

<b>ITEM: 6.3</b>	<b>REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A160/23</b>
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Report Date: Friday, January 26, 2024

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING  
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review
Development Engineering	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Forestry	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Fire	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

<b>PUBLIC &amp; APPLICANT CORRESPONDENCE (SEE SCHEDULE C)</b>				
<p>All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.</p>				
Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
Applicant		7611 Pine Valley Drive	10/03/2023	Cover Letter
Applicant		7611 Pine Valley Drive	11/10/2023	Planning Justification Report

<b>BACKGROUND (SCHEDULE D, IF REQUIRED)</b>	
<p>* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.</p>	
Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
A072/21	APPROVED COA

<b>ADJOURNMENT HISTORY</b>	
<p>* Previous hearing dates where this application was adjourned by the Committee and public notice issued.</p>	
Hearing Date	Reason for Adjournment (to be obtained from NOD_ADJ)
None	None

<b>SCHEDULES</b>	
<b>Schedule A</b>	Drawings & Plans Submitted with the Application
<b>Schedule B</b>	Comments from Agencies, Building Standards & Development Planning
<b>Schedule C (if required)</b>	Public & Applicant Correspondence
<b>Schedule D (if required)</b>	Background



## MINOR VARIANCE APPLICATION FILE NUMBER A160/23

<b>CITY WARD #:</b>	3
<b>APPLICANT:</b>	International Missionary Society (Morris Lowe)
<b>AGENT:</b>	International Missionary Society (Han Beom Song)
<b>PROPERTY:</b>	7611 Pine Valley Dr Bldg A, Vaughan
<b>ZONING DESIGNATION:</b>	See below.
<b>VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:</b>	Vaughan Official Plan 2010 ('VOP 2010'): "Mid-Rise Mixed-Use"
<b>RELATED DEVELOPMENT APPLICATIONS:</b>	None
<b>PURPOSE OF APPLICATION:</b>	Relief from the Zoning By-law is being requested to permit a Place of Worship within a multi-unit building The Place of Worship will be located in Unit 9.

The following variances are being requested from the City's Zoning By-law to accommodate the above proposal:

**The subject lands are zoned GMU – General Mixed-Use Zone and subject to the provisions of Exception 14.553 under Zoning By-law 001-2021, as amended.**

#	Zoning By-law 01-2021	Variance requested
1	A Place of Worship is not permitted within a multi-unit building [Section 3.0, definition of Place of Worship].	To permit a Place of Worship within a multi-unit building (Unit 9).

### HEARING INFORMATION

**DATE OF MEETING:** Thursday, February 1, 2024  
**TIME:** 6:00 p.m.  
**MEETING LOCATION:** Vaughan City Hall, Woodbridge Room (2<sup>nd</sup> Floor), 2141 Major Mackenzie Drive  
**LIVE STREAM LINK:** [Vaughan.ca/LiveCouncil](http://Vaughan.ca/LiveCouncil)

#### PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

If you would like to submit written comments, please quote file number above and submit by mail or email to:

**Email:** [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

**Mail:** City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to [cofa@vaughan.ca](mailto:cofa@vaughan.ca) no later than NOON on the last business day before the meeting.

**THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.**

### INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

## INTRODUCTION

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

## COMMITTEE OF ADJUSTMENT

<b>Date Public Notice Mailed:</b>	January 18, 2024
<b>Date Applicant Confirmed Posting of Sign:</b>	January 10, 2024
<b>Applicant Justification for Variances:</b> <small>*As provided in Application Form</small>	Relief from the Zoning By-law is being requested to permit a Place of Worship within a multi-unit building The Place of Worship will be located in Unit 9.
<b>Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:</b> <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
<b>COMMENTS:</b>	
None	
<b>Committee of Adjustment Recommended Conditions of Approval:</b>	None

## BUILDING STANDARDS (ZONING)

<b>**See Schedule B for Building Standards (Zoning) Comments</b>	
<b>Building Standards Recommended Conditions of Approval:</b>	None

## DEVELOPMENT PLANNING

<b>**See Schedule B for Development Planning Comments.</b>	
<b>Development Planning Recommended Conditions of Approval:</b>	TBD

## DEVELOPMENT ENGINEERING

<a href="#">Link to Grading Permit</a> <a href="#">Link to Pool Permit</a> <a href="#">Link to Curb Curt Permit</a> <a href="#">Link Culvert Installation</a>	
Development Engineering does not object to variance application A160/23	
<b>Development Engineering Recommended Conditions of Approval:</b>	None

## PARKS, FORESTRY & HORTICULTURE (PFH)

No comments received to date.	
<b>PFH Recommended Conditions of Approval:</b>	None

## DEVELOPMENT FINANCE

No comment no concerns.	
<b>Development Finance Recommended Conditions of Approval:</b>	None

## BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

No comments received to date.	
<b>BCLPS Recommended Conditions of Approval:</b>	None

### BUILDING INSPECTION (SEPTIC)

No comments received to date.

<b>Building Inspection Recommended Conditions of Approval:</b>	None
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### FIRE DEPARTMENT

Questions and concerns:

- this permit is for a change of use from a restaurant to a place of worship. Is it permitted ?
- Based on fire code the use will require a fire safety plan to be approved Prior to occupancy.
- Define the occupant load, the note on drawing reads max for whole building 130 persons, posting of occupant load for max on the 2nd floor and 1st floor to be clearly posted.
- Based on notes on drawing maximum occupant load is listed at 130. A fire alarm system would be required if occupant load was 150 or more in total.

<b>Fire Department Recommended Conditions of Approval:</b>	None
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### RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
1	Development Planning <a href="mailto:Joshua.cipolletta@vaughan.ca">Joshua.cipolletta@vaughan.ca</a>	TBD

*All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.*

### IMPORTANT INFORMATION

**CONDITIONS:** It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

**APPROVALS:** Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

**DEVELOPMENT CHARGES:** That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's



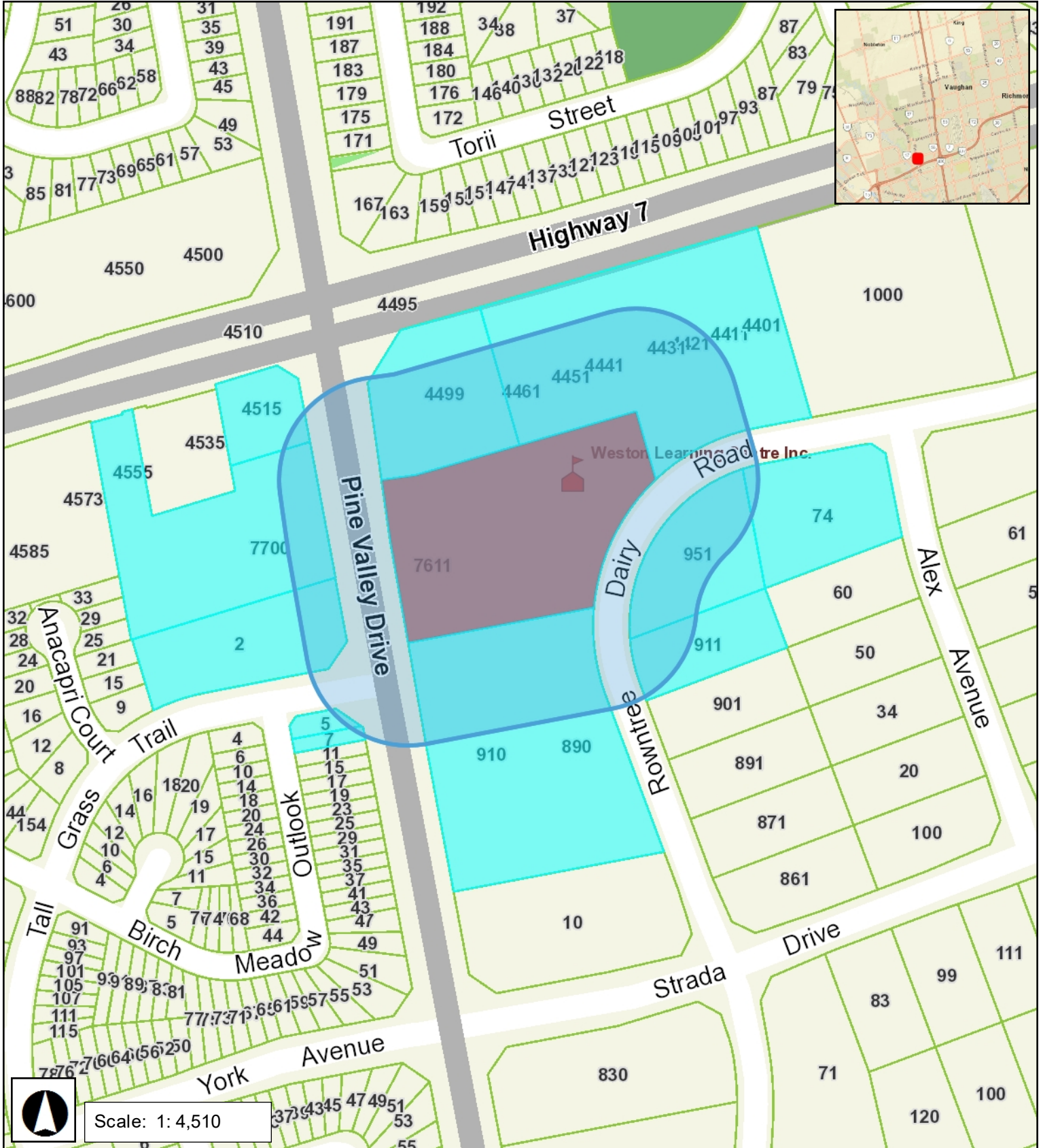
### IMPORTANT INFORMATION

Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

**NOTICE OF DECISION:** If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

**SCHEDULE A: DRAWINGS & PLANS**

7611 Pine Valley Drive Bldg A, Vaughan

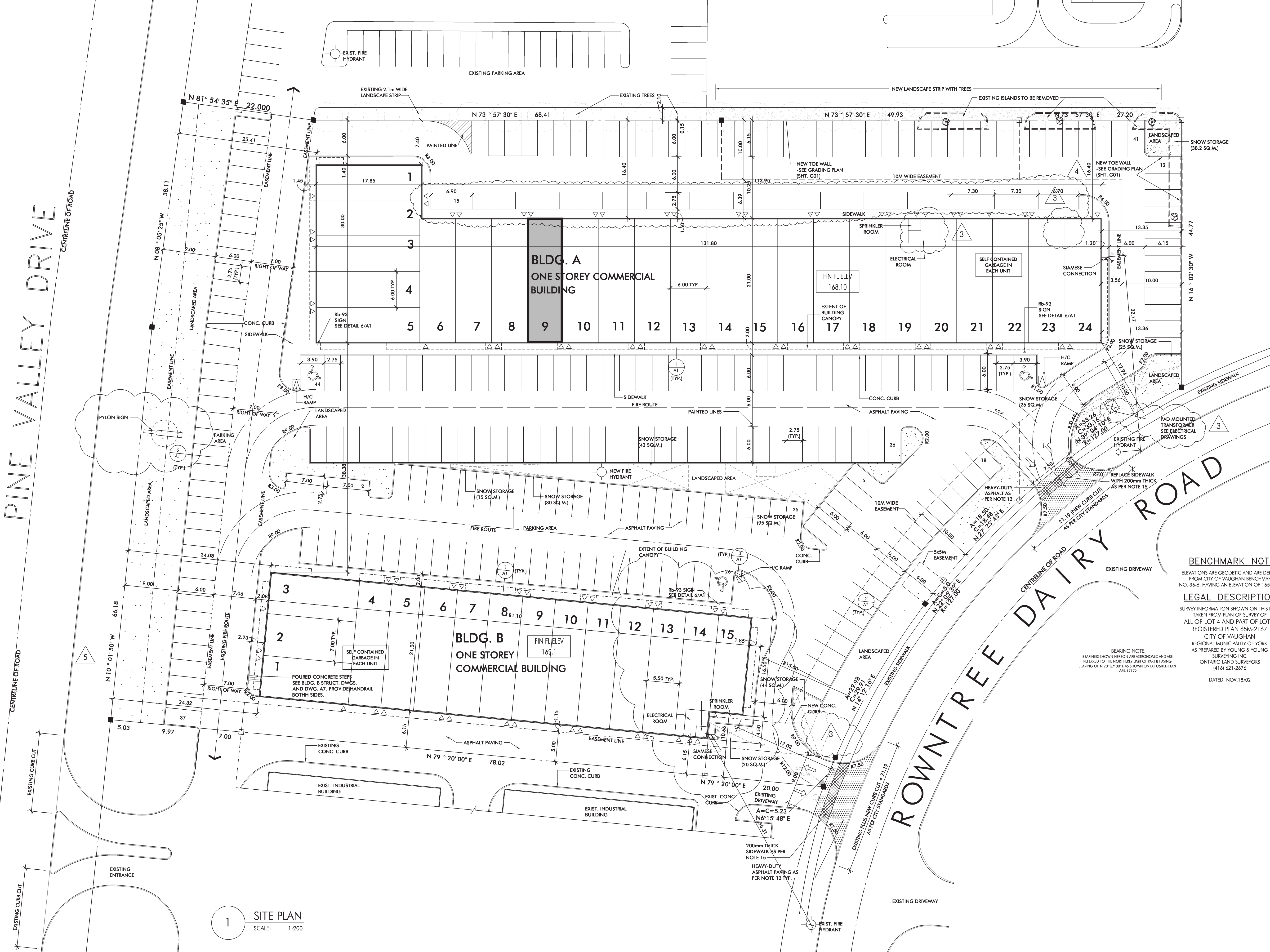


Scale: 1: 4,510



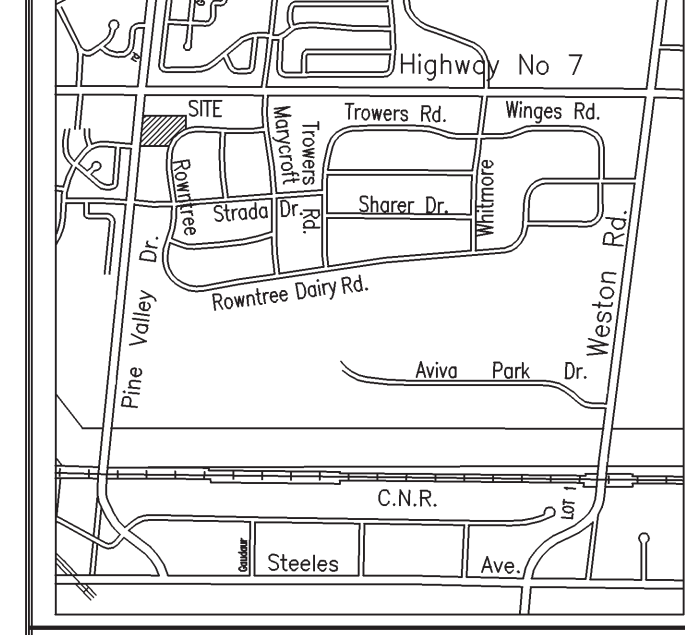
RECEIVED  
By attwalap at 9:58 am, Dec 19, 2023

# EXISTING TD BANK



### SITE DEVELOPMENT DATA

ZONING	C7-H	
LOT AREA	16,366.50 sq.m.	176,173.00 sq.ft. (4,044 AC.) (1.63 Ha.)
BUILDING AREA	2,928.45 sq.m.	31,521.57 sq.ft.
BUILDING A (COMMERCIAL)	1,678.58 sq.m.	18,068.03 sq.ft.
BUILDING B (COMMERCIAL)		
TOTAL BUILDING AREA (FOOTPRINT)	4,607.03 sq.m.	49,589.60 sq.ft.
LOT COVERAGE	GROSS GROUND COVERAGE 28.15%	
SETBACKS	REQUIRED	PROVIDED
FRONT YARD	9.00M	12.94M
REAR YARD	22.00M	23.41M
SIDE YARD (EXT.)	N/A	
SIDE YARD (INT.)	6.00M	6.15M/7.40M
PARKING	REQUIRED	PROVIDED
COMMERCIAL (6.0/100 S.M.)	271 SPACES	261 SPACES
BUILDING A AND B		(INCLU. 3 H/C SPACES)
LOADING SPACES	REQUIRED	PROVIDED
OFFICE	N/A	N/A
LANDSCAPED AREA	MIN. 10% OF LOT AREA 2,950.69 sq.m. 31,762.00 sq.ft. (53.82%)	
PAVED AREA	8,808.77 sq.m. 94,819.91 sq.ft. (53.82%)	



### SITE LOCATION PLAN

#### LEGEND

[Symbol]	PROPOSED FIN. GRADE
[Symbol]	EXISTING GRADE
[Symbol]	TOP OF CURB
[Symbol]	TOP OF CATCH BASIN
[Symbol]	MAN DOOR LOCATIONS
[Symbol]	DRIVE-IN DR. LOCATIONS
[Symbol]	LOADING DOCK DR. LOCATION
[Symbol]	CATCH BASIN
[Symbol]	CATCH BASIN MANHOLE
[Symbol]	SANITARY MANHOLE
[Symbol]	STORM SEWER MANHOLE
[Symbol]	FIRE HYDRANT
[Symbol]	GAS
[Symbol]	ROOF DRAIN
[Symbol]	BORE HOLE
[Symbol]	HEAVY DUTY ASPHALT PAVING

### ONTARIO BUILDING CODE DATA

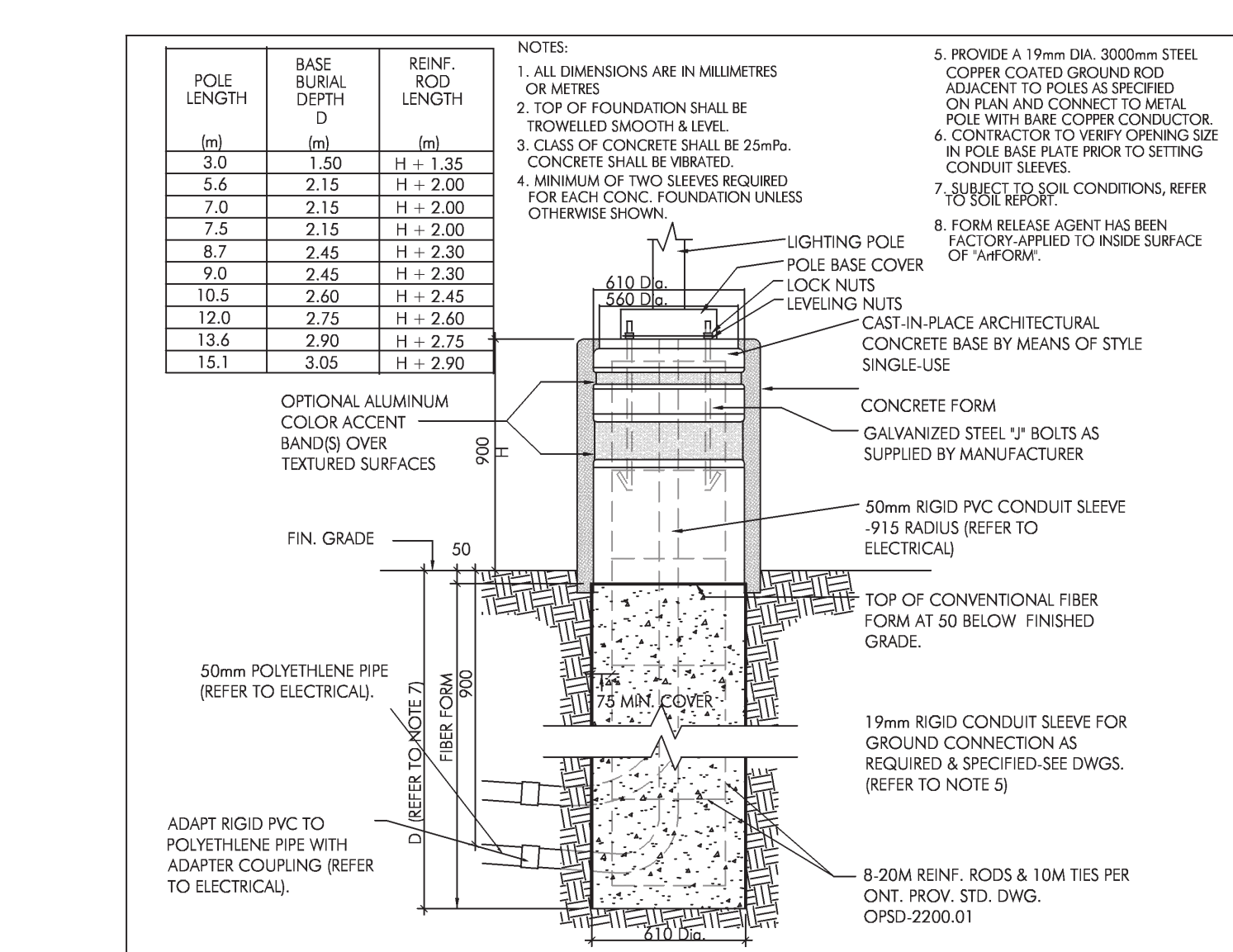
#### BUILDING 'A' AND BUILDING 'B'

PROJECT DESCRIPTION	NEW [ ] ADDITION [ ] ALTERATION [ ] CHANGE OF USE [ ]	
MAJOR OCCUPANCY(S) GROUP [ E ]	3.1.2.1.	
NUMBER OF STOREYS ABOVE GRADE = [1] BELOW GRADE = [0]	-	
HEIGHT OF BUILDING	BDG.'A': [8.80] m	FACING - BDG.'A': [1] STREET(S)
	BDG.'B': [8.80] m	BDG.'B': [1] STREET(S)
BUILDING CLASSIFICATION	GROUP [E], UP TO 2 STOREYS SPRINKLERED	
SPRINKLER SYSTEM PROPOSED	[ ]	
ENTIRE BUILDING [ ] BASEMENT ONLY [ ] IN LIEU OF ROOF RATING [ ] NOT REQUIRED [ ]	[ ]	
STANDPIPE REQUIRED	YES [ ] NO [X]	3.2.9.1.
FIRE ALARM REQUIRED	YES [ ] NO [X]	3.2.4.1.
HIGH BUILDING	YES [ ] NO [X]	3.2.6.1.
WATER SERVICE IS ADEQUATE	YES [ ] NO [X]	3.2.2.62
CONSTRUCTION [ ] COMBUSTIBLE [ ] NON COMBUSTIBLE [ ] BOTH [ ]	3.2.2.62	
MEZZANINE(S) AREA [ ] sq.m.	-	
TOTAL OCCUPANCY LOAD [ ] PERSONS	TABLE 3.1.16.1	
BASED ON: sq.m./PERSON [ ] DESIGN OF BUILDING [ ]	-	
BARRIER-FREE DESIGN	YES [ ] NO [X]	3.8.1.1.
HAZARDOUS SUBSTANCES	YES [ ] NO [X]	-
REQUIRED FIRE RESISTANCE RATING (FRR)	HORIZONTAL ASSEMBLIES FRR (HOURS) [ ]	LISTED DESIGN NO. (ULC) OR DESCRIPTION (SG-2) [ ]
FLOORS: [ ] HOURS [ ]	[ ]	[ ]
ROOF: [ ] HOURS [ ]	[ ]	[ ]
MEZZANINE: -	[ ]	[ ]
FRR OF SUPPORTING MEMBERS	[ ]	LISTED DESIGN NO. (ULC) OR DESCRIPTION (SG-2) [ ]
FLOORS: [ ] HOURS [ ]	[ ]	[ ]
ROOF: [ ] HOURS [ ]	[ ]	[ ]
MEZZANINE: -	[ ]	[ ]

## A160823

**BENCHMARK NOTE**  
ELEVATIONS ARE GEODETIC AND ARE DERIVED FROM CITY OF VAUGHAN BENCHMARK NO. 36.6, HAVING AN ELEVATION OF 165.944M.

**LEGAL DESCRIPTION**  
SURVEY INFORMATION SHOWN ON THIS PLAN TAKEN FROM PLAN OF SURVEY OF ALL OF LOT 4 AND PART OF LOT 3 REGISTERED PLAN 45M-21167 CITY OF VAUGHAN REGIONAL MUNICIPALITY OF YORK AS PREPARED BY YOUNG & YOUNG SURVEYING INC. ONTARIO LAND SURVEYORS (416) 621-2626. DATED: NOV.18.02



6 LIGHTING POLE DETAIL ARTFORMS KELLAMY 610R  
N.T.S.

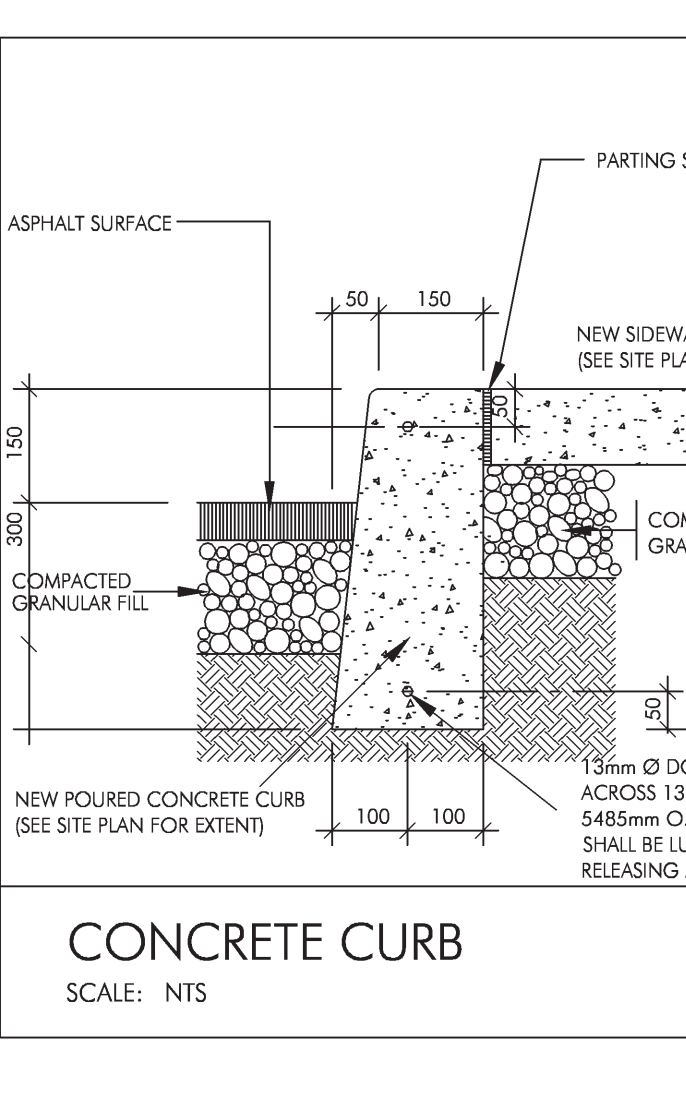
### STANDARD NOTES FOR SITE PLAN

- Standard drawings of the Town of Vaughan constitute part of the site plan drawing(s).
- All construction work to be carried out in accordance with the requirements of the Occupational Health and Safety Act and Regulations for construction projects.
- The Owner and/or his representative shall rectify all disturbed areas to original condition or better and to the satisfaction of the City.
- The location of all under/above ground utilities and structures is approximate only, and where shown on the drawing(s) the accuracy of the location of such utilities is not guaranteed. The Owner and/or his representative shall determine the location of all such utilities and structures by consulting the appropriate authorities or utility companies concerned. The Owner shall prove the location of all such utilities and structures and shall assume all liability for damage or restoration to same.
- Any conflicts with existing services shall be rectified at the Owner's expense.
- Sanitary and storm control manholes shall be in accordance with City Standard Drawings. Frame and cover shall be McCoy HM31L or approved equal. The manholes shall be braced to the adjacent pipe.
- All sanitary manhole covers in the ponding areas to be water tight sealed covers.
- All catchbasins shall be installed in accordance with City Standard Drawing. All catchbasin frames and covers shall be McCoy HM31L or approved equal.
- All industrial/commercial/condominium watermain connections shall be constructed in accordance with City Standard Drawings.
- Watermain shall have a minimum vertical separation of 0.5 m and horizontal separation of 2.5 m between any sewer or manhole.
- Hydrants to be installed as per City Standard.
- Driveway entrance shall be constructed with heavy duty asphalt from the back of the municipal curb or edge of pavement to the property line (area highlighted on drawing(s)) in accordance with the following specifications:
  - 50 mm compacted depth of H1A asphalt - top course
  - 75 mm compacted depth of H1A asphalt - binder course
  - 150 mm compacted depth of 20 mm crusher run limestone - granular base
  - 300 mm compacted depth of 20 mm crusher run limestone - granular sub-base
- Driveway entrance shall be constructed with heavy duty asphalt from the back of the municipal curb or edge of pavement to the property line (area highlighted on drawing(s)) in accordance with the following specifications:
  - 40 mm compacted depth H1A asphalt - top course
  - 60 mm compacted depth H1A asphalt - binder course
  - 150 mm compacted depth 20 mm crusher run limestone - granular base
  - 300 mm compacted depth 20 mm crusher run limestone - granular sub-base

### GENERAL NOTES

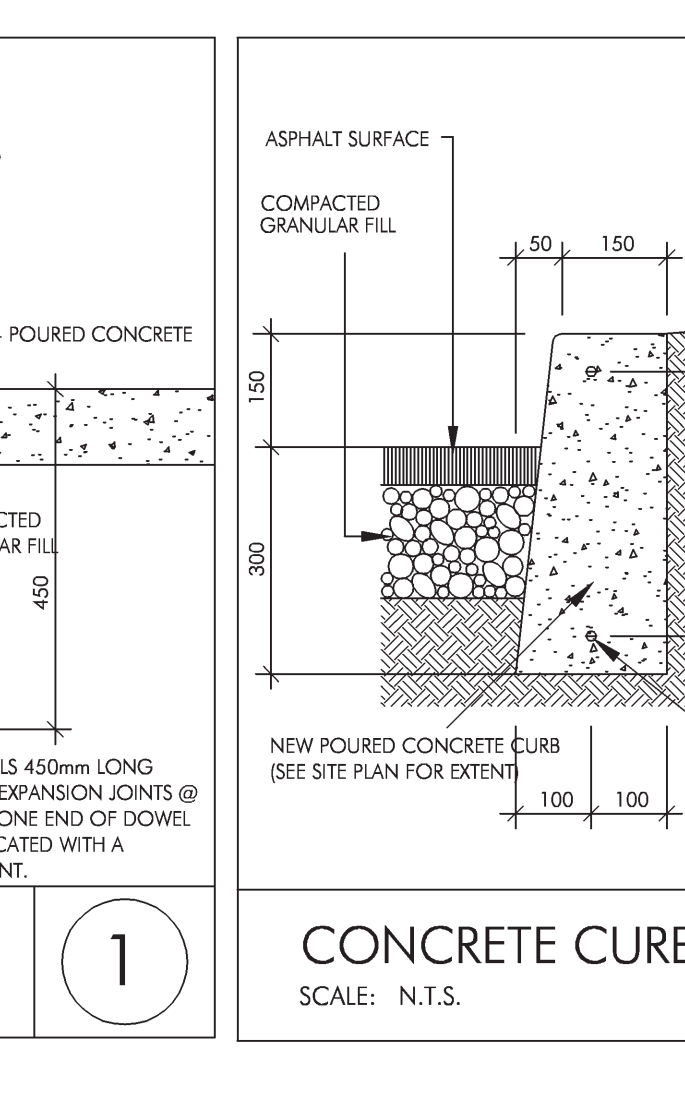
- Max. slope of landscaped areas to be 1:3.
- Provide toe wall where grade difference exceeds 0.6m.
- Provide 1100mm high guardrail where grade difference exceeds 0.6m.
- Depress concrete curbs at sidewalks to meet sidewalk depression to the satisfaction of the Director of Engineering.
- All sidewalk finishes at building entrances to be poured concrete bordered with conc. curbs unless otherwise noted.
- All conc. curbs shall be 150mm above finished asphalt unless otherwise noted.
- Shaded areas at entrance ramps denotes heavy duty asphalt paving.
- Any conflict with existing services shall be rectified at the applicants expense.
- Landscaping berms shall not encroach on boulevard.
- Pavement Grades: Min. 0.5%, Max. 5.0%.
- Drainage swales: Min. 2.0%, Max. 5.0%.
- Outside lighting to be directed downward as well as inward.

### H/C PARKING SIGN DETAIL



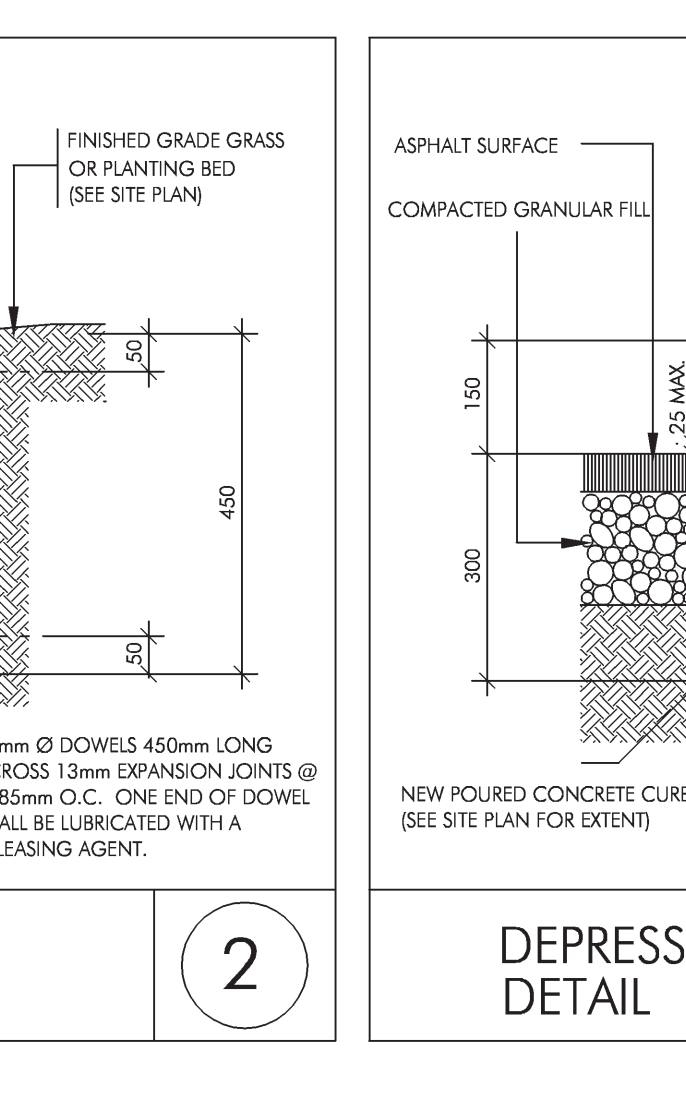
1 CONCRETE CURB  
SCALE: N.T.S.

### CONCRETE CURB



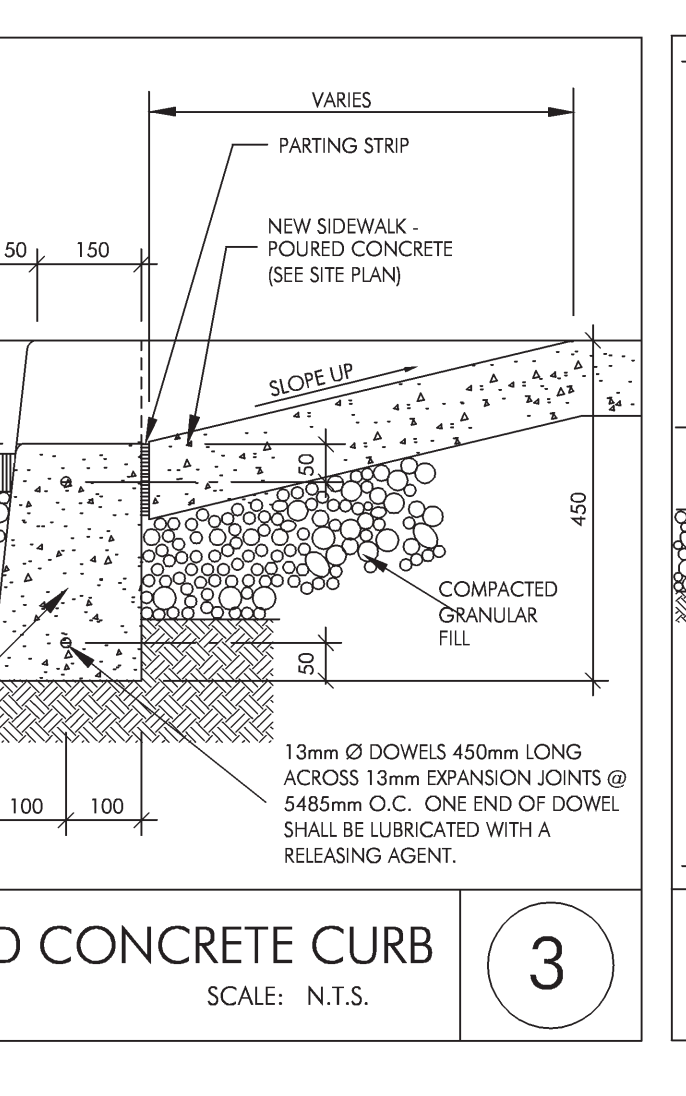
2 CONCRETE CURB  
SCALE: N.T.S.

### DEPRESSED CONCRETE CURB DETAIL



3 DEPRESSED CONCRETE CURB DETAIL  
SCALE: N.T.S.

### BOLLARD DETAIL



4 BOLLARD DETAIL  
SCALE: N.T.S.

No.	DESCRIPTION	DATE
5	ISSUED FOR Pylon SIGN PERMIT	JULY 27/03
4	RESIZING OF PARKING SPACES	JULY 30/04
3	RELOCATE ELECT. & SPRINKLER RMS.	NOV 20/03
2	RE ISSUED FOR PERMIT/TENDER	NOV 02/03
1	ISSUED FOR PERMIT/TENDER	30 SEP 2003

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH CONSTRUCTION.

THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SEALED AND SIGNED BY THE ARCHITECT. DO NOT SCALE DRAWINGS.

PROJECT: PROPOSED COMMERCIAL DEVELOPMENT FOR ROWN PINE INVESTMENTS INC. PINE VALLEY DRIVE AND ROWNTREE DAIRY RD. CITY OF VAUGHAN, ONTARIO LOT 4 AND PART OF LOT 3

DRAWING: SITE PLAN AND SITE DATA  
PLOTTED: Jun. 22/5 10:33 am

DATE: SEPTEMBER 2003 PROJECT No. 2304/R  
SCALE: 1:300 DRAWING No. A1  
DRAWN BY: KMP/AVM/L REVIEWED BY: J.C.

intra architect inc.  
3321 LANGSTAFF ROAD, SUITE 204, VAUGHAN ONTARIO L4K 4L2  
TEL: (905) 761-7870 FAX: (905) 761-7872  
INFO@INTRARCH.COM WWW.INTRARCH.COM



## BUILDING CODE SUMMARY

### STATISTICS

Lot area : 2,928.45 Sq.M ( 176,173 Sq.ft.)

Height 1 and 2 storey ( facing One street)

Total Building "A" Area: 31, 521.57 Sq.ft ( 2,928 Sq.m )

Total Building " B" Area: 18,068.03 Sq. ft ( 1,678.58 Sq.m)

Total GFA area of Gr. Fl. for interior alterations for " Place of Worship", 1,356 sq.ft.

Maintain GFA Area of 2nd Fl. as Offices for use of " Place of Worship" : 1,356 sq.ft.

Ex. Total GFA Area of unit # 9 remain unchanged: 2,712 Sq.Ft.

**EXISTING BUILDING OCCUPANCY:** Group E RETAIL

**CONVERT OCCUPANCY TO PLACE OF WORSHIP:** Group A2

Group A, Division, up to 2 storeys, increased Area, Sprinklered ( 3.2.2.26)

Group E, up to 3 storeys, Sprinklered ( 3.2.2.60)

Combustible or Non - Combustible construction

### PLUMBING FIXTURE FOR PLACES OF WORSHIP - AS PER 3.7.4.3 (16)

Proposed One unisex WC - Universal Toilet Room on main floor.

Existing three unisex WC on Second Floor to remain unchanged

**EXTERIOR WALLS CONSTRUCTION:** Precast Conc. wall (back) and Metal planet fin. ( Front) ( Existing )

**SECOND FLOOR CONSTRUCTION:** Concrete Floor ( to be confirmed) ( Existing)

### FIRE SEPARATIONS:

Roof - No rating required

Floor assemblies - 1 Hr fire resistance rating.

Loadbearing walls - 1 Hr fire resistance rating. ( or non combustible const.)

Emergency Lights as per 3.2.7.3

Location of Exits as per 3.4.2.5

Building is Sprinklered

## EXITS CAPACITY SCHEDULE

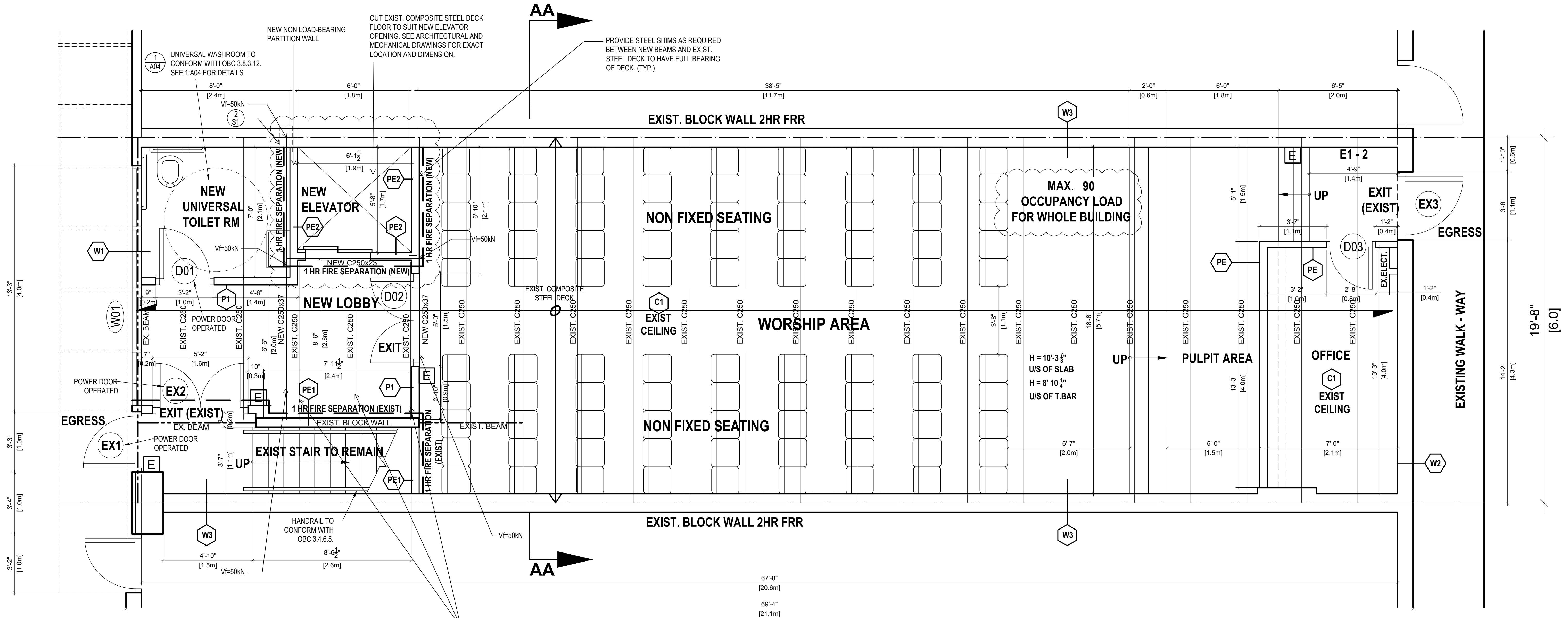
GROUND FLOOR	E1-1	E1-1	E1-2			CAPACITY	DESIGNED CAPACITY	REMARK
EXIT DOOR - EX1	36"					144	90	EXTERIOR DOOR - EXISTING
EXIT DOOR - EX2		60"				240 N/A		ACCESS TO EXTERIOR DOOR
EXIT DOOR - DO2		60"				240 N/A		ACCESS TO EXTERIOR DOOR
EXIT DOOR - EX3			41"			164		EXTERIOR DOOR - EXISTING
<b>TOTAL</b>						308		
<b>NON-FIXED SEATS</b>	720, SF. ( AT 8 SF. PER PERSON)					90		
<b>TOTAL CAPACITY</b>							90	



### DRAWING INDEX

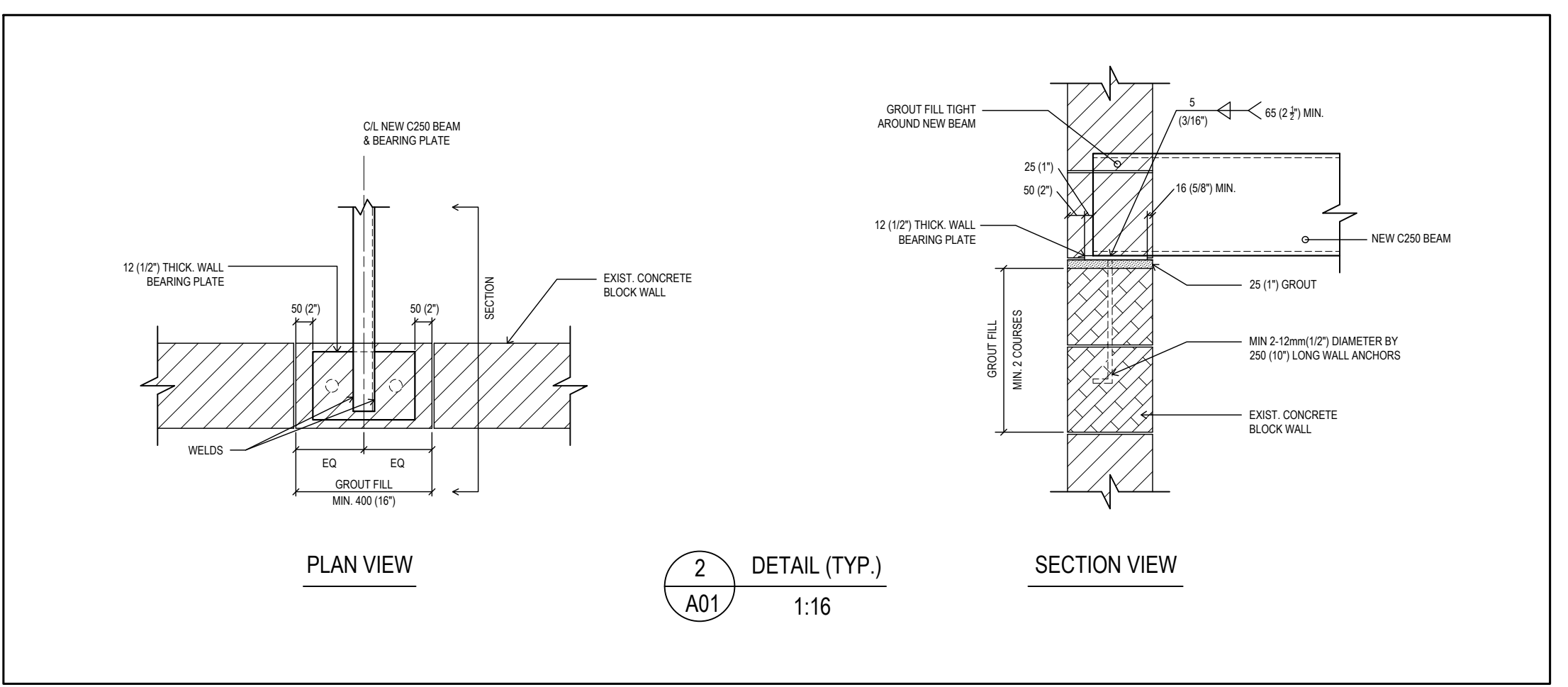
A01 COVER PAGE  
A02 GROUND FLOOR PLAN  
SECOND FLOOR FRAMING PLAN & DETAILS  
A03 SECOND FLOOR PLAN  
A04 SECTION AA  
A05 DOOR & PARTITIONS SCHEDULE  
A06 GENERAL NOTES  
S01 STRUCTURAL NOTES

<p>CONSTRUCTION ACCORDING OBC. ALL DIMENSIONS ARE NOMINAL. REPORT ANY INCONSISTENCIES TO DESIGNER BEFORE COMMENCEMENT OF WORK.</p> <p>THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND MAY NOT BE REPRODUCED OR USED WITHOUT EXPRESSED CONSENT OF THE ARCHITECT.</p> <p>THE CONTRACTOR IS RESPONSIBLE FOR CHECKING AND VERIFYING ALL LEVELS AND DIMENSIONS AND SHALL REPORT ALL DISCREPANCIES TO THE ARCHITECT AND OBTAIN CLARIFICATIONS PRIOR TO COMMENCING WORK</p>	<b>5 MAX OCCUPANCY REV.</b>	<b>DEC. 06. 2023</b>	<b>EXISTING:</b>  <b>ASSEMBLY OCCUPANCY RESTAURANT</b>	<b>SET NUMBER</b>  THESE DOCUMENTS SHALL ONLY BE USED FOR THE PURPOSE INDICATED BELOW WHEN SO NOTED AND INSTALLED BY THE ARCHITECT :	<b>PROJECT</b> <b>INT. ALTERATIONS - NEW SEVENTH - DAY ADVENTIST CHURCH REFORM MOVEMENT</b>  7611 PINE VALLEY DRIVE - UNIT 9 VAUGHAN, ONTARIO	<b>SCALE:</b>		<b>DRAWING NO.</b> <b>A01</b> <b>NORTH:</b>
	<b>4 REVISIONS</b>	<b>MAR. 13. 2020</b>				<b>PROPOSED:</b>  <b>PLACE OF WORSHIP</b>	<input type="checkbox"/> <b>PRELIMINARY</b>	
	<b>3 ISSUED FOR PERMIT</b>	<b>MAR. 09. 2012</b>	<input type="checkbox"/> <b>SITE PLAN CONTROL</b>	<b>DRAWN:</b>			<b>CHECKED:</b>	
	<b>2 ISSUED FOR CLIENT</b>	<b>FEB. 06. 2012</b>	<input checked="" type="checkbox"/> <b>PERMIT</b>					<b>DRAWING TITLE</b> <b>COVER PAGE</b>
	<b>1 EXISTING LAYOUT</b>	<b>SEP. 21. 2011</b>						
<b>NO REVISIONS</b>	<b>CH'D</b>	<b>DATE</b>						



--- PARTITIONS TO BE REMOVED OR ALTERED  
 [E] LIT EXIT SIGN

EXIST. BEAMS AT NEW ELEVATOR OPENING TO BE CUT AND FRAMED INTO NEW C250X23 AS SHOWN TO SUIT NEW ELEVATOR OPENING. PROVIDE ALL NECESSARY TEMPORARY BRACING AND SHORING TO KEEP STRUCTURE SAFE AND PLUMB.



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S01	STRUCTURAL NOTES

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4 REVISIONS	MAR. 13. 2020	
3 ISSUED FOR PERMIT	MAR. 09. 2012	
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**EXISTING:**  
 ASSEMBLY OCCUPANCY RESTAURANT

**PROPOSED:**  
 PLACE OF WORSHIP

**SET NUMBER**

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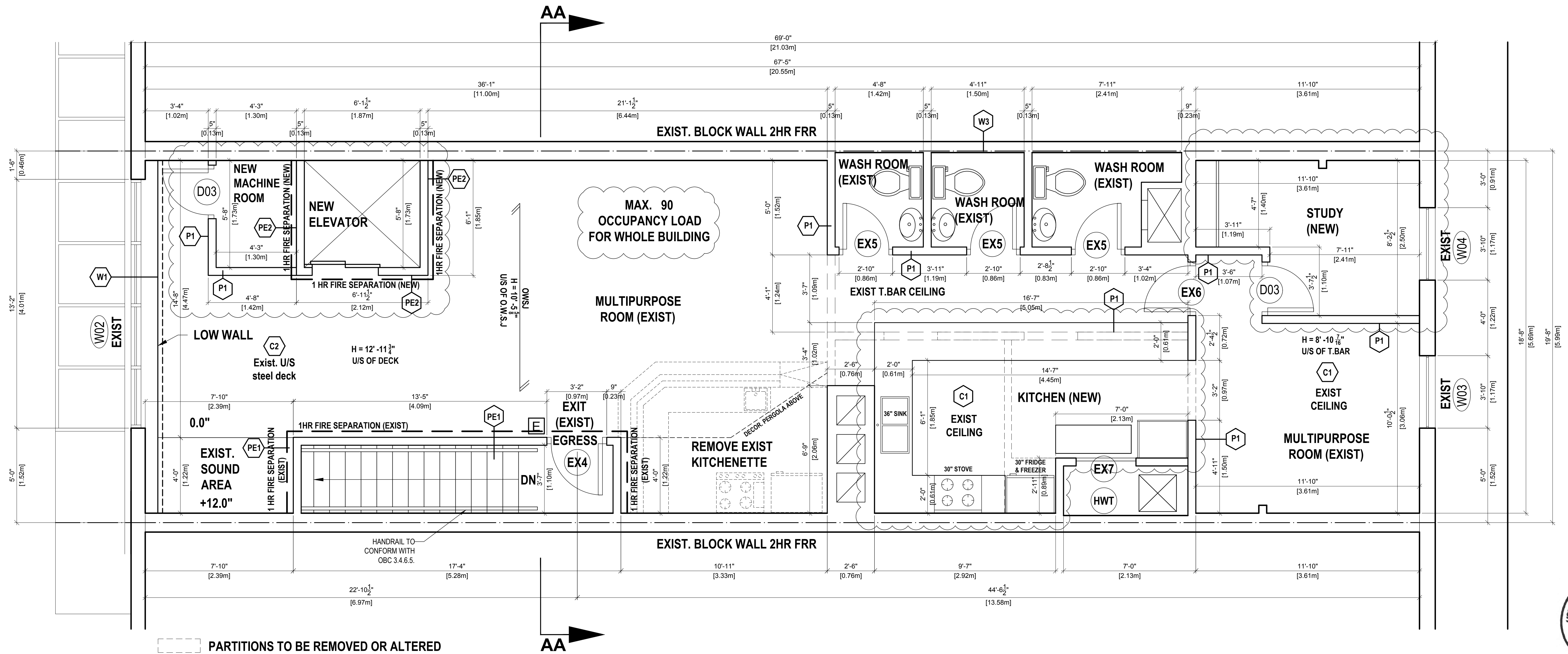
**PROJECT**  
 INT. ALTERATIONS - NEW SEVENTH - DAY ADVENTIST CHURCH REFORM MOVEMENT

7611 PINE VALLEY DRIVE - UNIT 9  
 VAUGHAN, ONTARIO

**DRAWING TITLE**  
 GROUND FLOOR PLAN  
 SECOND FLOOR FRAMING PLAN AND DETAILS

<b>SCALE:</b> 1:32 (3/8" = 1'-0")		<b>DRAWING NO.</b> <b>A02</b>
<b>PROPERTY OWNER:</b>		
<b>DATE:</b> DECEMBER 06, 2023		<b>NORTH:</b> N
<b>DRAWN:</b>	<b>CHECKED:</b>	





--- PARTITIONS TO BE REMOVED OR ALTERED

**E** LIT EXIT SIGN



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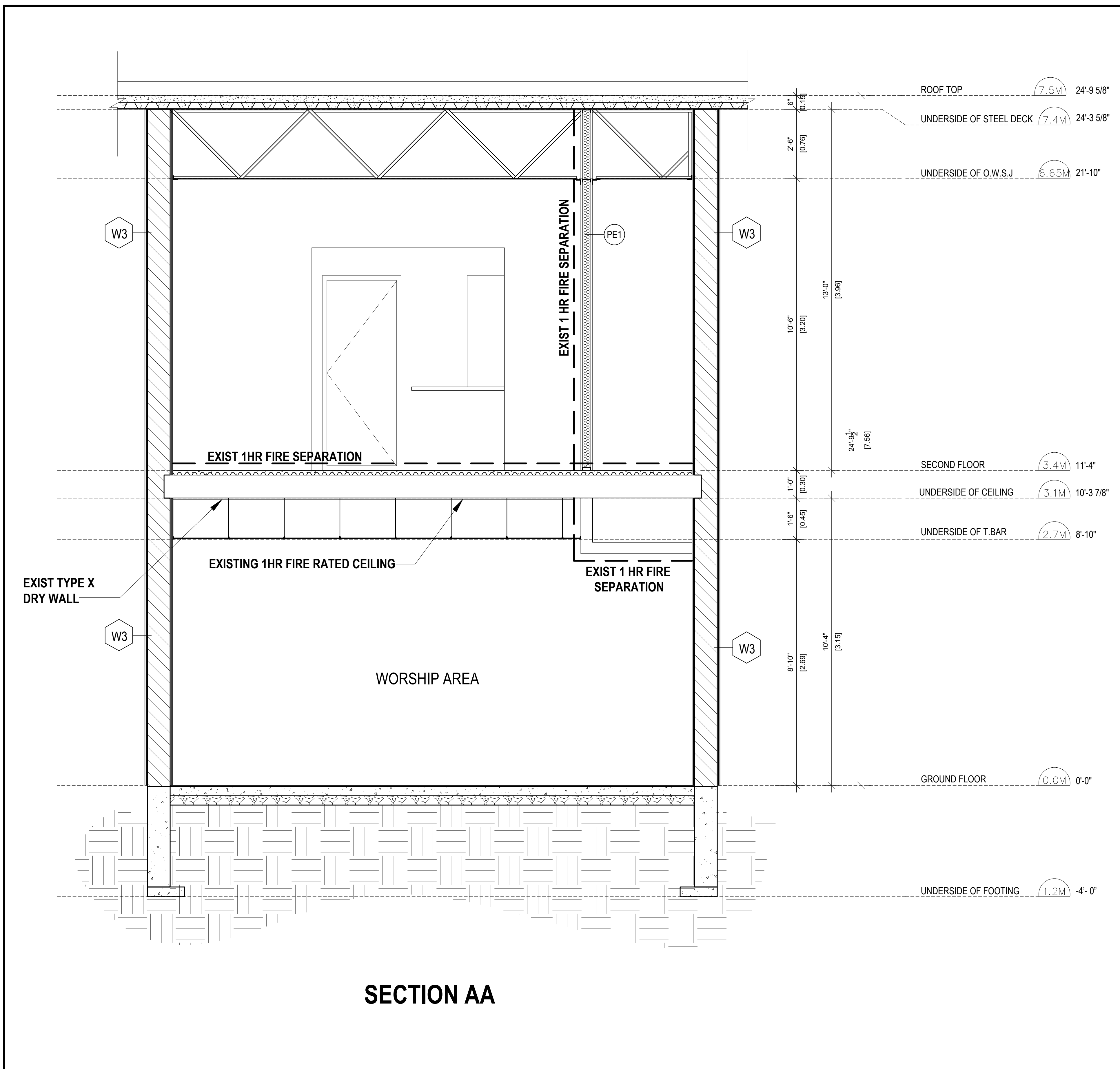
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PROPOSED:	PLACE OF WORSHIP

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PROJECT	INT. ALTERATIONS - NEW SEVENTH - DAY ADVENTIST CHURCH REFORM MOVEMENT
	7611 PINE VALLEY DRIVE - UNIT 9 VAUGHAN, ONTARIO
DRAWING TITLE	SECOND FLOOR PLAN ROOF FRAMING PLAN

SCALE: 1:32 (3/8" = 1'-0")	
PROPERTY OWNER:	DRAWING NO.
DATE: DECEMBER 06, 2023	<b>A03</b>
DRAWN:	CHECKED:
NORTH:	

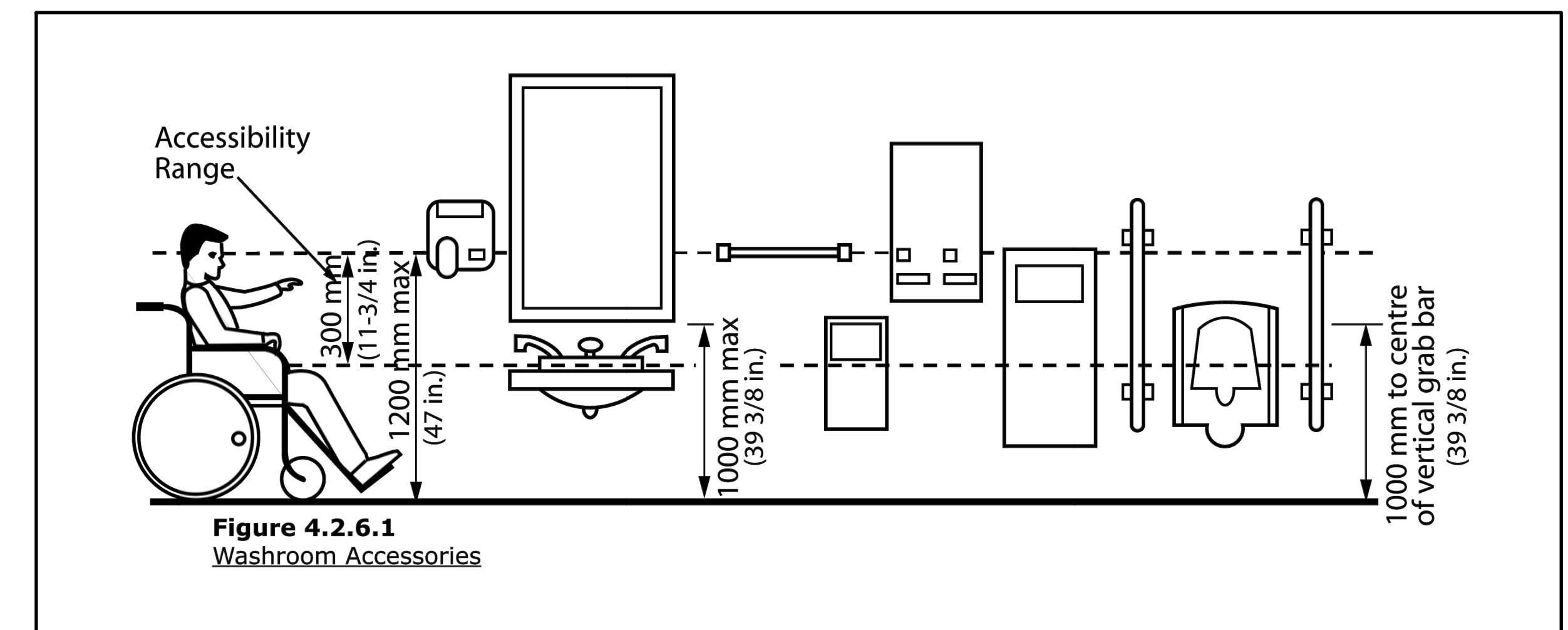
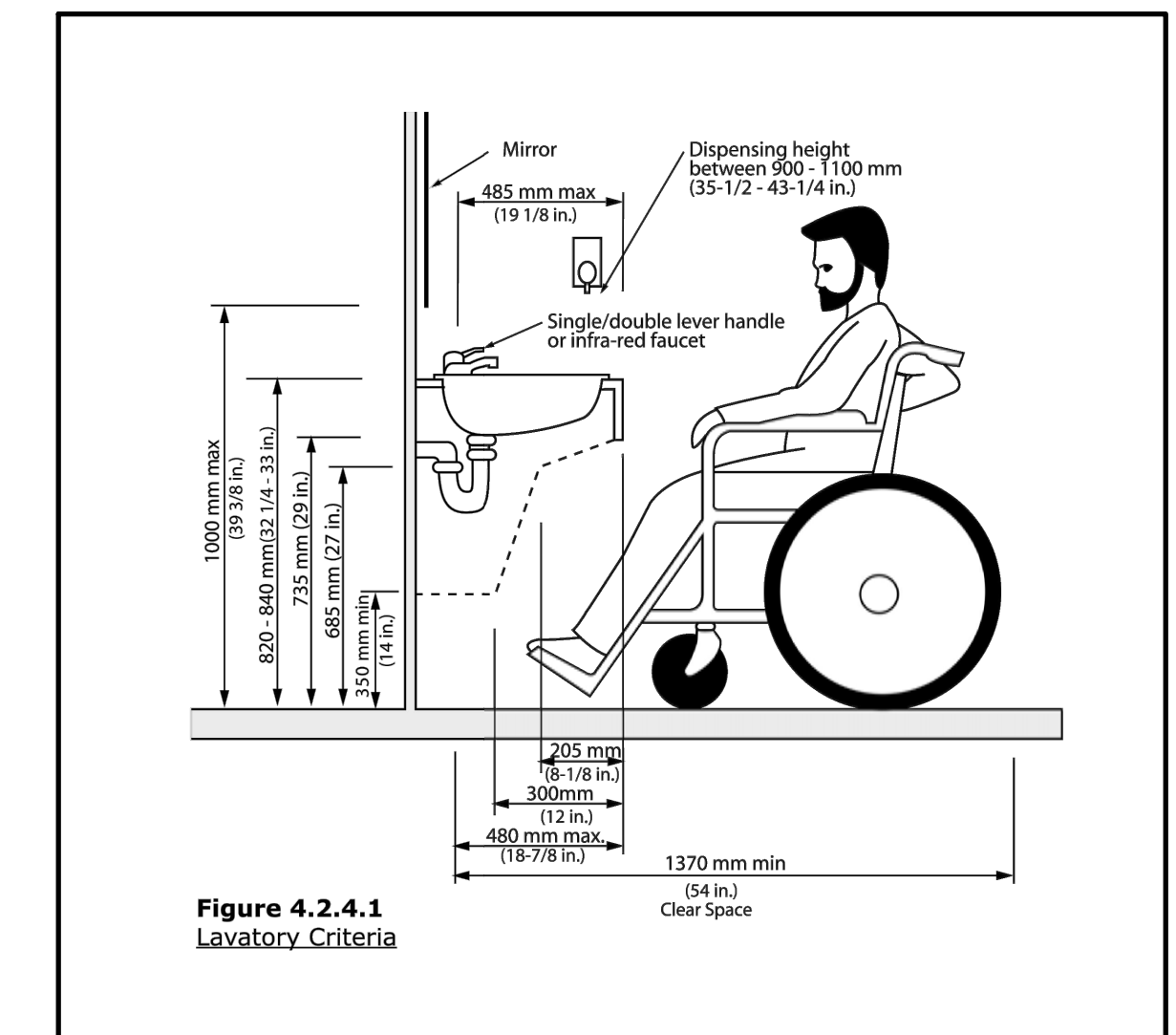
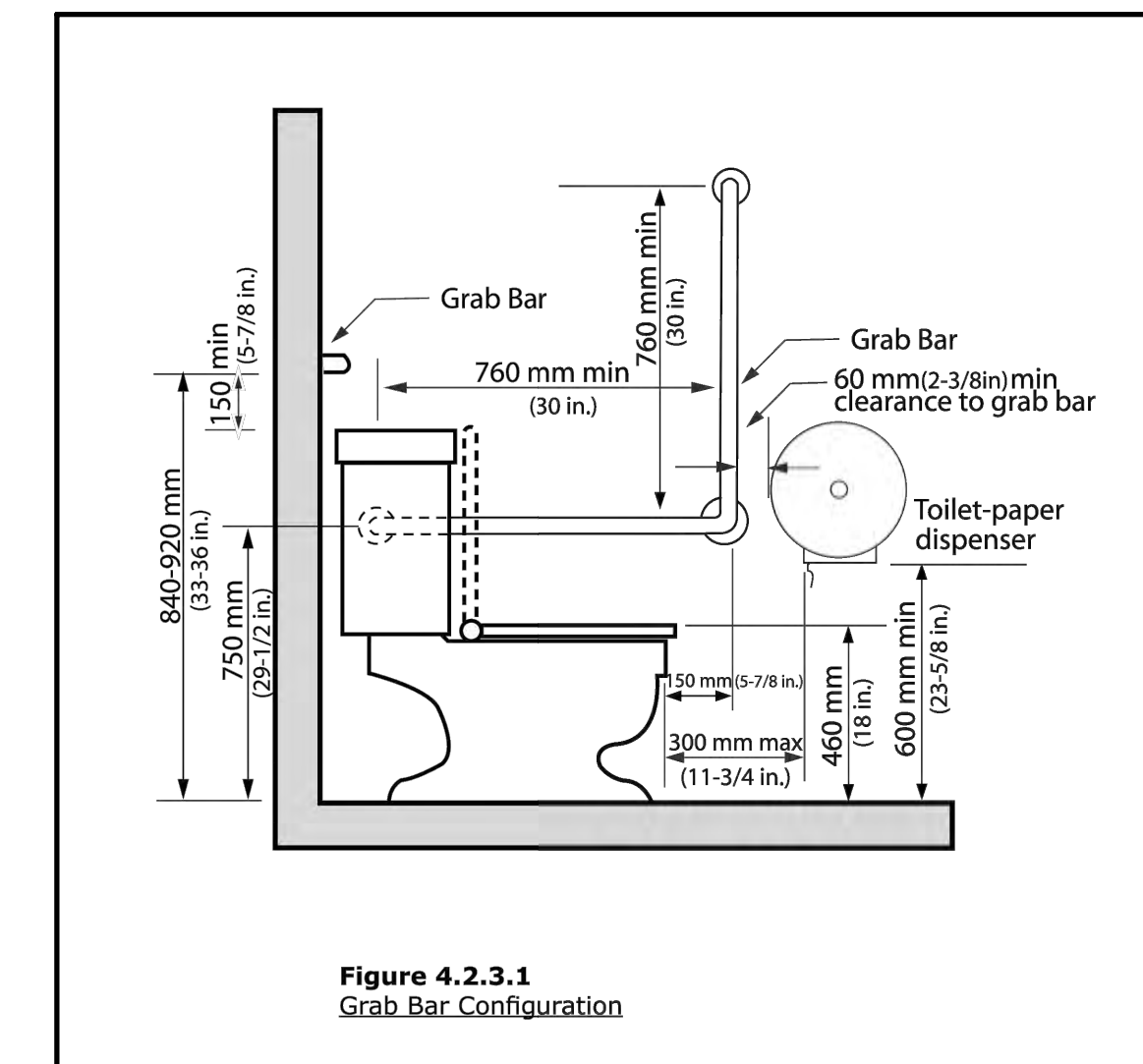


**SECTION AA**

**1:A04**

**GROUND FLOOR UNIVERSAL WASHROOM TO CONFORM WITH OBC 3.8.3.12.**

**UNIVERSAL WASHROOM DETAILS**



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**PROJECT**  
INT. ALTERATIONS - NEW SEVENTH - DAY ADVENTIST CHURCH REFORM MOVEMENT

7611 PINE VALLEY DRIVE - UNIT 9  
VAUGHAN, ONTARIO

**DRAWING TITLE**  
SECTION AA & UNIVERSAL WASHROOM DETAILS

<b>SCALE:</b> 1:24 (1/2" = 1'-0")		<b>DRAWING NO.</b> <b>A04</b>
<b>PROPERTY OWNER:</b>		
<b>DATE:</b> MARCH 13, 2020		<b>NORTH:</b>
<b>DRAWN:</b>	<b>CHECKED:</b>	

## DOOR SCHEDULE

### EXISTING GROUND FLOOR

- EX1 Existing 36" X 7'-0" X 1 3/4" Alum. Glazing Door, to remain on thermally Broken Alum. Frames , existing closer and positive latch to remain. Power door operated.
- EX2 Existing 2 x 24" X 7'-0" X 1 3/4" Solid wood doors, to remain on wood frames, existing closer and positive latch to remain. Power door operated.
- EX3 Existing 41" X 7'-0" X 1 3/4" Hollow Metal door to remain on Hollow metal frames, existing closer and positive latch to remain. 45 min. FRR.

### EXISTING SECOND FLOOR

- EX4 Existing 3'-0" X 7'-0" X 1 3/4" Hollow Metal Door, to remain on Hollow Metal Frames , existing closer and positive latch to remain, 45 min. FRR.
- EX5 Existing 34" X 7'-0" X 1 3/4" Solid wood doors, to remain on wood frames , existing closer and positive latch to remain.
- EX6 Existing 34" X 7'-0" X 1 3/4" Hollow Metal Door, to remain on Hollow Metal Frames , existing closer and positive latch to remain - Office Doors
- EX7 Existing 3'-0" X 7'-0" X 1 3/4" Hollow Metal Door, to remain on Hollow Metal Frames , existing closer and positive latch to remain, 45 min FRR. - Furnace Room door

### PROPOSED NEW DOORS

- D01 Proposed 3'-0" X 7'-0" X 1 3/4" Solid wood door with solid wood frames w/ closer and positive latch - H.C door as per 3.8 OBC. Power door operated.
- D02 Proposed 2 x 30" X 7'-0" X 1 3/4" Solid wood door with glass window proposed w/ closer and positive latch - Assembly Door
- D03 Proposed 32" X 7'-0" X 1 3/4" Solid wood door on wood frames, proposed closer and positive latch - storage Door

### PARTITIONS TYPES:

- W1 Existing Aluminum & Glass Storefront wall to remain with insulation / studs / GWB ( thickness varies)
- W2 Existing exterior Precast concrete wall to remain with insulation / studs / GWB ( thickness varies)
- W3 Existing Concrete Block Demising wall to remain with GWB on each side - 2 hr FRR to remain.
- PE Existing 1/2" gypsum wall board, on each side of 3 5/8" steel studs @ 16" O.C - thickness varies
- PE1 Existing 5/8" type 'X' gypsum wall board, on each side of 3 5/8" steel studs @ 16" O.C - 1 hr Fire Rating to remain as per ULC W407
- PE2 New 5/8" type 'X' gypsum wall board, on each side of 3 5/8" steel studs @ 16" O.C - 1 hr Fire Rating to remain as per ULC W407
- P1 Proposed 1/2" gypsum wall board on each side of 3 5/8" steel studs @ 16" O.C - thickness varies, Provide sound insulation if required by Client.

### CEILING TYPE AT GR. FL 2ND FL. AT OFFICES AND WC AREA

- C1 Existing T- Bar ceiling to remain at 8'- 10" height throughout the entire floor - repair / replace when required.

### CEILING TYPE AT 2ND FL. MULTI - PURPOSE ROOM

- C2 Existing exposed (painted) steel deck and OWSJ to remain throughout the entire Room - Repair / Replace when required. approx. height of 12'-11" to remain



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NO REVISIONS	CH'D DATE					DRAWING NO. <h1>A05</h1> NORTH:



# GENERAL NOTES:

## GENERAL

IN THE EVENT OF CONFLICT BETWEEN CONTENT OF DRAWINGS AND THE CONSTRUCTION NOTES, CONTRACTOR SHALL NOTIFY ARCHITECT IN WRITING DISCREPANCIES IN THE DOCUMENTS PRIOR TO COMMENCEMENT OF THE WORK.

Workmanship and materials shall be in accordance with requirements of latest issue of Ontario Building Code, CSA specifications, NBC, Industrial Safety Act, Public Health Act, Ontario Fire Code, Manufacturer's Instructions and Applicable Regulations of Authorities having Jurisdiction.

Protect property and work, materials and existing construction. Keep work site free of debris during construction, clean finished work on completion, remove debris from site

SELECTION OF TYPES AND QUALITY OF PRODUCTS TO BE USED IN THE CONSTRUCTION ARE TO BE AGREED BETWEEN THE OWNER AND THE CONTRACTOR. THE ARCHITECT ASSUMES NO RESPONSIBILITY AS TO THE CHOICE OF MATERIAL USED AND RELATED INSTALLATION PROCEDURES. ALL MATERIALS NOTED HEREIN ARE TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURES SPECIFICATIONS AND RECOMMENDATIONS.

Use materials as specified or equals all to be approved by Architect and/or Owner.

All service penetrations (piping, ducts, cables, etc.) through fire separations (floors, stairs, shafts, wall, etc.) shall be protected at the penetration by tight-fitting or stop material of same degree of fire resistance rating as the fire separation itself

All ductwork penetrations through rated separations shall further protected at the penetrations by fire dampers.

The General Contractor shall check and verify all dimensions. Do not scale drawings. The General Contractor shall report all errors and omissions on these drawings and specifications to Owner and/or Architect prior to construction or fabrication of the work.

The general intent is that the respective trade shall supply and install all materials required to complete his part of the work. Items obviously required to satisfy the intent of the contract documents whether or not indicated on the drawings or specifications, shall be included.

All alternatives (construction or materials) to be approved by the Owner before commencement of the work. The general contractor to provide samples and/or technical literature to the Owner regarding alternative desired.

Installations of damaged or otherwise non-conforming material will not be accepted.

Use all means necessary to protect the installed work and materials of all other trades.

In the event of damage, immediately make all repairs and replacement necessary to the approval of the Owner, and of no additional cost to the Owner.

Individual sub-trades are responsible for inspecting installed work of other trades to verify that all such work is complete to the point that their own work may properly commence.

General Contractor is to coordinate all dimensions in regards to selected fixtures and schedules.

## SEALANTS

Clear silicone up all edges where wall covering meets molding, vanities, sinks, etc.

## PAINTING

Provide appropriate primer ( necessary coats ) before applying minimum of two coats of paint ( colour to owner's choice )

## METAL STUDS

All metal studs and accessories shall be galvanized steel.

Studs and runners shall be channel type formed 25 gauge, size as noted on the drawings.

Accurately layout all partitions and wall lines from the dimensions and details plans as shown.

Space studs at maximum 16" on center, coordinate requirements for backing support for wall mounted items and make allowance for other items such as piping and work of other trades within the partition.

Securely stabilize all partitions to horizontal structural members so as to fully eliminate potential partition movement. system.

All gypsum wall board shall be the product of one manufacture, shall be tapered edge for finished surfaces and butt edge for concealed surfaces.

All fasteners to be metal screws designed for application of G.W.B. to metal studs.

All metal corner, head, trim and all necessary items shall be as per recommended by the manufacturer.

## SHOP DRAWINGS + INTERIOR DESIGN DRAWINGS FROM TENANT

General Contractor to provide Shop Drawings if required for Tender Submissions and coordinate with all Interior Design Drawings from "Seventh-Day Adventist"

## DEMOLITION:

Contractor to remove interior finishes as per Architect's or Tenant instructions Contractor is to repair and prepare the removed surfaces for the new proposed finish and if necessary replace the entire back-up material before applying the new finish. This item applies for all walls, ceilings, floors and doors to be re-used or new. Support all items within ceiling space.



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NO REVISIONS	CH'D DATE						

**DESIGN CRITERIA NOTES:**

- TOP OF ALL TRIMMING STEEL AT UNDERSIDE OF STEEL DECK.
- NEW OPENING FRAMES ARE DESIGNED FOR THE FOLLOWING LOADS (MAX.)  
SDL=1.5kPa  
LIVE=4.8kPa
- LOCATION OF OPENING THROUGH FLOOR IS BASED ON INFORMATION SHOWN ON ARCHITECTURAL DRAWINGS. THE STRUCTURAL STEEL SUB-CONTRACTOR MUST CONFIRM ALL THESE DIMENSIONS AND SIZES WITH THE ARCHITECT.
- IF ACTUAL LOCATIONS OR DETAILS VARY FROM THOSE SHOWN, THE STRUCTURAL CONSULTANT MUST BE INFORMED AND INSTRUCTIONS RECEIVED BEFORE PROCEEDING WITH THE WORK.

**GENERAL NOTES:**

- DESIGN AND CONSTRUCTION IS TO CONFORM TO THE REQUIREMENTS OF THE 2012 ONTARIO BUILDING CODE, AND ANY APPLICABLE REQUIREMENTS OR BY-LAW OF THE AUTHORITY HAVING JURISDICTION. REFER ALSO TO TYPICAL DETAILS, NOTES UNDER PLANS AND SCHEDULES ON THE STRUCTURAL DRAWINGS, AND TO THE SPECIFICATION.  
ALL DIMENSIONS, OTHER THAN PURELY STRUCTURAL DIMENSIONS SHOWN ON THE STRUCTURAL DRAWINGS MUST BE CHECKED AGAINST THE ARCHITECTURAL DRAWINGS AND ANY INCONSISTENCIES REPORTED TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. STRUCTURAL DRAWINGS MUST NOT BE SCALED.
- REFER TO ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR LOCATIONS AND SIZES OF OPENINGS, TRENCHES, PITS, SUMPS, EQUIPMENT, SLEEVES, DEPRESSIONS, GROOVES AND CHAMFERS NOT INDICATED ON THE STRUCTURAL DRAWINGS. UNLESS SPECIFICALLY NOTED OTHERWISE, THE ABOVE ITEMS WHERE SHOWN ON THE STRUCTURAL DRAWINGS ARE INDICATED ONLY APPROXIMATELY AS TO SIZE AND LOCATION.
- UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. THE CONTRACTOR IS TO PROVIDE ALL NECESSARY BRACING AND SHORING REQUIRED FOR STRESSES AND INSTABILITY OCCURRING FROM ANY CAUSE DURING CONSTRUCTION. THE CONTRACTOR SHALL ACCEPT FULL RESPONSIBILITY FOR ALL SUCH MEASURES. IT SHALL ALSO BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHORING, SHEET PILING OR OTHER TEMPORARY SUPPORTS OF SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR CONSULTANTS REVIEW.

**STEEL NOTES:**

- STRUCTURAL STEEL DESIGN DETAILS AND CONNECTIONS SHALL CONFORM TO CSA STANDARD S16 AND SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER EXPERIENCED IN THIS TYPE OF WORK.
- WELDING SHALL CONFORM TO CSA STANDARD W59 AND BE PERFORMED BY A FABRICATOR CERTIFIED TO CSA W47.1.
- BEAM CONNECTIONS SHALL BE DESIGNED FOR A MINIMUM OF FACTORED VERTICAL SHEAR FORCE OF 50% OF THE BEAM SHEAR CAPACITY. UNLESS OTHERWISE NOTED, AND IN NO CASE BE LESS THAN THE LOADS SHOWN ON OR IMPLIED BY THE DRAWINGS. WHERE BOLTED CONNECTIONS ARE UTILIZED, A MINIMUM OF TWO BOLTS PER CONNECTION SHALL BE USED.
- MEMBER CONNECTIONS SHALL BE DESIGNED BY A LICENSED PROFESSIONAL ENGINEER FOR FORCES AND MOMENTS INDICATED. SHOP DRAWINGS [AND CALCULATIONS] BEARING THE STAMP AND SIGNATURE OF THE REGISTERED PROFESSIONAL ENGINEER RESPONSIBLE FOR THE DESIGN SHALL BE SUBMITTED FOR REVIEW PRIOR TO FABRICATION AND ERECTION.
- STRUCTURAL STEEL SECTIONS SHALL CONFORM TO CSA-G40.20/G40.21
  - S SHAPES, CHANNELS, ANGLES, PLATES AND RODS: - GRADE 300 W
- BOLTS FOR CONNECTIONS TO CONFORM TO ASTM F3125/3125M, GRADE A325 OR A325M, UNLESS NOTED.
- ANCHOR RODS FOR BASE PLATES, BEARING PLATES AND WELD PLATES TO CONFORM TO ASTM F1554, GRADE 36, UNLESS NOTED.
- NUTS AND WASHERS TO CONFORM TO ASTM A563 AND ASTM F436.
- WELDING MATERIALS TO CONFORM TO CSA W48.
- SURFACE PREPARATION AND PRIMER PAINT FOR STRUCTURAL STEEL MEMBERS INSIDE VAPOUR BARRIER TO CONFORM TO CISC/CPMA 1.73a OR CISC/CPMA 2.75 (IF EXPOSED TO VIEW), UNLESS NOTED ON DRAWINGS OR SPECIFICATIONS.
- FABRICATION, HANDLING AND ERECTION TO CONFORM TO CAN/ CSA - S16.
- PROVIDE A MINIMUM OF 2-12 mm (1/2") DIAMETER BY 250 (10") LONG WALL ANCHORS FOR ALL BEAM AND JOIST WALL PLATES ON MASONRY, OR AN APPROVED EQUAL, UNLESS OTHERWISE NOTED. BEAMS AND JOIST SHOES TO BE WELDED TO BEARING PLATES.
- PROVIDE ADJUSTABLE ANCHORS TO ALL STEEL TO BE BUILT INTO, ABUTTED BY, OR FACED WITH MASONRY (REFER ALSO TO TYPICAL DETAILS IF SHOWN). SPACING OF ANCHORS TO BE:  
FOR VERTICAL SPACING ..... 600 (24") MAX. CENTRES.  
FOR HORIZONTAL SPACING ..... 10 TIMES WALL THICKNESS\* (MAX. 2000 (6'-8") CENTRES)  
(\* NOTE, USE BACK-UP WYTHE THICKNESS ONLY, FOR CAVITY WALLS.)
- WHERE STEEL PROVIDES LATERAL BRACING ONLY TO MASONRY ( I.E. DOES NOT SUPPORT MASONRY) ANCHORS SHALL PERMIT DIFFERENTIAL VERTICAL MOVEMENT BETWEEN STRUCTURAL MEMBERS AND MASONRY.
- PROVIDE L76X76X6.4(MIN) ANGLE SEATS FOR ALL STEEL DECK AT LOCATIONS WHERE THE CONNECTION TO SUPPORTING FRAMING IS INTERRUPTED. (EG. AT COLUMNS)
- CLEAN, PREPARE SURFACES AND SHOP PRIME STRUCTURAL STEEL WITH ONE COAT OF SPECIFIED PRIMER PAINT IN ACCORDANCE WITH CAN/CSA - S16, EXCEPT WHERE MEMBERS ARE TO BE ENCASED IN CONCRETE, OR TO RECEIVE SPRAY APPLIED FIRE PROOFING. FIELD " TOUCH-UP" BOLTS, WELDS, BURNED OR SCRAPED SURFACES AFTER ERECTION.
- PROVIDE ALL NECESSARY TEMPORARY BRACING TO KEEP STRUCTURE SAFE AND PLUMB. BRACING SHOWN ON STRUCTURAL DRAWINGS IS PERMANENT FOR FINISHED BUILDING ONLY.
- CO-ORDINATE WITH MECHANICAL AND ELECTRICAL CONSULTANTS AND SUB-TRADES WHOSE WORK MAY AFFECT DETAILING, FABRICATION AND ERECTION OF THE STEEL STRUCTURE.
- TOLERANCES: VARIATION FROM PLUMB AND LEVEL EXTERIOR COLUMNS, COLUMNS AT ELEVATOR SHAFTS, AND SPANDREL BEAMS INCLUDING ANGLES .....1:1000 MAX. 25 mm (1/8" IN 10'-0" MAX. 1")  
OTHER PIECES .....1:500 ( 1/4" IN 10'-0")
- NO HOLES OTHER THAN THOSE SHOWN ON REVIEWED SHOP DRAWINGS SHALL BE MADE IN ANY STEEL MEMBER WITHOUT WRITTEN PERMISSION OF THE STRUCTURAL CONSULTANT.

**MASONRY NOTES:**

- GROUT TO CONFORM TO REQUIREMENTS OF CSA STANDARD A179-M CLAUSE 8.1 TABLE 3 "FINE GROUT". SLUMP SHALL BE ±200mm AND COMPRESSIVE STRENGTH SHALL BE A MINIMUM OF 15 MPa @ 28 DAYS.  
NOTE: MORTAR IS NOT ACCEPTABLE FOR USE AS GROUT.
- ALL CELLS CONTAINING VERTICAL REINFORCING SHALL BE COMPLETELY FILLED WITH GROUT IN LIFTS NOT EXCEEDING 2400mm.GROUT SHALL BE CONSOLIDATED BY PUDDLING OR VIBRATING DURING POURING.



DRAWING INDEX	
A01	COVER PAGE
A02	GROUND FLOOR PLAN SECOND FLOOR FRAMING PLAN & DETAILS
A03	SECOND FLOOR PLAN
A04	SECTION AA
A05	DOOR & PARTITIONS SCHEDULE
A06	GENERAL NOTES
S01	STRUCTURAL NOTES

CONSTRUCTION ACCORDING OBC. ALL DIMENSIONS ARE NOMINAL. REPORT ANY INCONSISTENCIES TO DESIGNER BEFORE COMMENCEMENT OF WORK.  THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND MAY NOT BE REPRODUCED OR USED WITHOUT EXPRESSED CONSENT OF THE ARCHITECT.  THE CONTRACTOR IS RESPONSIBLE FOR CHECKING AND VERIFYING ALL LEVELS AND DIMENSIONS AND SHALL REPORT ALL DISCREPANCIES TO THE ARCHITECT AND OBTAIN CLARIFICATIONS PRIOR TO COMMENCING WORK	5		EXISTING:	SET NUMBER	PROJECT	SCALE:	
	4 REVISIONS	MAR. 13. 2020	ASSEMBLY OCCUPANCY RESTAURANT	THESE DOCUMENTS SHALL ONLY BE USED FOR THE PURPOSE INDICATED BELOW WHEN SO NOTED AND INSTALLED BY THE ARCHITECT :	<b>INT. ALTERATIONS - NEW SEVENTH - DAY ADVENTIST CHURCH REFORM MOVEMENT</b>  7611 PINE VALLEY DRIVE - UNIT 9 VAUGHAN, ONTARIO	PROPERTY OWNER:	DRAWING NO.
	3 ISSUED FOR PERMIT	MAR. 09. 2012		<input type="checkbox"/> PRELIMINARY <input type="checkbox"/> SITE PLAN CONTROL <input checked="" type="checkbox"/> PERMIT		DATE: MARCH 13, 2020	<b>S01</b>  NORTH:
	2 ISSUED FOR CLIENT	FEB. 06. 2012	PROPOSED:		DRAWING TITLE	DRAWN:	
	1 EXISTING LAYOUT	SEP. 21. 2011	PLACE OF WORSHIP		STRUCTURAL NOTES		
NO REVISIONS	CH'D DATE						

**SCHEDULE B:  
COMMENTS FROM AGENCIES, BUILDING STANDARDS &  
DEVELOPMENT PLANNING**

Department / Agency <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments



**Date:** October 12<sup>th</sup> 2023

**Attention:** **Christine Vigneault**

**RE:** Request for Comments

**File No.:** **A160-23**

**Related Files:**

**Applicant** International Missionary Society of Seventh Day Adventists Reform  
Movement Canadian Union

**Location** 7611 Pine Valley Drive, Unit 9



Discover the possibilities

### COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

### References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

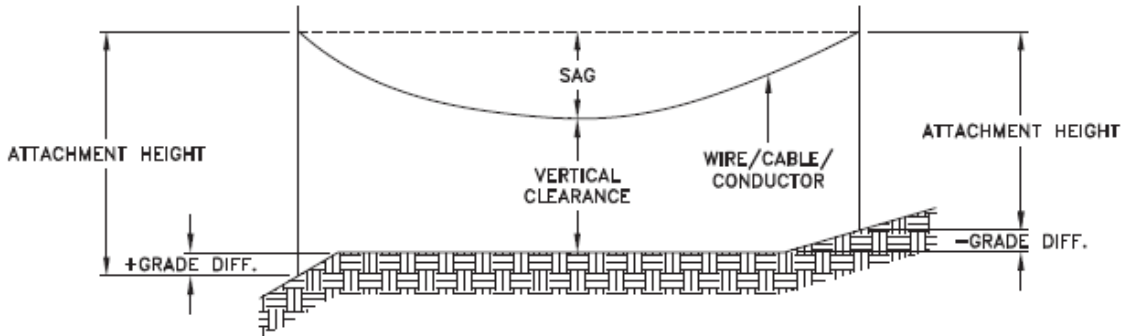
Mr. Stephen Cranley, C.E.T  
Supervisor, Distribution Design, ICI & Layouts (North)  
**Phone:** 1-877-963-6900 ext. 31297

**E-mail:** [stephen.cranley@alectrautilities.com](mailto:stephen.cranley@alectrautilities.com)

Mitchell Penner  
Supervisor, Distribution Design-Subdivisions  
**Phone:** 416-302-6215

**Email:** [Mitchell.Penner@alectrautilities.com](mailto:Mitchell.Penner@alectrautilities.com)

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG  
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)  
 ± GRADE DIFFERENCE  
 + 0.3m (VEHICLE OR RAILWAY LOCATION)  
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

**NOTES:**

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

**CONVERSION TABLE**

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

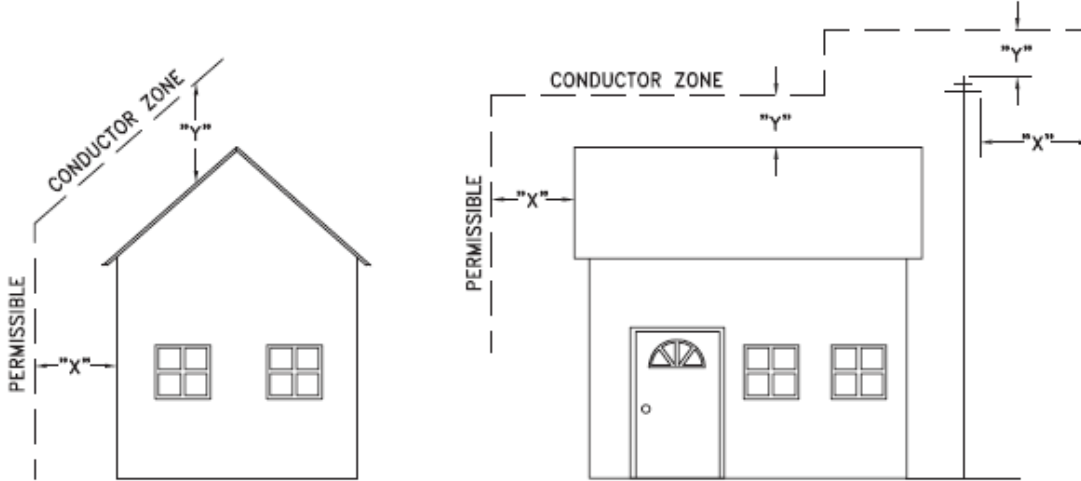
**REFERENCES**

SAGS AND TENSIONS | SECTION 02

**MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS**

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

**NOTES**

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

**MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)**

**Certificate of Approval**  
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04  
Debbie Dadwani, P.Eng. 2010-MAY-05  
Name Date  
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:  
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

**To:** Committee of Adjustment  
**From:** Lindsay Haviland, Building Standards Department  
**Date:** October 12, 2023  
**Applicant:** International Missionary Society  
**Location:** 7611 Pine Valley Drive Bldg A Unit 9  
 PLAN 65M2167 Part of Lot 4  
 YCC 1051  
**File No.(s):** A160/23

**Zoning Classification:**

The subject lands are zoned GMU – General Mixed-Use Zone and subject to the provisions of Exception 14.553 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 01-2021	Variance requested
1	A Place of Worship is not permitted within a multi-unit building [Section 3.0, definition of Place of Worship].	To permit a Place of Worship within a multi-unit building (Unit 9).

**Staff Comments:**

**Stop Work Order(s) and Order(s) to Comply:**

There are no outstanding Orders on file

**Building Permit(s) Issued:**

**Other Comments:**

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

**Conditions of Approval:**

If the committee finds merit in the application, the following conditions of approval are recommended.

\* Comments are based on the review of documentation supplied with this application.

## Prabhdeep Kaur

---

**From:** Kristen Regier <Kristen.Regier@trca.ca>  
**Sent:** Monday, October 16, 2023 10:31 AM  
**To:** Committee of Adjustment  
**Cc:** Lenore Providence; Christine Vigneault  
**Subject:** [External] RE: A160/23 (7611 PINE VALLEY DRIVE, UNIT 9) - REQUEST FOR COMMENTS

Hello,

The subject property at 7611 Pine Valley Drive, Vaughan is not located within TRCA's Regulated Area. TRCA's Planning and Regulatory policy interests are not impacted.

As such, TRCA has no comments on the application.

Best,

**Kristen Regier, MA (she / her)**

Planner I

Development Planning and Permits | Development and Engineering Services

Toronto and Region Conservation Authority (TRCA)

T: [437-880-2129](tel:437-880-2129)

E: [kristen.regier@trca.ca](mailto:kristen.regier@trca.ca)

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca) | [trca.ca](https://www.trca.ca)





## SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant		7611 Pine Valley Drive	10/03/2023	Cover Letter
Applicant		7611 Pine Valley Drive	11/10/2023	Planning Justification Report

**RECEIVED**

**By attwalap at 2:56 pm, Oct 13, 2023**



October 13, 2023

Dear committee of adjustment,

On behalf of our organization, International Missionary Society of Seventh Day Adventists Reform Movement Canadian Union (also known as Canadian Field), we are pleased to submit this application for a minor variance, which will facilitate the renovation of our church building located at 7611 Pine Valley Drive, Unit 9, Vaughan, ON, L4L 0A2.

During our building permit application process (Permit No. 17 000107 000 00 C), we were informed by the plans examiner (zoning) that the proposed place of worship is not permitted within a multi-unit building and that a church must be located within a single unit building only, must comply with the Zoning Standards of Schedule 'A' and the Parking Requirements of Section 3.8 of By-law 1-88, and therefore, a relief from the by-law is required.

We are requesting a relief from the by-law to have a place of worship within the multi-unit building given that the attached parking study finds that the existing parking supply support adequately the expected parking demand generated by our development proposal.

We hope that the information provided is sufficient and look forward to the committee's favorable consideration of our request.

Thank you.

Sincerely,

---

**Wendy Eaton**

Canadian Field Secretary

E. [canadiansecretary@4truth.ca](mailto:canadiansecretary@4truth.ca)

P. 905-699-1291



November 10, 2021

Great Life Group  
6331-2100 Bloor Street West  
Toronto, ON M6S 5A5

**Attention: Mr. John Fromosa  
CEO**

**Re: Parking Study  
7611 Pine Valley Drive –Place of Worship  
City of Vaughan**

## **1.0 INTRODUCTION**

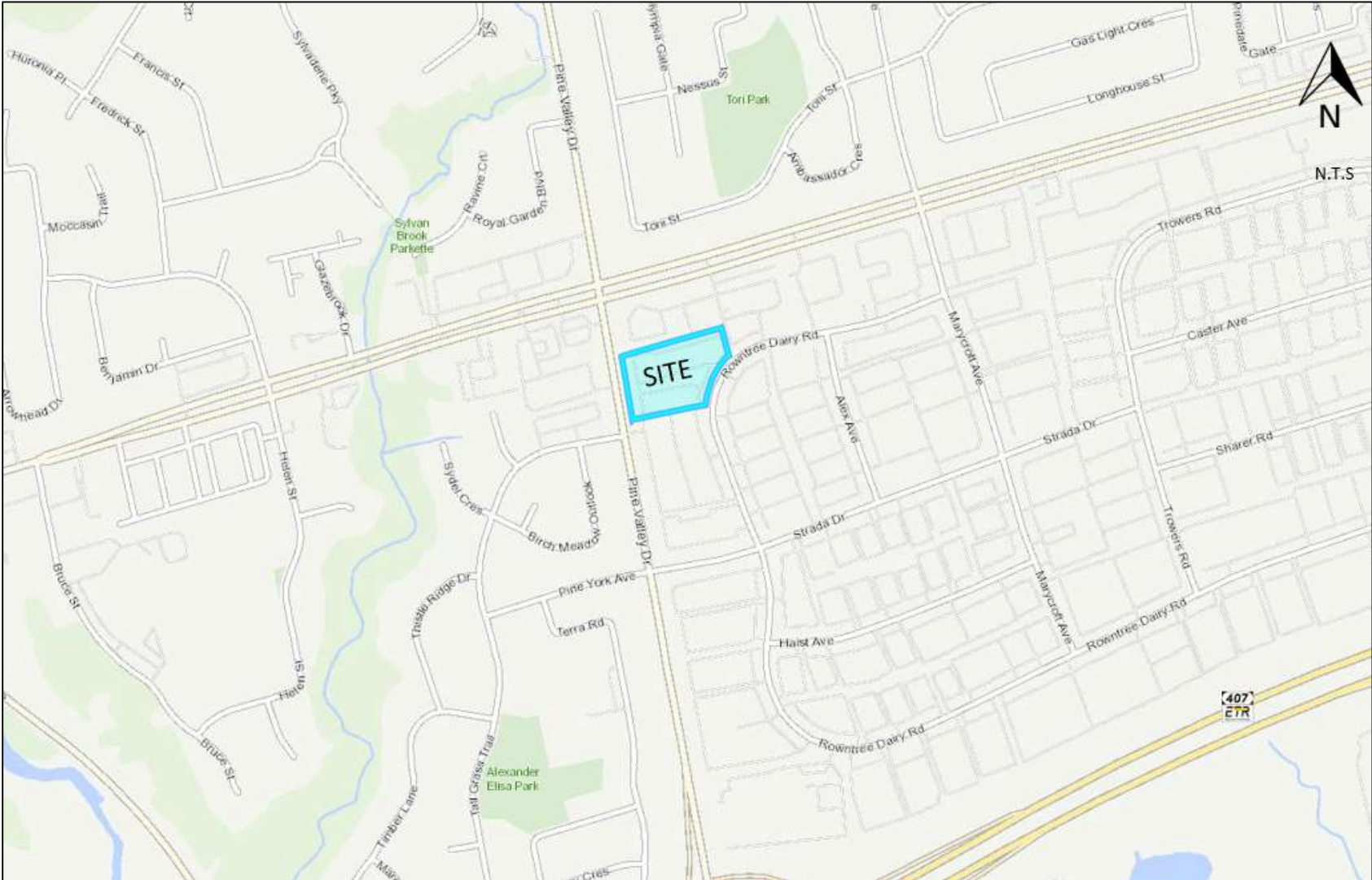
CGE Consulting was retained to prepare a Parking Study in support of a Committee of Adjustment application for a Place of Worship at a unit within an existing commercial building located at 7611 Pine Valley Drive in the City of Vaughan.

The subject unit (unit 9) was previously occupied by a 140-seat restaurant. The owner has vacated the restaurant and converted the space into a 120-seat Place of Worship known as the International Missionary Societies Seventh Day Adventist Church Reform Movement (IMSSDARM) occupying a Gross Floor Area (GFA) of approximately 252 square meters. The location of the existing building is in Block 36 and is currently zoned as *Commercial (C7)*. **Figure 1** shows the project location map.

The site plan shows that there are two one-storey commercial buildings within the subject property. The subject unit is in Building A that has a GFA of 2,928.45 square meters. The site plan shows that the total GFA of both commercial buildings is 4,607.03 square meters with a total shared parking supply of 261 spaces including three barrier free spaces. Access to the site is presently provided via two full-access connections to Rowntree Dairy Road. **Figure 2** shows the most recent site plan.

Discussions with the owner indicate that typical peak hours of operation for the previously occupied restaurant were on Friday and Saturday evenings between 6:30 p.m. to 8:30 p.m. The IMSSDARM church main service (divine service) operates on Saturdays from 11:00 a.m. to 12:15 p.m. Other IMSSDARM services are Wednesday night prayers from 7:30 p.m. to 8:30 p.m. and Sabbath School on Saturdays from 9:30 a.m. to 10:45 p.m.

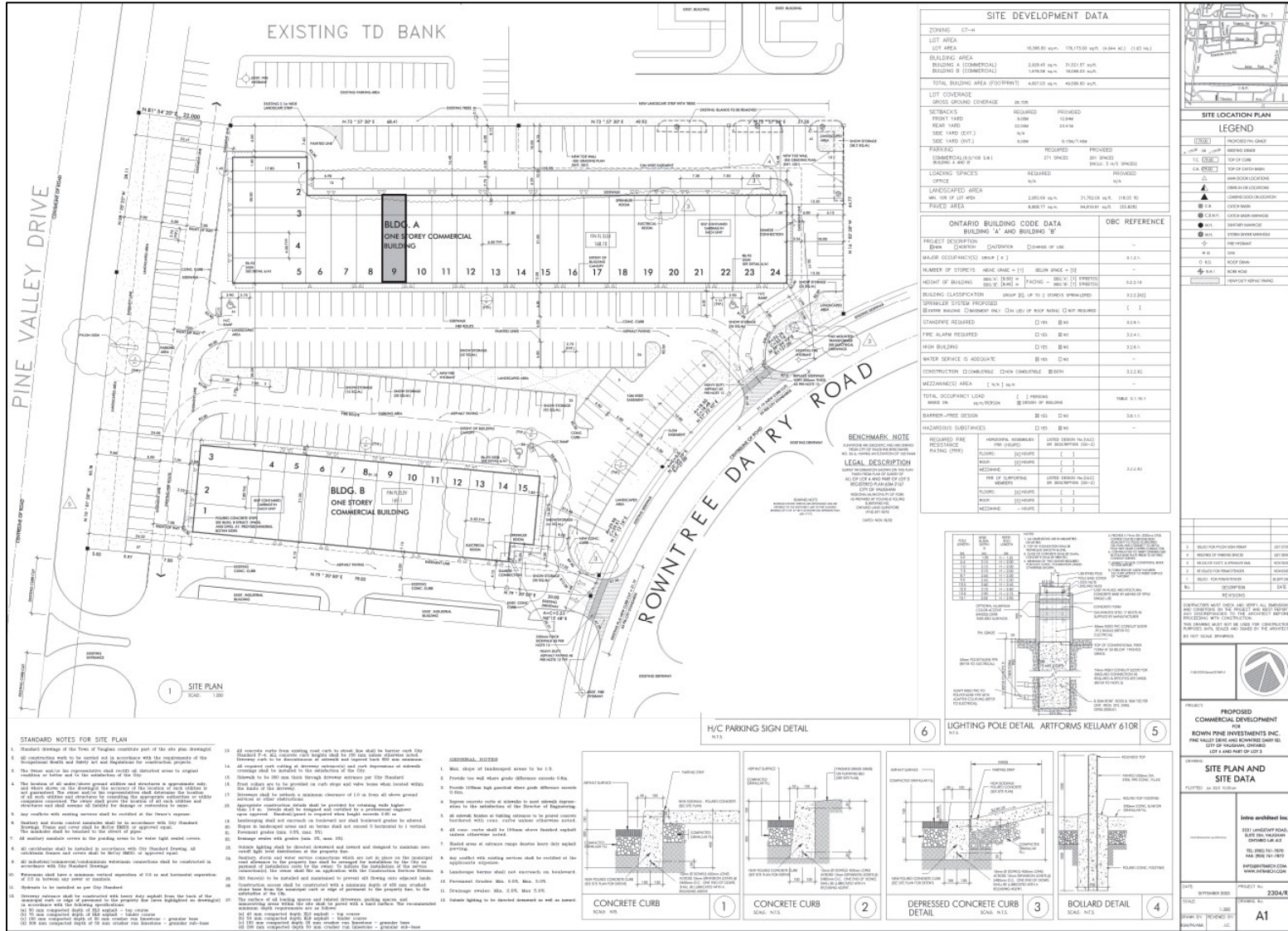
Figure 1 Site Location



Source: York Region Maps

Parking Study – 7611 Pine Valley Road – Place of Worship, City of Vaughan

Figure 2 Site Plan





## 2.0 PARKING ASSESSMENT

### 2.1 City of Vaughan Zoning By-Law 1-88

The City of Vaughan Zoning By-Law 1-88 minimum parking standards for a Church is 11.0 spaces per 100 m<sup>2</sup> of GFA whereas for a commercial centre/store is 6.0 parking spaces per 100 m<sup>2</sup> of GFA. **Table 1** summarizes the minimum parking requirement calculations for the existing and proposed development under By-Law 1-88.

**Table 1: Minimum Parking Requirements – Zoning By-Law 1-88**

Type of Use	Total GFA (SQM)	Zoning By-Law 1-88	
		Rate	Minimum Parking Supply Required
Unit 9 – Commercial	252	6.0 spaces per 100 m <sup>2</sup>	15 spaces
Unit 9 - Church	252	11.0 spaces per 100 m <sup>2</sup>	28 spaces
<b>Difference</b>			<b>+ 13</b>

With the conversion of the subject unit to a Place of Worship, By-Law requirements increases the parking supply requirement by 13 spaces. The overall parking supply of 261 spaces represents a parking deficiency of approximately 5% as a result of the unit conversion.

### 2.2 City of Vaughan Recommended Parking Standards (Draft By-Law)

The City is presently reviewing its parking standards contained within By-Law 1-88 to be more reflective of the City’s increasing urban environments and robust and frequent public transportation. As a result of the undertaking of the *Review of Parking Standards Contained within the City of Vaughan’s Comprehensive Zoning By-Law: Final Report*, the subject site is recommended to be zoned as GMU (General Mixed-Use).

The recommended minimum parking standards in a GMU zone for a Place of Worship is 8.0 spaces per 100 m<sup>2</sup> of GFA whereas a commercial centre/store is 2.0 parking spaces per 100 m<sup>2</sup> of GFA to a maximum of 4.5 parking spaces per 100 m<sup>2</sup>.

Based on the forgoing, the conversion of the subject unit to a Place of Worship, By-Law requirements increases the parking supply requirement by **only 5 spaces**. Furthermore, the commercial units/stores within the plaza will be subject to much lower parking standards under the new recommended requirements compared to By-Law 1-88.

As such, the overall parking supply of 261 spaces would meet the requirements of recommended parking standards including the IMSSDARM church operations.

While the parking supply of 261 spaces meets the Draft By-Law requirements and represents a parking deficiency of less than 10% of By-Law 1-88, a parking reduction justification was undertaken to ensure that the parking supply is adequate to accommodate the parking demands of the plaza. The following methodologies were analyzed:



- Parking Utilization Surveys.
- Shared Parking opportunities between and among neighbouring users.
- Assessment of non-auto/ Transportation Demand Management (TDM) opportunities within and in the vicinity of the site.

### **2.3 Parking Utilization Surveys**

To determine if the proposed parking supply is adequate, parking utilization surveys at 7611 Pine Valley Drive on Wednesday, October 20th and Saturday, October 23rd, 2021. Surveys were conducted before, during and after IMSSDARM service times at 30-minute intervals on Wednesday from 7:00 p.m. to 9:00 p.m. and on Saturday from 10:30 a.m. to 12:30 p.m. The survey is included in the appendices.

The site plan shows that the two buildings at the plaza, Building A and Building B have a total of 24 and 15 units, respectively. During the survey, it was observed that all units were occupied except for two units, unit 23 and 24, located in Building A. These two units have an approximate total GFA of 260 square meters. This unoccupied GFA was removed from the parking demand ratio calculation.

Observations also show that the units were occupied by a variety of services including, real estate and brokerage firms, medical, wellness and dental offices, catering spaces, professional general offices, retail spaces, animal grooming and daycare services, hair salons/spas, restaurants and a sports bar as well as places of worship. It is noted that these individual units and services operate with different opening and closing times.

At the time of survey, it was observed that two of the restaurants on site had their patios extended occupying approximately 5 parking spaces each. For this analysis these 10 parking spaces were removed from the available parking supply calculation.

Survey operations also noted another similar sized place of worship in Building A (Woodbridge Hispanic Church) with similar service time on Wednesdays from 7:30 p.m. However, this place of worship's main service is on Sundays and not Saturdays like IMSSDARM.

Based on the foregoing, below is a summary of the parking demand survey:

- Total **occupied** GFA - 4,347.03 square meters (currently two units unoccupied)
- Total parking supply – 251 parking spaces (10 spaces used as patio)
- Peak parking demand observed – 107 spaces
- Surplus parking – 144 spaces

Results of the parking survey indicate a peak parking demand of 107 cars or a parking demand ratio of **2.5 cars per 100 m<sup>2</sup>** occurring at 11:30 a.m. on Saturday, October 23<sup>rd</sup>.

At peak operations, including that of the IMSSDARM church, a surplus of 144 spaces was observed. It is therefore concluded that the parking supply of 261 spaces is sufficient to accommodate the demand of the entire development including the IMSSDARM church.

## 2.4 Shared Parking Opportunities

Shared parking arrangements amongst neighboring properties should be encouraged where possible to reduce over supply of parking spaces. The concept of shared parking takes advantage of different parking demand patterns based on the time of day for each type of use.

As mentioned earlier, the subject site is located within a commercial zone. Presently, the neighbours adjacent to the site include a TD Canada Bank Plaza as well as retail plazas with a variety of users.

The church hours of operation provide opportunity for shared parking among the different retail and office users within and outside the subject site that do not share similar parking demand patterns based on time-of-day factors as noted in the ITE Parking Generation Handbook and the Victoria Transport Policy Institute (VTPI). **Table 3** below shows the typical parking occupancy rates by land use based on time-of-day patterns.

**Table 3 Parking Occupancy Rates**

Uses	M-F	M-F	M-F	Sat. & Sun.	Sat. & Sun.	Sat. & Sun.
	8am-5pm	6pm-12am	12am-6am	8am-5pm	6pm-12am	12am-6am
Residential	60%	100%	100%	80%	100%	100%
Office/ Warehouse /Industrial	100%	20%	5%	5%	5%	5%
Commercial	90%	80%	5%	100%	70%	5%
Hotel	70%	100%	100%	70%	100%	100%
Restaurant	70%	100%	10%	70%	100%	20%
Movie Theater	40%	80%	10%	80%	100%	10%
Entertainment	40%	100%	10%	80%	100%	50%
Conference/Convention	100%	100%	5%	100%	100%	5%
Institutional (non-church)	100%	20%	5%	10%	10%	5%
Institutional (church)	10%	5%	5%	100%	50%	5%



**Adjacent Commercial Site – TD Bank**

## **2.5 On-site Transportation Demand Management (TDM)**

Transportation Demand Management (TDM) refers to variety of strategies to reduce congestion, minimize the number of single-occupant vehicle, encourage non-auto modes of travel, and reduce vehicle dependency to create a sustainable transportation system. In short, TDM works to change how, when, where, and why people travel.

TDM strategies that can be applied to the subject site including the followings:

- **Parking Reduction** - Based on the Region's *Transportation Mobility Plan Guidelines for Development Applications* parking reductions where appropriate is identified as a TDM measure to minimize vehicle dependency and single-occupant vehicle trips.
- **Encourage more carpooling** - Encourage and promote more carpooling among congregation where feasible
- **Bicycle Parking** – If applicable and feasible, consider the implementation of bicycling parking racks at the front of the building to encourage cycling.
- **Promote transit usage** - Church staff can be encouraged to provide transit information (i.e. maps and schedules) to patrons during service. The site is presently well served by transit including bus route #12, #77 and #501.
- **Consider Church and Event Bus Rentals** – Many churches and event venues often use bus rentals to arrange for group transportation to and from the church or venue. Research shows a number of chartered or rental bus services for church groups within the GTA that have fleet ranging from 12 to 62 seaters.



**7611 Pine Valley Drive – internal driveway & parking**

### **3.0 CONCLUSIONS & RECOMMENDATIONS**

The key findings are summarized below:

- With the conversion of the subject unit to a Place of Worship, By-Law (1-88) requirements increases the parking supply requirement by 11 spaces.
- The parking supply of 261 spaces is adequate to support the expected parking demand generated by the development proposal and it meets the recommendations of the Draft By-law parking requirements.
- The peak parking demand ratio following surveys at the Plaza including IMSSDARM church operations was calculated as 2.5 cars per 100 m<sup>2</sup> which is significantly lower than the By-law 1-88 requirement of 11.0 spaces per 100 m<sup>2</sup> of GFA for a Place of Worship and 6.0 parking spaces per 100 m<sup>2</sup> of GFA for a commercial centre/store.
- Observations show a surplus parking supply of 144 parking spaces during subject unit peak operations and is more that sufficient to accommodate parking demands of the proposed development including the IMSSDARM church.
- The subject site location and the proposed land use typology shows that opportunity exists for shared parking to occur between the church (operating during weekday evenings and Saturdays) and adjacent commercial uses within acceptable walking distances, if required.

It is our opinion that the subject site will have sufficient parking supply to accommodate the developmental needs, including the operations of IMSSDARM church. Should you have any questions regarding this study, please do not hesitate to contact the undersigned.

Yours truly,

**CGE TRANSPORTATION CONSULTING**



Casey Ge, P.Eng.  
President

***Appendix A:  
Parking Utilization Surveys (7611 Pine Valley Drive)***

**7611 Pine Valley Drive, Vaughan**

<b>Wednesday, October 20, 2021</b>			<b>Saturday, October 23, 2021</b>		
<i>After COVID Phase 3 (Reopening)</i>			<i>After COVID Phase 3 (Reopening)</i>		
<b>Time Period</b>	<b>Occupied Spaces</b>	<b>Total Supply</b>	<b>Time Period</b>	<b>Occupied Spaces</b>	<b>Total Supply</b>
7:00	53	251	10:30	91	251
7:30	54	251	11:00	106	251
8:00	40	251	11:30	107	251
8:30	31	251	12:00	92	251
9:00	27	251	12:30	89	251

## SCHEDULE D: BACKGROUND

Application No. (City File)	Application Description (i.e. Minor Variance Application; Approved by COA / OLT)
A072/21	APPROVED COA

**NOTICE OF DECISION**  
**Minor Variance Application A072/21**  
 Section 45 of the Planning Act, R.S.O., 1990, c.P.13

**Date of Hearing:** Thursday, June 10, 2021  
**Applicant:** 2207922 Ontario Inc.  
**Agent:** 2MK Architects Inc.  
**Property:** **7611 Pine Valley Drive, Unit 28, Woodbridge**  
**Zoning:** The subject lands are zoned C7 - Service Commercial Zone and are subject to the provisions of Exception 9(864) under By-law 1-88 as amended.  
**OP Designation:** Vaughan Official Plan 2010 ('VOP 2010'): "Mid-Rise Mixed-Use"  
**Related Files:** None  
**Purpose:** Relief from By-law 1-88, as amended is being requested to permit the construction of a proposed second floor within Unit #28.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
The by-law requires that a minimum of 285 parking spaces shall be required on the lot. [3.8 a) and 9(864) ei)]	A minimum of 261 parking spaces are proposed to be provided on the lot.

**Sketch:** A sketch illustrating the request has been attached to the decision.

**Having regard to the requirements of Section 45 of the *Planning Act*, R.S.O. 1990, c. P. 13, as amended, including the written and oral submissions related to the application, it is the decision of the Committee:**

THAT Application No. A072/21 on behalf of 2207922 Ontario Inc. be **APPROVED**, in accordance with the sketch submitted with the application (as required by Ontario Regulation 200/96)

**For the following reasons:**

1. The general intent and purpose of the by-law will be maintained.
2. The general intent and purpose of the official plan will be maintained.
3. The requested variance(s) is/are acceptable for the appropriate development of the subject lands.
4. The requested variance(s) is/are minor in nature.

**Please Note:**

It is the responsibility of the owner/applicant and/or authorized agent to address any condition(s) of approval noted in this decision to the satisfaction of the commenting department or agency. Once conditions have been satisfied, the Secretary Treasurer will be in a position to issue a clearance letter which is required prior to the issuance of a Building Permit.

Relief granted from the City's Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City's Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment



approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

**Written & oral submissions considered in the making of this decision were received from the following:**


<b>Public Written Submissions</b> * Public Correspondence received and considered by the Committee in making this decision	<b>Public Oral Submissions</b> *Please refer to the approved Minutes of the Thursday , June 10, 2021 meeting for submission details.
None	None

**Late Written Public Submissions: N/A**

Public written submissions on an Application shall only be received by the Secretary Treasurer until **noon** on the last business day prior to the day of the scheduled Meeting.

**MEMBERS PRESENT WHO CONCUR IN THIS DECISION:**

<i>Hao Zheng</i>	<i>Assunta Perrella</i>	<i>Robert Buckler</i>
H. Zheng Member	A. Perrella Chair	R. Buckler Member
<i>Steve Kerwin</i>		<i>Adolfo Antinucci</i>
S. Kerwin Vice Chair		A. Antinucci Member

<b>DATE OF HEARING:</b>	<b>June 10, 2021</b>
<b>DATE OF NOTICE:</b>	<b>June 18, 2021</b>
<b>LAST DAY FOR *APPEAL:</b> *Please note that appeals must be received by this office no later than 4:30 p.m. on the last day of appeal.	<b>June 30, 2021 4:30 p.m.</b>
<b>CERTIFICATION:</b> I hereby certify that this is a true copy of the decision of the City of Vaughan’s Committee of Adjustment and this decision was concurred in by a majority of the members who heard the application.   <hr/> Christine Vigneault, AMP, ACST Manager Development Services & Secretary Treasurer to the Committee of Adjustment	

\*Electronic signatures have been used to process this decision as approved by the Committee of Adjustment at the May 28, 2020 hearing.

**Appealing to The Local Planning Appeal Tribunal**  
The *Planning Act*, R.S.O. 1990, as amended, Section 45

The applicant, the Minister or any other person or public body who has an interest in the matter may within 20 days of the making of the decision appeal to the Local Planning Appeal Tribunal (LPAT) against the decision of the Committee by filing with the Secretary-Treasurer of the Committee a notice of appeal (A1 Appeal Form) setting out the objection to the decision and the reasons in support of the objection accompanied by payment to the Secretary-Treasurer of the fee prescribed by the Tribunal under the *Local Planning Appeal Tribunal Act*.

A notice of appeal may not be filed by an unincorporated association or group. However, a notice of appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

When **no appeal is lodged** within twenty days of the date of the making of the decision, the decision becomes final and binding and notice to that effect will be issued by the Secretary-Treasurer.

**PLEASE NOTE:** As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time. Please mail or courier appeals and prescribed fees to:

Office of the City Clerk - Committee of Adjustment  
2141 Major Mackenzie Drive  
Vaughan Ontario, L6A 1T1

If you have questions regarding the appeal process, please email [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

**Appeal Fees & Forms**

**Local Planning Appeal Tribunal:** The LPAT appeal fee is \$400 plus \$25 for each additional consent/variance appeal filed by the same appellant against connected applications. The LPAT Appeal Fee must be paid by certified cheque or money order payable to the “Minister of Finance”. Appeal forms (A1 Appeal Form – Minor Variance) can be obtained at [www.elto.gov.on.ca](http://www.elto.gov.on.ca) or by contacting our office at 905-832-8585 Ext. 8332 or [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

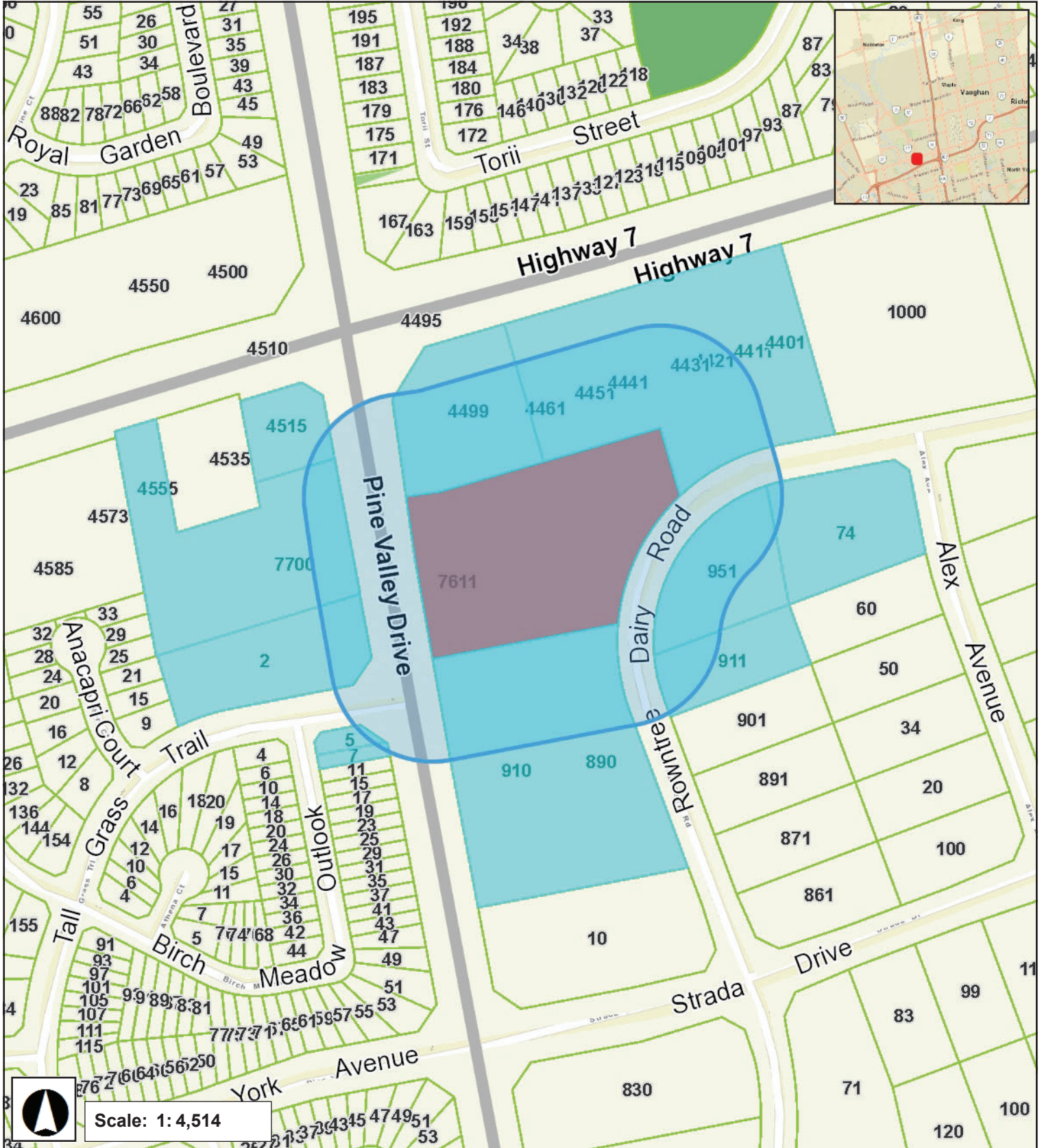
**City of Vaughan LPAT Processing Fee:** \$866.00 per application

\*Please note that all fees are subject to change.



# LOCATION MAP - A072/21

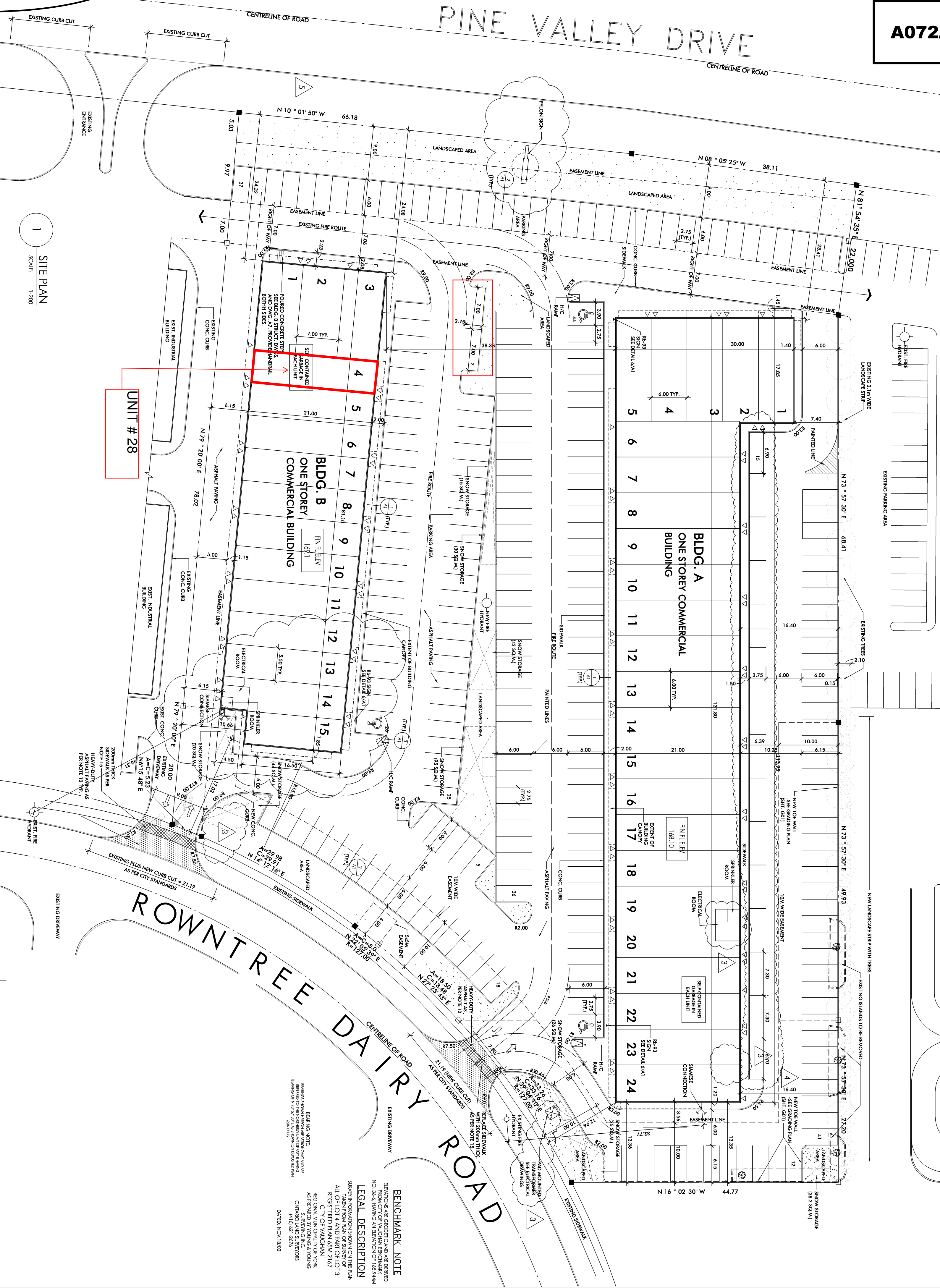
7611 PINE VALLEY DRIVE, UNIT 28, WOODBRIDGE





**A072/21**

**EXISTING TD BANK**



**SITE DEVELOPMENT DATA**

ZONING	C7-H
LOT AREA	16,965.50 sq.m. / 176,173.00 sq.ft. (4,044 AC.) (1.63 ha.)
BUILDING AREA	2,628.48 sq.m. / 31,251.57 sq.ft.
BUILDING B (COMMERCIAL)	1,678.58 sq.m. / 18,083.03 sq.ft.
TOTAL BUILDING AREA (FOOTPRINT)	4,607.03 sq.m. / 49,588.60 sq.ft.
LOT COVERAGE	28.15%
NET GROUND COVERAGE	27.20%
SETBACKS	REQUIRED 9.00M / PROVIDED 12.94M
FRONT YARD	9.00M / 23.41M
REAR YARD (EXT.)	22.00M / N/A
SIDE YARD (INT.)	N/A / 6.00M
PARKING	REQUIRED 271 SPACES / PROVIDED 261 SPACES (INCLUDE 3 H/O SPACES)
LOADING SPACES	REQUIRED / PROVIDED
OFFICE	N/A / N/A
LANDSCAPED AREA	N/A / N/A
PAID AREA	2,950.69 sq.m. / 31,762.00 sq.ft. (1,603 %) / 6,808.77 sq.m. / 73,491.91 sq.ft. (53.88%)

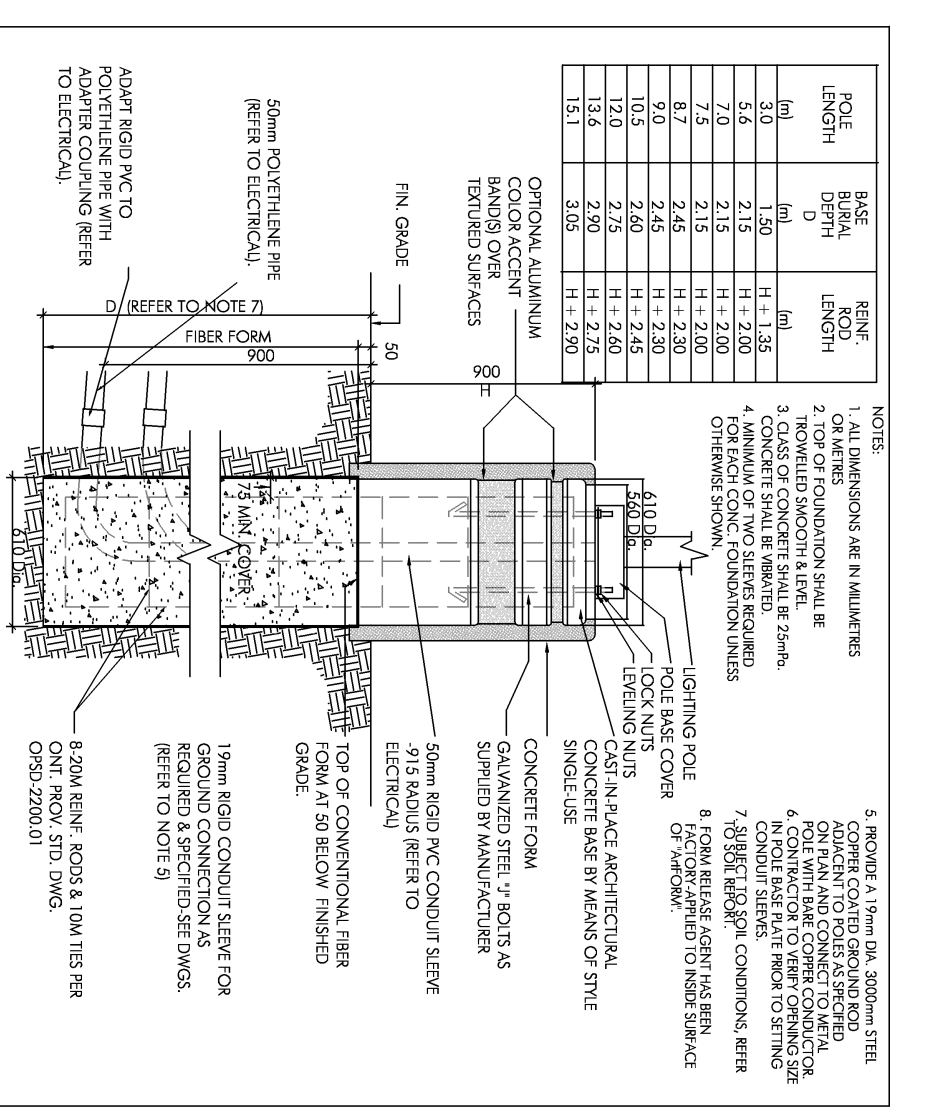
**ONTARIO BUILDING CODE DATA**

PROJECT DESCRIPTION	BUILDING A AND BUILDING B
DATE	DATE
MAJOR OCCUPANCY(S)	[ ] BELOW GRADE = [0] / [ ] CHANGE OF USE
NUMBER OF STOREYS ABOVE GRADE = [1] / BELOW GRADE = [0]	
HEIGHT OF BUILDING	B.C.A.: [2.80] m / F.I.C.: [0] m / B.C.B.: [1] STREETS / B.C.B.: [1] STREETS
BUILDING CLASSIFICATION	[ ] GROUP [E], UP TO 2 STOREYS SPRINKLERED
SPRINKLER SYSTEM PROPOSED	[ ] DRY PIPE / [ ] WET PIPE
STANDPIPE REQUIRED	[ ] YES / [ ] NO
FIRE ALARM REQUIRED	[ ] YES / [ ] NO
HIGH BUILDING	[ ] YES / [ ] NO
WATER SERVICE IS ADEQUATE	[ ] YES / [ ] NO
CONSTRUCTION	[ ] COMBUSTIBLE / [ ] NON-COMBUSTIBLE
MEZZANINE(S) AREA	[ ] N/A / [ ] sq.m.
TOTAL OCCUPANCY LOAD	TABLE 3.11.6.1
BASED ON	sq.m./PERSON / PERSONS / BUILDING
BARBER-FREE DESIGN	[ ] YES / [ ] NO
HAZARDOUS SUBSTANCES	[ ] YES / [ ] NO
REQUIRED FIRE RESISTANCE	REQUIRED (HOURS) / LISTED PERSON IN (LISTED OR DESCRIPTION) (S-2)
RAILING (FRR)	FLOORS: [ ] / ROOFS: [ ] / MEZZANINE: [ ]
MEZZANINE	FRM OF SUPPORTING (FRM OF MEZZANINE) (S-2)
FLOORS	[ ] / [ ] / [ ]
ROOFS	[ ] / [ ] / [ ]
MEZZANINE	[ ] / [ ] / [ ]

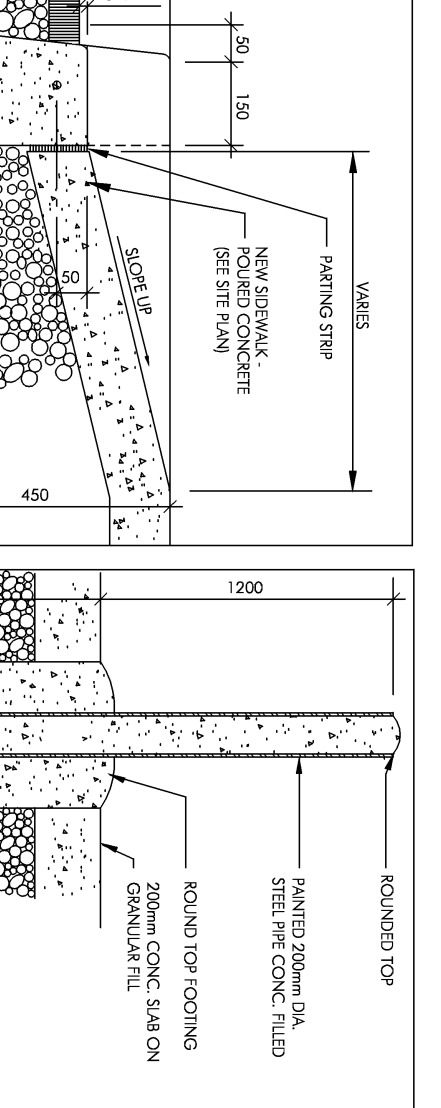
**BENCHMARK NOTE**

EDUCATION AND ECONOMIC AND DEVELOPMENT  
NO. 1000 CITY OF VANCOUVER, BRITISH COLUMBIA  
1000 VANCOUVER STREET, VANCOUVER, BC V6E 2T1  
LEGAL DESCRIPTION  
SECTION 10 OF THE PLAN OF SUBDIVISION OF  
LOT 3 AND PART OF LOT 3  
OF THE PLAN OF SUBDIVISION OF LOT 3  
AND PART OF LOT 3  
OF THE PLAN OF SUBDIVISION OF LOT 3  
AND PART OF LOT 3  
OF THE PLAN OF SUBDIVISION OF LOT 3  
AND PART OF LOT 3  
DATED NOV 18/2005

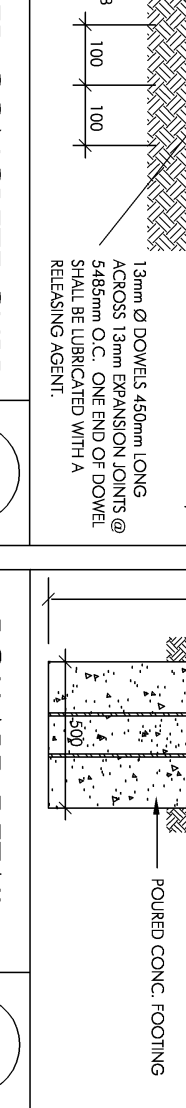
NO.	REVISIONS	DATE
1	ISSUED FOR PERMITTING	23/07/2005
2	REVISION FOR PERMITTING	23/07/2005
3	REVISION FOR PERMITTING	23/07/2005
4	REVISION FOR PERMITTING	23/07/2005
5	ISSUED FOR PERMITTING	23/07/2005



**LIGHTING POLE DETAIL ARTFORMS KELLAMY 610R**



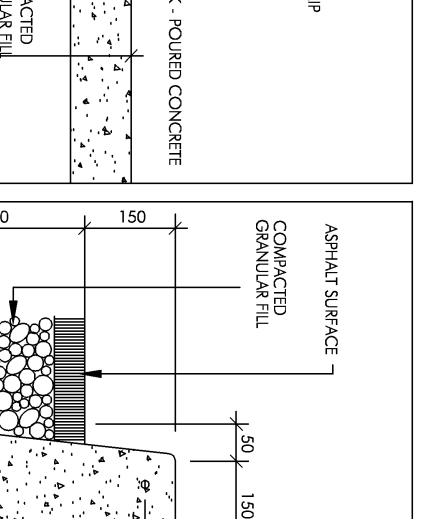
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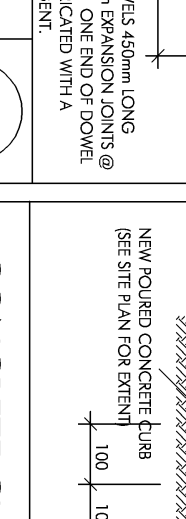
**CONCRETE CURB**

**H/C PARKING SIGN DETAIL**

**1**



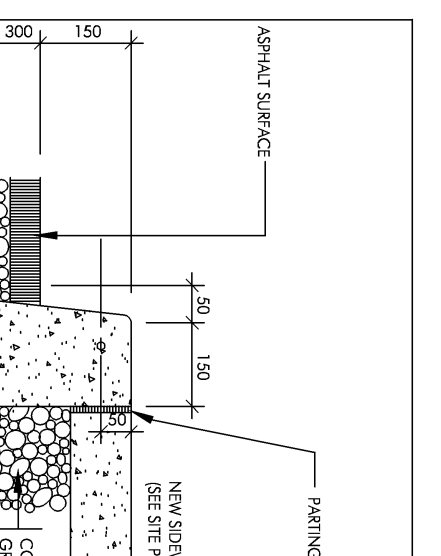
**CONCRETE CURB**



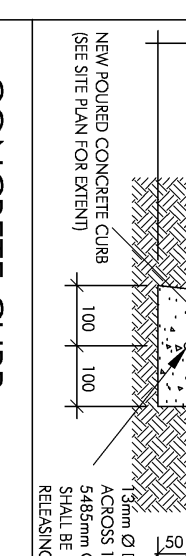
**CONCRETE CURB**

**DEPRESSED CONCRETE CURB**

**2**



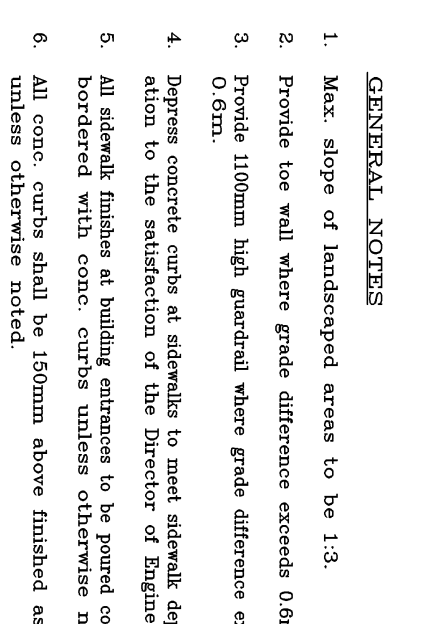
**DEPRESSED CONCRETE CURB**



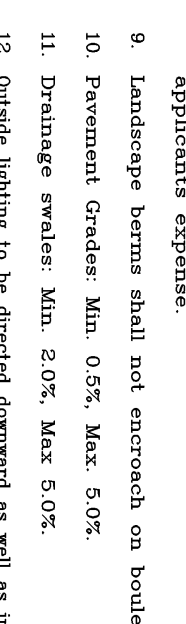
**DEPRESSED CONCRETE CURB**

**BOLLARD DETAIL**

**3**



**BOLLARD DETAIL**



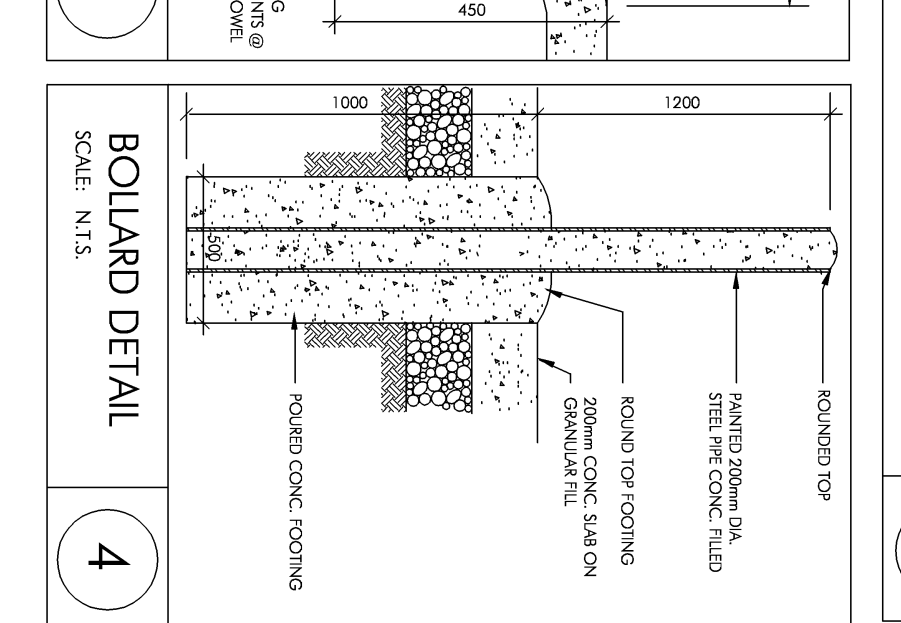
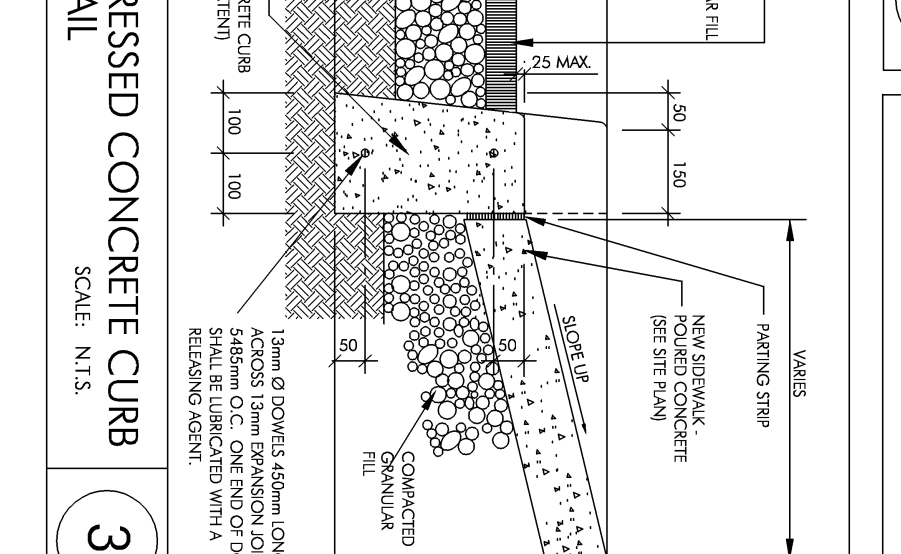
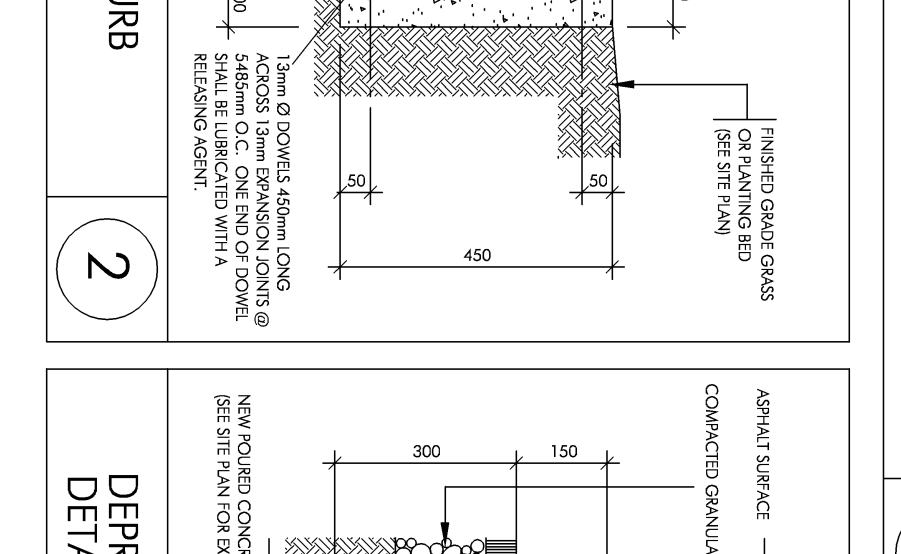
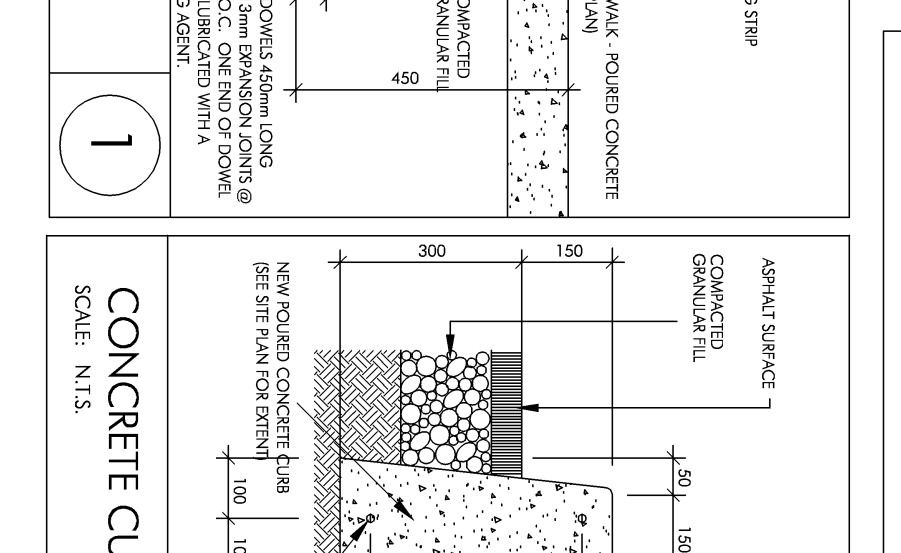
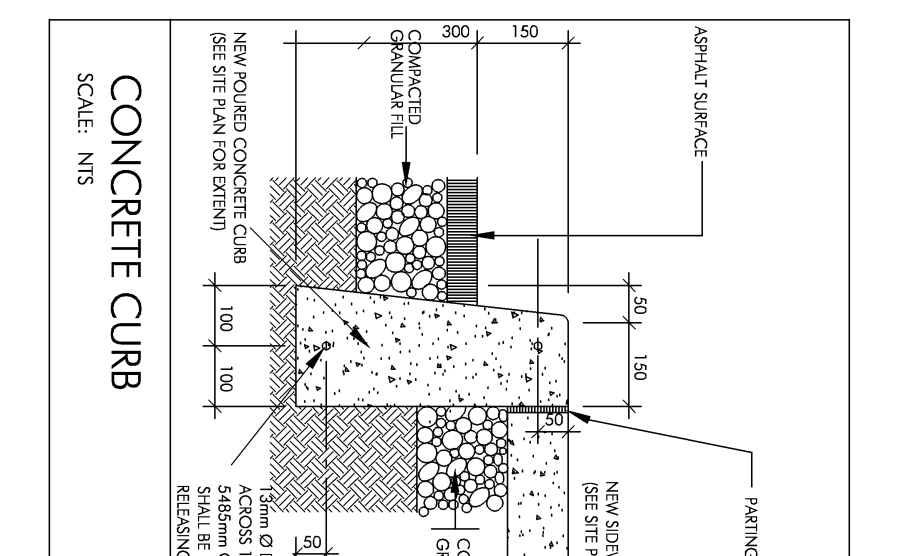
**BOLLARD DETAIL**

**PARKING SPACES = 261**

- STANDARD NOTES FOR SITE PLAN**
- Standard drawings of the form of Vaughan constitute part of the site plan drawing.
  - All construction work to be carried out in accordance with the requirements of the applicable building code and any applicable codes and regulations for construction projects.
  - Designation of materials shall be as per the manufacturer's specifications for the materials to be used.
  - The location of all water/sewer lines and structures is approximate only, and where shown on the drawings, the accuracy of the location of such utilities is not guaranteed. It is the responsibility of the contractor to verify the location of all utilities and structures by consulting the appropriate authorities and utility records and shall remain liable for damage or restoration to any utilities.
  - Any conflict with utility services shall be resolved at the owner's expense. Sewerage and storm control measures shall be in accordance with City Standard Drawings. Please see also the City Standard Drawings for all applicable standards.
  - All utility manholes shall be installed in accordance with City Standard Drawings. Manholes shall be installed in accordance with City Standard Drawings. All manholes shall have a minimum vertical separation of 0.3 m and horizontal separation of 2.5 m between any sewer or manhole.
  - Hydrants to be installed as per City Standard.
  - Proposed structures shall be constructed with heavy duty asphalt from the back of the municipal curb to the edge of pavement to the property line (area highlighted on drawing).
  - Proposed structures shall be constructed with heavy duty asphalt from the back of the municipal curb to the edge of pavement to the property line (area highlighted on drawing).
  - Proposed structures shall be constructed with heavy duty asphalt from the back of the municipal curb to the edge of pavement to the property line (area highlighted on drawing).

- All concrete curbs from existing road curbs to street-line shall be heavy-duty City Standard concrete curb. All concrete curbs to be constructed at sidewalk and tapered base 600 mm minimum.
- All concrete curbs from existing road curbs to street-line shall be heavy-duty City Standard concrete curb. All concrete curbs to be constructed at sidewalk and tapered base 600 mm minimum.
- All concrete curbs from existing road curbs to street-line shall be heavy-duty City Standard concrete curb. All concrete curbs to be constructed at sidewalk and tapered base 600 mm minimum.
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- All concrete curbs from existing road curbs to street-line shall be heavy-duty City Standard concrete curb. All concrete curbs to be constructed at sidewalk and tapered base 600 mm minimum.

- GENERAL NOTES**
- Max. slope of landscaped areas to be 1:3.
  - Provide top wall where grade difference exceeds 0.6m.
  - Provide 1100mm high guardrail where grade difference exceeds 0.9m.
  - Depress concrete curbs to adequate to avoid water spraying.
  - All existing finished building elevations to be signed, marked, and referenced with owner. Curbs unless otherwise noted.
  - All curbs shall be 150mm above finished asphalt unless otherwise noted.
  - Shaded areas at entrance ramps shows heavy-duty asphalt paving.
  - Any conflict with existing services shall be resolved at the applicant's expense.
  - Landscaping to be installed in accordance with City Standard Drawings.
  - Prevent water from 0.5% max. slope.
  - Drainage swales: Min. 2.0% Max. 5.0%.
  - Outside lighting to be directed downward as well as inward.



**PROPOSED COMMERCIAL DEVELOPMENT**

**ROWNTREE INVESTMENTS INC.**  
FOR  
THE  
CITY OF VANCOUVER

**3231 JANGSIFE ROAD  
SUITE 204, VANCOUVER  
ONTARIO M4K 4J2**  
TEL: (905) 761-7872  
FAX: (905) 761-7873  
WWW.RITVINC.COM

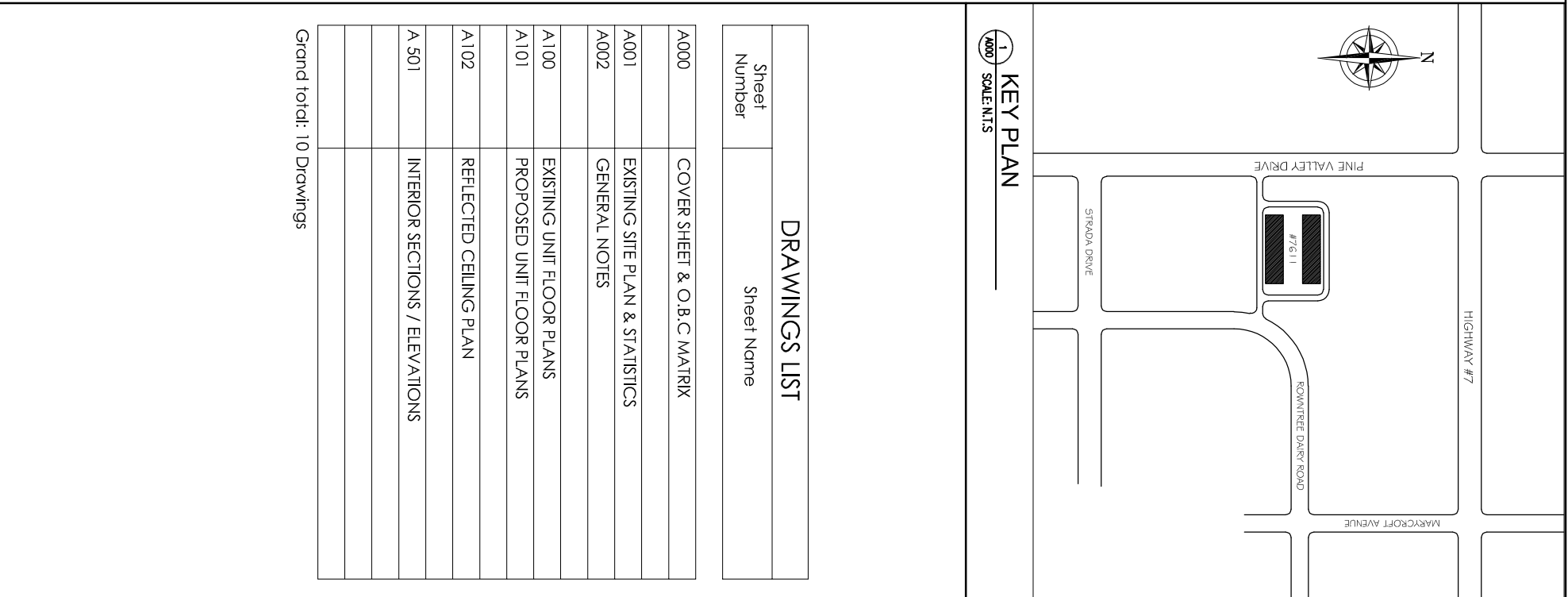
**DATE:** SEPTEMBER 2005  
**SCALE:** 1:300  
**DRAWN BY:** J.C.  
**REVIEWED BY:** J.C.

**PROJECT NO.:** 2304/R  
**DRAWING NO.:** A1



Ontario Building Code Data Matrix Part 3				Building Code Reference 1
3.00	Building Code Version: <u>O. Reg. 339/12</u>	Last Amendment: <u>O. Reg. 191/14</u>		
3.01	Project Type: <input type="checkbox"/> New <input type="checkbox"/> Addition and renovation <input checked="" type="checkbox"/> Renovation <input type="checkbox"/> Change of use <input type="checkbox"/> Addition	Description: <u>Interior Alteration to an Existing Commercial Building</u>		[A]1.1.2
3.02	Major Occupancy Classification: Occupancy: <u>Use</u> D: <u>Office</u>			3.12.1(f)
3.03	Superimposed Major Occupancies: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	Description: _____		3.2.2.7
3.04	Building Area (m <sup>2</sup> ): Description: _____ Area of Interior Alteration: <u>192.8 m<sup>2</sup></u> Total area of interior alteration: <u>192.8 m<sup>2</sup></u>	Existing: _____ New: <u>0</u> Total: <u>192.8 m<sup>2</sup></u>		[A]1.4.1.2
3.05	Gross Area (m <sup>2</sup> ): Description: _____ Area of Interior Alteration: <u>192.8 m<sup>2</sup></u> Total: <u>192.8 m<sup>2</sup></u>	Existing: _____ New: <u>0</u> Total: <u>192.8 m<sup>2</sup></u>		[A]1.4.1.2
3.06	Mezzanine Area (m <sup>2</sup> ): Description: _____ Existing mezzanine: <u>42.8 m<sup>2</sup></u> Total: <u>75.8 m<sup>2</sup></u>	Existing: _____ New: <u>0</u> Total: <u>75.8 m<sup>2</sup></u>		3.2.1.1
3.07	Building Height: <u>1</u> Storeys above grade <u>0</u> Storeys below grade	Existing: _____ (m) Above grade		[A]1.4.1.2.8 3.2.1.1
3.08	High Building: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes			3.2.6
3.09	Number of Stairs/ Firefighter access: <u>1</u> stairs(s)			3.2.2.10 & 3.2.5
3.10	Building Classification: (See Part 3, Subpart 2.2) <u>3.2.2.6.2</u> Group/Div: <u>E</u>			3.2.2.20 - 83
3.11	Sprinkler System: Proposed: <input checked="" type="checkbox"/> Required <input type="checkbox"/> Not Required <input checked="" type="checkbox"/> entire building <input type="checkbox"/> selected floor areas <input type="checkbox"/> in lieu of foot rating	<input type="checkbox"/> selected compartments <input type="checkbox"/> basement <input type="checkbox"/> none		3.2.1.5.8 3.2.2.17
3.12	Standpipe System: <input checked="" type="checkbox"/> Not required <input type="checkbox"/> Required			3.2.9
3.13	Fire Alarm System: Proposed: <input type="checkbox"/> Required <input checked="" type="checkbox"/> Not required <input type="checkbox"/> Single stage <input type="checkbox"/> Two stage <input type="checkbox"/> None			3.2.4
3.14	Water Service / Supply is Adequate: <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes			
3.15	Construction Type: Restriction: <input checked="" type="checkbox"/> Combustible permitted <input checked="" type="checkbox"/> Non-combustible required Actual: <input type="checkbox"/> Combustible <input type="checkbox"/> Non-combustible <input checked="" type="checkbox"/> Combination Heavy Timber Construction: <input type="checkbox"/> No <input type="checkbox"/> Yes			3.2.2.20 - 83.8 3.2.1.4
3.18	Occupant Load: Floor Level/Area: _____ Main Floor: _____ Occupancy: _____ Office employees: _____	Based On: _____ Reason: _____ Design: _____ 10 persons	Occupant Load: _____	3.1.17
3.19	Barrier-free Design: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Explanation: _____			3.8
3.20	Hazardous Substances: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Explanation: _____			3.3.1.2.8 3.3.1.19
3.21	Required Fire Resistance Ratings: Horizontal Assembly: _____ Vertical Assembly: _____ Supporting Assembly: _____ Noncombustible In Lieu of Rating: _____			3.2.2.20 - 83.8 3.2.1.4
3.23	Punching Rupture Requirements: Ratio: _____ Male Female = 50/50 Except as noted otherwise Floor Level/Area: _____ Occupant Load: _____ Main Floor: _____	Occupant Based On: _____ Reason: _____ Design: _____ 10 persons	Occupant Load: _____	3.7.4

STATISTICS	
ADDRESS: 7611 Pine Valley Dr. Vaughan, ON, L4L 9A9. Unit #28	
ZONING: C7 Commercial	TOTAL PROPOSED GROSS FLOOR AREA = 192.8 m <sup>2</sup> Gr. Floor area = 117 m <sup>2</sup> Mezzanine / SECOND FLOOR = 75.8 m <sup>2</sup>
PREVIOUS UNIT USE: EATING ESTABLISHMENT/ CONVENIENCE	PROPOSED UNIT USE: PROFESSIONAL OFFICE / BUSINESS
MEZZANINE AREA CALCULATIONS	
EXISTING MEZZANINE FLOOR AREA = 42.8 m <sup>2</sup>	
PROPOSED ADDITION TO EXISTING MEZZANINE FLOOR AREA = 33 m <sup>2</sup>	
TOTAL PROPOSED MEZZANINE / SECOND FLOOR AREA = 75.8 m <sup>2</sup>	
OPEN SPACE AREA = 35.5 m <sup>2</sup>	
NOTE: WE PROPOSE THIS ADDITION AS SECOND FLOOR	
CAR PARKING: REQUIRED CAR PARKING FOR OFFICE USE = 3.5 FOR EVERY 100 m <sup>2</sup> GFA = 7 CAR PARKING SPACES REQUIRED TOTAL EXISTING CAR PARKING ALLOCATED FOR UNIT #28 = 6 (NO CHANGE) TOTAL EXISTING CAR PARKING PROVIDED ON SITE = 26 (NO CHANGE)	
BUILDING HEIGHT: EXISTING (NO CHANGE)	
SET BACKS: ALL SET-BACKS EXISTING. NO CHANGE FOR EXISTING SET-BACKS	
O.B.C COMPLIANCE	PROPOSED UNIT USE: PROFESSIONAL OFFICE / BUSINESS
PREVIOUS UNIT USE: EATING ESTABLISHMENT/ CONVENIENCE	PROFESSIONAL OFFICE / BUSINESS
EXISTING BUILDING MAJOR OCCUPANCY: E - MERCANTILE OCCUPANCIES	O.B.C CLASSIFICATION OF THE WHOLE BUILDING: 3.2.2.6.2
EXISTING BUILDING FULLY SPRINKLERED	NUMBER OF EXITS FOR EXISTING UNIT: 2
MAX. OCCUPANT LOAD: 10 PERSON	
NUMBER OF BARRIER FREE WASHROOMS: 1 - EXISTING (NO CHANGE)	
NUMBER OF REGULAR WASHROOMS: 2	



DRAWINGS LIST	
Sheet Number	Sheet Name
A000	COVER SHEET & O.B.C MATRIX
A001	EXISTING SITE PLAN & STATISTICS
A002	GENERAL NOTES
A100	EXISTING UNIT FLOOR PLANS
A101	PROPOSED UNIT FLOOR PLANS
A102	REFLECTED CEILING PLAN
A 501	INTERIOR SECTIONS / ELEVATIONS

Grand total: 10 Drawings

This drawing is protected by copyright. Contractors must check all dimensions on site. Only figured dimensions are to be used. Discrepancies must be reported immediately to the architect before proceeding. All dimensions are shown in mm.

No.	Issued	Date
1	Issued for Building Permit Application	Sep. 08, 2020
2	Re-issued for Building Permit Application	Oct. 30, 2020
3	Re-issued for Building Permit Revision	Jan. 20, 2021
4	Re-issued for Minor Variance Application	April 13, 2021
5		
6		
7		
8		
9		
10		

Client: **R-Con Engineering Inc.**  
7611 Pine Valley Dr. Vaughan, ON, Unit #28  
Consultant: **ZMK Architects Inc.**  
501 A-3461 DIXIE RD.  
MISSISSAUGA ON, L4Y3X4  
phone 416-279-4351/416-3000175

Project: Interior Alterations To an Existing Space  
7611 Pine Valley Dr. Vaughan, ON, Unit #28  
Drawing Title: **Cover Sheet**

Drawn by: **MK** Checked by: **MK**  
Scale: 1 : 150 Date: Sep. 08, 2020  
Project No. **202049**  
drawing No. **A000**



PINE VALLEY DRIVE

66.18m N10°01'50"W

38.11m N08°05'25"W

22.00m N81°54'35"E

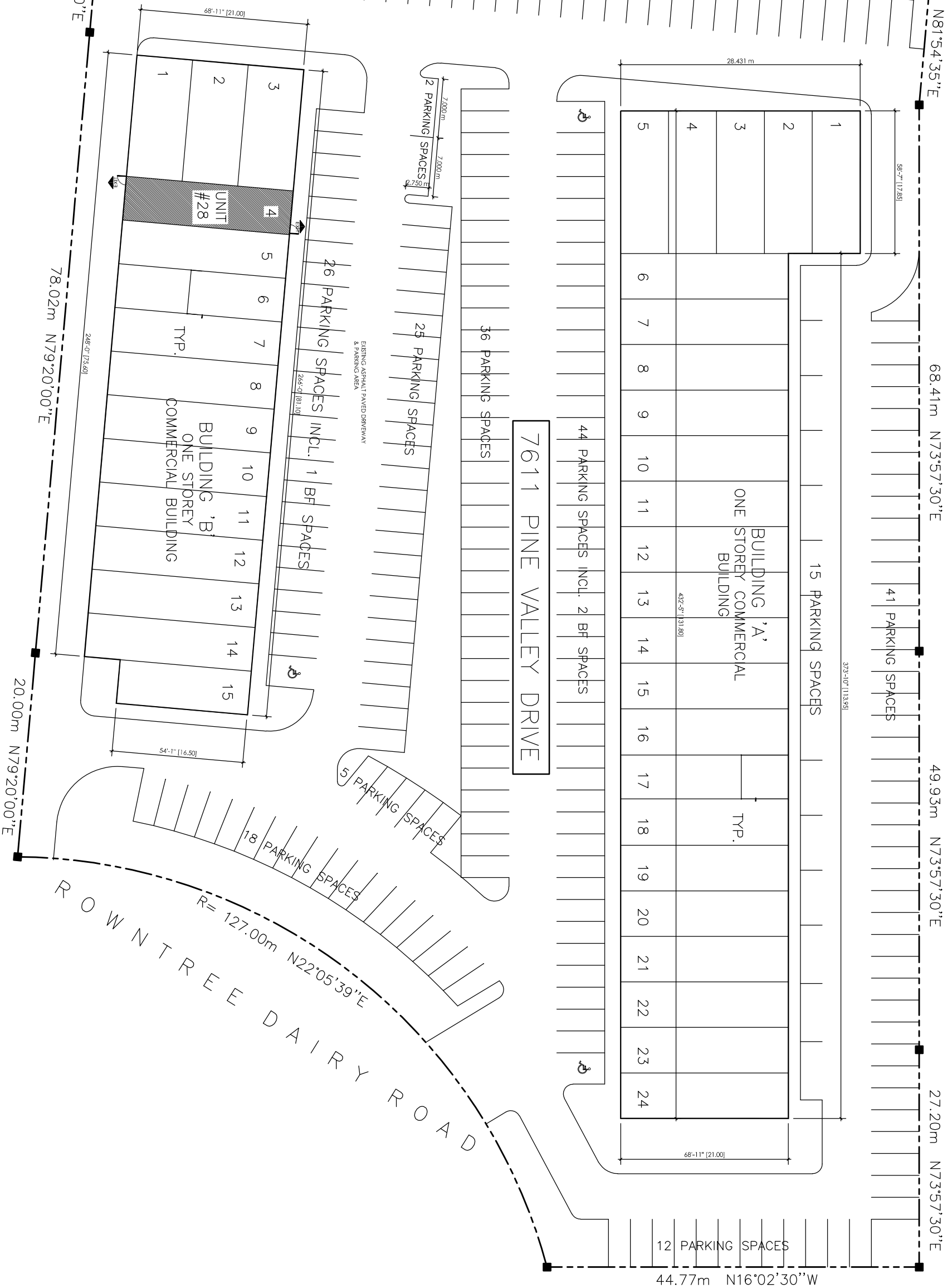
68.41m N73°57'30"E

49.93m N73°57'30"E

27.20m N73°57'30"E

44.77m N16°02'30"W

HIGHWAY # 7



1 SITE PLAN  
SCALE: 1:500

This drawing is protected by copyright. Contractors must check all dimensions on site. Only figured dimensions are to be used. Discrepancies must be reported immediately to the architect before proceeding.  
All dimensions are shown in mm.

Revisions

No.	Issued	Date
1	Issued for Building Permit Application	Sep. 08, 2020
2	Re-issued for Building Permit Revision	Jan. 20, 2021
3	Re-issued for Minor Variance application	April 13, 2021
4		
5		
6		
7		
8		
9		
10		



Client

R-Con Engineering Inc.

7611 Pine Valley Dr. Vaughan, ON, Unit #28

Consultant

**ZMK Architects Inc.**

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MISSISSAUGA ON, L4Y3X4  
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Project  
Interior Alterations To an Existing Space

7611 Pine Valley Dr. Vaughan, ON, Unit #28

Drawing Title

**SITE PLAN**

Drawn by: MK Checked by: MK

Scale 1 : 500 Date Sep. 08, 2020

Project No. 202049

drawing No.

**A001**