

<b>ITEM: 6.5</b>	<b>REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A189/23</b>
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Report Date: January 26, 2024

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING  
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

<b>PUBLIC &amp; APPLICANT CORRESPONDENCE (SEE SCHEDULE C)</b>				
<p>All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.</p>				
Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
Applicant			01/11/2024	Application Cover Letter

<b>BACKGROUND (SCHEDULE D, IF REQUIRED)</b>	
<p>* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.</p>	
Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
N/A	N/A

<b>ADJOURNMENT HISTORY</b>	
<p>* Previous hearing dates where this application was adjourned by the Committee and public notice issued.</p>	
Hearing Date	Reason for Adjournment <small>(to be obtained from NOD_ADJ)</small>
N/A	N/A

<b>SCHEDULES</b>	
<b>Schedule A</b>	Drawings & Plans Submitted with the Application
<b>Schedule B</b>	Comments from Agencies, Building Standards & Development Planning
<b>Schedule C</b> (if required)	Public & Applicant Correspondence
<b>Schedule D</b> (if required)	Background



## MINOR VARIANCE APPLICATION FILE NUMBER A189/23

<b>CITY WARD #:</b>	3
<b>APPLICANT:</b>	1493130 Ontario Limited
<b>AGENT:</b>	Riocan Management Inc.
<b>PROPERTY:</b>	67 Colossus Dr Woodbridge ON L4L 9J8
<b>ZONING DESIGNATION:</b>	See Below
<b>VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:</b>	Vaughan Official Plan 2010 ('VOP 2010'): "Community Commercial Mixed-Use".
<b>RELATED DEVELOPMENT APPLICATIONS:</b>	None
<b>PURPOSE OF APPLICATION:</b>	Relief from the Zoning By-law is being requested to permit an additional grocer on RioCan Colossus Centre site located in Building D20 as shown on the site plan submitted with the application.

The following variances have been requested from the City's Zoning By-law:

**The subject lands are zoned GMU – General Mixed-Use Zone and subject to the provisions of Exception 14.664 under Zoning By-law 001-2021, as amended.**

#	Zoning By-law 001-2021	Variance requested
1	Only one of the following uses shall be permitted on the subject lands shown on Schedule "E-1084"; - one supermarket to a maximum gross floor area of 11,613m <sup>2</sup> OR - one "retail warehouse with food sales" to a maximum gross floor area of 13,935m <sup>2</sup> [Exception 14.664]	To permit a maximum of one supermarket with a maximum gross floor area of 11,613m <sup>2</sup> and "one retail warehouse with food sales" with a maximum gross floor area of 13, 935m <sup>2</sup> on the subject lands shown on Schedule E-1084.

### HEARING INFORMATION

**DATE OF MEETING:** Thursday, February 1, 2024

**TIME:** 6:00 p.m.

**MEETING LOCATION:** Vaughan City Hall, Woodbridge Room (2<sup>nd</sup> Floor), 2141 Major Mackenzie Drive

**LIVE STREAM LINK:** [Vaughan.ca/LiveCouncil](http://Vaughan.ca/LiveCouncil)

#### PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

If you would like to submit written comments, please quote file number above and submit by mail or email to:

**Email:** [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

**Mail:** City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to [cofa@vaughan.ca](mailto:cofa@vaughan.ca) no later than NOON on the last business day before the meeting.

**THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.**

## INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

## COMMITTEE OF ADJUSTMENT

<b>Date Public Notice Mailed:</b>	January 18, 2024
<b>Date Applicant Confirmed Posting of Sign:</b>	January 16, 2024
<b>Applicant Justification for Variances:</b> <small>*As provided in Application Form</small>	Only allows for one use on the subject site
<b>Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:</b> <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
<b>COMMENTS:</b>	
<b>On January 17, 2024, the Development Engineering provided the following:</b>	
Development Engineering asks that a traffic brief must be provided as the proposed change from an office supply store to a grocery store results in a substantial increase in trips generated per staff preliminary review of ITE Trip Generation rates.	
<b>Committee of Adjustment Recommended Conditions of Approval:</b>	None

## BUILDING STANDARDS (ZONING)

<b>**See Schedule B for Building Standards (Zoning) Comments</b>	
<b>Building Standards Recommended Conditions of Approval:</b>	None

## DEVELOPMENT PLANNING

<b>**See Schedule B for Development Planning Comments.</b>	
<b>Development Planning Recommended Conditions of Approval:</b>	None

## DEVELOPMENT ENGINEERING

<a href="#">Link to Grading Permit</a> <a href="#">Link to Pool Permit</a> <a href="#">Link to Curb Curt Permit</a> <a href="#">Link Culvert Installation</a>	
Application under review.	
<b>Development Engineering Recommended Conditions of Approval:</b>	TBD

## PARKS, FORESTRY & HORTICULTURE (PFH)

No comments received to date	
<b>PFH Recommended Conditions of Approval:</b>	None

## DEVELOPMENT FINANCE

No comments no concerns	
<b>Development Finance Recommended Conditions of Approval:</b>	None

## BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

No comments received to date

<b>BCLPS Recommended Conditions of Approval:</b>	None
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## BUILDING INSPECTION (SEPTIC)

No comments received to date

<b>Building Inspection Recommended Conditions of Approval:</b>	None
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## FIRE DEPARTMENT

No comments received to date

<b>Fire Department Recommended Conditions of Approval:</b>	None
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## RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
1	Development Engineering <a href="mailto:jonal.hall@vaughan.ca">jonal.hall@vaughan.ca</a>	TBD

*All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.*

## IMPORTANT INFORMATION

**CONDITIONS:** It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

**APPROVALS:** Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

**DEVELOPMENT CHARGES:** That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's

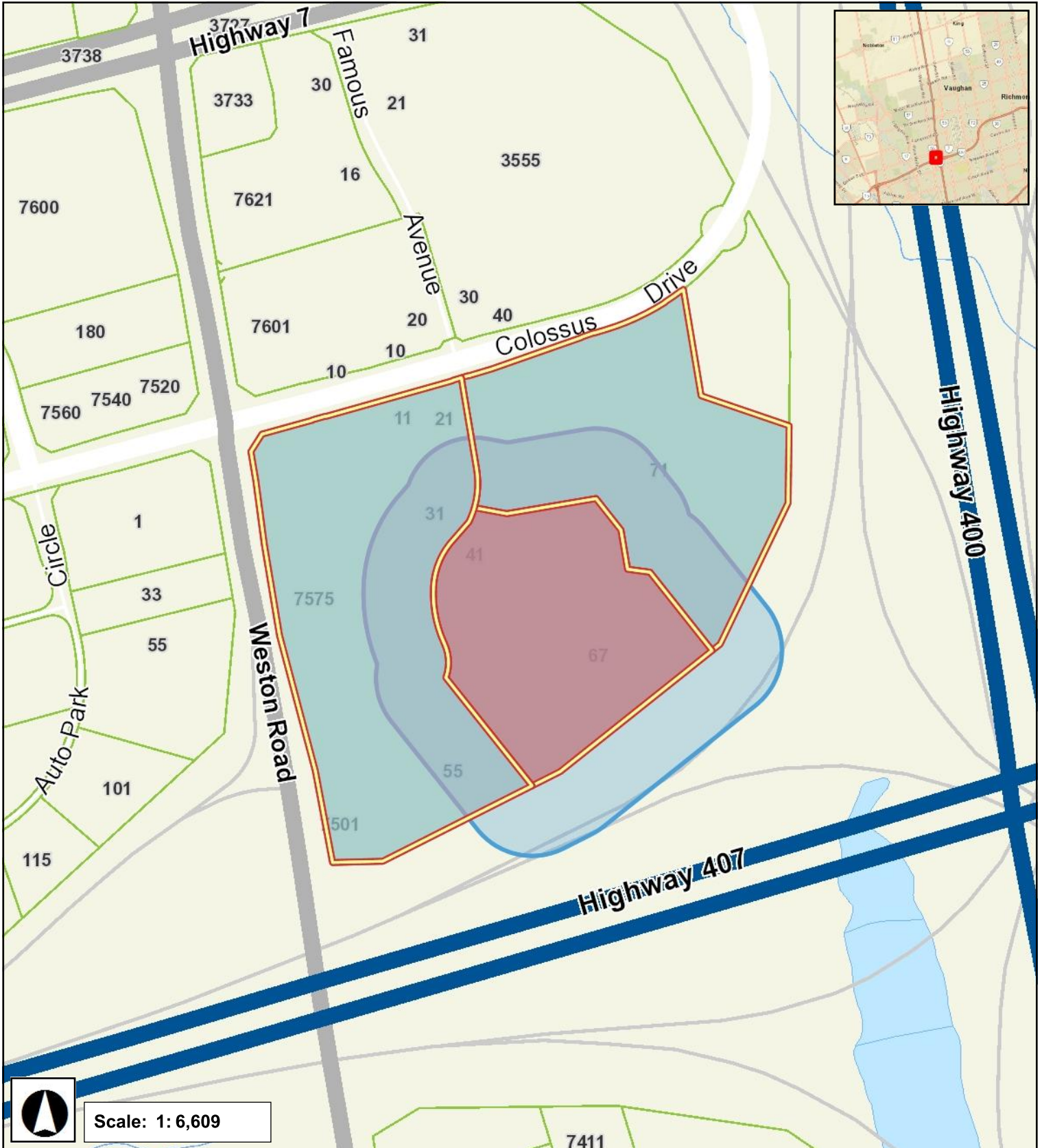
### IMPORTANT INFORMATION

Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

**NOTICE OF DECISION:** If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

**SCHEDULE A: DRAWINGS & PLANS**

67 COLOSSUS DRIVE, WOODBRIDGE



Scale: 1: 6,609

SITE STATISTICS	
SITE AREA:	± 292,904.24 SM (72.37 ACRES)
TOTAL BUILDING AREA (GFA):	737,503 SF (68,516.28 SM)
TOTAL BUILDING AREA (GLA):	-
TOTAL PARKING REQUIRED (MIN):	1,371 CARS (2.0 / 100 SM)
TOTAL PARKING REQUIRED (MAX):	3,084 CARS (4.5 / 100 SM)
TOTAL PARKING PROVIDED:	4,023 CARS (5.46 / 1,000 SF)

PARCEL A THEATRE	
BLOCK AREA:	81,773.81 SM (20.20 ACRES)
TOTAL BUILDING AREA (GFA):	140,253 SF (13,030 SM)
TOTAL BUILDING AREA (GLA):	-
TOTAL PARKING PROVIDED:	1,189 CARS (8.48 / 1,000 SF)

PARCEL C RETAIL	
BLOCK AREA:	70,029.80 SM (17.30 ACRES)
TOTAL BUILDING AREA (GFA):	202,662 SF (18,828 SM)
TOTAL BUILDING AREA (GLA):	-
TOTAL PARKING PROVIDED:	992 CARS (4.90 / 1,000 SF)

PARCEL D PROPOSED NEW RETAIL	
BLOCK AREA:	42,908.47 SM (10.60 ACRES)
TOTAL BUILDING AREA (GFA):	117,080 SF (10,878 SM)
TOTAL BUILDING AREA (GLA):	-
TOTAL PARKING PROVIDED:	555 CARS (4.74 / 1,000 SF)

SITE STATISTICS: PARCELS B - E	
SITE AREA:	± 211,130.43 SM (52.17 ACRES)
TOTAL BUILDING AREA (GFA):	597,250 SF (55,486.35 SM)
TOTAL BUILDING AREA (GLA):	-
TOTAL PARKING PROVIDED:	2,845 CARS (4.76 / 1,000 SF)
WITH ADDITIONAL COSTCO PARKING:	2,936 CARS (4.94 / 1,000 SF)

PARCEL B RETAIL	
BLOCK AREA:	45,313.89 SM (11.20 ACRES)
TOTAL BUILDING AREA (GFA):	137,767 SF (12,799 SM)
TOTAL BUILDING AREA (GLA):	-
TOTAL PARKING PROVIDED:	656 CARS (4.76 / 1,000 SF)

PARCEL E COSTCO	
BLOCK AREA:	52,878.27 SM (13.06 ACRES)
TOTAL BUILDING AREA (GFA):	140,742 SF (13,075 SM) INCL. MEZZANINE
TOTAL BUILDING AREA (GLA):	-
TOTAL PARKING:	630 CARS (4.48 / 1,000 SF)
TOTAL PARKING ADDED:	49 CARS
TOTAL PARKING PROVIDED:	679 CARS (4.82 / 1,000 SF)

**LEGEND**

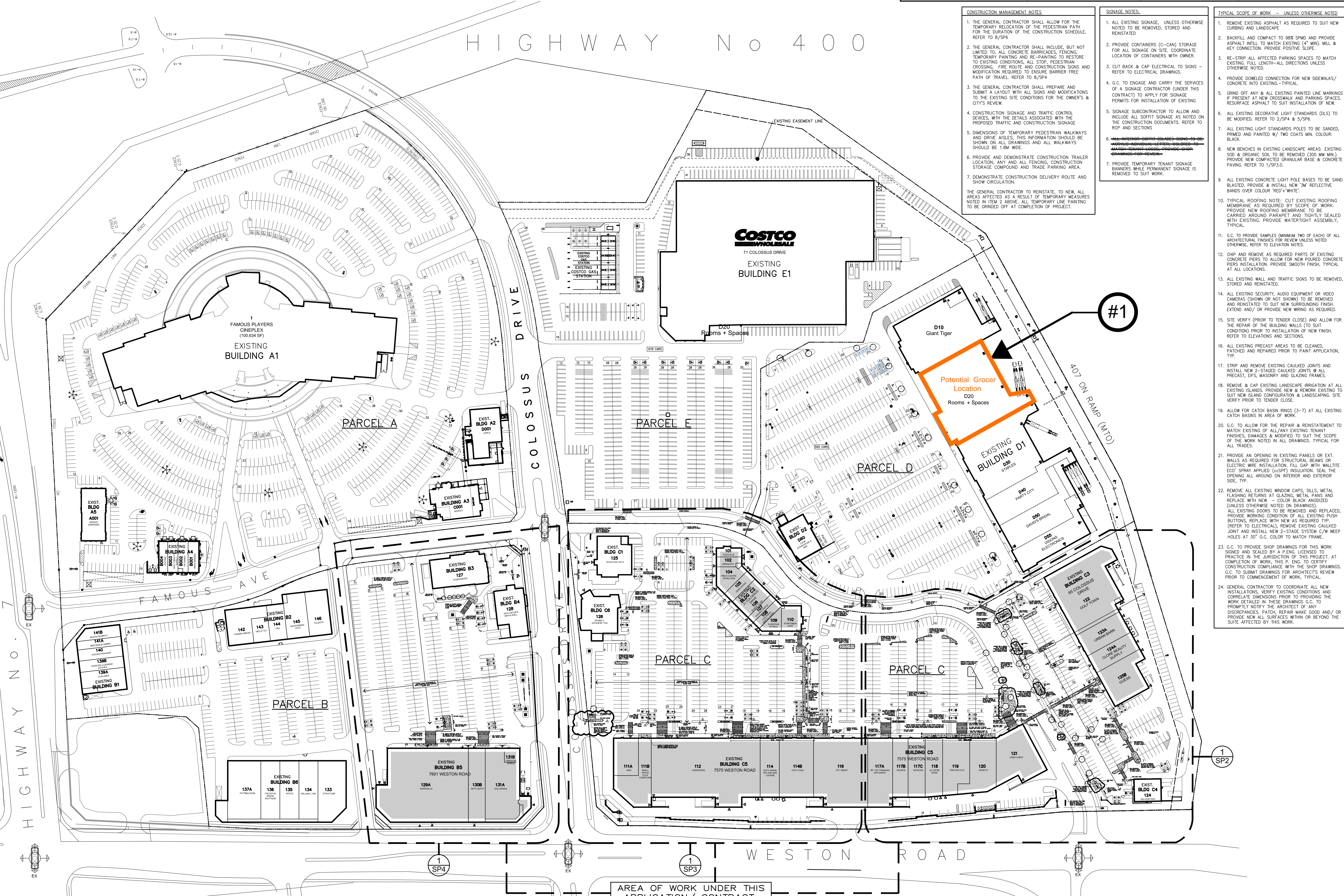
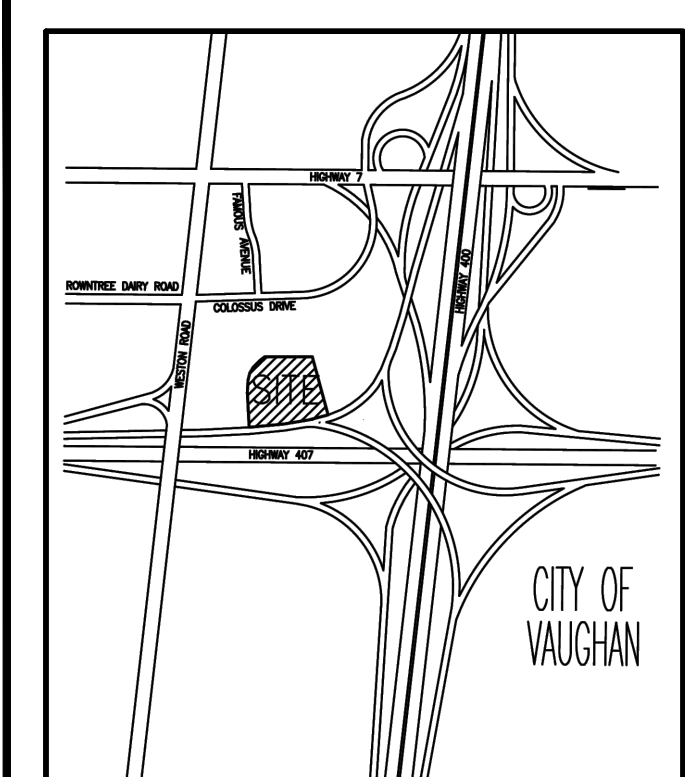
LEGAL DESCRIPTION  
PROPERTY LINE (SUBJECT LAND)  
179.85

FIRE ROUTE  
EXISTING BUILDINGS TO BE DEMOLISHED OR REMOVED  
EXISTING CURBS TO REMAIN  
NEW CONCRETE CURBS C/W SAW CUTS AND EXPANSION JOINTS  
RAISED ISLAND C/W CONCRETE CURBS AND LANDSCAPING  
RAISED ISLAND C/W CONCRETE PAVING AND CONCRETE CURBS  
PAINTED LINES (REFER TO SITE DETAILS)  
NEW CONCRETE SIDEWALK MONOLITHIC POLY C/W SAWCUTS  
IMPRESSED ASPHALT PAVED CROSSWALK

PAINTED TRAFFIC LINES  
PYLON SIGN  
BIKE RACKS  
SEATING BENCH  
EXISTING BUILDING TO REMAIN  
PROPOSED BUILDING UNDER THIS APPLICATION  
EXISTING BUILDING ENTRY  
PROPOSED BUILDING ENTRY  
PROPOSED BUILDING EXIT

LOADING DOOR  
EXISTING METAL POLE TO BE REMOVED  
EXISTING FIRE HYDRANT  
PROPOSED FIRE HYDRANT  
EXISTING BELL BOX  
EXISTING HYDRO BOX  
ELECTRICAL ROOM  
EXISTING STOP SIGNS TO REMAIN  
EXISTING STOP SIGNS TO BE REMOVED  
NEW STOP SIGNS  
FIRE ROUTE SIGNS

EXISTING DECORATIVE LIGHT STANDARD - SEE NOTE 6  
EXISTING LIGHT STANDARD TO REMAIN  
EXISTING LIGHT STANDARD TO BE RELOCATED  
NEW LIGHT STANDARD (REFER TO ELEC DRAWING)  
EXISTING TREES TO REMAIN  
EXISTING TREES TO BE REMOVED  
TYPICAL LOADING SPACE 9.0 x 3.5 x 4.2 VERT.



- CONSTRUCTION MANAGEMENT NOTES**
1. THE GENERAL CONTRACTOR SHALL ALLOW FOR THE TEMPORARY RELOCATION OF THE PEDESTRIAN PATH FOR THE DURATION OF THE CONSTRUCTION SCHEDULE. REFER TO 8/SP4.
  2. THE GENERAL CONTRACTOR SHALL INCLUDE, BUT NOT LIMITED TO, ALL CONCRETE BARRICADES, FENCING, TEMPORARY PAINTING AND RE-PAINING TO RESTORE TO EXISTING CONDITIONS, ALL STOP, PEDESTRIAN CROSSING, FIRE ROUTE AND CONSTRUCTION SIGNS AND MODIFICATION REQUIRED TO ENSURE BARRIER FREE PATH OF TRAVEL. REFER TO 8/SP4.
  3. THE GENERAL CONTRACTOR SHALL PREPARE AND SUBMIT A LAYOUT WITH ALL SIGNS AND MODIFICATIONS TO THE EXISTING SITE CONDITIONS FOR THE OWNER'S & CITY'S REVIEW.
  4. CONSTRUCTION SIGNAGE AND TRAFFIC CONTROL DEVICES, WITH THE DETAILS ASSOCIATED WITH THE PROPOSED TRAFFIC AND CONSTRUCTION SIGNAGE.
  5. DIMENSIONS OF TEMPORARY PEDESTRIAN WALKWAYS AND DRIVE AISLES, THIS INFORMATION SHOULD BE SHOWN ON ALL DRAWINGS AND ALL WALKWAYS SHOULD BE 1.8M WIDE.
  6. PROVIDE AND DEMONSTRATE CONSTRUCTION TRAILER LOCATION, ANY AND ALL FENCING, CONSTRUCTION STORAGE COMPOUND AND TRADE PARKING AREA.
  7. DEMONSTRATE CONSTRUCTION DELIVERY ROUTE AND SHOW CIRCULATION.
- THE GENERAL CONTRACTOR TO REINSTATE, TO NEW ALL AREAS AFFECTED AS A RESULT OF TEMPORARY MEASURES NOTED IN 1 TO 7 ABOVE. ALL TEMPORARY LINE PAINTING TO BE GRINDED OFF AT COMPLETION OF PROJECT.
- SIGNAGE NOTES:**
1. ALL EXISTING SIGNAGE, UNLESS OTHERWISE NOTED TO BE REMOVED, STORED AND REINSTATE.
  2. PROVIDE CONTAINERS (C-CAN) STORAGE FOR ALL SIGNAGE ON SITE. COORDINATE LOCATION OF CONTAINERS WITH OWNER.
  3. CUT BACK & CAP ELECTRICAL TO SIGNS - REFER TO ELECTRICAL DRAWINGS.
  4. G.C. TO ENGAGE AND CARRY THE SERVICES OF A SIGNAGE CONTRACTOR (UNDER THIS CONTRACT) TO APPLY FOR SIGNAGE PERMITS FOR INSTALLATION OF EXISTING SIGNAGE.
  5. SIGNAGE SUBCONTRACTOR TO ALLOW AND INCLUDE ALL SIGNAGE STORAGE AS NOTED ON THE CONSTRUCTION DOCUMENTS. REFER TO RCP AND SECTIONS.
  6. ALL INTERIOR SIGNS (GLASS) TO BE DEMOLISHED AND RELOCATED TO THE OFFICE OF THE ARCHITECT FOR REVIEW.
  7. PROVIDE TEMPORARY TENANT SIGNAGE BANNERS WHILE PERMANENT SIGNAGE IS REMOVED TO SPLIT WORK.
- TYPICAL SCOPE OF WORK - UNLESS OTHERWISE NOTED**
1. REMOVE EXISTING ASPHALT AS REQUIRED TO SUIT NEW CURBS AND LANDSCAPE.
  2. BACKFILL AND COMPACT TO 98% SPMD AND PROVIDE ASPHALT INFILL TO MATCH EXISTING (4" MIN.) MILL & KEY CONNECTION. PROVIDE POSITIVE SLOPE.
  3. RE-STRIP ALL AFFECTED PARKING SPACES TO MATCH EXISTING. FULL LENGTH-ALL DIRECTIONS UNLESS OTHERWISE NOTED.
  4. PROVIDE DOWELED CONNECTION FOR NEW SIDEWALKS/CONCRETE TO EXISTING-TYPICAL.
  5. GRIND OFF ANY & ALL EXISTING PAINTED LINE MARKINGS IF PRESENT AT NEW CROSSWALK AND PARKING SPACES. RESURFACE ASPHALT TO SUIT INSTALLATION OF G.S.
  6. ALL EXISTING DECORATIVE LIGHT STANDARDS (DLS) TO BE MODIFIED. REFER TO 2/SPA & 5/SP6.
  7. ALL EXISTING LIGHT STANDARDS POLES TO BE SANDED, PRIMED AND PAINTED W/ TWO COATS MIN. COLOUR: BLACK.
  8. NEW BENCHES IN EXISTING LANDSCAPE AREAS. EXISTING SOD & ORGANIC SOIL TO BE REMOVED (300 MM MIN.). PROVIDE NEW COMPACTED GRANULAR BASE & CONCRETE PAVING. REFER TO 1/SP3/3.
  9. ALL EXISTING CONCRETE LIGHT POLE BASES TO BE SAND BLASTED, PRIME & INSTALL NEW '3M' REFLECTIVE BANDS OVER COLOUR RED & WHITE.
  10. TYPICAL ROOFING NOTE: CUT EXISTING ROOFING MEMBRANE AS REQUIRED BY SCOPE OF WORK. PROVIDE NEW ROOFING MEMBRANE TO BE CARRIED AROUND PARAPET AND TIGHTLY SEALED WITH EXISTING. PROVIDE WATER TIGHT ASSEMBLY, TYPICAL.
  11. G.C. TO PROVIDE SAMPLES (MINIMUM TWO OF EACH) OF ALL ARCHITECTURAL FINISHES FOR REVIEW UNLESS NOTED OTHERWISE. REFER TO ELEVATION NOTES.
  12. CHIP AND REMOVE AS REQUIRED PARTS OF EXISTING CONCRETE PILES TO ALLOW FOR NEW TYPICAL CONCRETE PILES INSTALLATION. PROVIDE SMOOTH FINISH, TYPICAL AT ALL LOCATIONS. PROVIDE SMOOTH FINISH, TYPICAL AT ALL LOCATIONS.
  13. ALL EXISTING WALL AND TRAFFIC SIGNS TO BE REMOVED, STORED AND REINSTATE.
  14. ALL EXISTING SECURITY, AUDIO EQUIPMENT OR VIDEO CAMERAS (SHOWN OR NOT SHOWN) TO BE REMOVED AND REINSTATE TO SUIT NEW SURROUNDING FINISH. EXTEND AND/OR PROVIDE NEW WIRING AS REQUIRED.
  15. SITE VERIFY (PRIOR TO TENDER CLOSE) AND ALLOW FOR THE REPAIR OF THE BUILDING WALLS (TO SUIT CONDITION) PRIOR TO INSTALLATION OF NEW FINISH. REFER TO ELEVATIONS AND SECTIONS.
  16. ALL EXISTING PRECAST AREAS TO BE CLEANED, PATCHED AND REPAIRED PRIOR TO PAINT APPLICATION, TYP.
  17. STRIP AND REMOVE EXISTING CALKED JOINTS AND INSTALL NEW 2-STAGE CALKED JOINTS @ ALL PRECAST, EIFS, MASONRY AND GLAZING FRAMES.
  18. REMOVE & CAP EXISTING LANDSCAPE IRRIGATION AT ALL EXISTING ISLANDS. PROVIDE NEW & REWORK EXISTING TO SUIT NEW ISLAND CONFIGURATION & LANDSCAPING. SITE VERIFY PRIOR TO TENDER CLOSE.
  19. ALLOW FOR CATCH BASIN RINGS (3-7) AT ALL EXISTING CATCH BASIN AREAS IN AREA OF WORK.
  20. G.C. TO ALLOW FOR THE REPAIR & REINSTATEMENT TO MATCH EXISTING OF ALL ANY EXISTING TENANT FINISHES, DAMAGES & MODIFIED TO SUIT THE SCOPE OF THE WORK NOTED IN ALL DRAWINGS. TYPICAL FOR ALL TRADES.
  21. PROVIDE AN OPENING IN EXISTING PANELS OR EXT. WALLS AS REQUIRED FOR STRUCTURAL BEAMS OR ELECTRICAL WIRE INSTALLATION. FILL GAP WITH WALLTITE EPOXY SPRAY APPLIED (csSPF) INSULATION. SEAL THE OPENING ALL AROUND ON INTERIOR AND EXTERIOR SIDE. TYP.
  22. REMOVE ALL EXISTING WINDOW CAPS, SILLS, METAL FLASHING RETURNS AT GLAZING, METAL PANS AND REPLACE WITH NEW - COLOR BLACK ANODIZED (UNLESS OTHERWISE NOTED ON DRAWINGS). ALL EXISTING DOORS TO BE REMOVED AND REPLACED. PROVIDE WORKING CONDITION OF ALL EXISTING PUSH BUTTONS. REPLACE WITH NEW AS REQUIRED TYP. (REFER TO ELECTRICAL). REMOVE EXISTING CALKED JOINT AND INSTALL NEW 2-STAGE SYSTEM C/W WEED HOLES AT 30" O.C. COLOR TO MATCH FRAME.
  23. G.C. TO PROVIDE SHOP DRAWINGS FOR THIS WORK SIGNED AND SEALED BY A P. ENG. LICENSED TO PRACTICE IN THE JURISDICTION OF THIS PROJECT. AT COMPLETION OF WORK, THIS P. ENG. TO CERTIFY CONSTRUCTION COMPLIANCE WITH THE SHOP DRAWINGS. G.C. TO SUBMIT DRAWINGS FOR ARCHITECT'S REVIEW PRIOR TO COMMENCEMENT OF WORK, TYPICAL.
  24. GENERAL CONTRACTOR TO COORDINATE ALL NEW INSTALLATIONS, VERIFY EXISTING CONDITIONS AND CORRELATE DIMENSIONS PRIOR TO PROVIDING THE WORK DETAILED IN THESE DRAWINGS. G.C. TO PROMPTLY NOTIFY THE ARCHITECT OF ANY DISCREPANCIES, PATCH, REPAIR MARK, GOOD AND/OR PROVIDE NEW ALL SURFACES WITHIN OR BEYOND THE SUITE AFFECTED BY THIS WORK.

LOCATION PLAN  
N.T.S.  
DA. 23. 014

- REVISIONS**
- | NO. | DESCRIPTION                                 | DATE        |
|-----|---|-------------|
| A1  | ISSUED FOR CONSTRUCTION                     | OCT 20 2023 |
| A2  | REVISION FOR ARCHITECTURAL CHANGE NOTICE #1 | SEP 28 2023 |
| A2  | ISSUED FOR WHO PERMIT                       | AUG 23 2023 |
| A2  | ISSUED FOR PERMIT                           | AUG 19 2023 |
| A2  | REVISION FOR CITY COMMENTS 1                | AUG 14 2023 |
| A2  | ISSUED FOR ARCHITECTURAL ADD #1             | JUL 15 2023 |
| A2  | ISSUED FOR TENDER                           | JAN 15 2023 |
| A2  | ISSUED FOR SITE PLAN APPLICATION            | JUN 13 2023 |
| A2  | ISSUED FOR PERMIT                           | FEB 29 2024 |
| A2  | ISSUED FOR CONSTRUCTION & SON #1            | JAN 16 2016 |
| A2  | ISSUED FOR CONSTRUCTION & SON #1            | NOV 27 2015 |
| A2  | SITE PLAN APPROVAL - FINAL                  | OCT 29 2015 |
| A2  | REVISION FOR WHO COMMENTS                   | OCT 16 2015 |
| A2  | BUILDING RELATION PER WHO                   | OCT 08 2015 |
| A2  | WHO SUBMISSION                              | SEP 23 2015 |
| A2  | TENDER TENANT'S REVIEW                      | AUG 28 2015 |
| A2  | ISSUED FOR ARCH. ADDENDUM No.1              | AUG 17 2015 |
| A2  | ISSUED FOR TENDER                           | JUL 27 2015 |
| A2  | REVISION FOR REVIEW                         | JUL 10 2015 |
| A2  | SITE PLAN APPROVAL PARCEL D                 | JUL 02 2015 |
| A2  | SITE PLAN APPROVAL APPLICATION (B)          | FEB 04 2015 |
| A2  | SITE PLAN APPLICATION - REVISED STATUS      | JAN 02 2014 |
| A2  | SITE PLAN APPLICATION                       | DEC 06 2013 |
- CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON SITE. DO NOT SCALE DRAWINGS.

**REVISIONS**

NO.	DESCRIPTION	DATE
A2	ISSUED FOR CONSTRUCTION	OCT 20 2023
A2	REVISION FOR ARCHITECTURAL CHANGE NOTICE #1	SEP 28 2023
A2	ISSUED FOR WHO PERMIT	AUG 23 2023
A2	ISSUED FOR PERMIT	AUG 19 2023
A2	REVISION FOR CITY COMMENTS 1	AUG 14 2023
A2	ISSUED FOR ARCHITECTURAL ADD #1	JUL 15 2023
A2	ISSUED FOR TENDER	JAN 15 2023
A2	ISSUED FOR SITE PLAN APPLICATION	JUN 13 2023
A2	ISSUED FOR PERMIT	FEB 29 2024
A2	ISSUED FOR CONSTRUCTION & SON #1	JAN 16 2016
A2	ISSUED FOR CONSTRUCTION & SON #1	NOV 27 2015
A2	SITE PLAN APPROVAL - FINAL	OCT 29 2015
A2	REVISION FOR WHO COMMENTS	OCT 16 2015
A2	BUILDING RELATION PER WHO	OCT 08 2015
A2	WHO SUBMISSION	SEP 23 2015
A2	TENDER TENANT'S REVIEW	AUG 28 2015
A2	ISSUED FOR ARCH. ADDENDUM No.1	AUG 17 2015
A2	ISSUED FOR TENDER	JUL 27 2015
A2	REVISION FOR REVIEW	JUL 10 2015
A2	SITE PLAN APPROVAL PARCEL D	JUL 02 2015
A2	SITE PLAN APPROVAL APPLICATION (B)	FEB 04 2015
A2	SITE PLAN APPLICATION - REVISED STATUS	JAN 02 2014
A2	SITE PLAN APPLICATION	DEC 06 2013

ANTHONY ZAGARIA  
ARCHITECT

3856 - 780 LAWRENCE AVENUE WEST  
TORONTO, ONTARIO M6H 3B3  
TEL: (416) 754-1111 FAX: (416) 754-1112  
WWW.LLARCH.CA

PROJECT: PROPOSED EXTERIOR RENOVATIONS AT COLLOSSUS CENTRE RIOCAN  
COLLOSSUS DRIVE-WESTON ROAD VAUGHAN, ON

DRAWING TITLE: SITE PLAN

DRAWN BY: FC/PD  
CHECKED: AZ  
SCALE: AS NOTED  
DATE: SEPTEMBER, 15 2022

CON. NO.: 22-33  
DRAWING NO.: SP1

1 SITE PLAN  
SCALE: 1:1000



**SCHEDULE B:  
COMMENTS FROM AGENCIES, BUILDING STANDARDS &  
DEVELOPMENT PLANNING**

Department / Agency <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

**Date:** January 4<sup>th</sup> 2024

**Attention:** **Christine Vigneault**

**RE:** Request for Comments

**File No.:** **A189-23**

**Related Files:**

**Applicant** RioCan

**Location** 67 Colossus Drive



Discover the possibilities

### COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

### References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

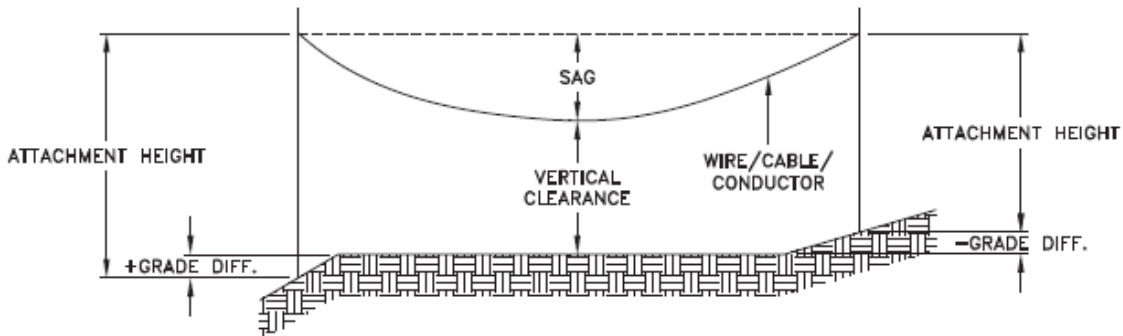
Mr. Stephen Cranley, C.E.T  
Supervisor, Distribution Design, ICI & Layouts (North)  
**Phone:** 1-877-963-6900 ext. 31297

**E-mail:** [stephen.cranley@alectrautilities.com](mailto:stephen.cranley@alectrautilities.com)

Mitchell Penner  
Supervisor, Distribution Design-Subdivisions  
**Phone:** 416-302-6215

**Email:** [Mitchell.Penner@alectrautilities.com](mailto:Mitchell.Penner@alectrautilities.com)

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG  
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)  
 ± GRADE DIFFERENCE  
 + 0.3m (VEHICLE OR RAILWAY LOCATION)  
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

**NOTES:**

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

**CONVERSION TABLE**

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

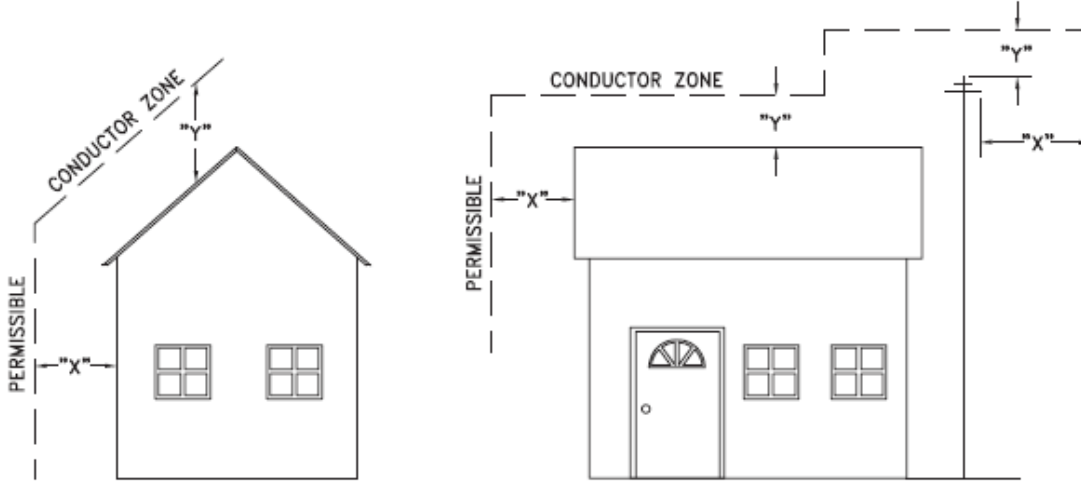
**REFERENCES**

SAGS AND TENSIONS | SECTION 02

**MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS**

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

**NOTES**

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

**MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)**

**Certificate of Approval**  
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04  
Debbie Dadwani, P.Eng. 2010-MAY-05  
Name Date  
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:  
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

**To:** Committee of Adjustment  
**From:** Faegheh Gholami, Building Standards Department  
**Date:** January 16, 2024  
**Applicant:** RioCan  
**Location:** 67 Colossus Drive, Woodbridge  
 CONC 5 Part of Lot 4  
**File No.(s):** A189/23

**Zoning Classification:**

The subject lands are zoned GMU – General Mixed-Use Zone and subject to the provisions of Exception 14.664 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	Only one of the following uses shall be permitted on the subject lands shown on Schedule “E-1084”;  - one supermarket to a maximum gross floor area of 11,613m <sup>2</sup> OR - one “retail warehouse with food sales” to a maximum gross floor area of 13,935m <sup>2</sup> [Exception 14.664]	To permit a maximum of one supermarket with a maximum gross floor area of 11,613m <sup>2</sup> and “one retail warehouse with food sales” with a maximum gross floor area of 13, 935m <sup>2</sup> on the subject lands shown on Schedule E-1084.

**Staff Comments:**

**Stop Work Order(s) and Order(s) to Comply:**

There are no outstanding Orders on file

**Building Permit(s) Issued:**

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m<sup>2</sup>

**Other Comments:**

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

**Conditions of Approval:**

If the committee finds merit in the application, the following conditions of approval are recommended.

\* Comments are based on the review of documentation supplied with this application.

**To:** Christine Vigneault, Committee of Adjustment Secretary Treasurer  
**From:** Nancy Tuckett, Director of Development Planning  
**Date:** January 24, 2024  
**Name of Owner:** Stuart Craig – RioCan Real Estate Investment Trust  
**Location:** 67 Colossus Drive  
**File No.:** A189/23

---

**Proposed Variances (By-law 001-2021):**

1. To permit a maximum of one supermarket with a maximum gross floor area of 11,613m<sup>2</sup> AND “one retail warehouse with food sales” with a maximum gross floor area of 13, 935m<sup>2</sup> on the subject lands shown on Schedule E-1084.

**By-Law Requirements (By-law 001-2021):**

1. Only one of the following uses shall be permitted on the subject lands shown on Schedule “E-1084”; - one supermarket to a maximum gross floor area of 11,613m<sup>2</sup> OR - one “retail warehouse with food sales” to a maximum gross floor area of 13,935m<sup>2</sup> [Exception 14.664].

**Official Plan:**

Vaughan Official Plan 2010 (‘VOP 2010’): “Community Commercial Mixed-Use”

**Comments:**

The Subject Lands are one of a series of commercial lots that collectively form the RioCan Colossus Centre (the ‘Colossus Centre’). This Subject Lands are located at the south end of the Colossus Centre, abutting the southwest corner of the Highways 400 and 407 interchange. A linear commercial plaza building is on the Subject Lands. The abutting property to the east contains a Costco. The By-law provision, Exception 14.664, from which the variance is sought applies to the entire Colossus Centre. The Owner is requesting relief to permit a “supermarket” use in addition to the retail warehouse with food sales use (Costco) already established at the Colossus Centre. The “supermarket” use is proposed within the unit denoted as D20 on the submitted sketch titled “Site Plan”. Unit D20 has a Gross Floor Area (GFA) of 2,787.09 m<sup>2</sup>.

The Subject Lands are designated “Community Commercial Mixed-Use” in VOP 2010, which permits a wide range of retail uses. The Subject Lands are also part of the Weston Road and Highway 7 Required Secondary Plan Area (‘RSPA’). The draft RSPA anticipates significant residential intensification. Site-Specific Policy 13.36 of VOP 2010, which remains in effect until such time as the RSPA is in full force and effect, permits the continuation and expansion of permitted uses. A “supermarket” is a form of retail use permitted within the Community Commercial Mixed-Use” designation. It is anticipated that the proposed use will be an interim use until such time as the RSPA is completed and redevelopment occurs. Development Planning Staff are of the opinion that the proposed interim use maintains the general intent of the Official Plan.

The Subject Lands are zoned “GMU – General Mixed-Use Zone” in Zoning By-law 001-2021 and are subject to Exception 14.664. The “supermarket” use is a permitted use in the GMU Zone category. Exception 14.664 permits one (1) supermarket or one (1) retail warehouse with food sales, each subject to different maximum GFA totals, not both uses together. The existing Costco maintains a total GFA of 13,075m<sup>2</sup> (13,935 m<sup>2</sup> maximum permitted), 3,716.12m<sup>2</sup> of which is attributed to a “grocer” use. Site specific Exception 14.664 permits a “supermarket” to a maximum GFA of 11,613m<sup>2</sup> and the proposed additional grocer in unit D20 of the commercial plaza proposes a total of 2,787.09 m<sup>2</sup>, which is 8,825.91m<sup>2</sup> less than the permitted supermarket GFA (11,613 m<sup>2</sup> maximum permitted). It appears that part of the intent of the Zoning By-law was to restrict the number of supermarket-like uses within the Colossus Centre to prevent land use and parking conflicts. However, there appears to be space for additional supermarket-like uses without these conflicts based on the Giant Tiger business which recently opened in

Unit D10 next to the proposed supermarket use. No parking relief for the proposed supermarket use is required. Development Planning Staff are of the opinion that the proposed use maintains the general intent and purpose of the Zoning By-law.

The supermarket use is anticipated to complement the existing retail operations within the Colossus Centre by providing additional retail options to the public. It is further anticipated that an interim supermarket use will be an added benefit to the developing residential community at Weston and Highway 7. Given that the proposal is in line with the maximum GFA requirements, does not require additional parking spaces, and is compatible with the existing Colossus Centre uses, the Development Planning Department has no concerns with the proposal, believing it to be minor in nature and desirable and appropriate for the development of the land.

Accordingly, the Development Planning Department can support the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

**Recommendation:**

The Development Planning Department recommends approval of the application.

**Conditions of Approval:**

If the Committee finds merit in the application, the following conditions of approval are recommended:

None.

**Comments Prepared by:**

Nicholas Del Prete, Planner I  
David Harding, Senior Planner



## Prabhdeep Kaur

---

**From:** Kristen Regier <Kristen.Regier@trca.ca>  
**Sent:** Wednesday, January 3, 2024 1:26 PM  
**To:** Committee of Adjustment  
**Cc:** Prabhdeep Kaur  
**Subject:** [External] RE: A189/23 - 67 Colossus Dr -REQUEST FOR COMMENTS, CITY OF VAUGHAN

Hello,

The subject property at 67 Colossus Drive, Vaughan is not located within TRCA's Regulated Area. TRCA's Planning and Regulatory policy interests are not impacted.

As such, TRCA has no comments on the application.

Best,

**Kristen Regier, MA (she / her)**

Planner

Development Planning and Permits | Development and Engineering Services

Toronto and Region Conservation Authority (TRCA)

T: [437-880-2129](tel:437-880-2129)

E: [kristen.regier@trca.ca](mailto:kristen.regier@trca.ca)

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca) | [trca.ca](https://www.trca.ca)



**Pravina Attwala**

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**Subject:** FW: [External] RE: A189/23 - 67 Colossus Dr -REQUEST FOR COMMENTS, CITY OF VAUGHAN

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**From:** Development Services <developmentsservices@york.ca>  
**Sent:** January-05-24 6:04 PM  
**To:** Prabhdeep Kaur <Prabhdeep.Kaur@vaughan.ca>  
**Cc:** Committee of Adjustment <CofA@vaughan.ca>  
**Subject:** [External] RE: A189/23 - 67 Colossus Dr -REQUEST FOR COMMENTS, CITY OF VAUGHAN

Hi Prabhdeep,

The Regional Municipality of York has completed its review of the minor variance application – A189/23 (67 Colossus Drive) and has no comment.

Please provide us with a copy of the notice of decision for our records.

Many thanks,

*Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.*

**Niranjan Rajevan, M.Pl.** | Associate Planner, Development Services, Planning and Economic Development, Corporate Services

-----  
The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1  
1-877-464-9675 ext. 71521 | [niranjan.rajevan@york.ca](mailto:niranjan.rajevan@york.ca) | [www.york.ca](http://www.york.ca)  
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## SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant			01/11/2024	Application Cover Letter



OWNED AND MANAGED BY  
**RIOCAN**

**RECEIVED**

*By attwalap at 10:34 am, Jan 11, 2024*

**A189/23**

January 11, 2024

Vaughan City Hall  
2141 Major Mackenzie Dr.  
Vaughan, ON L6A 1T1

Attn: Committee of Adjustment

**Re: *Minor Variance Application, RioCan Colossus Centre – Parcel D  
67 Colossus Drive, Vaughan, Ontario L4L 9J9***

---

Please find the enclosed materials in support of the Minor Variance Application for the current unenclosed shopping center (Parcel D) of the above-noted lands.

RIOCAN REAL ESTATE INV TRUST is proposing to amend the language in the current by-law exemption number 664 (14.664.1 Permitted Uses) to grant permission to locate an additional grocer on RioCan Colossus Centre, 67 Colossus Drive. The current permitted use #2 allows for “Only one of the following uses shall be permitted on the lands described as “Subject Lands” on Figure E-1084: One supermarket, to a maximum gross floor area of 11,613.0m<sup>2</sup> or one retail warehouse with food sales to a maximum gross floor area of 13,935.0 m<sup>2</sup>”.

The current by-law has a max area of 11,613 m<sup>2</sup> (125,000 sf). The grocer will utilize the entire D20 unit of 30,000-sf. Remaining in compliance with the zoning by-law and estimating 95,000-sf remaining. The current on-site retail warehouse (Costco) uses a grocer GFA of 40,000 sf, estimating 109,995 sf remaining and in compliance with the zoning-by law permitting maximum area of 13,935sm (149,995 sf).

Additionally, RioCan will not be making any additional changes to the current site or units such as size, gross floor area and parking requirements.

**In support of the Minor Variance application request the following materials are enclosed:**

- Authorization Form
- Authorizing Statements
- Setback Chart
- Variance Chart
- Building Standards Form
- Site Plan – Outlining Parcel D & Potential Grocer Location (D20)

We trust that the foregoing is satisfactory. Should you have any questions or require additional information, please contact the undersigned.

Regards,

Yonge & Eglinton  
2300 Yonge Street, Suite 500, Box 2386  
Toronto, ON M4P 1E4  
1-800-465-2733

[riocan.com](http://riocan.com)



OWNED AND MANAGED BY  
**RIO CAN**

*Olivia Raiche*

1493130 ONTARIO LIMITED



**Olivia Raiche**  
**COORDINATOR, DEVELOPMENT**  
RioCan REIT  
2300 Yonge Street | Toronto, ON M4P 1E4  
Cell: 437.326.0888  
Toronto  
[www.riocan.com](http://www.riocan.com)

**RIO CAN**

Cc: Stuart Craig, Vice President, Development

Yonge & Eglinton  
2300 Yonge Street, Suite 500, Box 2386  
Toronto, ON M4P 1E4  
1-800-465-2733

[riocan.com](http://riocan.com)

## SCHEDULE D: BACKGROUND

None