

ITEM: 6.4	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A180/23
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Report Date: Friday, January 26, 2024

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Forestry	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Fire	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
BLCPS	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
None				

BACKGROUND (SCHEDULE D, IF REQUIRED)	
<small>* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.</small>	
Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
None	None

ADJOURNMENT HISTORY	
<small>* Previous hearing dates where this application was adjourned by the Committee and public notice issued.</small>	
Hearing Date	Reason for Adjournment <small>(to be obtained from NOD_ADJ)</small>
None	None

SCHEDULES	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background



MINOR VARIANCE APPLICATION FILE NUMBER A180/23

CITY WARD #:	3
APPLICANT:	Angelo and Grace Fazio
AGENT:	Square Design Group
PROPERTY:	52 Lindbergh Drive, Woodbridge
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit a shed and swimming pool in the rear yard and increased maximum driveway width.

The following variances are being requested from the City's Zoning By-law to accommodate the above proposal:

The subject lands are zoned RD3 – Rural Residential and subject to the provisions of Exception 9(1291) under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
1	The minimum required rear yard for the accessory building is 7.5m. Section 4.1.1c	To permit a minimum rear yard of 0.61m for the accessory building.
2	The minimum required interior yard for the accessory building is 1.2m. Section 4.1.1c	To permit a minimum interior yard of 0.61m for the accessory building.
3	The minimum required interior yard to the private swimming pool is 1.5m from the west lot line. Section 4.1.1i	To permit a minimum interior yard of 1.23m to the private swimming pool from the west lot line.
4	The portion of the driveway between the street line and the street curb shall not exceed 6.0m in width. Section 4.1.4f iii	To permit a driveway width of 7.4m for the portion of the driveway between the street line and the street curb.

HEARING INFORMATION

DATE OF MEETING: Thursday, February 1, 2024
TIME: 6:00 p.m.
MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive
LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

That the general intent and purpose of the by-law will be maintained.

That the general intent and purpose of the official plan will be maintained.

That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.

That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT

Date Public Notice Mailed:	January 18, 2024
Date Applicant Confirmed Posting of Sign:	January 18, 2024
Applicant Justification for Variances: <small>*As provided in Application Form</small>	Relief from the Zoning By-law is being requested to permit a shed and swimming pool in the rear yard and increased maximum driveway width.
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
COMMENTS:	
None	
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING)

**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING

**See Schedule B for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	None

DEVELOPMENT ENGINEERING

Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation	
The Development Engineering Department does not object to the Minor Variance application A180/22.	
Development Engineering Recommended Conditions of Approval:	None

PARKS, FORESTRY & HORTICULTURE (PFH)

No comments received to date.	
PFH Recommended Conditions of Approval:	None

DEVELOPMENT FINANCE

No comment no concerns.	
Development Finance Recommended Conditions of Approval:	None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

No objection.

BCLPS Recommended Conditions of Approval:

None

BUILDING INSPECTION (SEPTIC)

No comments received to date.

Building Inspection Recommended Conditions of Approval:

None

FIRE DEPARTMENT

No comments received to date.

Fire Department Recommended Conditions of Approval:

None

IMPORTANT INFORMATION

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

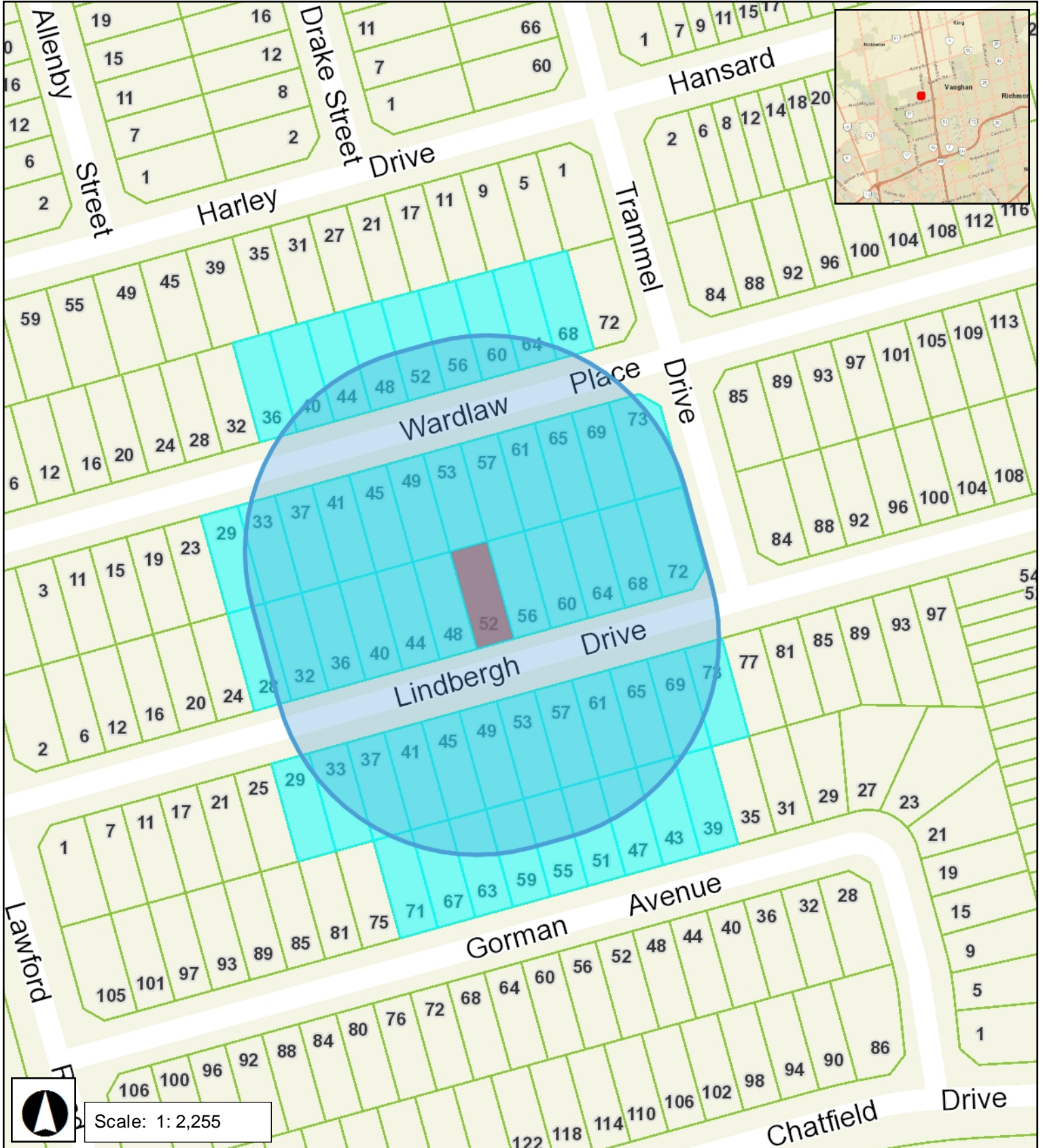
That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS

52 Lindbergh Drive, Woodbridge



PIN 03327-6540

LOT 57
CITY OF VAUGHAN
REGIONAL MUNICIPALITY OF YORK

RECEIVED

By Christine Vigneault at 7:37 am, Jan 02, 2024

SITE STATISTICS

ADDRESS: 52 Lindbergh Drive
Vaughan, ON

- 1. LOT AREA: 389.18m²
- 2. LOT FRONTAGE: 12.20m

GROSS FLOOR AREA

Existing Dwelling: 161.68m²
TOTAL LOT COVERAGE: 161.68m²

LANDSCAPED AREA

FRONT YARD AREA: 82.36m²
Existing Interlock Driveway: 54.92m²
Existing Flagstone Porch & Steps: 6.09m²
TOTAL FRONT YARD HARDSCAPE: 61.01m²

LEFT YARD AREA: 22.31m²
Interlock Walkway: 19.77m²
River Rock: 2.54m²
TOTAL LEFT YARD HARDSCAPE: 22.31m²

RIGHT YARD AREA: 22.55m²
Artificial Turf: 5.78m²
Pool Equipment on Conc. Pad: 2.93m²
River Rock: 13.06m²
TOTAL RIGHT YARD HARDSCAPE: 22.55m²

REAR YARD AREA: 100.22m²
Interlock Steps: 1.49m²
Interlock Patio: 39.96m²
Shed: 2.82m²
Pool: 25.07m²
Pool Coping: 8.73m²
River Rock: 4.41m²
TOTAL REAR YARD HARDSCAPE: 82.48m²

TOTAL HARDSCAPE: 188.35m²

- 0.6m UNDISTURBED AREA
- INTERLOCK/FLAGSTONE
- CONCRETE
- RIVER ROCK
- SOFTSCAPE/PLANT BED
- ARTIFICIAL TURF

GENERAL NOTES

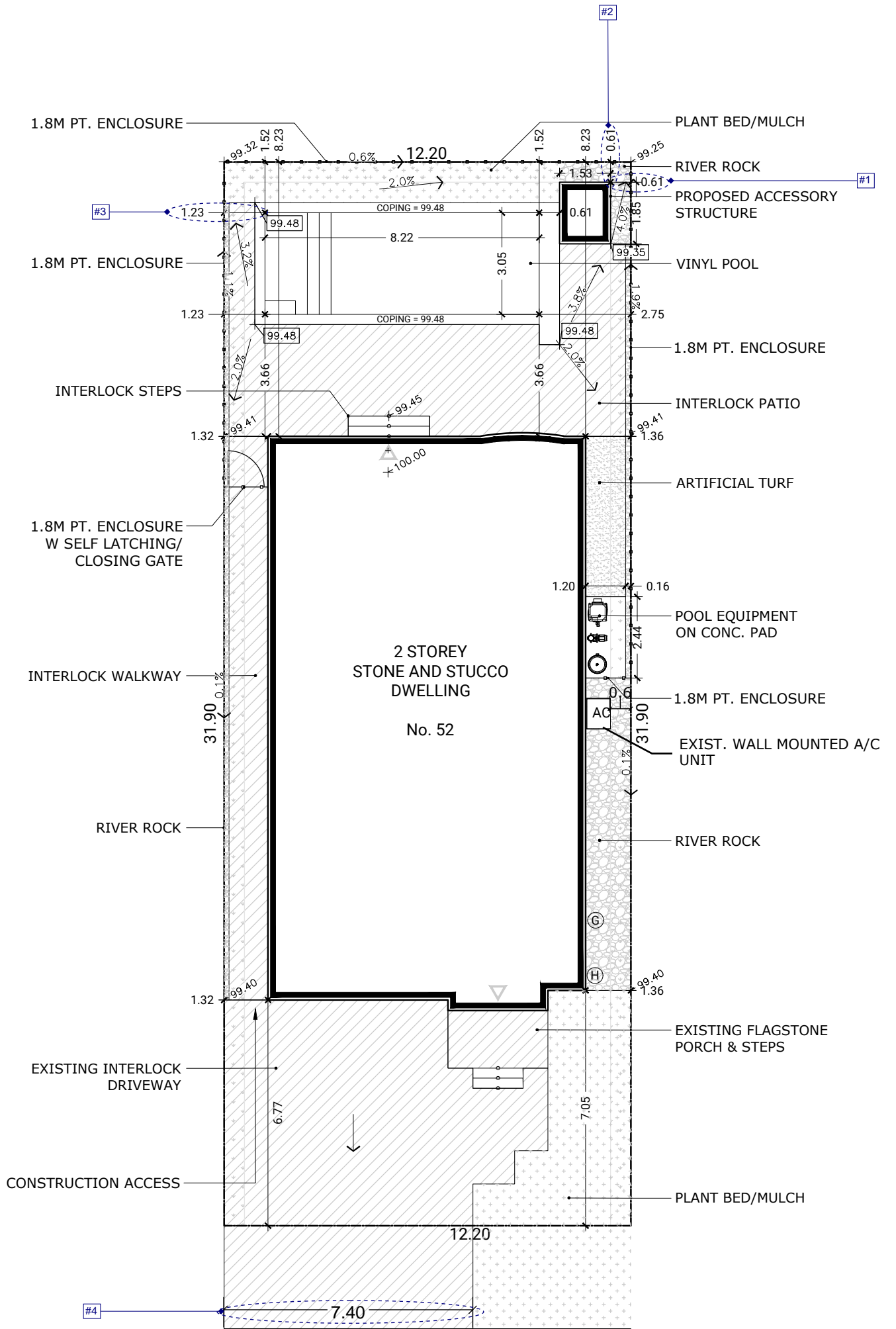
1. Grades and drainage pattern at lot perimeter to remain
2. All existing property lines swales to be undisturbed
3. 0.6m from property line to remain undisturbed
4. All elevations and setbacks are to be confirmed by contractor prior to construction.
5. Existing boundary elevations along the site perimeter shall remain undisturbed. Drainage received from adjacent properties shall be accommodated and drainage from the subject lands shall be self-contained.
6. Pursuant to By-law, all tree within minimum distance of Construction Activity, must be protected using the protection fencing while work is underway.
7. Any damages to municipal services and/or adjacent properties must be restored by this homeowner and/or pool contractor.
8. All proposed swales to be 2% min. to 5% max. with min. depth of 0.15m.
9. Transitional slopes not to exceed 3:1.
10. Boulevard and sidewalk (if applicable) to be restored to original condition or better.
11. All gates to be self-closing and self-latching.
12. Fencing around pool area to be non-climbable. Minimum 1.2m, max 1.8m high. For chain link fences the maximum size of each link is 1 - 1/2".
13. Pool setback to be in accordance of the minimum distance to property line.
14. The Owner is responsible to ensure all construction and grading is in conformity with this approved Site Grading Plan or/ Site Alteration Plan and to the satisfaction of City staff.

STANDARD DRAWING NOTES

- 1.1 Roof drains to discharge at front of dwelling units onto grassed areas via concrete splash pads and not conflict with walkways.
- 1.2 The contractor shall check and verify all given grade elevations prior to commencement of construction. Footings to bear on natural undisturbed soil or rock and to be a minimum of 1.22m below finished grade.
- 1.3 All front and rear yards shall be graded at a 2% -5% grade within 6.0m of the dwelling unit.
- 1.4 Maximum driveway slope shall be 8%.
- 1.5 The maximum, allowable slope is 3:1 (horizontal to vertical) with a maximum elevation difference of 600mm.
- 1.6 Driveways to be set back a minimum of 1.0m, from above ground services or other obstruction.

LEGEND

- EXISTING GRADES
- PROPOSED GRADES
- EXIT
- PROPERTY LINE
- WALL
- FENCE
- SWALE
- DRAINAGE PATTERN
- GATE
- DOWNSPOUT
- GAS
- HYDRO
- IRRIGATION PANEL
- WATER
- AC UNIT
- WATER BOX
- PEDESTAL
- TREE HOARDING
- EXISTING TREES



LINDBERGH DRIVE

NOTE
This plan is a graphic representation of the design intent until reviewed and confirmed by the contractor prior to the commencement of construction. Material palettes are subject to change base on availability and condition. All dimensions and grades are to be reviewed and confirmed by the contractor prior to construction.



PROJECT
52 LINDBERGH DRIVE
VAUGHAN, ON

DRAWING
SITE GRADING
PLAN

DATE
November 15, 2023

DESIGNER
P.R. | PM
A.F.

PLAN NORTH
SCALE
1:150

REVISION
C | SHEET
SG1

**SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS &
DEVELOPMENT PLANNING**

Department / Agency <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
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Forestry	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Fire	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
BCLPS	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

Date: November 15th 2023

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A180-23**

Related Files:

Applicant Square Design Group

Location 52 Lindbergh Drive

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream(Construction Standard 03-1, 03-4, 03-9), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Stephen Cranley, C.E.T

Mitchell Penner

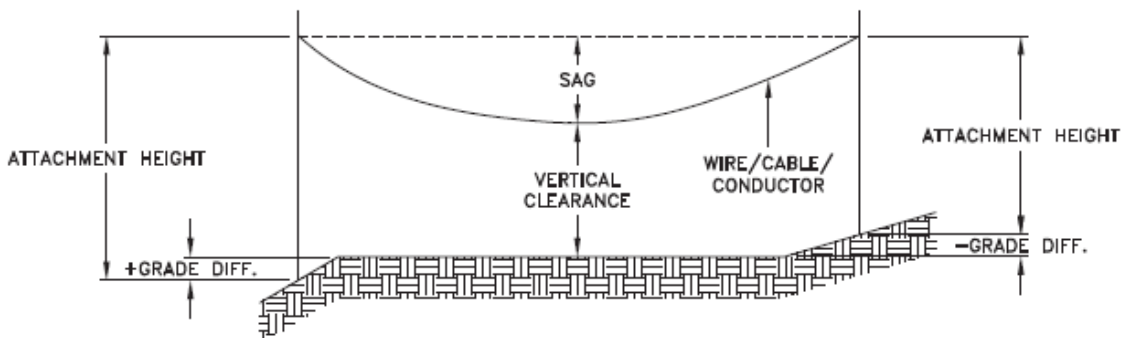
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

E-mail: stephen.cranley@alecrautilities.com

Email: Mitchell.Penner@alecrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
	MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)			
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO VEHICLES	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO PEDESTRIANS AND BICYCLES ONLY	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT RAILWAY CROSSINGS	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

REFERENCES

SAGS AND TENSIONS | SECTION 02

Certificate of Approval

This construction Standard meets the safety requirements of Section 4 of Regulation 22/04

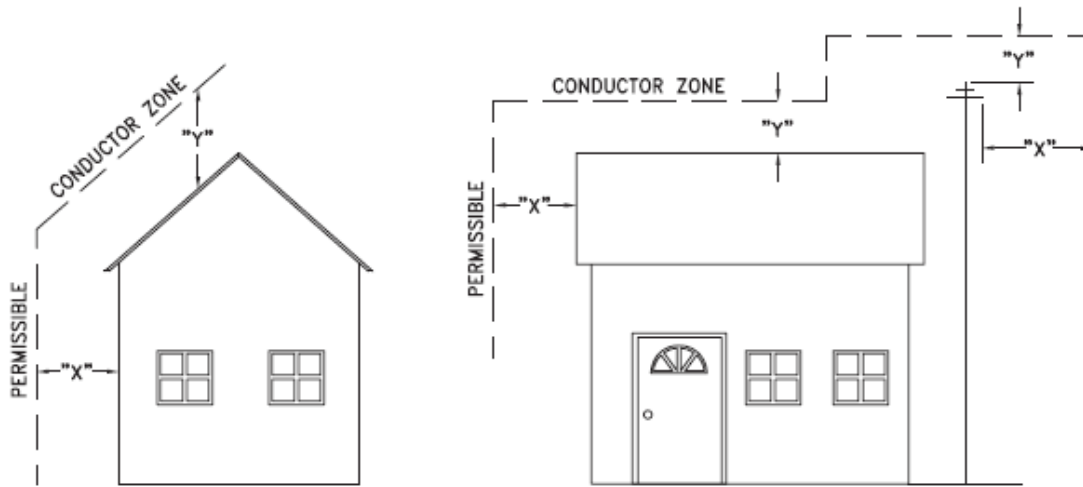
Joe Crozier, P.Eng. 2012-JAN-09

Name Date

P.Eng. Approval By: Joe Crozier

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09



VOLTAGE	MINIMUM HORIZONTAL CLEARNACE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

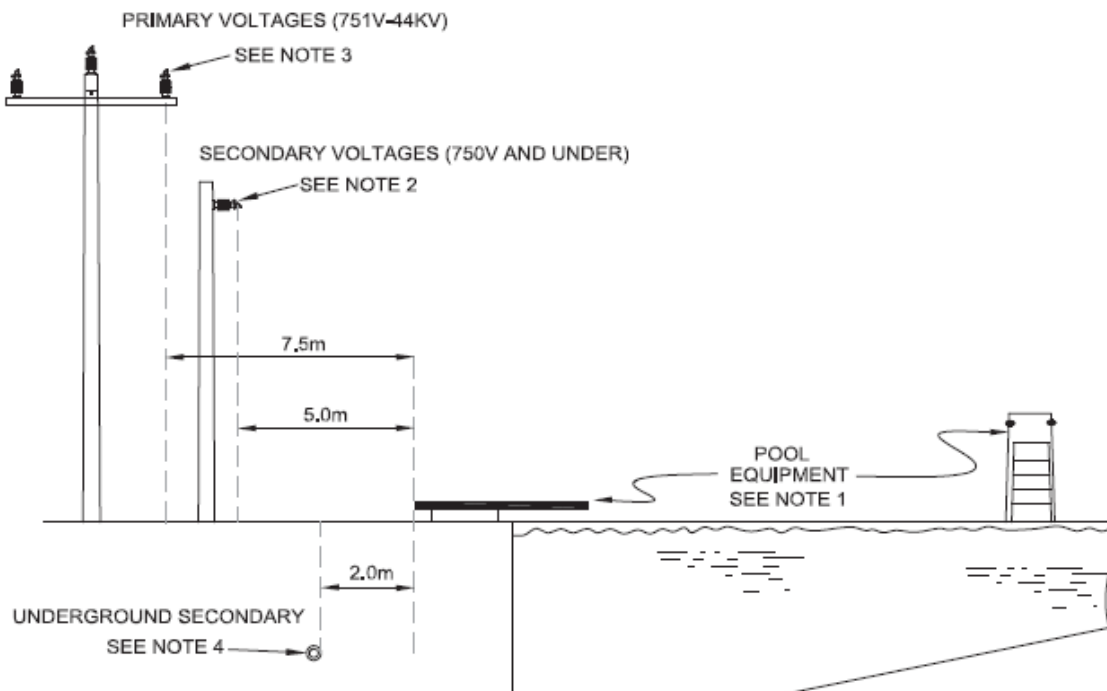
1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P.Eng. Approval By: D. Dadwani

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working folder\Section 23-4\DWG 03-4 R0 May 5, 2010.dwg, 5/5/2010 9:22:02 AM, Adobe PDF



NOTES:

1. ANY STRUCTURE WITHIN 5.0 METRES OF POOL EDGE SHALL BE CONSIDERED PART OF THE POOL.
2. THERE SHALL NOT BE ANY OVERHEAD SECONDARY OR COMMUNICATION WIRING (750V OR LESS) ABOVE THE POOL, AND ABOVE OTHER ELEVATED SURFACES ASSOCIATED WITH THE POOL, INCLUDING BUT NOT RESTRICTED TO A DIVING STRUCTURE, SLIDE, SWINGS, OBSERVATION STAND, TOWER OR PLATFORM, OR ABOVE THE ADJACENT AREA EXTENDING 5.0M HORIZONTALLY FROM THE POOL EDGE.
3. THERE SHALL NOT BE ANY OVERHEAD PRIMARY WIRING (751V - 44KV) ABOVE THE POOL AND OTHER ELEVATED SURFACES ASSOCIATED WITH THE POOL, OR ABOVE THE ADJACENT AREA EXTENDING 7.5M HORIZONTALLY FROM THE POOL EDGE.
4. ANY UNDERGROUND CONDUCTORS SHALL BE 2.0M AWAY FROM POOL EDGE IN DUCT WITH NON-CONDUCTING JACKET. FOR DEPTH AND DUCT DETAILS REFER TO FIGURE 3 IN 25-100 FOR 200A SERVICE AND 25-101 FOR 400A SERVICE RESPECTIVELY, AS PER POWERSTREAM SERVICE DESIGN SPECIFICATIONS.
5. THESE DIMENSIONS APPLY TO ALL SIDES OF THE POOL.

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX.)
7.5m	24'-6"
5.0m	16'-3"
2.0m	6'-6"

REFERENCES

FIGURE 3, 25-100	SECTION 25
FIGURE 3, 25-101	SECTION 25

Certificate of Approval

This construction Standard meets the safety requirements of Section 4 of Regulation 22/04

Joe Crozier, P.Eng.	2013-JUN-12
Name	Date
P.Eng. Approval By:	Joe Crozier

MINIMUM CLEARANCES FOR CONDUCTORS ADJACENT TO SWIMMING POOLS

ORIGINAL ISSUE DATE: 2013-JUNE-12 REVISION NO: R0 REVISION DATE:

To: Committee of Adjustment
From: Bernd Paessler, Building Standards Department
Date: December 13, 2023
Applicant: Square Design Group
Location: 52 Lindbergh Drive
 PLAN 65M4145 Lot 57
File No.(s): A180/23

Zoning Classification:

The subject lands are zoned RD3 – Rural Residential and subject to the provisions of Exception 9(1291) under Zoning By-law 1-88, as amended.

Zoning By-law 1-88		Variance requested
1	The minimum required rear yard for the accessory building is 7.5m. Section 4.1.1c	To permit a minimum rear yard of 0.61m for the accessory building.
2	The minimum required interior yard for the accessory building is 1.2m. Section 4.1.1c	To permit a minimum interior yard of 0.61m for the accessory building.
3	The minimum required interior yard to the private swimming pool is 1.5m from the west lot line. Section 4.1.1i	To permit a minimum interior yard of 1.23m to the private swimming pool from the west lot line.
4	The portion of the driveway between the street line and the street curb shall not exceed 6.0m in width. Section 4.1.4f iii	To permit a driveway width of 7.4m for the portion of the driveway between the street line and the street curb.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m²

Other Comments:

General Comments	
1	The application has been determined to be transitioned under section 1.6.2.6. of bylaw 001-2021 as amended.
2	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
3	Height shall be measured in accordance with the definitions in Section 2.0 DEFINITIONS of By-law 1-88, as amended.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development Planning
Date: January 19, 2024
Name of Owners: Angelo and Grace Fazio
Location: 52 Lindbergh Drive
File No.(s): A180/23

Proposed Variance(s) (By-law 1-88):

1. To permit a minimum rear yard of 0.61 m for the accessory building.
2. To permit a minimum interior yard of 0.61 m for the accessory building.
3. To permit a minimum interior yard of 1.23 m to the private swimming pool from the west lot line.
4. To permit a driveway width of 7.4 m for the portion of the driveway between the street line and the street curb.

By-Law Requirement(s) (By-law 1-88):

1. The minimum required rear yard for the accessory building is 7.5 m.
2. The minimum required interior yard for the accessory building is 1.2 m.
3. The minimum required interior yard to the private swimming pool is 1.5 m from the west lot line.
4. The portion of the driveway between the street line and the street curb shall not exceed 6.0 m in width.

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Comments:

The Owners are requesting relief to permit the existing pool, shed and driveway, with the above-noted variances.

The Development Planning Department has no objection to Variances 1 and 2 for the rear and interior side yard setbacks for the shed. The shed complies with the height provisions of the Zoning By-law. Due to its modest height and size, the shed is not anticipated to pose adverse massing impacts to the neighbouring properties, and it provides an appropriate amount of spatial separation for maintenance access. The Development Engineering Department has also reviewed the proposal and is satisfied that drainage in the rear yard will be maintained.

The Development Planning Department has no objection to Variance 3 for the pool as the reduction to the interior side yard setback is minor in nature and not anticipated to be perceptible. The pool also complies with the rear yard setback requirements in the Zoning By-law and maintains an appropriate area for safe access and maintenance.

The Development Planning Department has no objection to Variance 4 for the driveway width between the street line and curb. The 7.74 m driveway width extends to the western interior side lot line and connects to the walkway that provides access to the rear yard. The 1.74 m increase in maximum driveway width is minor in nature and will not have adverse impacts to the existing streetscape.

Accordingly, the Development Planning Department can support the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None

Comments Prepared by:

Joshua Cipolletta, Planner
David Harding, Senior Planner

Prabhdeep Kaur

From: Kristen Regier <Kristen.Regier@trca.ca>
Sent: Friday, December 15, 2023 11:10 AM
To: Committee of Adjustment
Subject: [External] RE: A180/23 (52 LINDBERG DRIVE) - REQUEST FOR COMMENTS

Hello,

The subject property at 52 Lindberg Drive, Vaughan is not located within TRCA's Regulated Area. TRCA's Planning and Regulatory policy interests are not impacted.

As such, TRCA has no comments on the application.

Best,

Kristen Regier, MA (she / her)
Planner
Development Planning and Permits | Development and Engineering Services
Toronto and Region Conservation Authority (TRCA)

T: [437-880-2129](tel:437-880-2129)
E: kristen.regier@trca.ca
A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6 | trca.ca](https://www.trca.ca)



From: [Hurst, Gabrielle](#)
To: [Committee of Adjustment](#)
Subject: [External] FW: A180/23 (52 LINDBERG DRIVE) - REQUEST FOR COMMENTS
Date: Monday, December 18, 2023 2:06:05 PM

Good afternoon Pravina,
The Regional Municipality of York has completed its review of the above minor variance and has no comment.
Thank you

Gabrielle

Gabrielle Hurst MCIP, RPP | Associate Planner, Planning and Economic Development Branch | The Regional Municipality of York | 1-877 464 9675 ext 71538 | gabrielle.hurst@york.ca | www.york.ca

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

None

SCHEDULE D: BACKGROUND

None