

ITEM: 6.1	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A022/22
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Report Date: January 26, 2024

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Engineering	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions
Development Planning	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review
Forestry	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)				
<p>All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.</p>				
Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
Public	Lucy DeMichele	36 Muzich Place	01/22/2024	Letter of support

BACKGROUND (SCHEDULE D, IF REQUIRED)	
<p>* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.</p>	
Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
None	None

ADJOURNMENT HISTORY	
<p>* Previous hearing dates where this application was adjourned by the Committee and public notice issued.</p>	
Hearing Date	Reason for Adjournment (to be obtained from NOD_ADJ)
None	None

SCHEDULES	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background



MINOR VARIANCE APPLICATION FILE NUMBER A022/22

CITY WARD #: 6.1	3
APPLICANT:	Josephine Grossi
AGENT:	Humphries Planning Group Inc.
PROPERTY:	42 Muzich Place, Woodbridge
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential".
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit the construction of a proposed covered deck, increased driveway width and reduced landscaping requirements in the front and rear yard.

The following variances are being requested from the City's Zoning By-law to accommodate the above proposal:

The subject lands are zoned R1A(EN) and subject to the provisions of Exception 14.588 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	A minimum rear yard setback of 7.5 metres is required. [Table 7-3]	To permit a minimum rear yard setback of 1.35 metres.
2	A minimum interior side yard setback of 1.5 metres is required. [Table 7-3]	To permit a minimum rear yard setback of 0.25 metres.
3	A maximum lot coverage of 40% is permitted. [Table 7-3]	To permit a maximum lot coverage of 42.88%.
4	A maximum driveway width of 9.0 metre is permitted. [Table 6-11]	To permit a maximum driveway width of 10.62 metres.
5	Where lot frontage is 12.0 m or greater, the minimum front yard landscape requirement shall be 50%, of which 60% shall be soft landscaping. [Section 4.19.1]	To permit a minimum front yard landscape requirement of 47%, of which 60% shall be soft landscaping,
6	The portion of the rear yard in excess of 135.0 m ² shall be comprised of a minimum 60% soft landscape.	To permit the portion of the rear yard in excess of 135m ² to be comprised of a minimum of 54% (12.4sq.m) of soft landscape.

HEARING INFORMATION

DATE OF MEETING: Thursday, February 1, 2024

TIME: 6:00 p.m.

MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive

LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

HEARING INFORMATION

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT

Date Public Notice Mailed:	January 18, 2024
Date Applicant Confirmed Posting of Sign:	January 16, 2024
Applicant Justification for Variances: <small>*As provided in Application Form</small>	Relief from the Zoning By-law is being requested to permit the construction of a proposed covered deck, increased driveway width and reduced landscaping requirements in the front and rear yard.
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

COMMENTS:

On January 15, 2024, Development Planning provided the following:

We have concerns with the existing covered deck as currently shown. My main concern is with the reduced interior side yard setback as the proximity creates adverse massing impacts to the neighboring property. The reduced setback also makes additional screening on the subject property impossible, as we cannot solely rely on screening provided on the neighbor's property. My recommendation would be to cut back the interior side of the structure to comply with the By-law, as I do not believe it to be appropriate for a covered deck to go far beyond the side wall of the dwelling. If the owner is agreeable to making this adjustment, please provide a revised Site Plan and I can confirm if our concerns have been addressed. If you would like to proceed with the application as is, I would not be in a position to support the requested variance for the reduced interior side yard setback.

Development Planning has no concerns with the variances for reduced landscaping and increased garage width.

Please also see the attached comments from Urban Design which outlines similar concerns. UD has also requested a letter from a registered arborist to confirm if there is any impact on the surrounding trees (both rear and interior side). If there is impact to the interior side trees than a consent letter will be needed as well. Please provide the letter as soon as possible as we would like to review prior to the meeting date. If you do not believe it can be provided by that time, I would recommend an adjournment to the next committee meeting date.

On January 16, 2024, Development Planning provided the following:

We have confirmed with Urban Design that they are ok with the Arborist letter (and consent letter if required) being included as conditions of approval. However, we do want to note that if Committee does approve the Application, and the Arborist subsequently determines that there is an impact to the trees caused by the structure, then the Approval would not take effect until the consent letter is provided to

COMMITTEE OF ADJUSTMENT

clear the conditions. we wanted to note this as there is a possible risk if the neighbor decides not to provide consent for the impact to their trees.

If the Applicant has no concerns with this risk than we can proceed to the February 1st meeting with the inclusion of the conditions of approval.

On January 23, 2024, Development Planning provided the following:

Thank you for providing the Consent Letter, we always appreciate reaching out to the neighbors for their opinion. However, after further discussion, I maintain my previous opinion that the covered porch at this proposed interior side yard setback creates adverse impacts and is not minor in nature. I still have concerns when considering the long-term desirability of the structure as that is an important factor in my review. I also believe that increasing the setback distance to match the exterior wall of the existing dwelling would be a noticeable improvement.

I also wanted to let you know that Development Planning will be recommending refusal of both Variances 2 and 3. We have discussed Variance 2 in detail, but our refusal of Variance 3 would be a matter of not being able to support the lot coverage in the configuration as shown. Development Planning isn't opposed to a 42.88% lot coverage in principle, however, since approvals are tied to the plans provided, we cannot provide support for the lot coverage increase for the current configuration of the covered deck. Development Planning has no concerns with the remainder of the variances.

Applicant to submit required Adjournment Fee to accommodate rescheduling of application from the February 1, 2024, Committee of Adjustment hearing, if required.

Committee of Adjustment Recommended Conditions of Approval:	None
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BUILDING STANDARDS (ZONING)

**See Schedule B for Building Standards (Zoning) Comments

Building Standards Recommended Conditions of Approval:	None
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DEVELOPMENT PLANNING

**See Schedule B for Development Planning Comments.

Development Planning Recommended Conditions of Approval:	TBD
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DEVELOPMENT ENGINEERING

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

As the proposed dwelling/ structure/ cabana in the subject property is 47.89 m2, the Owner/ Applicant needs to obtain a 'Lot Grading Permit' from the Development Inspection and Lot Grading Division of the City's Development Engineering Department. Please note any in-ground structure over 10 m2 requires a 'Grading Permit'. Please contact the Development Engineering Reviewer after receiving the Grading Permit to clear the condition. (Condition attached) The proposed work by the Owner/Applicant is increasing the lot coverage on the subject property. The added hardscape may have impacts on the City's Storm Water management system. Development Engineering strongly encourages the Owner / Applicant introduce Low-Impact Development (LID) measures (e.g., bioswales, permeable pavers, rain gardens, rain barrels etc.) to reduce the impacts to the stormwater system. Should further information be required, please contact the Development Engineering COA reviewer.

Development Engineering Recommended Conditions of Approval:	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: Permits City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca
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PARKS, FORESTRY & HORTICULTURE (PFH)

No comments.

PFH Recommended Conditions of Approval:	None
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DEVELOPMENT FINANCE

No comment no concerns

Development Finance Recommended Conditions of Approval:	None
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BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

No comments received to date.

BCLPS Recommended Conditions of Approval:	None
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BUILDING INSPECTION (SEPTIC)

No comments received to date.

Building Inspection Recommended Conditions of Approval:	None
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FIRE DEPARTMENT

No comments received to date.

Fire Department Recommended Conditions of Approval:	None
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RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
1	Development Engineering Jonal.hall@vaughan.ca	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: Permits City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

IMPORTANT INFORMATION

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

IMPORTANT INFORMATION

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

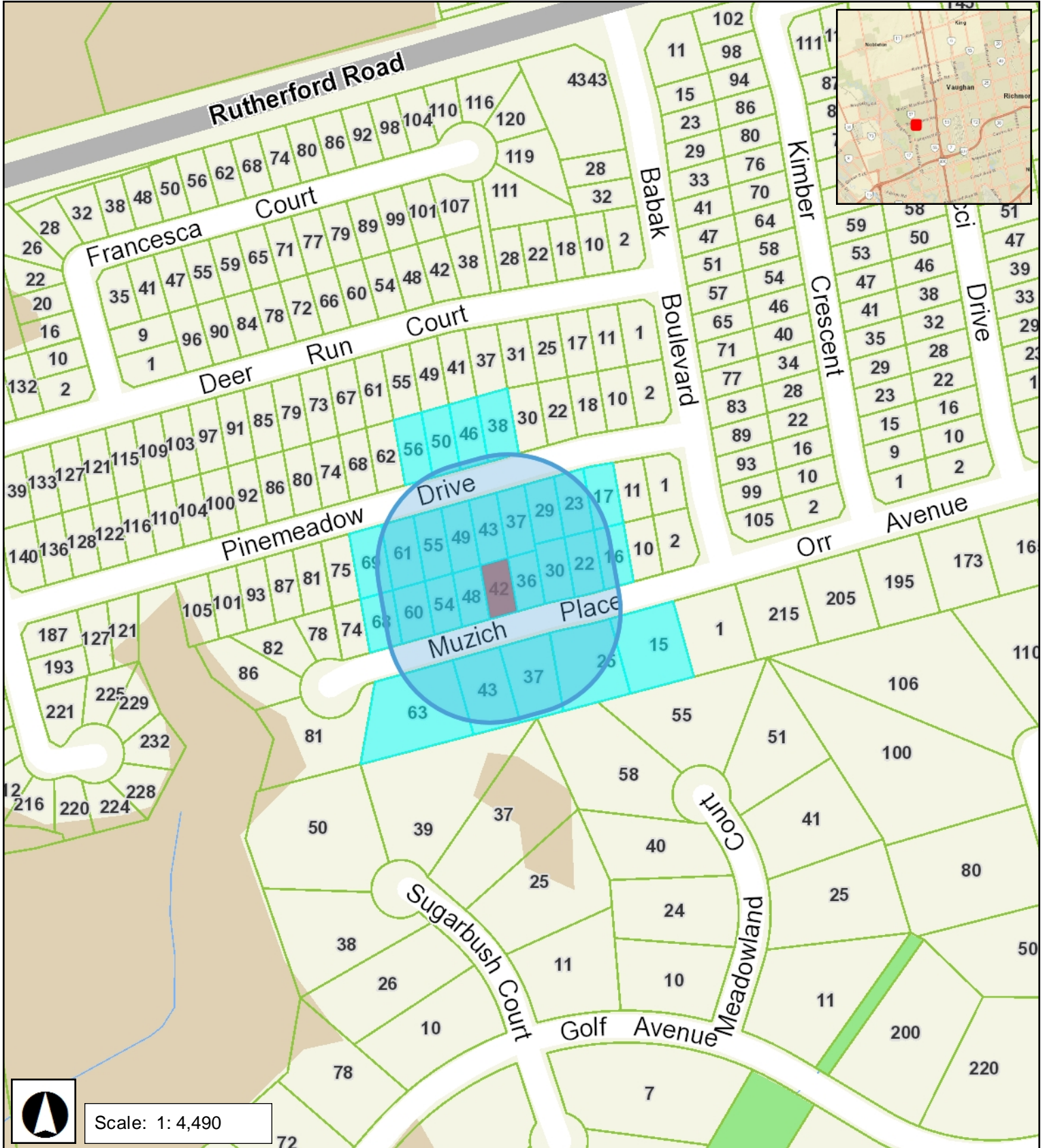
That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS

42 Muzich Place, Woodbridge

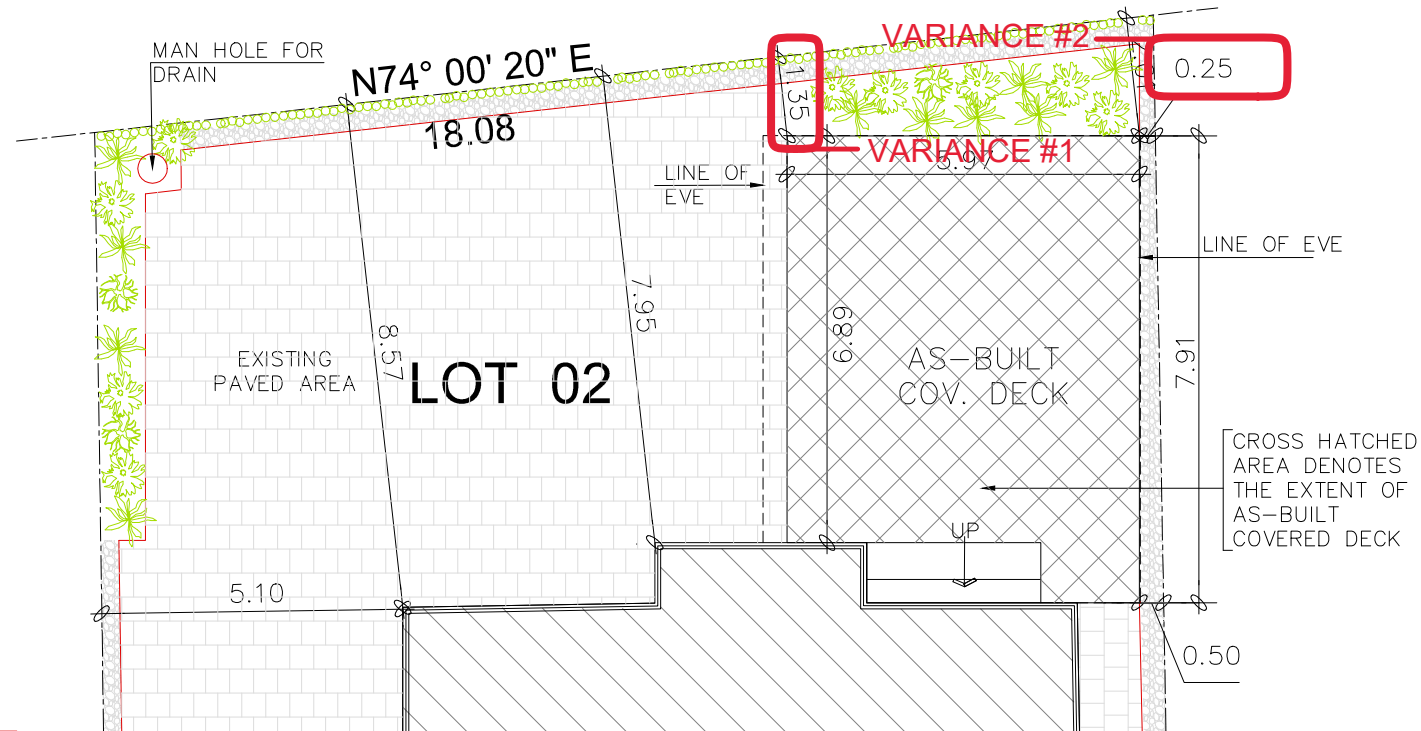
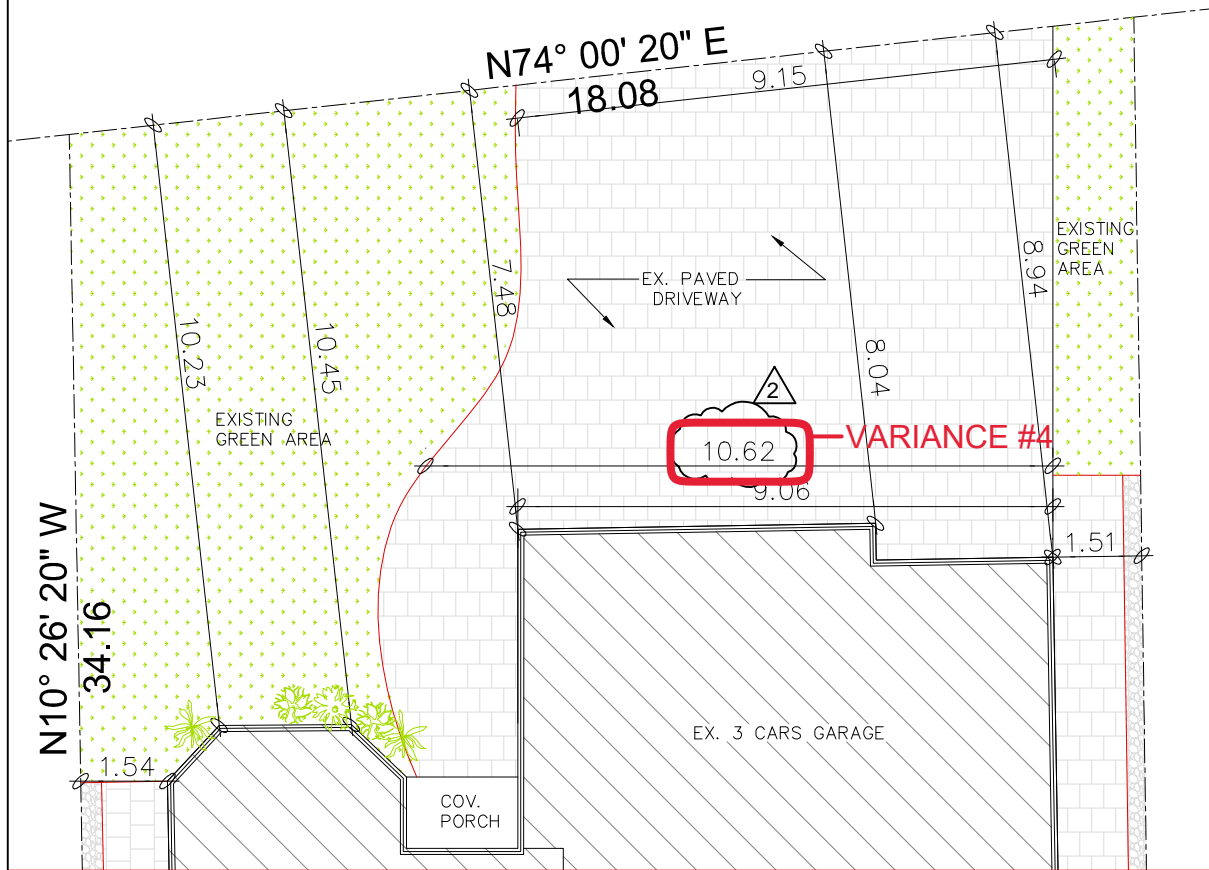


Scale: 1: 4,490

RECEIVED

By Christine Vigneault at 4:31 pm, Jan 08, 2024

MUZICH PLACE



EXISTING FRONT YARD CALCULATIONS:

TOTAL FRONT YARD AREA = 169.0 SQ.M
 HARD LANDSCAPE AREA = 88.30 SQ.M
 (PAVED AREA)
 SOFT LANDSCAPE AREA = 80.70 SQ.M
 % OF SOFT LANDSCAPE = **40%** — VARIANCE #5

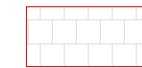


LEGEND:

-  PAVEMENT
-  SOFT LANDSCAPE

EXISTING REAR YARD CALCULATIONS:

TOTAL REAR YARD AREA = 158.0 SQ.M
 HARD LANDSCAPE AREA:
 PAVED AREA = 97.67 SQ.M
 COVERED DECK AREA = 47.89 SQ.M
 TOTAL HARD LANDSCAPE AREA = 145.56 SQ.M
 SOFT LANDSCAPE AREA = **12.4 SQ.M** — VARIANCE #6
 % OF SOFT LANDSCAPE = 7.8%

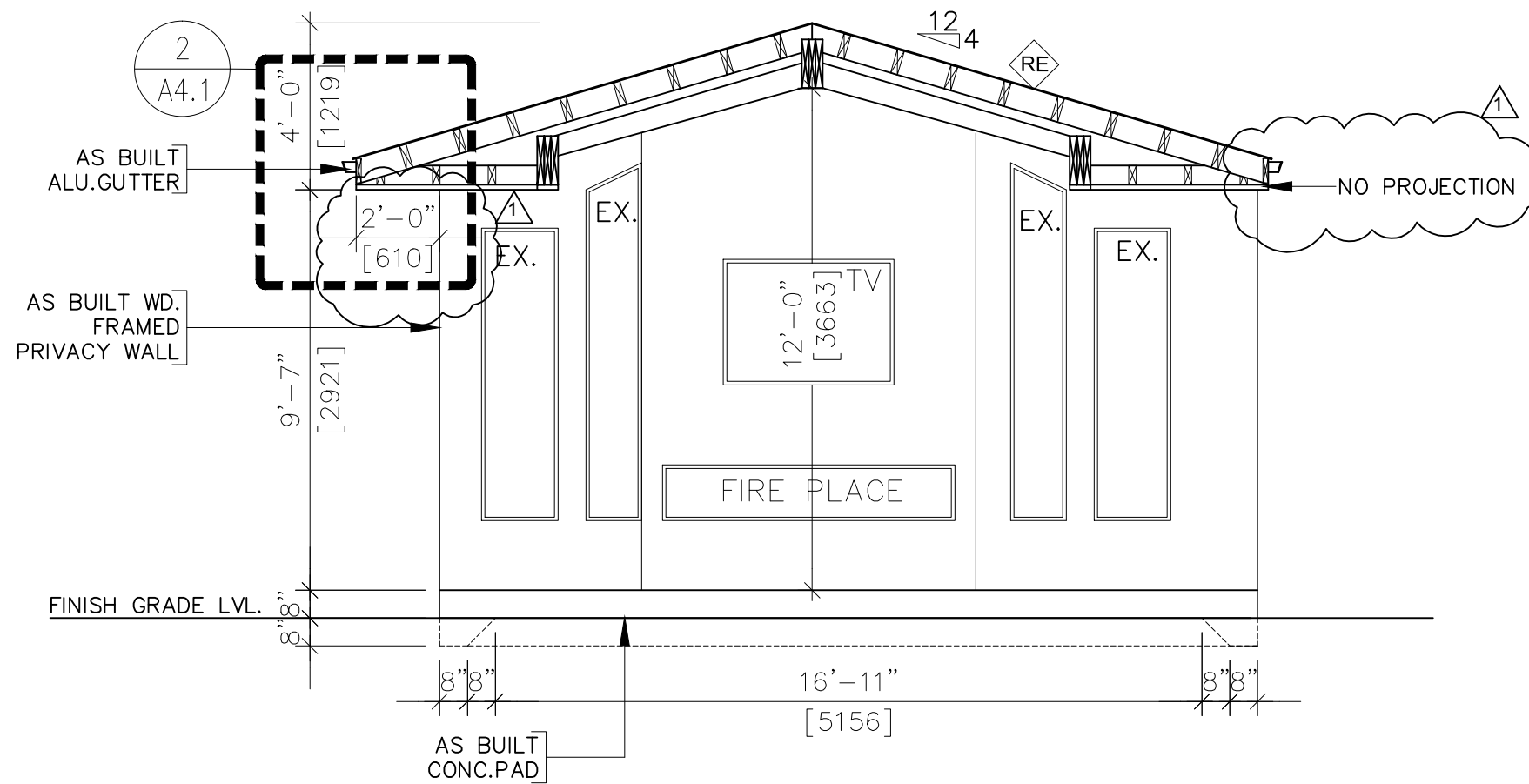
LEGEND:

-  PAVEMENT
-  COVERED DECK
-  SOFT LANDSCAPE

Sheet title: CALCULATION OF LANDSCAPE		Checked By:	Date:	Dwg. no.
Revisions	Drawn By:	Scale:	AS NOTED	TRUE NORTH
1	2-10-2023	AS NOTED	25.08.2021	A1.1
2	08-12-2023			REV. NO. -

Project:
 AS BUILT COVERED DECK
 EXTENSION FOR 2 STOREY
 BUNGALOW AT
 42 MUZICH PLACE
 WOODBRIDGE, ON. L4L 9C5.

Owners:



1 SECTION DETAIL
 A4.0 SCALE= 1/4"=1'-0"

Sheet title: SECTION DETAIL		Checked By:
Revisions	Drawn By: SF	Date: 25.08.2021
1 08-12-2023	Scale: AS NOTED	Dwg. no.
△		A4.0
△		REV. NO: -
△		
△		
Project AS BUILT COVERED DECK EXTENSION FOR 2 STOREY BUNGALOW AT 42 MUZICH PLACE WOODBIDGE, ON. L4L 9C5.		
Owners:		



**SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS &
DEVELOPMENT PLANNING**

Department / Agency <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

Date: December 15th 2023

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A022-22**

Related Files:

Applicant Brandon & Sonia Alexis Johnson

Location 42 Muzich Place



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

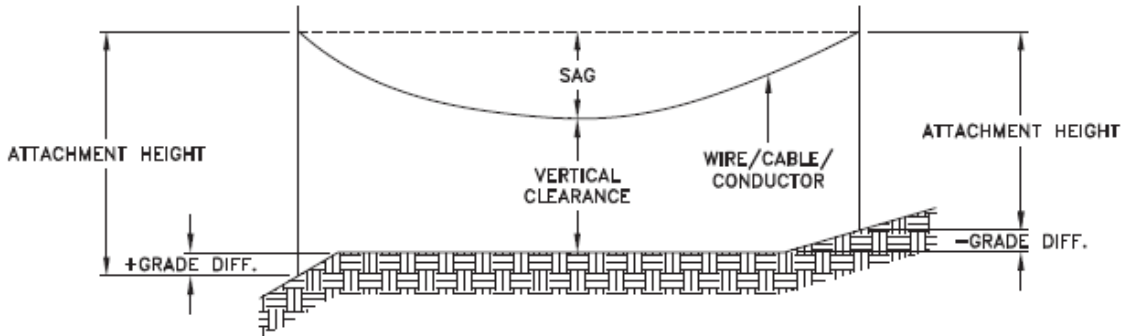
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

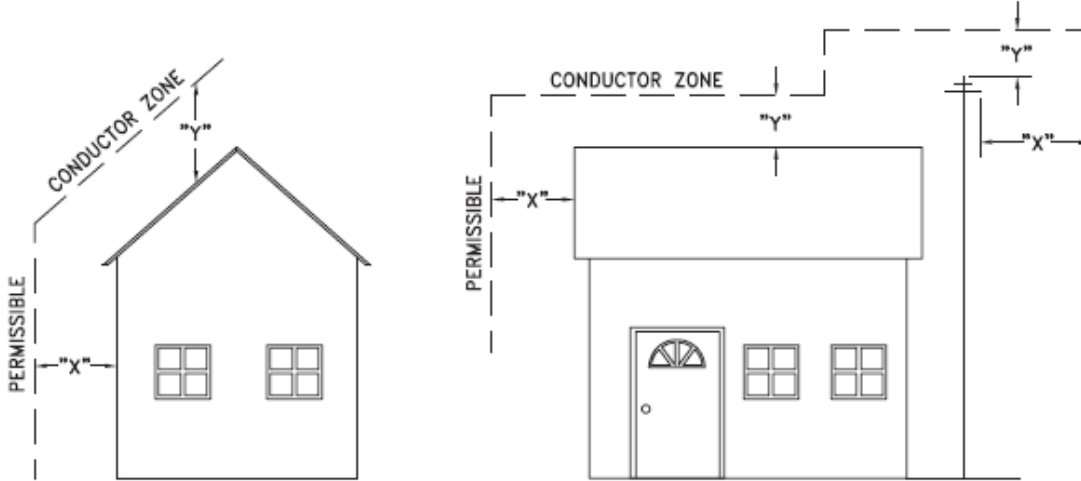
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

To: Committee of Adjustment
From: Sarah Scauzillo, Building Standards Department
Date: December 12, 2023
Applicant: Brandon & Sonia Alexis Johnson
Location: 42 Muzich Place
 PLAN 65M3109 Lot 2
File No.(s): A022/22

Zoning Classification:

The subject lands are zoned R1A(EN) and subject to the provisions of Exception 14.588 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	A minimum rear yard setback of 7.5 metres is required. [Table 7-3]	To permit a minimum rear yard setback of 1.35 metres.
2	A minimum interior side yard setback of 1.5 metres is required. [Table 7-3]	To permit a minimum rear yard setback of 0.25 metres.
3	A maximum lot coverage of 40% is permitted. [Table 7-3]	To permit a maximum lot coverage of 42.88%.
4	A maximum driveway width of 9.0 metre is permitted. [Table 6-11]	To permit a maximum driveway width of 10.62 metres.
5	Where lot frontage is 12.0 m or greater, the minimum front yard landscape requirement shall be 50%, of which 60% shall be soft landscaping. [Section 4.19.1]	To permit a minimum front yard landscape requirement of 47%, of which 60% shall be soft landscaping,
6	The portion of the rear yard in excess of 135.0 m ² shall be comprised of a minimum 60% soft landscape.	To permit the portion of the rear yard in excess of 135m ² to be comprised of a minimum of 54% (12.4sq.m) of soft landscape.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

Order No. 21-131839, Order to Comply for , Issue Date: Nov 17, 2021

Building Permit(s) Issued:

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m²

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

Prabhdeep Kaur

From: Kristen Regier <Kristen.Regier@trca.ca>
Sent: Friday, December 15, 2023 11:12 AM
To: Committee of Adjustment
Subject: [External] FW: A022/22 (42 MUZICH PLACE) - REQUEST FOR COMMENTS

Please see below.

Kristen Regier, MA (she / her)

Planner

Development Planning and Permits | Development and Engineering Services
Toronto and Region Conservation Authority (TRCA)

T: [437-880-2129](tel:437-880-2129)

E: kristen.regier@trca.ca

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca) | [trca.ca](https://www.trca.ca)



From: Kristen Regier
Sent: Friday, December 15, 2023 11:11 AM
To: 'Pravina Attwala' <Pravina.Attwala@vaughan.ca>
Subject: RE: A022/22 (42 MUZICH PLACE) - REQUEST FOR COMMENTS

Hello,

The subject property at 42 Muzich Place, Vaughan is not located within TRCA's Regulated Area. TRCA's Planning and Regulatory policy interests are not impacted.

As such, TRCA has no comments on the application.

Best,

Kristen Regier, MA (she / her)

Planner

Development Planning and Permits | Development and Engineering Services
Toronto and Region Conservation Authority (TRCA)

T: [437-880-2129](tel:437-880-2129)

E: kristen.regier@trca.ca

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca) | [trca.ca](https://www.trca.ca)



Prabhdeep Kaur

From: Hurst, Gabrielle <Gabrielle.Hurst@york.ca>
Sent: Wednesday, December 20, 2023 3:17 PM
To: Pravina Attwala
Cc: Committee of Adjustment
Subject: [External] RE: A022/22 (42 MUZICH PLACE) - REQUEST FOR COMMENTS

Good afternoon Pravina,
The Regional Municipality of York has completed its review of the above minor variance and has no comment.
Regards,

Gabrielle

Gabrielle Hurst MCIP, RPP | Associate Planner, Planning and Economic Development Branch | The Regional Municipality of York | 1-877 464 9675 ext 71538 | gabrielle.hurst@york.ca | www.york.ca

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
Public	Lucy DeMichele	36 Muzich Place	01/22/2024	Letter of support

City of Vaughan
2141 Major Mackenzie Drive
Vaughan, ON
L6A 1T1

RECEIVED

By Christine Vigneault at 4:42 pm, Jan 22, 2024

Attn: Christine Vigneault, Secretary Treasurer to the Committee of Adjustment

Re: Minor Variance Application (File No. A022/22)
42 Muzich Plan, City of Vaughan

Dear Madam,

I/We have reviewed the comments provided by City of Vaughan Planning and Urban Design Staff respecting the above noted Minor Variance Application (A022/22) to legally establish the existing covered patio as well as to address other associated zoning related deficiencies. I/We respectfully disagree with Staff's assessment of the application and perceived impacts. The covered patio was constructed in 2021 and has not impacted privacy in my/our side yard. Further, the existing structure has not created an undesirable visual impact from a massing or height perspective nor has it impacted existing bordering hedge trees and their associated root system. We support the requested variances and have no objection to this application.

Thank You,

Lucy DeMichele

Name (Please Print)



Signature

36 Muzich Pl.

Address

Jan. 17/24

Date

SCHEDULE D: BACKGROUND

None