.272.2024

2010giorgio@gmail.com  
giorgio@frascadesignandplanning.com

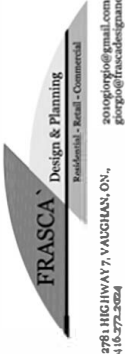


BASEMENT FLOOR PLAN 1  
SCALE 1/8"=1'-0" A4

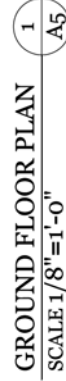


No.	Description	Date	By
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2.	ISSUED FOR SITE DEVELOPMENT APP.	JUL. 27, 2016	GS
3.	ISSUED FOR SITE DEVELOPMENT APP.	AUG. 2, 2018	RR
4.	REVISION AS PER CITY COMMENTS (4a)	NOV. 01, 2018	RR

<b>PROPOSED RENOVATION &amp; ADDITION</b>	Project #:
	13021
	(DA 14 098)







**GROUND FLOOR PLAN**  
**SCALE 1/8"=1'-0"**



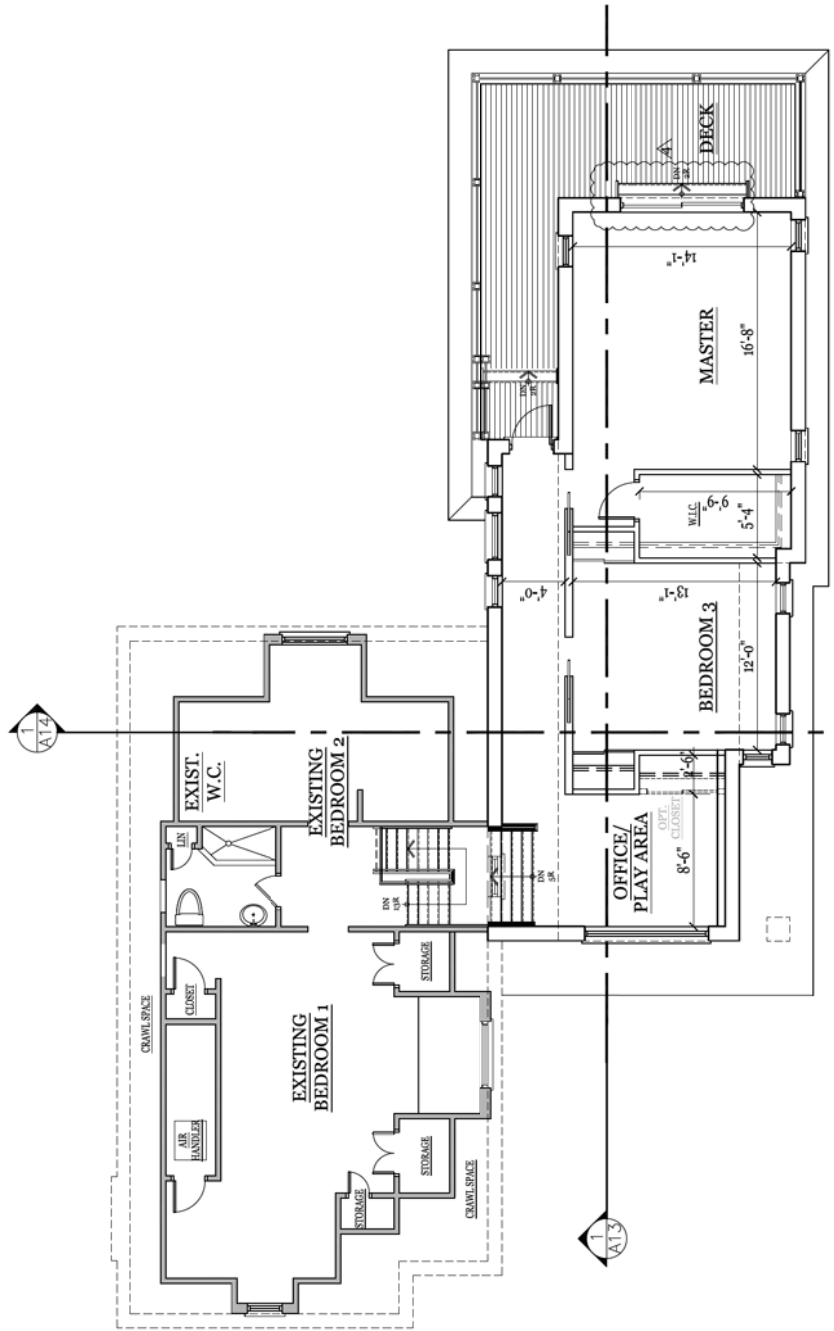
**FRASCA**  
Design & Planning

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416.272.2024

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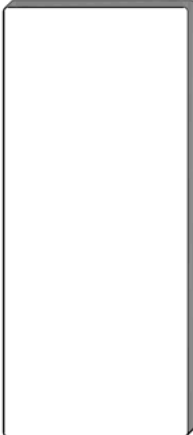
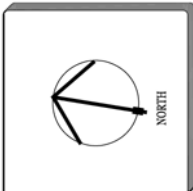
## PROPOSED RENOVATION & ADDITION

Project:	Project #:
169 Clarence Street, Vaughan, ON, L4L1L4	13021
	(DA 14.098)



1  
A6

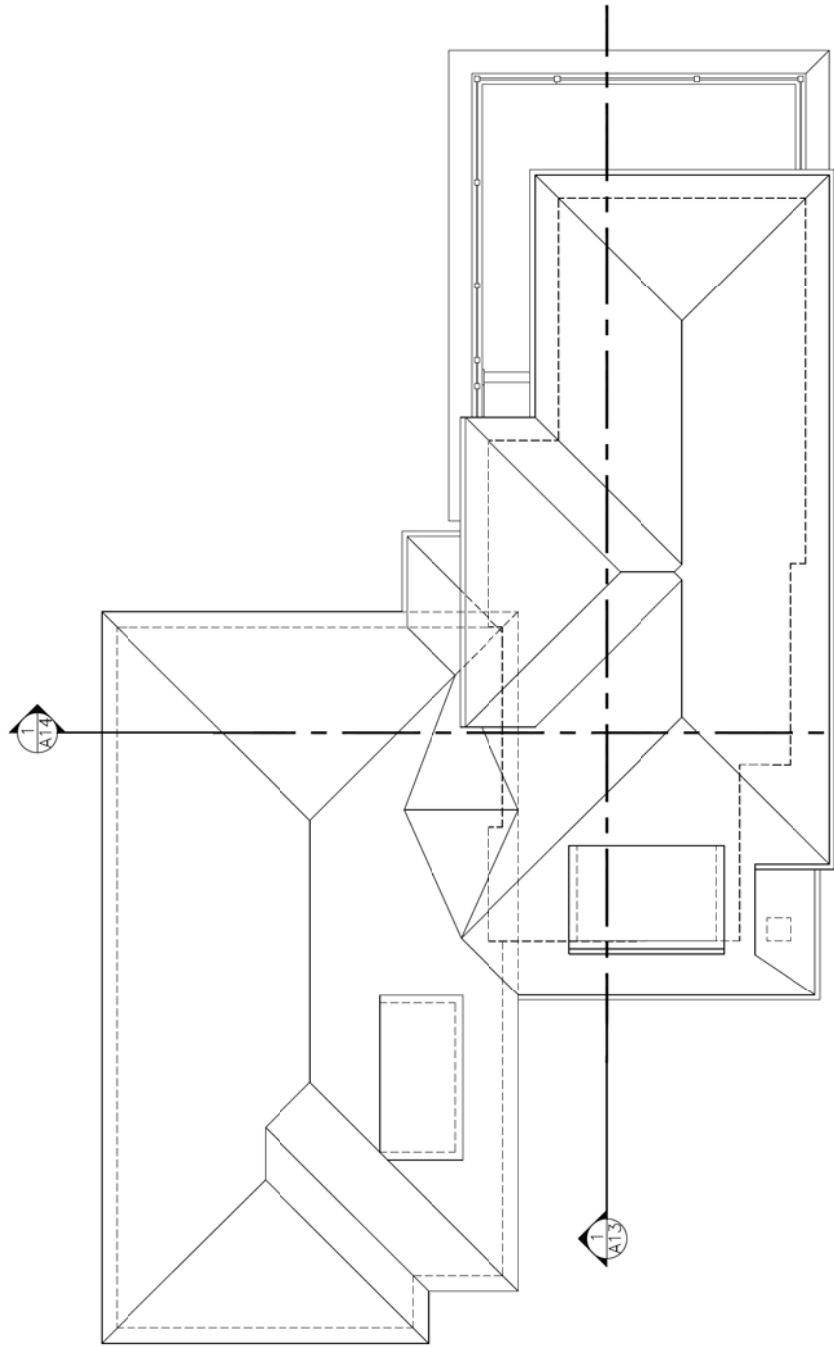
SECOND FLOOR PLAN  
SCALE 1/8" = 1'-0"



No.	Description	Date	By
1.	REVISION AS PER CITY COMMENTS (4.4)	NOV 01, 2018	RR
2.	ISSUED FOR SITE DEVELOPMENT APP (4.3)	AUG. 2, 2018	GF
3.	ISSUED FOR SITE DEVELOPMENT APP (4.2)	JUL. 27, 2016	GS
4.	ISSUED FOR SITE DEVELOPMENT APP.	DEC. 23, 2014	GS

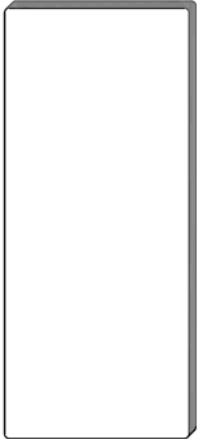
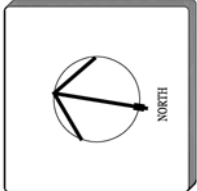
<b>PROPOSED RENOVATION &amp; ADDITION</b>	
Project:	Project #:
169 Clarence Street, Vaughan, ON, L4L 1L4	13021 (DA-14-098)

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Residential - Retail - Commercial  
2009 George St. Unit 101  
Vaughan, ON L4L 1L4  
416-272-2024  
gorgo@frascadesignandplanning.com



1  
A7

ROOF PLAN  
SCALE 1/8"=1'-0"



No.	Description	Date	By
1.	ISSUED FOR SITE DEVELOPMENT APP.	DEC. 23, 2014	GS
2.	ISSUED FOR SITE DEVELOPMENT APP.	JUL. 27, 2016	GS
3.	ISSUED FOR SITE DEVELOPMENT APP.	AUG. 2, 2018	GF
4.	REVISION AS PER CITY COMMENTS	NOV. 01, 2018	RR

PROPOSED  
RENOVATION & ADDITION

Project:

169 Clarence Street,  
Vaughan, ON • L4L1L4

Project #:

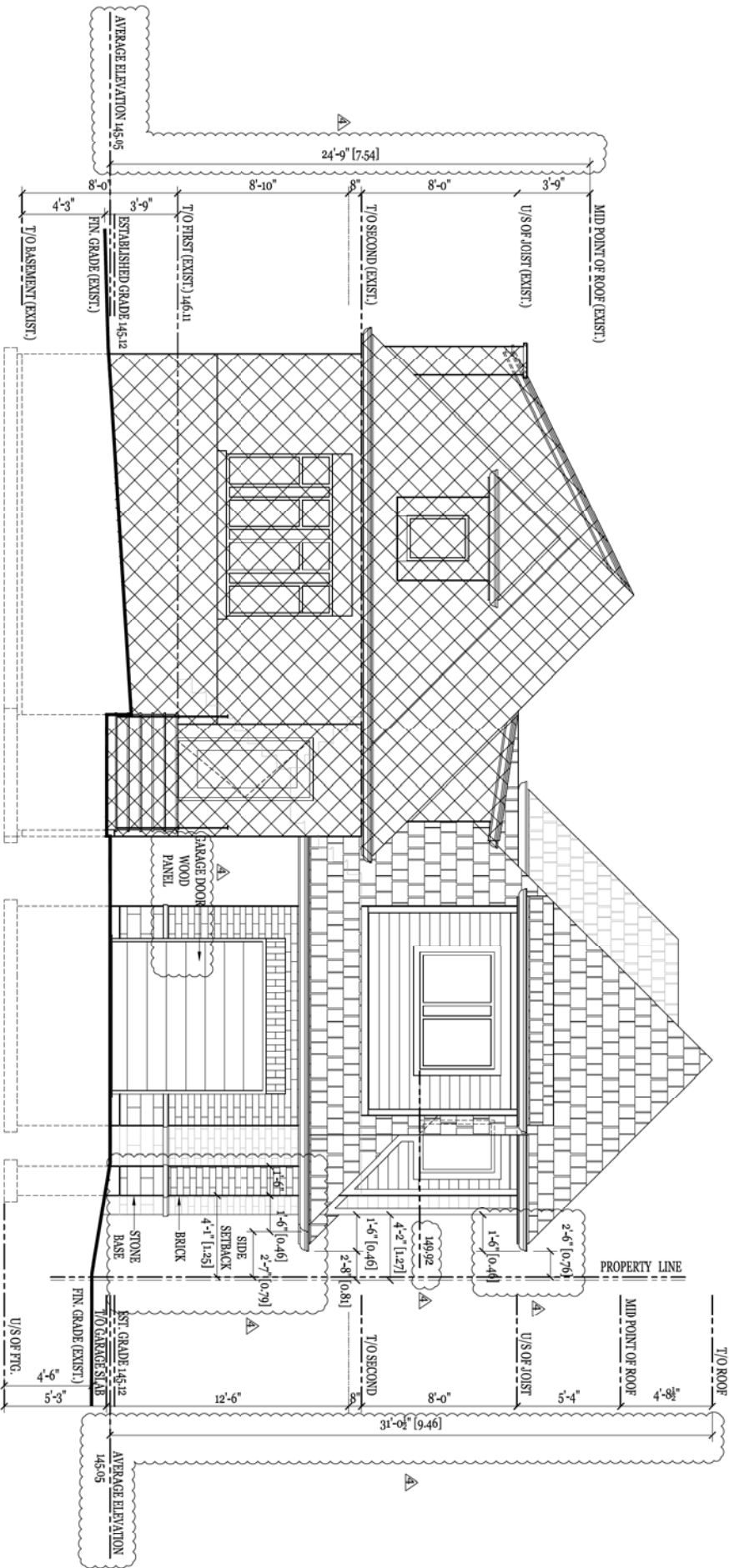
13021  
(DA 14.098)

FRASCA

Design & Planning

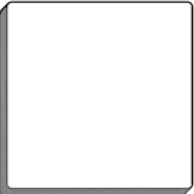
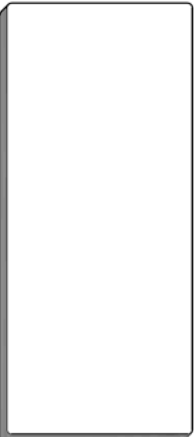
Residential • Retail • Commercial

2781 HIGHWAY 7, VAUGHAN, ON,  
416.572.2024  
2019giorgio@gmail.com  
giorgio@frascadesignandplanning.com



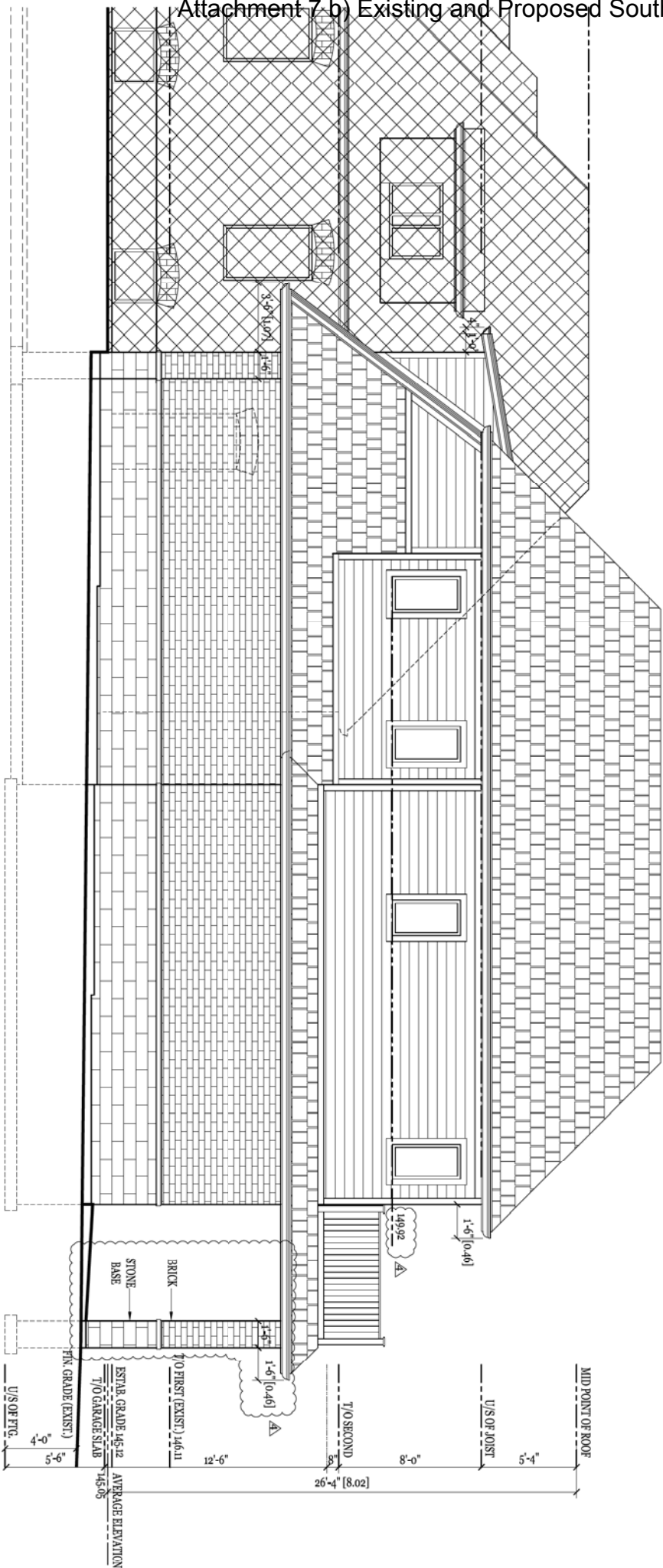
PROPOSED RENOVATION & ADDITION	
Project:	Project #:
169 Clarence Street, Vaughan, ON, L4L1L4	19021
(DL 14-098)	

No.	Description	Date	By
1.	REVISION AS PER CITY COMMENTS (4.4)	OCT. 25, 2018	RR
2.	ISSUED FOR SITE DEVELOPMENT APP (4.3)	AUG. 2, 2018	CS
3.	ISSUED FOR SITE DEVELOPMENT APP (4.3)	JUL. 27, 2016	CS
4.	ISSUED FOR SITE DEVELOPMENT APP.	DEC. 23, 2014	CS



EXISTING & PROPOSED  
WEST ELEVATION  
SCALE 3/16" = 1'-0"



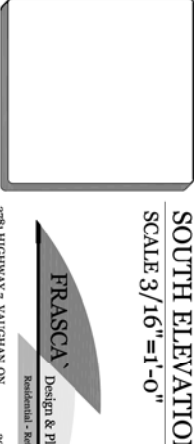


**PROPOSED  
RENOVATION & ADDITION**

Project:  
169 Clarence Street,  
Vaughan, ON, L4L1L4

Project #:  
19021  
(DA-14-098)

No.	Description	Date	By
1.	ISSUED FOR SITE DEVELOPMENT APP.	DEC. 23, 2014	CS
2.	ISSUED FOR SITE DEVELOPMENT APP.	JUL. 27, 2016	CS
3.	ISSUED FOR SITE DEVELOPMENT APP.	AUG. 2, 2018	CS
4.	REVISION AS PER CITY COMMENTS.	OCT. 25, 2018	RR



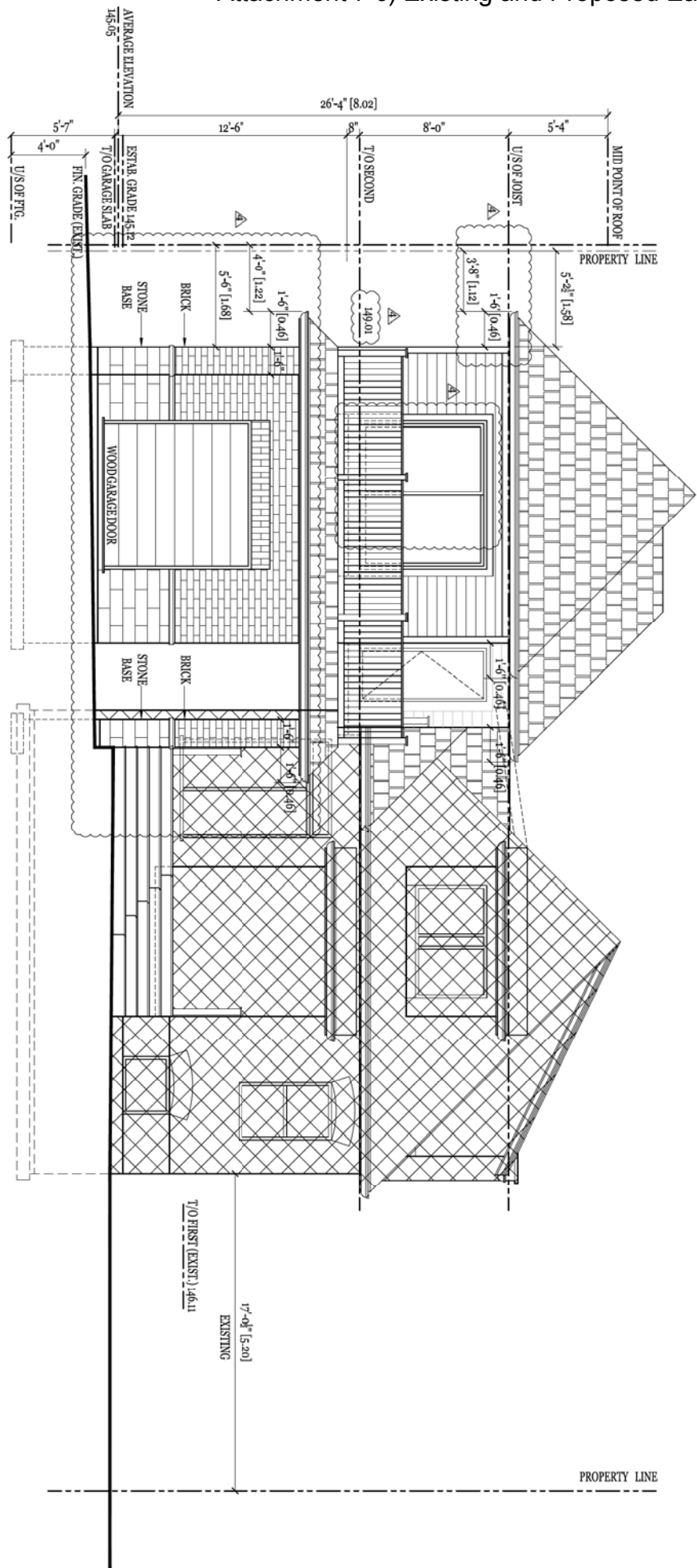
**EXISTING & PROPOSED  
SOUTH ELEVATION**

SCALE 3/16"=1'-0"

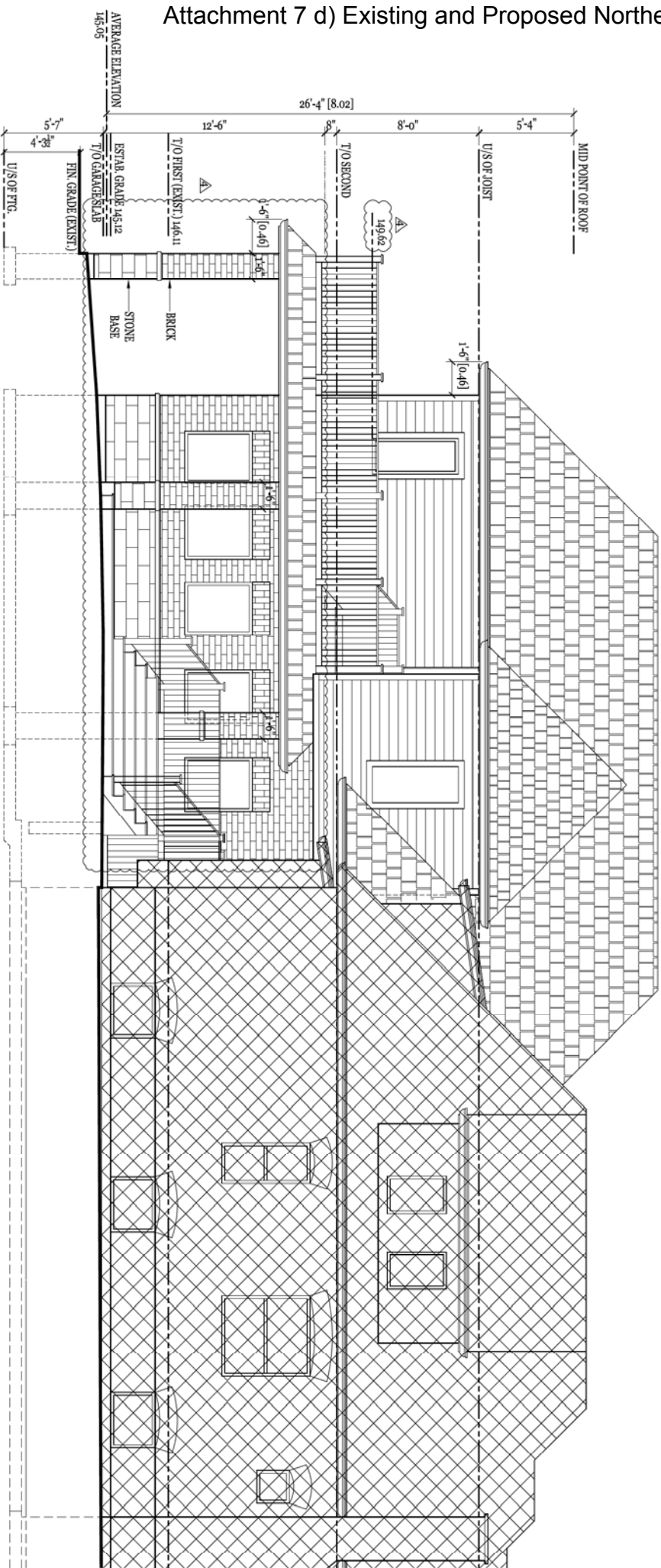
**FRASCA**  
Design & Planning  
Kendall - Retail - Commercial

20190201@gmail.com  
416-272-2024  
gongyo@frascadesignandplanning.com

A.	REVISION AS PER CITY COMMENTS(44)	OCT. 25, 2018			R.R
2.	ISSUED FOR SITE DEVELOPMENT APP.(43)	AUG. 2, 2018			GS
3.	ISSUED FOR SITE DEVELOPMENT APP.(42)	JUL. 27, 2016			GS
1.	ISSUED FOR SITE DEVELOPMENT APP.	DIC. 23, 2014			GS
No.	Description	Date			By



EXISTING & PROPOSED  
FAST ELEVATION  
SCALE 3/16"=1'-0"



See Sheet A11 for Continuation

EXISTING & PROPOSED  
NORTH ELEVATION  
SCALE 3/16"=1'-0"

1  
A11

**PROPOSED  
RENOVATION & ADDITION**

Project:  
169 Clarence Street,  
Vaughan, ON, L4L1L4

Project #:  
19021  
(DA 14-098)

No.	Description	Date	By
1.	ISSUED FOR SITE DEVELOPMENT APP.	DEC. 23, 2014	CS
2.	ISSUED FOR SITE DEVELOPMENT APP.	JUL. 27, 2016	CS
3.	ISSUED FOR SITE DEVELOPMENT APP.	AUG. 2, 2018	CS
4.	REVISION AS PER CITY COMMENTS.	OCT. 25, 2018	RR





1 EXISTING ASPHALT SHINGLES



2 WOOD GARAGE DOOR



3 EXISTING BRICK



4 EXISTING BLOCK



5 EXISTING FLAGSTONE



6 ASPHALT SHINGLES IKO - SHADOW SLATE



7 JAMES HARDIE KHAKI BROWN



8 THE BOWERSTON SHALE COMPANY HOOSIER BELND V/M



9 ARRISCRAFT RENAISSANCE SANDDRIFT ROCKED



10 1"x 4" CEADER PLANKS

PROPOSED RENOVATION & ADDITION	
Project:	Project #:
169 Clarence Street, Vaughan, ON., L4L1L4	13021
	(DA. 14.098)

No.	Description	Date	By
4.	ISSUED FOR SITE DEVELOPMENT APP (44)	NOV. 01, 2018	RR
3.	ISSUED FOR SITE DEVELOPMENT APP (43)	AUG. 02, 2018	GF
2.	ISSUED FOR SITE DEVELOPMENT APP (42)	JUL. 27, 2016	GS
1.	ISSUED FOR SITE DEVELOPMENT APP.	DEC. 23, 2014	GS



ARCHITECTURAL MATERIAL BOARD

SCALE NTS

1  
R1

FRASCA Design & Planning

Residential - Retail - Commercial

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2010giorgio@gmail.com  
giorgio@frascadesignandplanning.com



January 26<sup>th</sup>, 2018

**ARBORIST REPORT**

Costa Residence

169 Clarence Street, Vaughan, Ontario

---

**BACKGROUND**

Nick Miele was retained to conduct an inventory of the existing trees located at 169 Clarence Street, as they pertain to the City of Vaughan Tree By-laws. Field work was completed on January 11th, 2018, this report relates to the condition of the trees as observed on that date.

**PROCEDURE**

The on-site inventory of existing trees was carried out using the current survey of the property and relies on the accuracy of this survey. The inventory includes by-law trees within the site boundary, all trees within adjacent public boulevards, and all private trees within 6.0 metres of the site boundary as per City of Vaughan's guidelines.

This inventory is summarized graphically in the Tree Inventory Plan TI-1, which shall always be read in conjunction with this report and shall form part of this report. For the purposes of this report, trees and groupings of trees are identified in terms of species, size, condition, and recommendations.

The following rating system was used in describing the general condition of the trees inventoried:

Good (G): Indicates a condition of vigour and no major concerns;

Fair (F): Indicates an adequate tree, which may have some minor issues;

Poor (P): Indicates declining health, bad form, or other more serious issues;

Dead (D): Indicates a dead tree that should be removed.

**ASSUMPTIONS AND LIMITING CONDITIONS**

- Care has been taken to obtain all information from reliable sources. All data has been verified insofar as possible and is assumed to be correct; however Nick Miele can neither guarantee nor be responsible for the accuracy of information provided by others.
- It is assumed that the properties are not in violation of any applicable codes, ordinances, statutes, or other governmental regulations.
- Unless otherwise required by law, possession of this report or a copy thereof does not imply right of publication or use for any purpose in whole or in part by any other than the person or company by whom it was commissioned.
- The use of excerpts from this report or alterations to this report, without the authorization of Nick Miele will invalidate the entire report. This report may not be used for any purpose other than its intended purpose as outlined.

- Unless expressed otherwise: 1) information contained in this report covers only those items that were examined and reflect the condition of those items at the time of inspection; and 2) the inspection is limited to visual examination or accessible items without dissection, excavation, probing, or coring. There is no warranty or guarantee, expressed or implied, that problems or deficiencies in the plants inventoried may not arise in the future.
- The determination of ownership of any subject tree(s) is the responsibility of the owner and any civil or common-law issues, which may exist between property owners with respect to trees, must be resolved by the owner. The recommendation to remove or maintain any tree(s) does not grant authority to encroach in any manner onto adjacent private properties.

## SUMMARY OF TREES INVENTORIED

The following table summarizes the on-site trees.

Tree #	Common Name	Botanical Name	DBH (CM)	Condition	Comments	Recommendation
1	Oak	Quercus sp.	5	Fair		Retain
2	Spruce	Picea sp.	53	Fair		Retain
3	Crabapple	Malus sp.	11	Fair		Retain
4	Apple	Malus sp.	22	Fair		Retain
5	Maple	Acer sp.	81	Fair		Retain
6	Birch	Betula sp.	12	Fair		Retain
7	Spruce	Picea sp.	31	Fair		Retain
8	Spruce	Picea sp.	30	Fair		Retain
9	Maple	Acer sp.	42	Fair		Retain
10	Maple	Acer sp.	32	Fair		Retain
11	Maple	Acer sp.	31	Fair		Retain
12	Maple	Acer sp.	42	Fair		Retain
13	Maple	Acer sp.	51	Fair		Retain
14	Oak	Quercus sp.	22	Fair		Retain

## TREE PROTECTION RECOMMENDATIONS

The following standards shall apply to any trees that are identified to be retained. Where the municipality enforces its own standards, those of the governing municipality shall supersede the recommendations contained herein. In all other instances, the following recommendations shall be treated as minimum standards for tree protection and retention.

### 1.0 ESTABLISH A TREE PROTECTION ZONE

The purpose of the tree protection zone is to prevent root damage, soil compaction and soil contamination during construction activities. Workers and machinery shall not disturb the tree protection zone in any way. In order to prevent access, the following recommendations are offered.

- Install tree protection hoarding as per City of Vaughan detail TP1.
- Allow no fill, equipment, supplies, or waste within the tree protection zone.
- Maintain the tree protection hoarding in good condition for the duration of construction.
- Tree protection hoarding is not to be removed until all construction activities have been completed.

### 2.0 ROOT PRUNING

Where possible, hand dig areas closest to each tree to prevent any unnecessary tearing or pulling of roots. Removal of roots that are greater than 2.5 centimetres in diameter or roots that are injured or diseased should be performed as follows:

- Preserve the root bark ridge (similar in structure to the branch bark ridge). Directional Root Pruning (DRP) is the recommended technique and should be employed during hand excavation around tree roots. Roots are similar to branches in their response to pruning practices. With DRP, objectionable and severely injured roots are properly cut to a lateral root that is growing downward or in a favorable direction.
- All roots needing to be pruned or removed shall be cut cleanly with sharp hand tools, by a Certified Arborist.
- No wound dressings or pruning paint shall be used to cover the ends of each cut.
- All roots requiring pruning shall be cut using any of the following tools:  
Large or small loppers, Hand pruners, Small hand saws, Woundscribers
- Avoid prolonged exposure of tree roots during construction - keep exposed roots moist and dampened with mulching materials, irrigation or wrap in burlap if exposed for longer than 4 hours.

### 3.0 FERTILIZATION AND IRRIGATION

The following measures are recommended:

- Aeration and deep root fertilize to ensure that all trees receive the appropriate nutrients for healthy growth.
- Fertilizer must be a low nitrogen formula such as 5-30-30 to promote root growth rather than shoot growth.
- If construction occurs during July and / or August, roots must be irrigated during conditions of drought.

#### 4.0 ESTABLISH MAINTENANCE PROGRAM

##### Pre-Construction:

- Prune all trees to remove any deadwood and obstruction prune as required.

##### During Construction:

- Irrigate tree preservation zones during drought conditions (June through September), in an attempt to reduce the effects of drought stress.
- Inspect the site every month to ensure that all tree protection fence / hoarding is in place and in good condition, inspect the trees to monitor condition.

##### Post-Construction:

- Prune crowns to remove any newly developed deadwood only. Do not remove any live growth.
- Inspect the trees three times per year (May, July, and September) to monitor condition for a minimum period of 2 additional years.

#### 5.0 LANDSCAPING

Any landscaping completed within the tree preservation zones, after construction is completed and tree protection fencing / hoarding has been removed, is to be carried out in such a way that it will not cause damage to any of the trees or their roots. The trees must be protected to the same standards listed earlier in this report, but without the use of tree protection fence or hoarding.

The following guidelines are recommended:

- **No grade changes** are permitted which include adding and/or removing soil.
- **No excavation** is permitted that can cause damage to the roots of the tree.
- **No heavy equipment** can be used to compact the soil within the tree preservation zone.
- Where possible, hard surface paving around trees to be protected should be constructed using permeable products such as interlocking stone. Areas to be paved must be hand dug when encroaching within the tree protection zone.

#### CONCLUSIONS

It is our opinion that the trees identified for retention can be successfully retained if the recommendations contained herein are followed.

Kindly direct any questions regarding this report to the undersigned.

Respectfully submitted,



Nick A. Miele BLA, OALA, CSLA, ISA  
ISA Certified Arborist No. ON-1251A





**PROPOSED**  
RENOVATION & ADDITION

Project:

169 Clarence Street,  
Vaughan, ON., L4L1L4

Project #:

13021  
(DA. 14.098)

1.	ISSUED FOR SITE DEVELOPMENT APP (44)	NOV. 01, 2018	RR
No.	Description	Date	By



STREETSCAPE VIEW  
(CLARENCE STREET)  
SCALE NTS

