

ITEM: 6.6	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A190/23
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Report Date: January 26, 2024

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)				
<p>All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.</p>				
Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
None				

BACKGROUND (SCHEDULE D, IF REQUIRED)	
<p>* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.</p>	
Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
N/A	N/A

ADJOURNMENT HISTORY	
<p>* Previous hearing dates where this application was adjourned by the Committee and public notice issued.</p>	
Hearing Date	Reason for Adjournment <small>(to be obtained from NOD_ADJ)</small>
N/A	N/A

SCHEDULES	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background



MINOR VARIANCE APPLICATION FILE NUMBER A190/23

CITY WARD #:	5
APPLICANT:	Behrang Shivaee and Marzieh Urazgani
AGENT:	NOAR Professional Inc.
PROPERTY:	692 York Hill Blvd, Thornhill
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit a proposed balcony in the rear yard.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R4 (EN)– Estate Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.269 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	The maximum permitted projection from the main wall for a balcony is 3m.	To permit a balcony to project a maximum of 4.31m from the main wall.

HEARING INFORMATION

DATE OF MEETING: Thursday, February 1, 2024
TIME: 6:00 p.m.
MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive
LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

INTRODUCTION

That the general intent and purpose of the by-law will be maintained.
That the general intent and purpose of the official plan will be maintained.
That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT

Date Public Notice Mailed:	January 18, 2024
Date Applicant Confirmed Posting of Sign:	January 15, 2024
Applicant Justification for Variances: <small>*As provided in Application Form</small>	The deck is an existing structure, and while its length exceeds the City's Zoning By-law, it complies with all setback requirements.
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
COMMENTS:	
None.	
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING)

**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING

**See Schedule B for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	None

DEVELOPMENT ENGINEERING

Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation	
Development Engineering does not object to Minor Variance Application A190/23	
Development Engineering Recommended Conditions of Approval:	None

PARKS, FORESTRY & HORTICULTURE (PFH)

No comments received to date	
PFH Recommended Conditions of Approval:	None

DEVELOPMENT FINANCE

No comments no concerns	
Development Finance Recommended Conditions of Approval:	None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

No comments received to date	
BCLPS Recommended Conditions of Approval:	None

BUILDING INSPECTION (SEPTIC)

No comments received to date

**Building Inspection Recommended
Conditions of Approval:**

None

FIRE DEPARTMENT

No comments received to date

**Fire Department Recommended
Conditions of Approval:**

None

RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
	None	

IMPORTANT INFORMATION

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS

GENERAL NOTES:

RECEIVED
By providel at 5:42 pm, Jan 09, 2024

- 1- ALL DIMENSIONS MUST BE CHECKED BY CONTRACTOR BEFORE CONSTRUCTION COMMENCEMENT.
- 2- SCOPE OF THIS PLAN IS LIMITED TO STRUCTURAL DESIGN ONLY
- 3- CONTRACTOR TO CO-ORDINATE WITH MECH, ELECT AND STR. CONTRACTORS FOR LOCATION AND SIZES OS ALL WALLS, FLOORS & CEILING OPENINGS, EQUIPMENT ETC.
- 4- CONTRACTOR SHALL LOCATE AND VERIFY ALL EXISTING SERVICES (EXPOSED AND CONCEALED) PRIOR TO ANY DEMOLITION, CUTTING, DRILLING OR DIGGING.
- 5- ONLY PERMIT DRAWING APPROVED BY THE CITY SHALL BE USED FOR CONSTRUCTION
- 6- THIS DRAWING IS FOR PERMIT APPLICATION PURPOSE. CONTRACTOR MUST CHECK ALL APPLICABLE BY-LAWS AND OBC. ANY DISCREPANCY MUST BE REPORTED TO THE DESIGNER.
- 7- ANY EXISTING SPRAYED FIREPROOFING DAMAGED OR REMOVED IS TO BE REPAIRED AND ITS REPAIR APPROVED BY THE ARCHITECT.
- 7- IN THE LACK OF ORIGINAL STRUCTURAL DRAWINGS ALL MEMBERS AND DIMENSIONS ARE SELECTED BY SITE MEASUREMENTS OR SOME ASSUMPTIONS. CONTRACTOR IS RESPONSIBLE TO REPORT ANY DISCREPANCY OR NOT ACCURACY TO THE STRUCTURAL ENGINEER BEFORE STARTING ANY ACTIVITIES.
- 8- GUARDS,
 - 42" WHEN DIFFERENCE BETWEEN GRADE AND BOTTOM OF WALKOUT IS 5'-11" OR HIGHER
 - 36" WHEN DIFFERENCE IS LESSER 5'-11"
 - PICKETS SHALL BE INSTALLED AT MAX. 4"

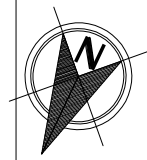
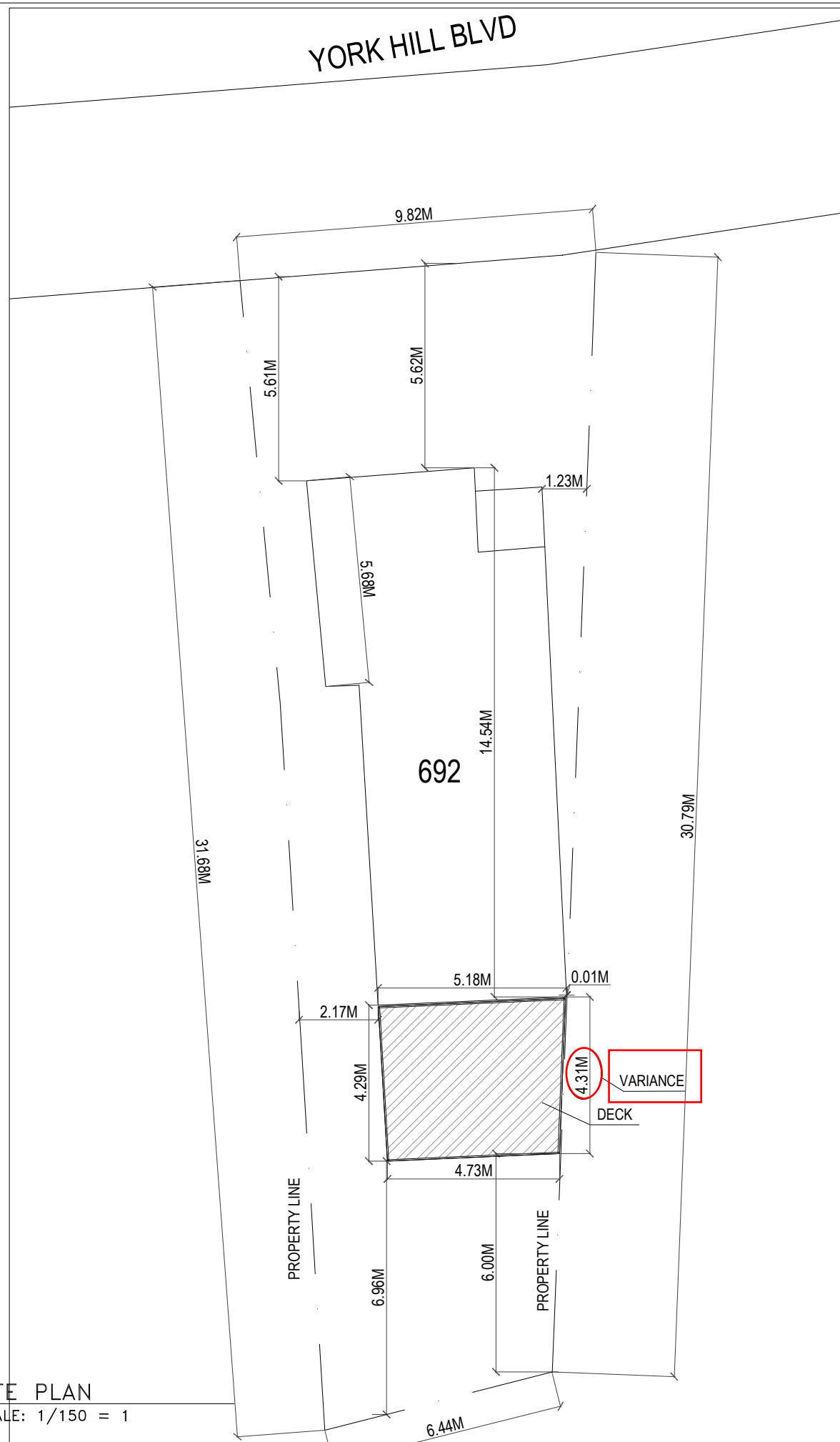
LUMBERS:

- 1- TIMBER DESIGN SHALL COMPLY WITH CSA CAN3-086-MBO
- 2- JOISTS, & BEAMS ARE LUMBER NO.2 GRADE SPRUCE-PINE-FIR, WITH 2.0E (OR SIMILAR)
- 3- COLUMNS ARE LUMBER NO.1 GRADE DOUGLAS FIR- LARCH, WITH 2.0E (OR SIMILAR)
- 4- LVL BEAMS SHALL BE WITH 3100 Fb - 2.0E (WEST FRASER OR SIMILAR)
- 5- PROPER CONNECTOR & NAILING MUST BE USED FOR CONNECTION OF JOISTS AND BEAMS

DESIGN LOADS:

- 1- CODES USED FOR STRUCTURAL DESIGN:
 - a- OBC
 - b- CSA-O86-09
- 2- DESIGN LOADS:
 - a- DEAD LOAD, 1.0 KPa ON ROOF & 0.72 KPa ON FLOOR
 - b- LIVE LOAD, 1.0 KPa ON ROOF
 - c- SNOW LOAD, USL= 1.28 KPa
SLS = 1.15 KPa

PLANS PREPARED AND VARIANCES IDENTIFIED BY APPLICANT



1 GENERAL NOTES
S1 SCALE: -----

2 SITE PLAN
S1 SCALE: 1/150 = 1

A190/23

A	AUG. 29/23	M.N.	A.R.	PERMIT
RELEASE	DATE	BY	APP.	RELEASED FOR...

STAMP

NOAR Professional Inc.
ENGINEERING, DESIGN, CONSTRUCTION MANAGEMENT

WEBSITE : WWW.NOARProfessional.com
CONTACT NO.: (416) 833 2823

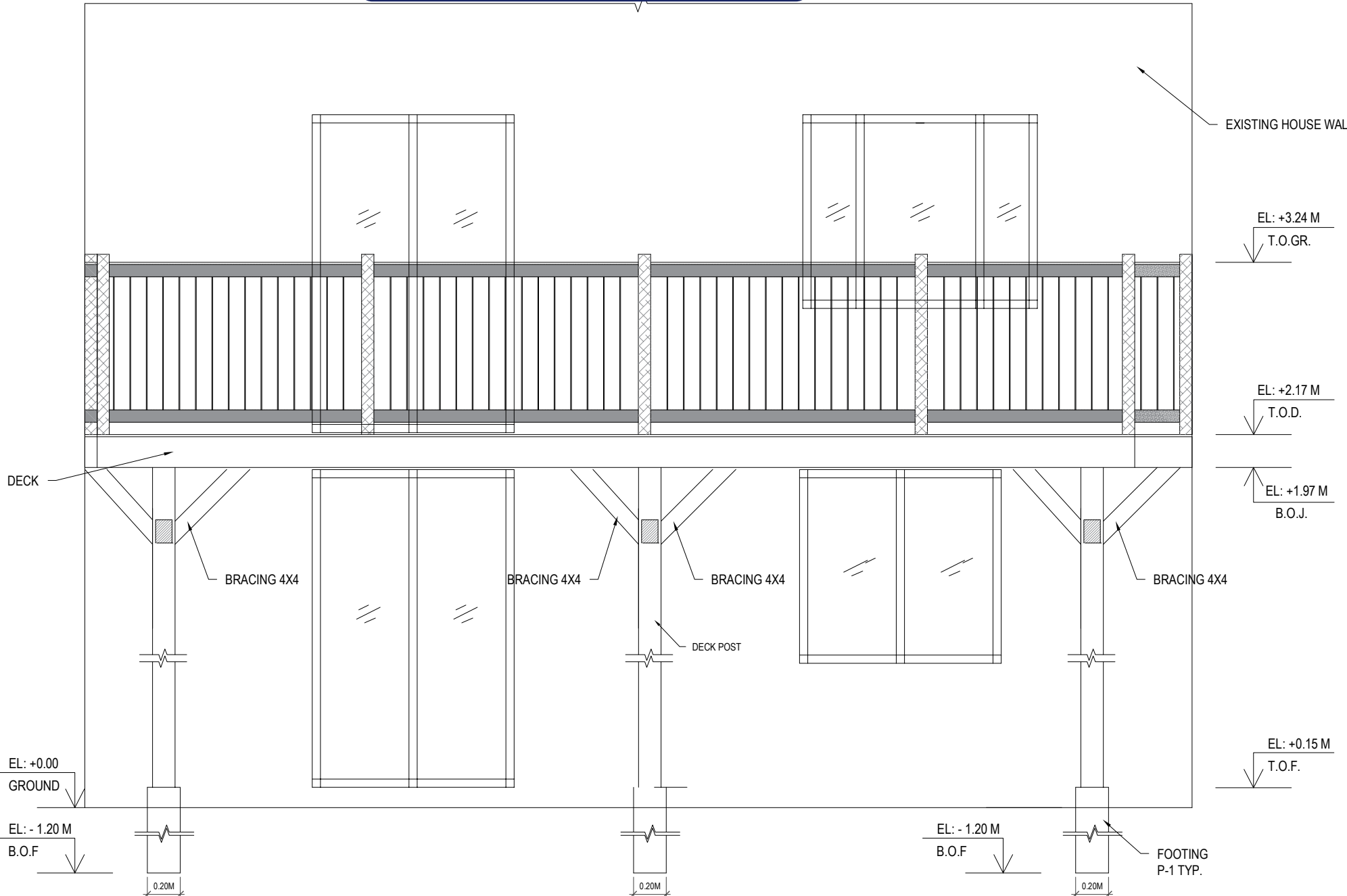
CLIENT	BEHRANG SHIVAIE 692 YORK HILL BLVD, THORNHILL, ON
PROJECT	BACKYARD DECK
DRAWING	GENERAL NOTES SITE PLAN

DISCIPLINE	STRUCTURAL	
PROJECT NO.	230131-D	
DRAWN BY:	M.N.	DATE AUG. 29/ 23
APPROVED BY:	A.R.	DRAWING NO. ST.1
SCALE	AS SHOWN	

ALL RIGHTS RESERVED. This is NOAR PROFESSIONAL Inc. OR (NOAR), and will remain the office property. RECIPIENT IS NOT AUTHORIZED TO SHARE, DISPLAY, SOLICIT OR NEGOTIATE WITH ANY THIRD PARTY. With the purpose of resolving the drawings or use them for any purposes without written consents of NOAR. Recipient(s) is committed to follow the confidentiality otherwise it will be constitute of breaching the Confidentiality, and grant NOAR to secure a lien for the total amount of \$50,000.00 with 36% interest Annually and a temporary injunction enforced against the property until the liquid damage paid in full.

RECEIVED
By providel at 5:42 pm, Jan 09, 2024

A190/23



VARIANCE
2.17m

PLANS PREPARED AND VARIANCES IDENTIFIED BY APPLICANT

1 NORTH ELEVATION
ST.3 SCALE: 3/8"=1'-0"

ABBREVIATIONS:

- B.O.F. = BOTTOM OF FOOTING
- T.O.F. = TOP OF FOOTING
- B.O.J. = BOTTOM OF JOIST
- T.O.D. = TOP OF DECK
- T.O.G.R. = TOP OF GUARD RAIL
- C = COLUMN

ALL RIGHTS RESERVED. This drawing is NOAR PROFESSIONAL Inc. OR (NOAR), and will remain the office property. RECIPIENT IS NOT AUTHORIZED TO SHARE, DISPLAY, SOLICIT OR NEGOTIATE WITH ANY THIRD PARTY. With the purpose of revising the drawings or use them for any purpose without written consent of NOAR. Recipient(s) is committed to follow the confidentiality otherwise it will be constitute of Breaching the Confidentiality, and grant NOAR to secure a lien for the total amount of \$50,000.00 with 36% interest. Annually and a temporary injunction enforced against the property until the liquid damage paid in full.

C	DEC. 13/23	M.N.	A.R.	PERMIT
B	SEP. 22/23	M.N.	A.R.	PERMIT
A	AUG. 29/23	M.N.	A.R.	PERMIT
RELEASE	DATE	BY	APP.	RELEASED FOR...

STAMP

NOAR Professional Inc.
ENGINEERING, DESIGN, CONSTRUCTION MANAGEMENT

WEBSITE : WWW.NOARProfessional.com
CONTACT NO.: (416) 833 2823

CLIENT: BEHRANG SHIVAIE
692 YORK HILL BLVD, THORNHILL, ON

PROJECT: BACKYARD DECK

DRAWING: NORTH ELEVATION ABBREVIATIONS

DISCIPLINE: STRUCTURAL

PROJECT NO.: 230131-D

DRAWN BY: M.N. DATE: AUG. 29/ 23

APPROVED BY: A.R. DRAWING NO. ST.3

SCALE: AS SHOWN

**SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS &
DEVELOPMENT PLANNING**

Department / Agency <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval w/Conditions

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

Date: December 22nd 2023

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A190-23**

Related Files:

Applicant NOAR Professional Inc.

Location 692 York Hill Boulevard



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

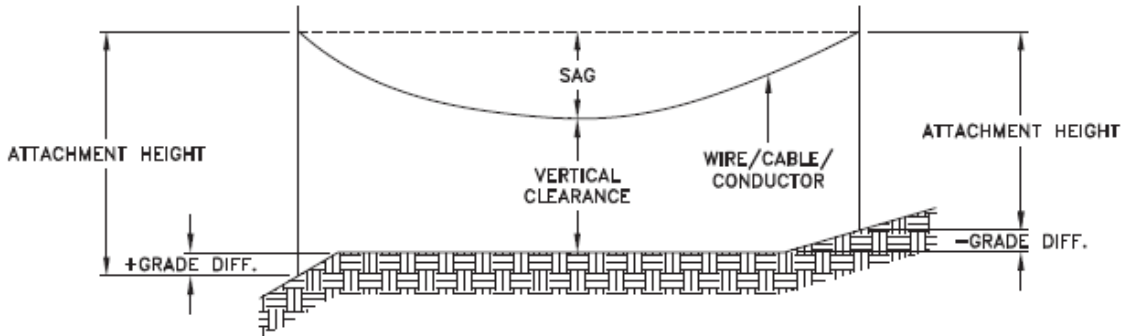
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

To: Committee of Adjustment
From: Niloufar Youssefi, Building Standards Department
Date: December 18, 2023
Applicant: NOAR Professional Inc.
Location: PLAN M2039 Part of Lot 6L
 PLAN 65R4569 Part 4
 692 York Hill Boulevard
File No.(s): A190/23

Zoning Classification:

The subject lands are zoned R4 (EN)– Estate Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.269 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	The maximum permitted projection from the main wall for a balcony is 3m.	To permit a balcony to project a maximum of 4.31m from the main wall.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file.

Building Permit(s) Issued:

Building Permit No. 23-132465 for Single Detached Dwelling - Deck, Issue Date: (Not Yet Issued)

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development Planning
Date: January 18, 2024
Name of Owners: Behrang Shivae & Ali Rahimi
Location: 692 York Hill Boulevard
File No.(s): A190/23

Proposed Variance(s) (By-law 001-2021):

1. To permit a balcony to project a maximum of 4.31 m from the main wall.

By-Law Requirement(s) (By-law 001-2021):

1. The maximum permitted projection from the main wall for a balcony is 3 m.

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Comments:

The Owners are requesting relief to permit the existing balcony (deck) in the rear yard with the above noted variance. The deck is over a walkout basement, providing outdoor amenity space off the main floor.

The Development Planning Department has no objection to the above noted variance as the 1.31 m increased encroachment into the minimum required rear yard does not have adverse use or massing impacts to the neighbouring rear yards, nor impacts the functionality of the Subject Property's rear yard. The deck also complies with Zoning By-law 001-2021's interior side yard setback requirements.

Accordingly, the Development Planning Department can support the requested variance and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None

Comments Prepared by:

Michelle Perrone, Planner 1
David Harding, Senior Planner

Prabhdeep Kaur

From: Kristen Regier <Kristen.Regier@trca.ca>
Sent: Wednesday, January 3, 2024 1:16 PM
To: Committee of Adjustment
Cc: Christine Vigneault
Subject: [External] RE: A190/23 (692 York Hill Blvd)- REQUEST FOR COMMENTS, CITY OF VAUGHAN

Hello,

The subject property at 692 York Hill Blvd, Vaughan is not located within TRCA's Regulated Area. TRCA's Planning and Regulatory policy interests are not impacted.

As such, TRCA has no comments on the application.

Best,

Kristen Regier, MA (she / her)

Planner

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Pravina Attwala

Subject: FW: [External] RE: A190/23 (692 York Hill Blvd)- REQUEST FOR COMMENTS, CITY OF VAUGHAN

From: Development Services <developmentsservices@york.ca>
Sent: January-05-24 5:58 PM
To: Christine Vigneault <Christine.Vigneault@vaughan.ca>
Cc: Committee of Adjustment <CofA@vaughan.ca>
Subject: [External] RE: A190/23 (692 York Hill Blvd)- REQUEST FOR COMMENTS, CITY OF VAUGHAN

Hi Christine,

The Regional Municipality of York has completed its review of the minor variance application – A190/23 (690 York Hill Blvd) and has no comment.

Please provide us with a copy of the notice of decision for our records.

Many thanks,

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Development Services, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca
Our Values: Integrity, Commitment, Accountability, Respect, Excellence



Our Mission: **Working together to serve our thriving communities – today and tomorrow**

Please consider the environment before printing this email.

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

None

SCHEDULE D: BACKGROUND

None