

# **60 NAPIER STREET, VAUGHAN HERITAGE IMPACT ASSESSMENT**

**FINAL**  
**OCTOBER 11, 2023**



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# 60 NAPIER STREET, VAUGHAN - HIA

## FINAL

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## EXECUTIVE SUMMARY

The subject property at 60 Napier Street is located in the Kleinburg-Nashville Heritage Conservation District (HCD). The proposed development for the subject property is to demolish the existing one-and-a-half storey dwelling and construct a new two storey residential building. Above grade, the proposed development is very similar to the design proposed in 2022 for which a Heritage Permit was issued on December 12, 2022. The massing, form and composition of the two proposal are identical, with other minor differences described in Section 7.0.

The subject property is considered a 'contributing resource' in the KNHCD and as such, the City of Vaughan requires a Cultural Heritage Impact Assessment (CHIA) to assess the proposed development's conformity to the objectives, policies and guidelines outlined in the KNHCD Plan (2021).

Based on historical research, document review, identification of impacts and compliance review, this CHIA recommends that the proposed development can occur, in part due to the issuance of a Heritage Permit in December 2022, for a very similar project.

This report has been prepared in accordance with the City of Vaughan, *Guidelines for Preparing Cultural Heritage Impact Assessments* (August 2019).



# 1.0 INTRODUCTION

## 1.1 CHIA REQUIREMENT

A Cultural Heritage Impact Assessment (dated July 26, 2022) was prepared by MW Hall Corporation for the subject property at 60 Napier Street. At that time, the proposed development called for extensive renovation to the existing residential building including raising of the clear height of the upper floor and replacing the existing dormers with a more defined double gable façade (Appendix: C July 2022 Rendering).

The CHIA was required as the subject property was located within the Klienbergh-Nashville Heritage Conservation District (KNHCD). The CHIA found that the “design for the planned new residence is more in keeping with the Heritage District Guidelines and recent redevelopment of other residences on Napier Street.”<sup>1</sup>.

The Heritage Vaughan Committee Report, dated September 14, 2022 noted that the existing building at 60 Napier Street is “considered ‘contributing’” and recommended approval of the proposed development outlined in the July 26, 2022 CHIA. In recommending approval, the report noted that “the scale of the planned residence, combined with roof dormers, front porch window formats and proposed exterior finishes reflect [a] high demand for heritage connection to [the] historic village character.” It further noted that the proposed exterior alterations to the existing building were in-keeping with the guidelines of the KNHCD Plan and were well-suited for the immediate neighbourhood as well as the HCD as a whole. The proposed new volume of the building offers a much better streetscape balance between the existing two immediate neighbouring buildings.

A Heritage Permit was issued on December 12, 2022 - HP2022.014.00. Since that time, the owner of the subject property and builder determined that the original proposal to keep the foundation walls, some of the first floor walls and underpin the basement was not feasible. They are proposing instead to demolish the existing building, and construct a new building including new foundation walls. As such a CHIA is required to address the demolition of the subject property. The above-grade design remains very similar to the July 2022 proposal for which the heritage permit was issued, with identical massing, form and composition. Minor changes to the design include cladding, garage door design and improvements to fenestration as discussed in Section 7.0.

On February 22, 2023, the updated KNHCD Plan came into effect, confirming the contributing status of the subject property. As a result, the City of Vaughan requires another Cultural Heritage Impact Assessment (CHIA) to assess the proposed development’s conformity to the objectives, policies and guidelines outlined in the KNHCD Plan (2021).

<sup>1</sup> MW Hall Corporation, *Cultural Heritage Impact Assessment: 60 Napier Street* (July 26, 2022), p. 4.

## **1.2 METHODOLOGY**

The project commenced with review of relevant heritage planning documents including the Kleinburg-Nashville Heritage Conservation District Study and Plan (2003) and the Kleinburg-Nashville Heritage Conservation District Study and Plan (September 2021). Additionally, land registry research was conducted online to determine the chain of ownership for the subject property.

A site review was conducted by David Deo and Ellen Kowalchuk, both of Common Bond Collective on August 11, 2023. They were accompanied by Fausto Cortese and Soheil Hadian-Dehkordi of Fausto Cortese Architects (FCA). The interior and exterior of the subject property was documented in photographs as was the context of Napier Street.

## **1.3 CONTACT INFORMATION**

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## 2.0 POLICY CONTEXT

### 2.1 PROVINCIAL POLICY CONTEXT

#### 2.1.1 ONTARIO HERITAGE ACT

The *Ontario Heritage Act* (OHA) is the key piece of legislation for the conservation of cultural heritage resources in the province. Among other things, it regulates how municipal councils can identify and protect heritage resources including archaeological sites within their boundaries.

The OHA permits municipal clerks to maintain a register of properties that are of cultural heritage value of interest. The City of London's Heritage Register includes: individual properties that have been designated under Part IV, subsection 29(1) of the OHA; properties in a heritage conservation district designated under Part V, subsection 41(1) of the OHA; and properties that have not been designated, but that City Council believes to be of cultural heritage value or interest under Part IV, subsection 27(3) of the OHA.

Subsection 27(9) requires a property owner to provide at least 60 days notice in writing of the owner's intention to demolish or remove a building or structure on a property that is included on a heritage register, but not designated.

The OHA includes nine criteria that are used for determining cultural heritage value or interest (O. Reg. 0/9):

1. The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.
2. The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.
3. The property has design value or physical value because it demonstrates a high degree of technical or scientific achievement.
4. The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community.
5. The property has historical value or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture
6. The property has historical value or associative value because it demonstrates or reflects the work or ideas of architect, artist, builder, designer or theorist who is significant to a community.

7. The property has contextual value because it is important in defining, maintaining or supporting the character of an area.

8. The property has contextual value because it is physically, functionally, visually or historically lint surroundings.

9. The property has contextual value because it is a landmark.

Based on changes to the OHA (effective 1 January 2023), a property may be included on a heritage register under Part IV, subsection 27(3) if it meets one or more of these criteria. In order to be designated under Part IV, subsection 29(1) of the OHA, a property must meet two or more criteria.

## **2.2 MUNICIPAL POLICY CONTEXT**

### **2.2.1 KLEINBURG-NASHVILLE HERITAGE CONSERVATION DISTRICT STUDY AND PLAN (2003)**

The Kleinburg-Nashville Heritage Conservation District (KNHCD) Study and Plan was prepared in 2003. The designating By-laws (183-2003 and 194-2003) were passed on June 23, 2003. On August 25, 2003, By-law 268-2003 passed on August 25, 2003 added an additional 6 properties on Windrush Road that were inadvertently left out of the boundary.

The Study and Plan provided high-level guidance on protecting the heritage values and character of the villages. Due to regulatory and policy changes by the Province of Ontario, the City of Vaughan commenced a comprehensive update to the Kleinburg-Nashville HCD Study and Plan in October 2019.

### **2.2.2 KLEINBURG-NASHVILLE HERITAGE CONSERVATION DISTRICT STUDY (SEPTEMBER 2021)**

The purpose of the KNHCD Study and Plan update was to respond to a changing legislative environment and identify planning tools that can strengthen heritage conservation of the HCD, identify potential CHLs and contributing heritage resources in the HCD, and integrate the community's long-term vision.

The key objectives of updating the HCD Study was to:

- Evaluate the 2003 KNHCD Plan's Strengths, Weaknesses, Opportunities and Threats (SWOT), and integrate new background context for the study, including existing policy frameworks and plans;
- Engage the key stakeholders and community in an open, transparent and meaningful way, incorporating feedback into the SWOT analysis;
- Develop a dataset of all properties in the HCD and identify contributing and non-

contributing values;

- Develop maps of existing and proposed cultural heritage resources in the HCD;
- Develop a Statement of Significance and a list of contributing heritage attributes; and
- Assess if a change in the KNHCD boundary is warranted.

The KNHCD Study Update developed four categories of architectural styles:

1. Existing Historic and Contributing Styles (56 properties; 22 percent)
2. Existing Non-historic and Contributing Styles (23 properties; 9 percent)
3. Existing Non-historic and Non-contributing Styles (148 properties; 58 percent)
4. Miscellaneous (Existing Non-historic and Historic and Contributing Styles or Non-contributing Styles) (28 properties; 11 percent)

Based on these styles, the 255 properties in the HCD were identified as ‘contributing’ or ‘non-contributing.’ Essentially, properties that were included in Categories 1, 2 and 3 were identified as ‘contributing’ and those in Category 4 as ‘non-contributing.’ The updated study also mapped these properties, developed a Statement of Significance identifying heritage values and attributes (see Section XX of this HIA), and proposed changes to the HCD boundary.

### 2.2.3 KLEINBURG-NASHVILLE HERITAGE CONSERVATION DISTRICT PLAN (SEPTEMBER 2021)

The purpose of the KNHCD Plan (2021) is to take the findings from the KNHCD Study and provide clear and concise objectives, policies and guidelines to better protect and conserve the heritage values and attributes of the KNHCD. The Plan came into effect on February 22, 2023.

The updated plan builds upon the 2003 KNHCD Plan by addressing the changing legislative environment, provincial and municipal policy frameworks. The updated plan identifies planning tools that can strengthen heritage conservation of the HCD, contributing heritage resources in the HCD as well as potential Cultural Heritage Landscapes.

Major work in the HCD requires submission of a heritage permit. Major work include: demolition or removal of any building or structure; and all exterior construction activity, including new buildings or structures, additions. The objectives, policies, and design guidelines of the HCD will be used to review heritage permit applications. A list of applicable policies and guidelines as well as compliance with the HCD Plan is provided in Section 8.0.



## 3.0 DESCRIPTION OF SUBJECT PROPERTY

### 3.1 DESCRIPTION OF SUBJECT PROPERTY

The subject property is located at 60 Napier Street in Vaughan, within the community of Kleinburg. It is a rectangular parcel of land measuring roughly 18m by 52m, with a one-and-a-half storey dwelling set back roughly 10 m from the street (Figure 1). The dwelling is composed of an original c.1949 gabled form, bisected by a c.2005 gross-gabled addition. The original structure is set on a raised foundation, while the addition's foundation is obscured below grade. For ease of description, the primary elevation is being identified as the north elevation, with all other directions described relative to this orientation.

The north elevation comprises the original construction on the west and the addition on the east (Figure 2). The west portion is defined by the dwelling's original gabled form, with the roofline commencing roughly at the height of the first floor ceiling. A prominent central gable is framed by a small pent roof (Figure 3), offset from which is the front door sheltered beneath a smaller projecting gable. Large openings are filled with three windows at grade, and two in the upper gable, while a pair of windows flank the front door at the entry.

The garage addition is slightly set back from the original frontage, sharing the same wall and roof heights as the original (Figure 4). It is defined by a pair of garage doors and window openings at grade, with two gabled dormers continuing through the roofline above.

The east elevation consists of several windows on the original house, and a blank wall on the addition. The west elevation is confined to the original construction, with a window opening at grade and a gabled dormer above (see Figure 3).

The rear (south) elevation mirrors the forms of the north, being defined by a large gable on the original construction and two several gabled dormers on the garage addition (Figure 5). The upper gable contains an opening with a pair of windows, and various window and door openings are found at grade.

The entire building is clad with unoriginal wood siding painted blue, and simple rectangular white door and window surrounds. The roof features dark grey asphalt shingles, with aluminum fascia and soffit cladding (Figure 6). Windows are vinyl sash type, and all doors are pressed metal with various glazing (Figure 7). The front porch's structure, posts and balustrades are wood with traditional details, but of recent construction (Figure 8).

The only material evident from the original construction are the cast masonry blocks of the raised foundation, which remain visible on the front and rear portions of the dwelling (Figure 9).

The dwelling has an elevated deck off the rear elevation, and a concrete pad related to a former garage building remains at the rear of the property. The front and rear lawns are both grassed, with shrubs surrounding the rear deck and along the front of the dwelling. A paved driveway leads to the garages on the east side of the property, with a concrete walkway leading to the front door (see Figure 4).

### **3.2 DESCRIPTION OF CONTEXT**

The subject property is located on the west side of Napier Street, a short road running between John Street and Stegman's Mill Road. It is one street west of Islington Avenue which is Kleinburg's main street. Currently, Napier Street is an entirely residential street with just over 20 properties. The former Village School is located at 67 Napier (Figure 10). The former Kleinburg United Church Parsonage is located at 31 Napier Street (listed). Built c. 1880, it is a 1½ storey Ontario Gothic Cottage with dichromatic brickwork and a full-width front verandah (Figure 11). At the corner of Napier Street and Stegman's Mill Road (9 Napier Street) 1½ storey, pitched-roof, clapboard, Victorian-Gothic house built c. 1870.

The remaining residences on Napier Street contain residences constructed between the 1950s to present day. Those constructed in the years immediately following the Second World War include 34, 60 (subject property), 85, 90 and 99 Napier. Napier Street is increasingly characterized by recent construction of two- and two-and-a-half storey, brick houses that replicate historic styles such as Georgian and Victorian Gothic Revival. These include 28, 66 and 84 Napier Street (Figures 12 & 13).

## 4.0 HISTORICAL/ASSOCIATIVE SUMMARY

### 4.1 HISTORICAL SUMMARY

#### 4.1.1 CITY OF VAUGHAN

Located in the Territory and Treaty 13 lands of the Mississaugas of the Credit First Nation, the City of Vaughan rests upon the traditional territory of the Huron-Wendat and the Haudenosaunee people.

Etienne Brulé was the first European to make his way through present-day Vaughan, crossing the Humber Trail in 1615. This path came to be used by French traders who engaged in fur trading with the Huron-Wendat, the Haudenosaunee and the Mississaugas of the Credit. Colonial settlement, however, occurred many years later. In 1763, France and Britain signed the Treaty of Paris to formally end the Seven Years' War. France gave control of Ile Royale (Cape Breton), Canada (Quebec), the Great Lakes Basin and the east bank of the Mississippi to Britain.

In 1787, as the British began to prepare for an influx of colonists into the area following the American Revolution, the British Crown negotiated the Toronto Purchase with the Mississaugas of the Credit First Nation to obtain title to the land. The flawed and poorly documented agreement was invalidated, and Treaty 13 was negotiated in 1805. While the Mississaugas and Wendat did not traditionally regard land as a commodity to be sold or owned exclusively by individuals, the British government quickly set out to survey the land into lots which were either sold or granted into private ownership of settlers.<sup>2</sup>

Settler life was difficult and the first people to arrive were mainly Germans from Pennsylvania. In 1800, there were a mere 54 people in all of Vaughan Township. After the War of 1812, a wave of British migrants flooded the area. By 1840, the population stood at 4,300 and all the arable land occupied.

#### 4.1.2 COMMUNITY OF KLEINBURG

Like many Ontario villages, Kleinburg developed around saw and grist mills powered by rivers and streams. In 1848, John Nicholas Kline bought 33 hectares (83 acres) of Lot 24 in Concession 8 west of Islington Avenue on which he built both a saw and grist mill.

By 1860, the community had grown to include a boot and shoemaker, carriage maker, tanner, tailor, and doctor. Buildings included a church, school, and hotel. By 1870, a butcher, cabinet maker, chemist and insurance agent had joined the community. Kleinburg also became a popular resting stop for farmers and merchants traveling to and from Toronto along King Road - present-day Islington Street.

<sup>2</sup> In 2010, the Government of Canada settled the Toronto Purchase Claim with the Mississaugas of the Credit after agreeing that the Mississaugas were originally unfairly compensated.

In 1871, the Toronto, Grey and Bruce Railway line from Toronto through Woodbridge, Orangeville to Mount Forest was opened. The Kleinburg station was located to the west of the village and the hamlet became known as Nashville. The mills, railway and innkeeping made Kleinburg a prosperous village.

The introduction of electrification to Kleinburg put its water-powered mills at a competitive disadvantage. In addition, the advent of the automobile which allowed greater distances to be traveled, eliminated Kleinburg's role as a stopping place. Highway 27 was constructed in 1927 as a redundancy to Yonge Street. It initially ran between Barrie and Penetanguishene and extended south to Schomberg in 1934 and then to Toronto in the late 1930s. However, the highway bypassed Kleinburg, furthering its decline. By the end of the Second World War, Kleinburg had lost more than two-thirds of its population. After the Second World War, improved road systems meant that people could live in Kleinburg and commute to the city. Additionally, returning soldiers needing affordable housing saw Kleinburg as a good place to start a family.

In 1954, Robert and Signe McMichael, moved into a squared-log house in the valley southeast of the village. They began collecting paintings by the Group of Seven and their contemporaries and in the early 1960s opened their home and gallery to the public. In 1965, the couple donated their home, property and art collection to the Province of Ontario. Since then, the McMichael Canadian Art Collection has expanded in both its physical extent and its holdings, attracting 125,000 visitors a year.

In 2007, the village and its surrounding communities had a population of 4,595 while the village itself had 282 dwellings, with a population of 952.<sup>3</sup>

## 4.2 HISTORICAL SUMMARY OF THE SUBJECT PROPERTY

The subject property known as 60 Napier Street is located in Vaughan Township, York County. Surveys of the township began in the late 18th century, after which the subject property became part of a farm lot known as Lot 24 Concession 8 Vaughan Township. This 200 acre lot was patented in July 1847 to Andrew Mitchell.<sup>4</sup>

The following year, the subject property was part of a large area owned and subdivided by Andrew Mitchell and John Kline into village building lots (Figure 14). The subject property was located on a reserved portion of the plan, named Lot A and totalling 11.8 acres.

In April 1855 a subdivision plan was created for the lands reserved as Lot A (Figure 15). The plan extended Napier Street to the north and added John Street, while creating 28 new building lots. The subject property's boundaries were established at this time, becoming known as Lot 43 of the plan. It was one of sixteen 0.23 acre lots with

3 "Kleinburg," Industry Canada: Community Demographics. Accessed at [http://broadband.gc.ca/demographic\\_servlet/community\\_demographics/2194](http://broadband.gc.ca/demographic_servlet/community_demographics/2194)

4 York Region Land Registry Office #65, "Vaughan, Book 219 Concession 8 Lot 24 to 35," p. 3.

dimensions of 0.89 chains (~17.9m) by 2.615 chains (~52.6m). The subdivision plan was not registered until June 1865, when it was filed by John Gartshore and became known as Plan 275 in Vaughan Township.

Per abstract books, transactions involving the subdivided lands commenced soon after the initial subdivision in 1855.<sup>5</sup> Thomas White consolidated a number of lots between 1856 and 1863, including at least ten between Napier Street, John Street and King Road (Islington Avenue). The subject property was purchased by White from Gartshore *et ux* in October 1863, in a transaction that included Lots 37-43 and Lot F.

The trail of ownership for Lot 43 is then unclear until November 1905, when the subject property was one of eleven lots granted to Margaret Mullin from Sarah Robinson for \$1,100.<sup>6</sup> As per the shared instrument number 10861, the transaction included Lots 30-33, and Lots 37-43 (Figure 16). These same eleven are lots are granted as a single transaction twice more – first in March 1917 to Isabella L., Elizabeth A. and Bertha M. Cherry from Margaret Mullin for \$2,500; and then again in September 1925 from the same Cherrys to Lily I. and Alice E. Cherry (no cost listed).

In July 1947 the property was granted from Lily I. Cherry to Clarence H. Bell for \$250. This is the first transaction where the subject property was sold as an individual lot, and is suggestive of when the dwelling was constructed. Lots sold in groups were likely traded on their speculative value for future development, with the sale of individual lots indicating an owner with intentions to build a dwelling, or that a dwelling had recently been built and was being sold to capitalize. Considering that eleven lots sold for the price of \$2,500 in 1917, Bell's purchase of the single lot for \$250 in 1947 suggests the lot was vacant. The abstract index also indicates that Bell registered a mortgage for \$2,000 against the property in April 1949, suggesting that the house had been built by that point.

A construction date of c.1949 for 60 Napier Street aligns with the history provided in the HCD study, which notes that the construction of Highway 27 west of Kleinburg by 1936 encouraged development in the village following World War II, particularly on Napier Street. Clarence Henry Bell (1923-2001) was a veteran, having served in World War II.<sup>7</sup> Tracing the dates for which the other ten properties that were sold together in 1905, 1917 and 1925 were individually sold reveals a similar trend. The two neighboring properties (54 & 66 Napier Street) were also sold individually in 1947, and others further west were sold between 1948 and 1953 (Figure 17).<sup>8</sup>

<sup>5</sup> Ibid, pp. 3-5.

<sup>6</sup> York Region Land Registry Office #65, "Book 469 Plan 275," p. 43.

<sup>7</sup> "Deaths, Memorials and Births," *The Toronto Star*, 15 August 2001, p. B6.

<sup>8</sup> York Region Land Registry Office #65, "Book 469 Plan 275".



Clarence H. Bell, eventually with his wife Agnes, owned the property until 1983. Its ownership following the Bells is as follows:

- June 1983: Grant from Clarence H. and Agnes S. Bell to Bruce and Linda Atchison.
- June 1991: Transfer from Bruce and Linda Atchison to Bruno and Filomena Bucci.
- April 2003: Transfer from Bruno and Filomena Bucci to Daniel Ferri.
- November 2013: Transfer from Daniel and Lisa Rose Ferri to Marco and Anna Maria Corrente.
- January 2022: Transfer from Marco and Anna Maria Corrente to Joshua Andrew Ferraro and Sandra Josephine Monardo.

## 5.0 DESIGN/PHYSICAL SUMMARY

### 5.1 DEVELOPMENT HISTORY

The subject property's development history is informed by research and other archival sources, some of which are discussed in Section 4.2 above. The subject property formed a part of the 200 acre Lot 24, Concession 8 in Vaughan Township following the township surveys. The land was patented in 1847, with a subdivision plan intended to stimulate growth at Kleinburg created the following year. The subject property formed part of an 11.8 acre reserved area on that subdivision plan, north of the smaller village lots.

In 1855 a subdivision plan imposed village lots on that formerly reserved area, defining the subject property's current boundaries as Lot 43. There are no indications of any development on the site in the 19th century. Both the 1860 and 1878 York County maps show the subdivided area as part of Kleinburg, but neither show any buildings on the site (Figures 18 & 19).

The subject property (Lot 43) was part of an area consolidated by Thomas White in the 1850s and 1860s. In the early 20th century it was one of eleven adjacent building lots that were transacted as a group in 1905, 1917 and 1925. This supports the belief that the subject property was still undeveloped.

In 1947 the subject property was sold as a single property to Clarence H. Bell, who is presumed to have built the original dwelling circa 1949 (see Section 4.2). Aerial photography from 1954 provides a blurry indication of the original dwelling's size and location, which is confirmed by a 1970 image (see Appendix G for all Aerial photographs). The dwelling observed is a long gabled form, with a smaller offset gable projecting at the front door. This description matches the forms visible on the photograph of 60 Napier Street's inventory form (Figure 20).

A large, deciduous tree is seen at the front of the property. A garage at the rear of the property is seen as early as the 1954 image, accessed via a driveway running along the east side of the property. By 1970 a smaller shed has been built beside the garage.

By 2002 the dwelling retains many of the same features, although the smaller shed has been demolished (see 2002 Aerial, Appendix G). The inventory form photo for 60 Napier Street is presumably dated to c.2003, when the first HCD study was undertaken. Several original features shown in the photograph: cast foundation blocks, and the Arts-and-Crafts style front door (a panel door with eight lights at the top). This photograph also highlights a number of non-original features, including aluminum cladding and windows. The roof shingles appear to be in good shape and are brown, suggesting they may have been replaced concurrently with the cladding and windows.

By 2005 a major alteration was made to the subject property, when a very large garage and upper storey addition was made to the original dwelling. Based on rooflines, the addition represented a roughly 75% increase in the footprint of the original dwelling. The impact is more significant from the public realm however, where the addition effectively doubles the width of the dwelling's main elevation. The dwelling also received a new rear deck concurrent with the addition. The vinyl sash windows, pressed metal doors, exterior wood cladding, and roof cladding are all dated to this c.2005 addition, which is likely when the original Arts-and-Crafts style door was replaced.

By 2007, the entry gable above the front door was extended forward to create a covered porch, replacing that seen on the c.2002 photograph. As of 2023, the rear garage has been demolished with a concrete pad remaining.

## 5.2 ARCHITECTURAL STYLE

### 5.2.1 CAPE COD STYLE

Cape Cod is a term used to describe several types of 20th century vernacular housing. The term generally applies to one-storey side-gabled houses, with the Cape Cod name referencing the form that was popular among New England colonists starting in the early 1700s (Figure 21).<sup>9</sup>

The form became popular and widely used among vernacular house designs in the first half of the 20th century, loosely divided between Colonial Revival and Minimal Traditionalist types. Cape Cod houses associated with the Colonial Revival were commonly built in the United States in the 1940s. They are defined by the use of a one-storey side-gabled form, and employ Georgian or other traditional details, particularly around the doorway (Figure 22).<sup>10</sup>

In the United States, the Minimalist Traditional Cape Cod type was the result of considerable study and effort during the Great Depression and war years to devise designs that could be erected quickly and economically. The one-storey side-gabled Cape Cod form was well-suited to this brief, and became a popular basis for the new designs, which were distinguished from Colonial Revival types by simpler designs, minimal architectural detailing (including dormers), and more experimentation with asymmetrical composition. These modest and economical designs met the standards to be insured by the Federal Housing Administration during the Great Depression, permitted rapid housing to be built for worker housing during World War II, and allowed for large subdivisions to be built extremely quickly following the war. Levittown, New York is a well-known example of a subdivision built primarily of Minimalist Traditional

9 Virginia Savage McAlester, *A Field Guide to American Houses*, New York: Alfred A. Knopf, 2014, p. 122.

10 McAlester, pp. 411-412.

houses, including many Cape Cod types (Figure 23).<sup>11</sup>

In Canada, similar house designs were utilized for similar purposes. Wartime Housing Limited (WHL) (1941-1947) was a crown corporation created to help alleviate housing shortages during and after World War II. They relied on a number of house designs that could be mass produced and quickly built, many of which featured a similar form of Minimalist Traditional Cape Cod house (Figure 24). Following the war, the Central Mortgage and Housing Corporation (CMHC; now known as Canada Mortgage and Housing Corporation) was created as a federal response to housing shortages. CMHC hired architects and designers to prepare house plans that Canadians could buy, in order to build and finance under the National Housing Act. Designs from the 1947 and 1949 catalogs reflect the forms, decorative, and compositional tendencies of the Minimal Traditionalist Cape Cod form (Figures 25 & 26).

### 5.2.2 KNHCD CAPE COD/BUNGALOW STYLE

The KNHCD Plan (2021) identifies Cape Cod/Bungalow as a specific architectural style within the district, classified as a Non-Historic and Contributing Style. The style is given the following description by the Plan:

*Bungalows are typically one to one-and-a-half storeys. They are wood frame, often with wood siding and low pitched roofs.*<sup>12</sup>

This description is very general, providing several common house form traits. There is little indication as to how these features are combined to create a composition characteristic of the style. It explicitly refers to bungalow, but makes no mention of Cape Cod. A notable omission from this description is reference to the side-gabled form, which is conventionally a defining feature of the Cape Cod style.

The relationship between the Cape Cod and Bungalow components of the style is not addressed by the description. It is unclear whether a single style is being referred to, with components of both bungalow and Cape Cod style dwellings, or if the style is meant to include Cape Cod and bungalow type dwellings under the same style name.

The KNHCD Study (2021) makes specific reference to “Levittown Cape Cod-style” houses being built on Napier Street, with explicit reference to the now demolished dwelling at 84 Napier Street as an example of that type (Figure 27).<sup>13</sup> This example embodies the Minimalist Traditional Cape Cod style discussed in Section 5.2.1 above, including the side-gabled massing and modest size. However, 84 Napier Street only reflected a part of the style description in the KNHCD Plan (2021), the one-and-a-half storey height, and likely frame construction.

<sup>11</sup> McAlester, pp. 587-589.

<sup>12</sup> Vaughan, “Kleinburg-Nashville Heritage Conservation District Plan Update Part 2 - The Plan September 2021,” p. 30.

<sup>13</sup> Vaughan, “Kleinburg-Nashville Heritage Conservation District Plan Update Part 1 - The Study September 2021,” p. 69.

The KNHCD Plan (2021) gives a date of 1900-1945 for the Cape Cod/Bungalow style. This range contradicts some of the historic context of the style described in the HCD plan, since the first buildings from Levittown, New York were built in 1947, and 84 Napier Street was also likely built after 1945.

The KNHCD Study Appendix B lists the following addresses under the Cape Cod/Bungalow style (see Appendix D):

- 171 Nashville Road
- 942 Nashville Road
- 60 Napier Street
- 864 Nashville Road
- 910 Nashville Road
- 34 Napier Street
- 30 Nashville Road
- 705 Nashville Road (demolished c.2021)
- 887 Nashville Road
- 717 Nashville Road
- 99 Napier Street
- 41 Nashville Road

A review of these buildings finds few similarities that cohesively unite them as part of a discernable architectural style. They are coarsely related through their one to one-and-a-half storey height, and some degree of horizontal cladding. They include varied massings and rooflines, which are in some instances rather complex. There is no mention of Cape Cod in these properties' inventory sheets (completed for the 2003 Study and Plan and updated in 2020), though a number are identified as bungalows. Only one example, at 705 Nashville Road clearly adheres to the Levittown Cape Cod style discussed in the study. It was demolished c. 2021.

### 5.2.3 60 NAPIER STREET

The dwelling at 60 Napier Street is comprised of the original c.1949 western portion, and a c.2005 garage addition. The original portion has a gabled massing, with the main elevation defined by the north gable. The addition is a side-gabled form extending east from the original. A detailed description of the structure can be reviewed in Section 3.1 above.

60 Napier Street is classified as a Cape Cod/Bungalow style building by the KNHCD Plan (2021). Specifically, it contains the following characteristics attributed to the style: its one-and-a-half storey height, wood frame construction (presumably), and its wood siding (unoriginal).

The preceding sections in 5.2 discuss the Cape Cod/Bungalow style both broadly and within the context of the HCD plan. This preceding analysis found that the style is only described very generally by the HCD plan, which does not indicate how individual features need to be combined or articulated to elevate them into a specific style representing more than the sum of its parts. Within this context, 60 Napier Street is considered a tenuous example of the style: it exhibits a number of the style's general



characteristics, but it is unclear what about them contributes to the style. In fact it lacks a clear stylistic relationship to most other buildings included under Cape Cod/Bungalow style in the HCD (see Appendix D). These examples vary considerably in terms of form and roof type, while lacking any unifying stylistic or decorative traits. Their commonalities are limited to height (one to one-and-a-half stories) and the use of horizontal siding, but these elements alone do not constitute architectural style.

The inventory form for 60 Napier Street (see Appendix E) does not attribute any style to the dwelling, with no reference made to Cape Cod nor bungalow. Instead the dwelling is identified as a “modest house” in both the description and comments entries. 60 Napier Street does not exhibit the side-gabled massing characteristic of the “Levittown Cape Cod-style” referenced by the HCD plan.

Finally, the large addition made to 60 Napier Street c.2005 had a significant impact on the legibility of the c.1949 dwelling’s character. The original dwelling’s modest form was due in part to its simple gabled massing, presenting only a gable end to the street with the length of the structure extending into the rear yard. The addition of a large side-gabled extension of the original dwelling c.2005 created a much more complex massing, which is very apparent from the public realm. It also drastically altered the perceived profile of the dwelling from the public realm, by extending a full-height rectangular massing east from the original gable. A gable end has a modest appearance because the rooflines relieve the perceived width of a structure as they rise to the peak. The side-gabled form offers no such relief to the building profile, presenting a rectangular profile the full width of the building for its entire height. While the dwelling technically remains one-and-a-half storeys tall, the c.2005 addition created a complex massing and roof profile that is no longer suggestive of a modest building (Figure 28).

In summary, the KNHCD Plan (2021) classifies 60 Napier Street as Cape Cod/Bungalow style. However this still is very vaguely described by the plan, and 60 Napier Street is not considered a strong example of it. Further, any integrity of the original dwelling’s design has been drastically altered by the c.2005 addition, which has made the dwelling more complex, and far less modest in appearance.

### 5.3 CONDITION ASSESSMENT

The dwelling at 60 Napier Street is in good condition overall. Most major exterior cladding materials, doors and windows were replaced when the building was substantially altered c.2005. Today these materials remain in good condition, still being within their service life cycles.

Isolated adverse conditions include localized areas of paint failure (Figure 29) and minor rot observed at exposed end grain near grain (Figure 30). Otherwise the building appears to be in sound condition throughout.

## 6.0 SUMMARY OF CULTURAL HERITAGE VALUE

### 6.1 KNHCD STATEMENT OF SIGNIFICANCE

#### 6.1.1 HCD STATEMENT OF CULTURAL HERITAGE VALUE OR STATEMENT OF SIGNIFICANCE

A Statement of Significance for the HCD is contained in the Study (Section 6.3, p. 163). It identifies the following values:

- Design/physical value as a “representative example of a pair of organically evolved historic village communities dating from the mid-19th century. The HCD reflects a variety of architectural styles that contribute to a varied streetscape and indicate the organic growth of the villages over time.”
- Historical/Associative Value for its “association with key figures, companies and organizations related to the development of both villages including John Kline, the Howland Brothers, the McMichael’s and Pierre Berton.”
- Contextual value due to it being “historically and functionally linked to its surroundings.”

The heritage attributes identified in the Statement of Significance include:

- A list of Landmark properties
- A list of Cultural Heritage Landscapes
- A list of views to/from heritage attributes
- Mature trees in front, side and rear yards of residential and commercial properties
- Collection of structures dating from the mid-19th to early-20th century representing different architectural styles and materials expressed in rural Ontario villages during this era
- Variety of setbacks in the residential areas
- Low-density scale and massing of structure ranging from one to two-and-a-half storeys in building heights

The KNHCD Plan Update contains the following additional heritage attributes under Section 1.9.1 Heritage Character Areas:

The Kleinburg-Nashville HCD is comprised of the following character areas, as illustrated in Figure 2.

**Kleinburg Village**, which is set on the narrow ridge between the valleys of the two branches of the Humber River and centred on what is now Islington Avenue. The village was founded in 1848 around the existence of several mills.

**Nashville Village**, which was established by the railway station built in 1870 that served the Kleinburg mills and industries, as well as the farms of surrounding communities.

**Humber River** and its associated tributaries and valleys which are historically linked to both Kleinburg and Nashville and which influenced their development and form.

**Road Links**, which are shaped by topography and the ridge between the two valleys; Nashville Road and Islington Avenue.

## 6.2 CULTURAL HERITAGE VALUE OF 60 NAPIER STREET

### 6.2.1 CONTRIBUTING STATUS IN HCD

Appendix B of the updated HCD Study contains the Architectural Style Inventory/List of Contributing and Non-contributing Properties. It also provides the following definitions:

#### **Contributing**

*These buildings contribute to the cultural heritage value or interest of the HCD. They support the identified cultural heritage values (see Section 6.3 - Statement of Significance). They are predominantly historic buildings from the villages of Kleinburg and Nashville. Non-historic buildings also contribute to the character of the district through their landmark architectural style or through their modest architecture that is sympathetic to the historic buildings.*

#### **Non-Contributing**

*These buildings do not contribute to the design or physical, historical or associative, or contextual value of the HCD.*

In Appendix B of the updated HCD Study, the subject property is categorized as a 'Non-historic and Contributing Style' as a Cape Cod/Bungalow (p. 20), making it a contributing property. An undated photo is provided as well as a date of 1930 which is presumably the date of construction. While this indicates that the subject property is contributing, no specific reason other than its style is provided. As indicated in the definition of 'contributing', these properties support the identified heritage values in the Statement of Significance. As a building constructed c.1949, the subject property does not support the identified design/physical, historical/associative or contextual values in the Statement of Significance. Neither does the subject property have a 'landmark architectural style'. It remains that 60 Napier is a contributing property for its Cape Cod style as well as "its modest architecture that is sympathetic to the historic buildings."

Two other Cape Cod/Bungalow properties on Napier Street are identified as contributing. These are located at 34 Napier Street (Figure 31) and 99 Napier Street<sup>14</sup> (Figure 32). The property at 54 Napier Street (Figure 33) which is directly adjacent to the subject property is also identified as contributing as a ‘Non-historic and Contributing Style’ as a Modern Movement building. It was constructed c. 2016 as per aerial imagery.

### 6.2.2 FEATURES OF INTEREST

Part 3 of the KHNCD Plan Update contains a collection of inventory forms for all properties located within the HCD. The forms include text entries for each property, along with a corresponding image. The inventory form for 60 Napier Street is included as Appendix E of this report.

The City of Vaughan Guidelines for Preparing a Cultural Heritage Impact Assessment notes that properties designated under Part V of the OHA will have an inventory entry that identifies features of interest on the property.

The inventory form for 60 Napier Street does not explicitly identify features of interest, but instead provides a comprehensive description of the property’s built features followed by comments. In order to identify specific features of interest, the inventory form has been cross referenced against the definition of ‘Contributing’ properties within the HCD, and the description of the Cape Cod/Bungalow style. The following features of interest are deduced as a result:

- Modest scale
- One-and-a-half storey height
- Horizontal siding

### 6.2.3 O. REG. 9/06 EVALUATION

Criteria	Evaluation
1. The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.	No - The property does not reflect any style, type, material or construction method that is considered significant. It has been highly modified from its original form.

<sup>14</sup> Note: During the site review 99 Napier Street was not visible from the street. Additionally, it is not visible on Google Streetview.

Criteria	Evaluation
2. The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.	No - The dwelling was built as a modest vernacular home, and has been reclad several times over its existence. No materials or details indicating craftsmanship or artistic merit are apparent.
3. The property has design value or physical value because it demonstrates a high degree of technical or scientific achievement.	No - As a modest vernacular home, the dwelling contains no features or technologies that are significant or noteworthy.
4. The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community.	No - While the property is linked to the theme of post Second World War residential development in Kleinburg, this theme has not been identified in the KNCDC Statement of Significance.
5. The property has historical value or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.	No - No significant sources of information were identified linking the property to the potential understanding of a community or culture.
6. The property has historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.	No - No architect, artist, builder, designer or theorist was identified.
7. The property has contextual value because it is important in defining, maintaining or supporting the character of an area.	No - The subject property is not important in defining, maintaining or supporting the character of the area.
8. The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings.	No - The subject property is not physically, functionally, visually or historically linked to its surroundings.
9. The property has contextual value because it is a landmark.	No - The subject property is not considered a landmark.



## 7.0 SUMMARY OF PROPOSED DEVELOPMENT

The proposed development for the subject property is to demolish the existing one-and-a-half storey dwelling and construct a new two storey<sup>15</sup> residential building (see Appendix A for a site plan and drawings, and Appendix B for a rendering of the proposed development).

The design features a double gable facade, with a smaller gable on the east portion of the facade and a large gable on the west portion of the front facade. The smaller gable has a pair of two-over-two, double hung windows on the second floor level and a smaller, undivided sash in the gable. The larger gable has a set of two-over-two windows flanking a paired two-over-two window with transom at the second floor level and another in the gable. At grade, the southern portion contains a double car garage, wood entry door with sidelights and front porch. The primary cladding material is light brick, with white soffit/facia and trim. Charcoal grey asphalt shingles are proposed for the roof. Decorative finials top the two front and side gables. A pool is located in the backyard, with a cabana at the rear of the property.

The design of the proposed development is very similar to that for which a Heritage Permit was issued on December 12, 2022. The form, massing and composition of the design is unchanged from the previous design, retaining the same overall visual impression from the public realm. The fenestration has been made more historically appropriate by replacing four-over-four windows on the north elevation with two-over-two types, and the use of more traditional proportions of sidelight glazing around the front door. Other changes include the use of light brick rather than board and batten for exterior cladding, and a new garage door design.

Additional details of the proposed development are discussed in Section 8.2 below.

<sup>15</sup> The dwelling contains a mechanical room in the attic, accessible by pull down stair. The two upper windows on the north elevation illuminate the cathedral ceilings of their respective second storey bedrooms.

## 8.0 IMPACT ANALYSIS AND HCD PLAN COMPLIANCE

This section provides a summary of the potential impacts of the proposed development, followed by an assessment of its compliance with the relevant objectives, policies and guidelines from the KNHCD Plan.

### 8.1 IMPACT ASSESSMENT

These impacts provided by the Vaughan CHIA Terms of Reference are presented in the table below, along with a corresponding assessment of the degree of impact and a rationale.

Impact Type	Assessment
Destruction of any, or part of any, significant heritage attributes or features;	<p><b>Low impact</b> - the proposed new development will result in the demolition of the existing dwelling at 60 Napier Street, which is considered contributing within the HCD due to its classification as Cape Cod/Bungalow style.</p> <p>Despite being classified as a contributing building, the impact is considered low for several reasons. The Cape Cod/Bungalow style is vaguely described by the KNHCD Plan (2021). 60 Napier Street is considered a poor representation of the style, only possessing general characteristics related to it: the one-and-a-half storey height, frame construction and wood cladding.</p> <p>Further, the integrity of the original c.1949 building's design has been significantly altered by the c.2005 addition. The addition created a much more complex massing, and effectively obscured the characteristic modest scale of the original building and architecture. Beyond the addition, the building contains little original fabric, with all cladding, windows and doors having been replaced.</p> <p>The level of impact is also tempered by the fact that 60 Napier Street does not reflect the heritage values or attributes identified in the HCD's Statement of Significance. Thus no heritage attributes will be lost or affected with the new development.</p> <p><i>(continued below)</i></p>

Impact Type	Assessment
Destruction of any, or part of any, significant heritage attributes or features;	Finally, the low level of impact is confirmed by the fact that a Heritage Permit was issued for a nearly identical proposal for the site on December 21, 2022. While that application differed in the retention of existing foundations, it effectively resulted in the removal of the existing building on the contributing property with a very similar replacement. As such, the visual impacts of the two proposals as perceived from the public realm of the HCD are practically the same (see Section 7.0).
Removal of natural heritage features, including trees;	<b>No impacts</b> - 60 Napier Street contains no mature trees or other significant natural heritage features.
Alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance;	<b>No impacts</b> - the proposed new development is being designed to reflect one of the HCD's heritage architectural styles (Victorian Gothic Revival), and is highly compliant with the KNHCD Plan's (2021) Design Guidelines for New Development (see Section 8.2).
Shadows created that alter the appearance of a heritage attribute or change the viability of an associated natural feature, or plantings, such as a garden;	<b>No impacts</b> - no heritage attributes have been identified that would be in any way impacted by shadows related to the proposed new development.
Isolation of a heritage attribute from its surrounding environment, context or a significant relationship;	<b>No impacts</b> - no relationships between heritage attributes and their surrounding contexts have been identified that would be impacted by the proposed new development.
Direct or indirect obstruction of significant views or vistas within, from, or of built and natural features;	<b>No impacts</b> - no significant views or vistas related to 60 Napier Street are identified in the KNHCD Plan (2021).
A change in land use where the change in use negates the subject property's cultural heritage value, and	<b>No impacts</b> - the proposed new development will not result in a change in land use.

Impact Type	Assessment
Land disturbances such as change in grade that alter soils, and drainage patterns that adversely affect cultural heritage resources.	<b>No impacts</b> - no cultural heritage resources have been identified that would be affected by any potential land disturbances related to the proposed new development.

## 8.2 HCD COMPLIANCE

The following objectives, policies and guidelines apply to the proposal at the subject property.

### 8.2.1 HCD OBJECTIVES

The KNHCD Plan (2021) outlines five objectives.<sup>16</sup> The specific objectives relevant to this CHIA, and their assessed compliance are listed below.

Objective	Compliance
1. Preserve, protect, maintain and restore the unique character of the villages of Kleinburg and Nashville; (HCD Plan p.19)	<b>Compliant</b> - See Section 8.2.3

<sup>16</sup> See Section 2.1, KNHCD Plan (2021).

Objective	Compliance
<p>2. Conserve properties which contribute to the heritage character of the HCD; (HCD Plan p.19)</p>	<p><b>Partially Compliant</b> - The proposed development requires demolition of a contributing resource. However as discussed in Section 8.1, the existing building no longer reflects modest architecture, and it is a poor example of a Cape Cod/Bungalow building. As such its contribution to the HCD's heritage character is very limited.</p> <p>In December 2022 a Heritage Permit was issued for a development that resulted in the above-grade demolition of the same contributing resource. Aesthetically, the permit approved a very similar proposed development (see Section 7.0).</p> <p>In recommending issuance of the Heritage Permit, the Heritage Vaughan Committee Report noted that the proposed exterior alterations to the existing building were in-keeping with the guidelines of the KNHCD Plan and were well-suited for the immediate neighbourhood as well as the HCD as a whole. Additionally, the report stated that the proposed new volume of the building offered a much better streetscape balance between the existing two immediate neighbouring buildings.</p>
<p>3. Manage designs for new development to ensure appropriate contribution to the heritage character; (HCD Plan p.20)</p>	<p><b>Compliant</b> - See Section 8.2.3</p>

## 8.2.2 POLICIES AND GUIDELINES FOR EXISTING CONTRIBUTING PROPERTIES

The KNHCD Plan (2021) provides specific policies and guidelines for properties classified as contributing within the HCD.<sup>17</sup> The specific policies relevant to this CHIA, and their assessed compliance are listed below.

Policy / Guideline	Compliance
2.3.6 Demolition of Contributing Properties (HCD Plan p.31)	<p><b>Partially Compliant</b> - the demolition of the contributing property at 60 Napier Street is considered partially compliant because of the dwelling's limited contribution to the character of the HCD.</p> <p>60 Napier Street does not reflect the heritage values of the HCD's Statement of Significance. Since it is not a historic building, and is not representative of a landmark style, the property's main contributing feature can be considered its modest architecture.</p> <p>However 60 Napier Street's modest architecture was significantly altered c.2005, when a large, full-height side-gabled addition was built east off the original massing. The addition effectively obscured the house's modest character with the HCD by introducing a much more complex massing, practically doubling the street frontage, and creating a more imposing profile. In addition to these alterations, many of the dwelling's original materials (including cladding, windows and doors) have been replaced.</p> <p>Given that it does not represent a "Levittown Cape Cod-style" house and only possesses a few general traits associated with the Cape Cod/Bungalow, 60 Napier Street's architectural contributions to the HCD are minimal.</p> <p>Significantly, as described in Section 1.1, a heritage permit for demolition of the existing contributing property above-grade and replacement with a new two storey dwelling was issued in December 2022. The approved above-grade design is very similar to that proposed in this CHIA (see Section 7.0. The outcome of this proposed new development would be identical to that which was already approved in December 2022 in terms of massing, form and design.</p>

<sup>17</sup> See Sections 2.3 & 4.2, KNHCD Plan (2021).



### 8.2.3 POLICIES AND GUIDELINES FOR NEW DEVELOPMENT

The KNHCD Plan (2021) provides specific policies and guidelines for new development within the HCD.<sup>18</sup> The specific policies relevant to this CHIA, and their assessed compliance are listed below. Note that where compliance with policies is achieved through compliance with related guidelines, the policies are not listed in the table.

Policy / Guideline	Compliance
4.4.2 Residential Area - Site Planning Guidelines (HCD Plan p.136)	<p><b>Compliant</b> - Proposed new development's setback (9.2m to 13.2m) roughly aligns with neighbouring properties at 54 &amp; 66 Napier Street, and is consistent with other setbacks on the street.</p> <p>The garage is integrated into front elevation. This is discouraged by the KNHCD Plan, but follows on the precedent established by existing dwelling absent the opportunity to locate the garage at the rear of the lot.</p>
4.4.2 Residential Area - Scale and Massing (HCD Plan p.139)	<p><b>Compliant</b> - Proposed new development's height of 9.1m respects the heights and scale on the south side of Napier Street (see Appendix B: Streetscape Elevation). Existing conditions on property do not include a sideyard. The resulting massing will be more balanced in relation to its immediate neighbours than the existing dwelling.</p> <p>Proposed massing is broken up across elevation, reflecting the precedent established by existing dwelling.</p>
4.4.2 Residential Area - Architectural Styles (HCD Plan p.140)	<p><b>Compliant</b> - The proposed new development has been designed to reflect the Victorian Gothic Revival style, which is classified a historic and contributing style with the HCD and is appropriate for the residential area.</p> <p>Style is found in the massing, materials, and scale of the building, which uses a consistent approach to design details based on the description of the style in the KNHCD Plan (2021) and other examples of the style within the HCD.</p> <p><i>(continued below)</i></p>

<sup>18</sup> See Sections 2.5 & 4.4, KNHCD Plan (2021).

Policy / Guideline	Compliance
4.4.2 Residential Area - Architectural Styles (HCD Plan p.140)	<p>The style is expressed in the building's two storey form, defined by a pair of prominent gables on the front elevation, with finials adding to the characteristic upward emphasis associated with Gothic aesthetics. An offset verandah is located off the front door. Appropriately proportioned window openings are located within the geometries established by the gables, and a front door with side-lights is offset within the larger gable. The walls are clad with brick, which is appropriate to the style. Raised brick quoining and bands of herringbone brick add motifs common to the Victorian Gothic Revival style. Double hung sash windows are appropriate to the style and the broader HCD.</p> <p>The design is not a direct replica of a Victorian Gothic Revival dwelling, incorporating a number of features and cues that distinguish it from historic buildings. These are subtler on the north, public realm-facing elevation, and include simple un-profiled window and door surroundings, along with unadorned fascia boards. The foundation material alludes to current construction and design methods. Rather than using dichromatic brick on the main walls, raised quoins and patterned band courses are instead used to articulate the playful tendencies of the style, while relying on a single brick colour throughout. The garage door uses wood, a traditional material, arranged in a more contemporary chevron configuration. The rear of the house (not visible from the HCD's public realm) incorporates more obvious contemporary features in the design and size of large windows and glazed sliding doors. The large second floor window adheres to the shape of the gable roof, providing a contemporary reinterpretation of a characteristic motif of the historic style.</p>
4.4.2 Residential Area - Roof Form, Materials and Features (HCD Plan p.141)	<p><b>Compliant</b> - Victorian Gothic Revival roof design reflects historic roof type, with use of charcoal grey asphalt shingles. Roof vents located on the rear portion of the roof are not visible from Napier Street.</p>

Policy / Guideline	Compliance
4.4.2 Residential Area - Windows (HCD Plan p.142-3)	<p><b>Compliant</b> - Windows on street-facing elevation reflect the proportions and double-hung sash type traditionally found within the HCD. The predominance of two-over-two windows with real muntin bars reflect those traditional fenestration in the HCD. Aluminum clad wood is acceptable material.</p> <p>South elevation contains large glazed window at second storey and large glazed sliding doors, with non-traditional forms and window-to-wall ratio. However these features are located on the rear elevation, not perceptible from the public realm and so do not affect compliance.</p>
4.4.2 Residential Area - Doors (HCD Plan p.144)	<p><b>Compliant</b> - The front door incorporates a traditional wood panel door, set between two more contemporary sidelights. The door reflects the traditional design, materials and placement of doors within the HCD. The use of sidelights has historic precedent within the district, and is informed by traditional proportions with the glazing occupying the upper two-thirds of sidelights.</p>
4.4.2 Residential Area - Wall Materials: Brick (HCD Plan p.144)	<p><b>Partially Compliant</b> - Brick siding is compatible with nearby historic buildings, being one of the cladding materials identified in the HCD plan's description of the Victorian Gothic Revival style.</p> <p>The bricks used are red clay, coloured off-white by exterior surface staining. They have a molded appearance, resulting in varied and irregular shapes and edges, consistent with historic brick aesthetics. They are 193mm(L) x 58mm(H) x 72mm(D) in size. See Material Board in Appendix A.</p> <p>As a result the brick presents a varied off-white colour, rather than the traditional red clay appearance. The brick used was provided by Vaughan Heritage staff.</p>
4.4.2 Residential Area - Porches and Verandahs (HCD Plan p.145)	<p><b>Compliant</b> - Porches are a common feature on Victoria Gothic Revival style properties in the district, and the proposed design reflects the aesthetics of traditional roof type and wooden columns.</p>

Policy / Guideline	Compliance
4.4.2 Residential Area - Foundations (HCD Plan p.146)	<b>Compliant</b> - The proposed new development incorporates a minimum 6” raised concrete foundation wall, which is generally in line with the foundation proportions illustrated on p. 146 of the KNHCD Plan. This minimum height is mandated by Ontario Building Code. The proposed concrete block finish appears structural, and is an accurate reflection of the building’s contemporary construction materials and methods, and provides a visual cue to distinguish the proposed new development from historic buildings in the district.
4.4.2 Residential Area - Landscape (HCD Plan p.147)	<b>Compliant</b> - Existing driveway to remain and not be expanded into front lawn. Front lawn to be slightly reduced due to new northern elevation, but overall character and legibility (including decorative shrubbery) to remain or be reinstated.  Property contains no mature trees. As per the arborist report, four mature trees, all located in the rear yards of neighboring properties, will be affected by construction. Three will be protected during construction, and one will be removed.
4.4.2 Residential Area - Garages and Outbuildings (HCD Plan p.147)	<b>Compliant</b> - Garage is located on house front, but made subordinate within the elevation’s composition through a setback, and use of a smaller gable above. Garage blends in with the structure through continuous use of light brick wall cladding as on other walls. Garage door materials are wood and compatible with HCD character. The design features a contemporary chevron design. While not traditional it is compatible with the Gothic’s tendency toward verticality, and also complements the herringbone brick banding.

### 8.2.4 URBAN DESIGN GUIDELINES

The KNHCD Plan (2021) provides specific urban design guidelines within the HCD.<sup>19</sup> The specific policies relevant to this CHIA, and their assessed compliance are listed below:

Policy / Guideline	Compliance
4.5.3.2 Street Wall - Residential Streets (HCD Plan p.174)	<b>Compliant</b> - Proposed new development is generally in line with the setbacks of adjacent properties, with some variety provided by broken up massing of front elevation. The new development will result in a much more coherent streetscape condition with its neighbours in terms of setback and building height.
4.5.3.3 Street Wall Height and Scale - Residential Village (HCD Plan p.176)	<b>Compliant</b> - see 4.4.2 Residential Area - Scale and Massing in Section 8.2.3 above.
4.5.6.1 Private Realm Design Guidelines - Private Trees (HCD Plan p.183)	<b>Compliant</b> - Property contains no mature trees. Public realm vegetation being reinstated. Tree Inventory & Protection Plan has been prepared by arborist for trees on adjacent properties (see Appendix H).

## 8.3 SUMMARY

The impact analysis finds that any impacts of the proposed development are considered acceptable, having a very low impact on the cultural heritage value of the property or HCD. This conclusion is consistent with a December 2022 Heritage Permit approving the above-grade removal of the existing contributing property, and construction of a very similar dwelling with identical massing, form and composition.

The proposed development is also found to be highly compliant with the objectives, policies and guidelines provided by the KNHCD Plan. Some instances of partial compliance relate to the conservation and demolition of contributing properties, however in both cases this is considered acceptable given 60 Napier Street's limited contribution to the HCD.

Overall, the proposed development is found to have minimal impacts to cultural heritage value, and be highly compliant with the KNHCD Plan.

<sup>19</sup> See Section 4.5, KNHCD Plan (2021).

## 9.0 MITIGATION, ALTERNATIVES & CONSERVATION METHODS

### 9.1 MITIGATION

As per Section 8.1 of this HIA, the proposed demolition of the existing contributing property will have a low impact on the KNHCD's cultural heritage value. This is due to the existing building being a poor representation of the Cape Cod style, and not representative of modest architecture. As such the property does not reflect the HCD's heritage values or attributes. This conclusion is supported by a previous heritage permit issued in December 2022, for a very similar design that effectively removed the existing building above grade. Given the lack of impacts to cultural heritage value, mitigation measures are not required for the demolition of the existing building.

With regard to the new development, potential impacts to the KNHCD have been proactively mitigated through a proposed design that meets the objectives of the KNHCD Plan, and is compliant with the Plan's relevant policies and guidelines, as described in Section 8.2.

Based on these findings, no additional avoidance mitigation, salvage mitigation, or heritage commemoration are recommended.

### 9.2 ALTERNATIVES

Given the low impacts to heritage values, alternatives are not recommended or considered.

### 9.3 CONSERVATION METHODS

Due to a lack of significant heritage features on the subject property, conservation methods are not recommended as part of this CHIA. Conservation of the HCD's heritage values is supported via adherence to the objectives, policies and guidelines provided in the KNHCD Plan (see Section 8.2 above).



## 10.0 FIGURES



Figure 1: Satellite imagery with 60 Napier Street outlined in red. The context within Kleinburg is shown on the left, and the site detail shown on the right (Google, CBCollective 2023).



Figure 2: View of 60 Napier Street's principal, north elevation (CBCollective, 2023).





Figure 3: View of 60 Napier Street's north elevation, with west elevation visible at right (CBCollective, 2023).



Figure 4: View of 60 Napier Street's north elevation, with the garage addition in the foreground (CBCollective, 2023).





Figure 5: Rear (south) elevation, with the original gabled form at the left and the addition at right (CBCollective, 2023).



Figure 6: Roof details as seen on the rear (south) elevation (CBCollective, 2023).





Figure 7: Fenestration and door details, as seen at the main entry on the north elevation (CBCollective, 2023).



Figure 8: Porch details, as seen outside the main entry on the north elevation (CBCollective, 2023).





Figure 9: Remnants of the original cast foundation masonry, as seen at the rear (south) elevation (CBCollective, 2023).



Figure 10: 67 Napier Street, as viewed from the south (CBCollective, 2023).





Figure 11: Front and side elevations of 31 Napier Street (CBCollective, 2023).



Figure 12: North elevation of 66 Napier Street (CBCollective, 2023).





Figure 13: South elevation of 84 Napier Street (CBCollective, 2023).

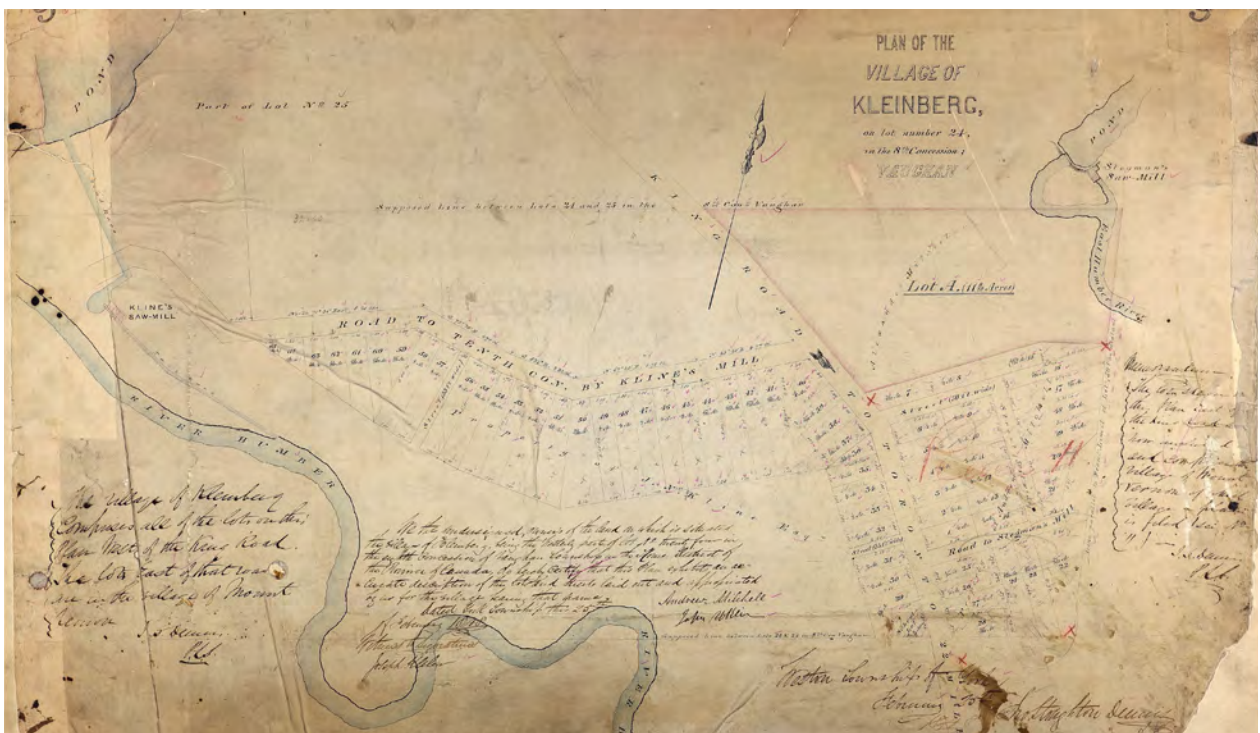


Figure 14: 1848 Plan of the Village of Kleinburg (Plan 9), showing the building lots created Mitchell and Kline. "Lot A" is shown at centre-right, outlined in red (OnLand - York Region).



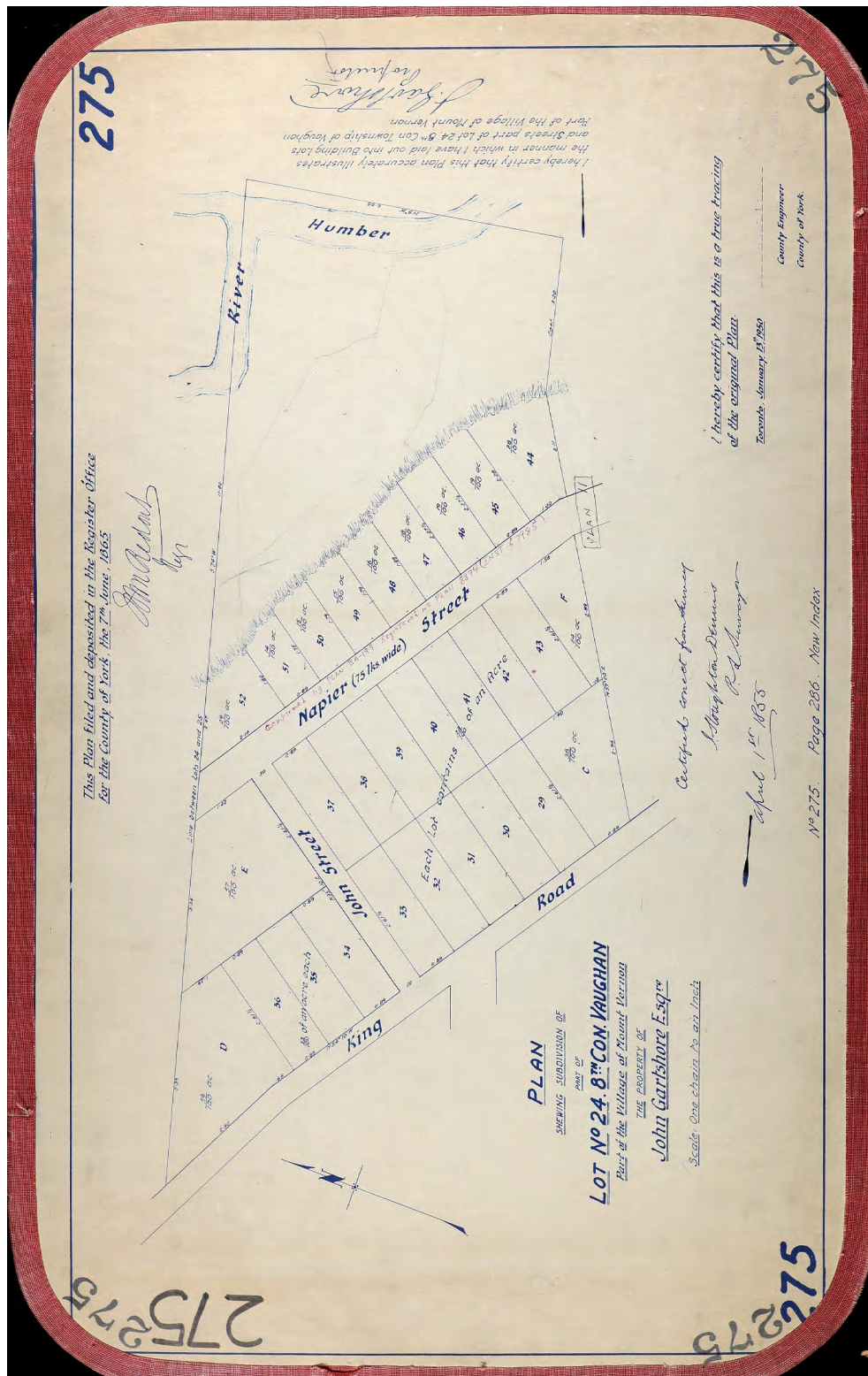


Figure 15: Plan 275, showing the area reserved as “Lot A” on the 1848 Plan 9 subdivided into building lots and roads. The plan was surveyed in 1855 and registered in 1865. 60 Napier Street corresponds to Lot 43 on this plan (*OnLand - York Region*).

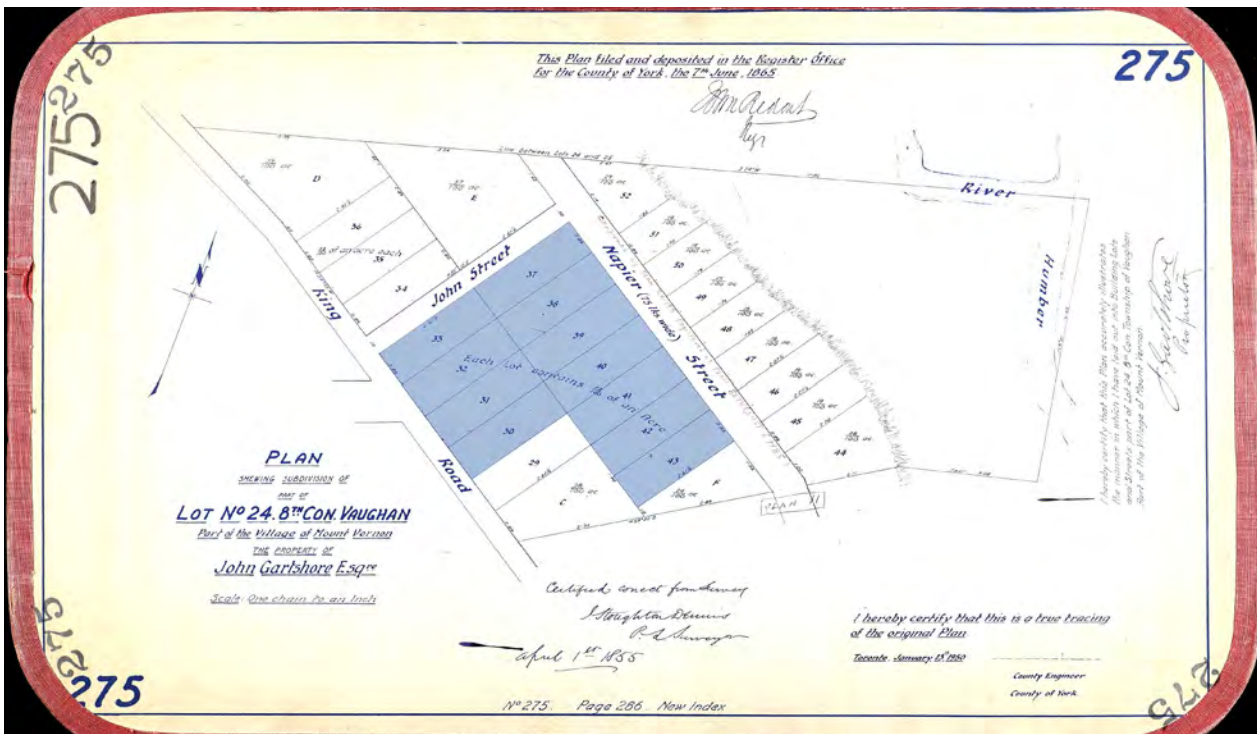


Figure 16: Plan 275 highlighting in blue the eleven building lots that were sold together in 1905, 1917 and 1925 (OnLand - York Region, CBCollective, 2023).

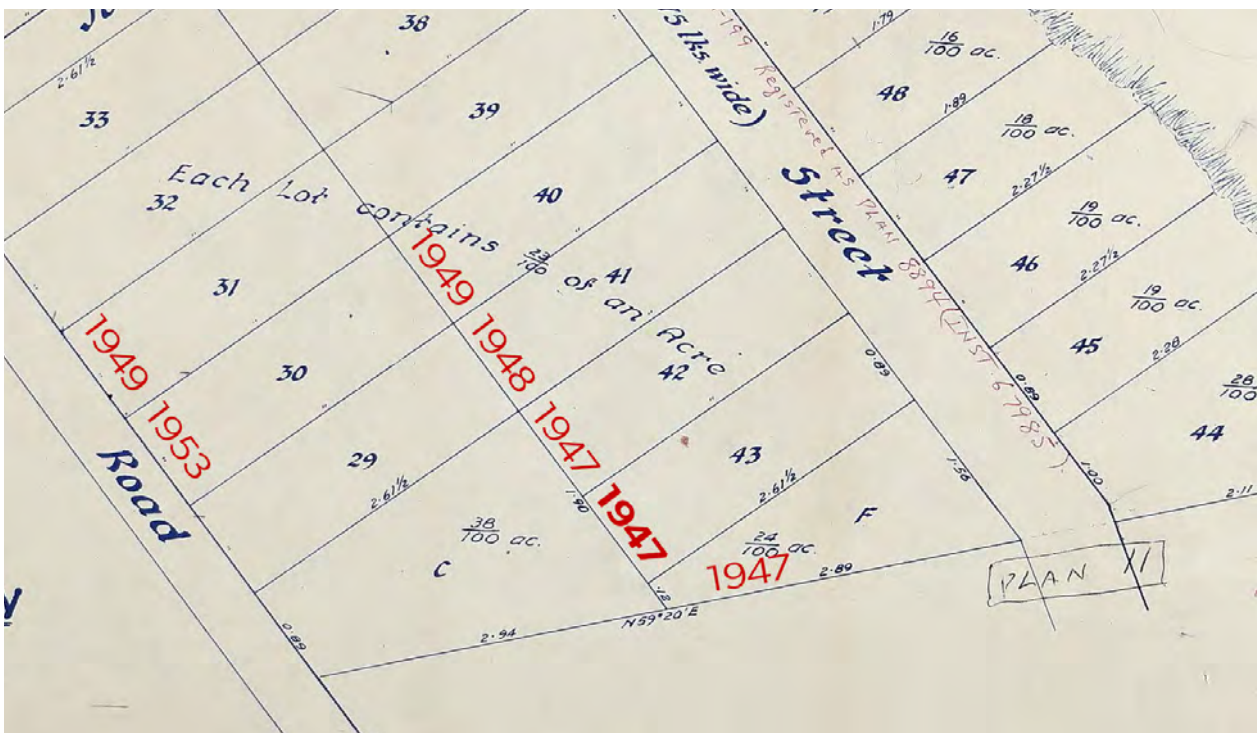


Figure 17: Detail of Plan 275, annotated to show in red the dates that nearby properties were sold individually (OnLand - York Region, CBCollective, 2023).





Figure 18: Detail from Tremaine's 1860 Map of York County centred on the Village of Kleinburg. Napier Street is shown, but the map does not show individual buildings (*University of Toronto*).

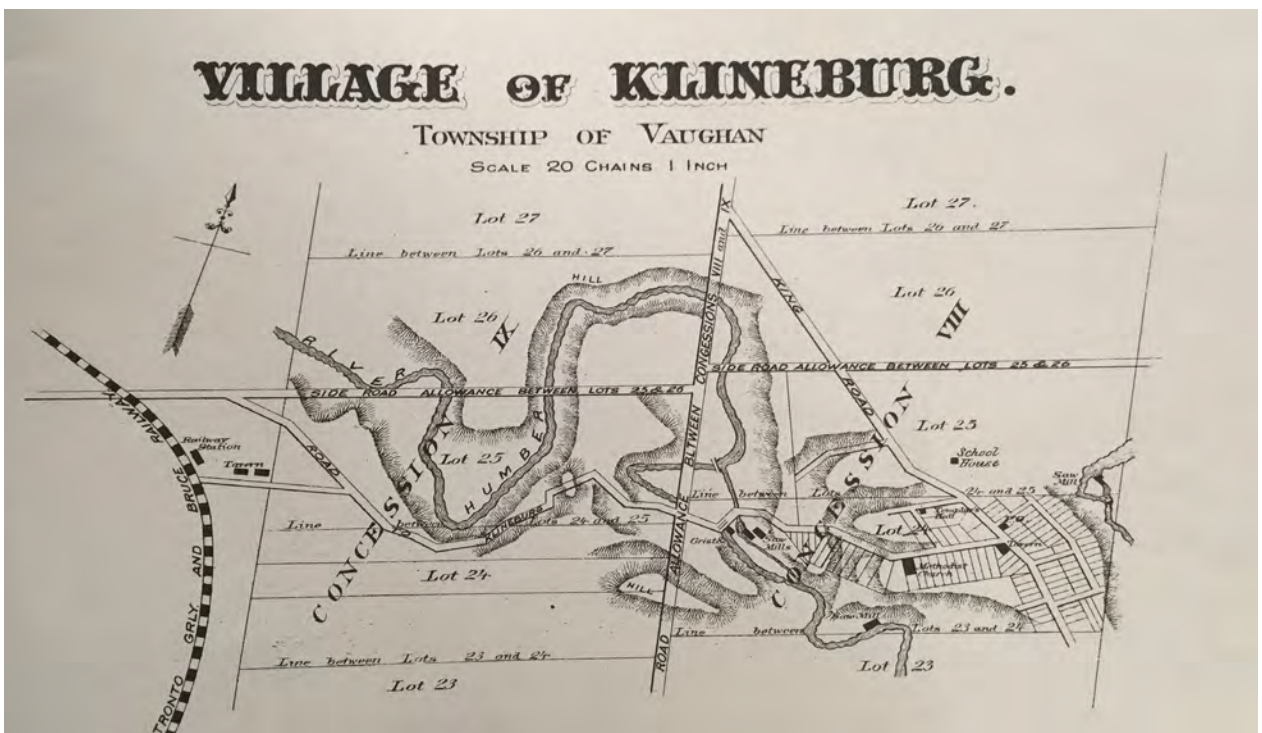


Figure 19: Map of the Village of Kleinburg from the 1878 York County Atlas. Napier Street and surrounding building lots are shown, but individual residential buildings are not rendered (*Historical Atlas of York County*).





Figure 20: Built in the late 18th century, the Isaac Small house in Truro Massachusetts shows the typical massing and composition and arrangement that came to define the Cape Cod form (*KNHCD Plan September 2021: Part 3 - The Inventory*).

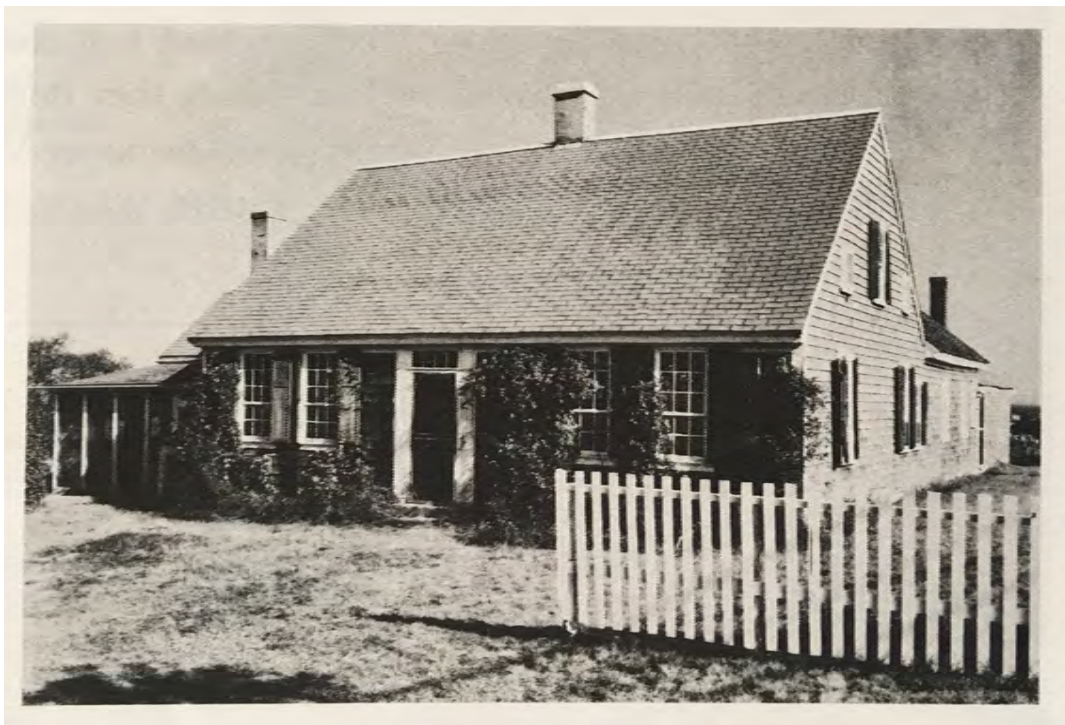


Figure 21: Built in the late 18th century, the Isaac Small house in Truro Massachusetts shows the typical massing and composition and arrangement that came to define the Cape Cod form (*McAlester, Virginia p.123*).





Figure 22: Circa 1920's example of a vernacular use of the Cape Cod form from Louisville, Kentucky (*McAlester, Virginia p.427*).



Figure 23: Two examples of Minimalist Traditional Cape Cod type houses, both found in Levittown, New York. The left example was built circa 1946, with the 750 ft<sup>2</sup> example on the right being build circa 1947 (*McAlester, Virginia pp. 592-593*).



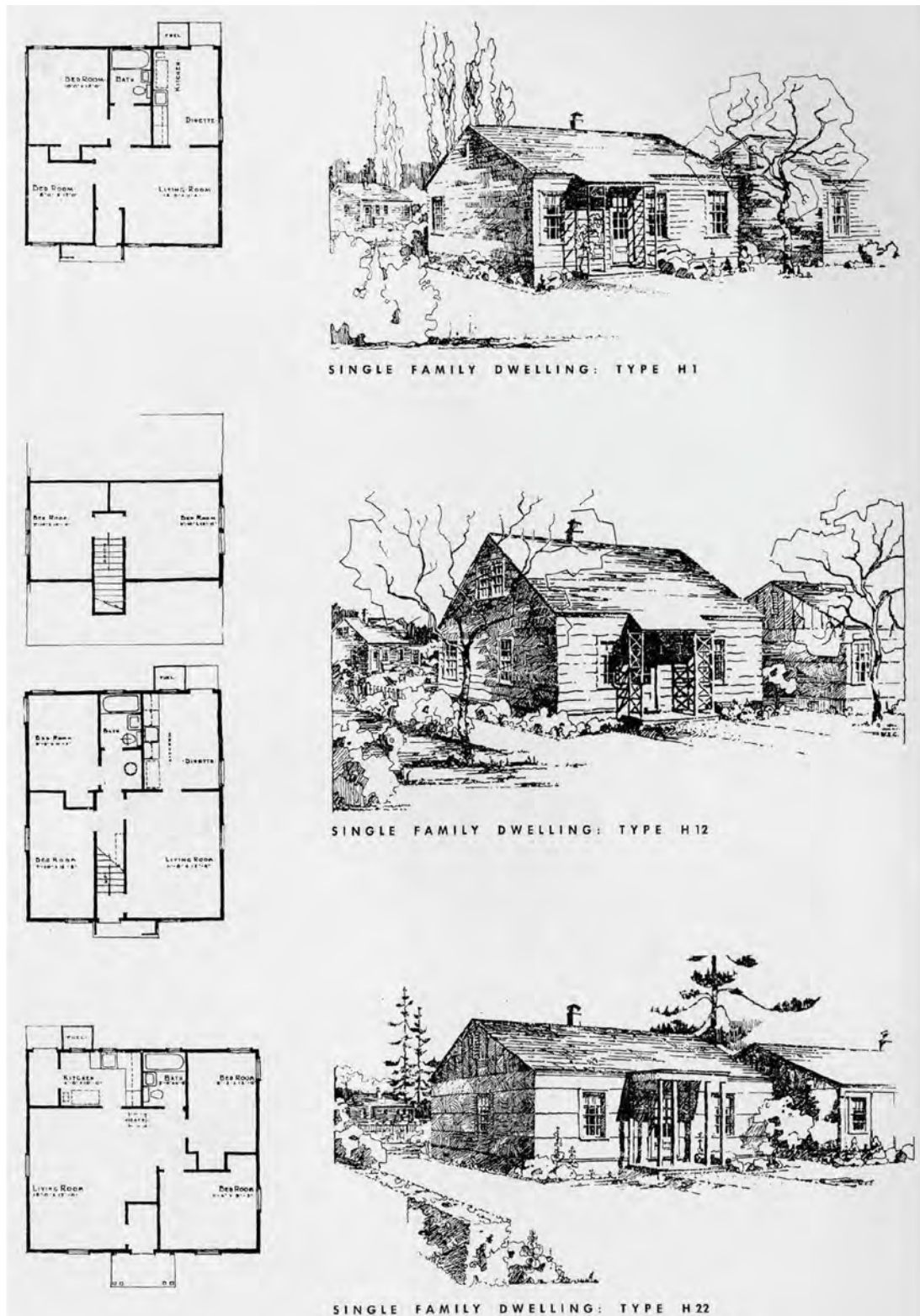


Figure 24: Examples of single family dwelling house types developed by Wartime Housing Limited circa 1942. The influence of the Minimalist Traditionalist Cape Cod type design is clear in the form, massing and composition (*RAIC Journal January 1942 p.7*).



Figure 25: 1947 Central Mortgage and Housing Corporation house design #47-1, building off the forms used by Wartime Housing Limited with the Minimalist Traditionalist Cape Cod form remaining evident (CMHC - *67 Homes for Canadians*).

Figure 26: 1949 Central Mortgage and Housing Corporation house design #49-50, building off the forms used by Wartime Housing Limited with the Minimalist Traditionalist Cape Cod form remaining evident (CMHC - *Small House Designs: One-and-a-half Storey*).



Figure 27: Circa 2003 photograph of 84 Napier Street (demolished). The house form and composition closely resembles the traits from CMHC designs noted above (*KNHCD Plan September 2021: Part 3 - The Inventory*).



Figure 28: A comparison of the dwelling at 60 Napier Street prior to (left), and following the circa 2005 addition (right). (*KNHCD Plan; CBCollective, 2023*).





Figure 29: Paint failure noted around the window in the north gable (CBCollective, 2023).



Figure 30: Minor rot observed at exposed end-grain boards on the garage addition, at the house's northeast corner (CBCollective, 2023).





Figure 31: Oblique view of 34 Napier Street, identified as a contributing Cape Cod/Bungalow property within the HCD (CBCollective, 2023).



Figure 32: Circa 2003 view of 99 Napier Street, identified as a contributing Cape Cod/Bungalow property within the HCD (KNHCD Plan September 2021: Part 3 - The Inventory).



Figure 33: The Usonian-inspired dwelling at 54 Napier Street is classified as a Non-historic and Contributing Style property in the KNHCD Plan for its Modern Movement style (*CBCollective, 2023*).



## 11.0 SOURCES

*1878 Illustrated Historical Atlas of York County Ontario*. Belleville: Mike Silk Screening Limited, 1972.

“Deaths, Memorials and Births.” *The Toronto Star*. 15 August 2001, p. B6.

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City of Vaughan, *Kleinburg-Nashville Heritage Conservation District Study and Plan*, 2021.

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Coon, R. Burwell. “Wartime Housing.” *Royal Architectural Institute of Canada Journal* 19, no. 1 (January 1942): 3-8.

McAlester, Virginia Savage. *A Field Guide to American Houses*. New York: Alfred A. Knopf, 2014.

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*Tremaine’s Map of the County of York Canada West, Compiled and Drawn by Geo. R. Tremaine from Actual Surveys Toronto Published by Geo. C. Tremaine, 1860.*

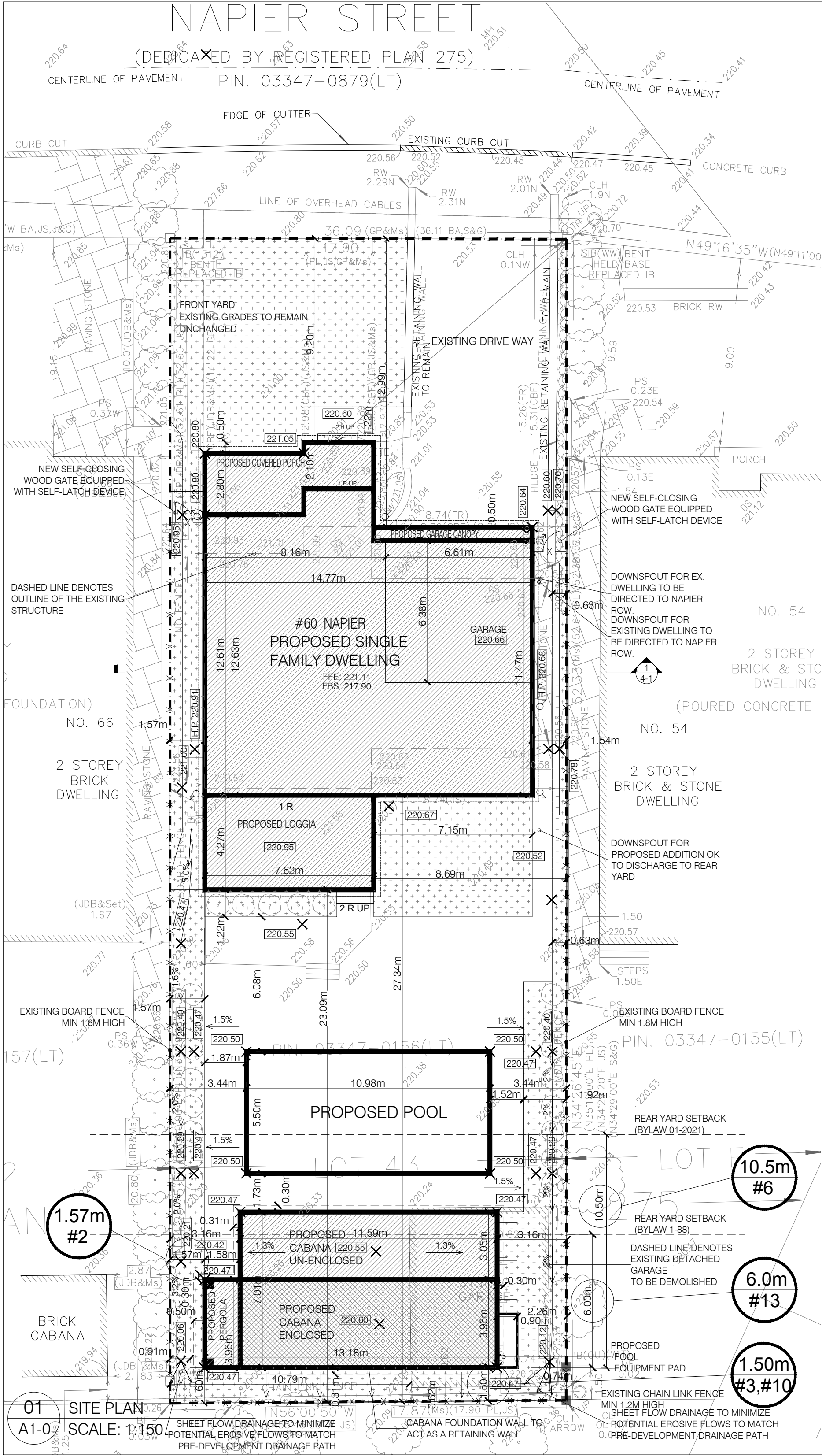
York Region Land Registry Office (65). York Region (65), Vaughan, Book 219, “Concession 8; Lot 24 To 35”.

York Region Land Registry Office (65). York Region (65), Vaughan, Book 469, “Plan 275”.

York Region. YorkMaps: General Map. Accessed at: <https://maps.york.ca/Html5ViewerPublic/Index.html?viewer=GeneralInteractiveMap.YorkMaps>



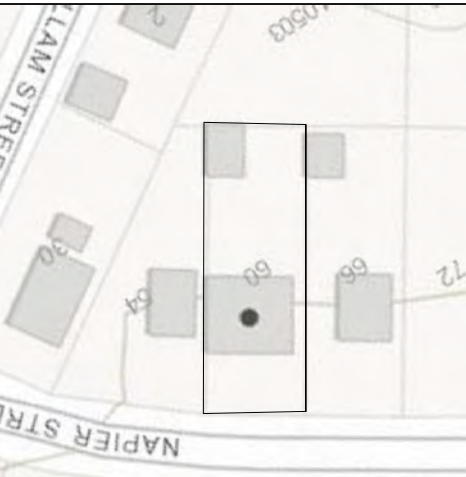
## **APPENDIX A: SITE PLAN/DRAWINGS/ SAMPLE BOARD**



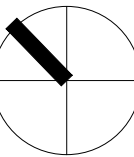
SITE DEVELOPMENT			
ZONING	REQUIRED		PROVIDED
	R1	R1B (EN)-336	
	BY LAW 1-88	BYLAW 01-2021	BYLAW 1-88 & BYLAW 01-2021
LOT AREA	700 m2	600 m2	938.71m2
LOT FRONTAGE	18m	18m	17.90 m
COVERAGE BREAKDOWN - DWELLING			BYLAW 1-88 & BYLAW 01-2021
HOUSE			181.91m2 19.38%
PORCH AND GARAGE CANOPY			23.35m2 2.49%
LOGGIA			32.51m2 3.46%
EVES AND OVERHANGS			
TOTAL COVERAGE - DWELLING	30%	40 %	237.77 m2 25.33%
COVERAGE BREAKDOWN - CABANA			
CABANA - ENCLOSED PORTION			45.89m2 4.89%
CABANA - UNENCLOSED PORTION & PERGOLA			41.67m2 4.44%
EVES AND OVERHANGS			
TOTAL COVERAGE - ACCESSORY STRUCTURE	10% OR 67 m2	10% OR 67 m2	87.56 m2 9.33%
TOTAL LOT COVERAGE	30%	40 %	325.33 m2 34.66%
FRONT SETBACK-DWELLING	7.5m	9.0 m	9.20 m
REAR SETBACK- DWELLING	7.5 m	12 m	23.09 m
INTERIOR SIDEYARD- DWELLING	1.5 m	1.5 m	1.57 m, 1.54 m
BUILDING HEIGHT -EXISTING DWELLING	9.5 m	8.5 m(EXISTING BUILDING HEIGHT +2m(8.18 m+2m) or 8.5 m)	9.13 m
REAR SET BACK- ACCESSORY STRUCTURE	7.5 m	12 m	1.50m
INTERIOR SET BACK- ACCESSORY STRUCTURE	1.5 m	2.4 m	3.16m, 1.57m
SETBACKS - POOL	1.5 m	1.5 m	3.44m (E & W)
BUILDING HEIGHT- CABANA	4 m	3 m	3.75 m
NEAREST PART OF THE ROOF TO GRADE	3 m	-	2.700m
REAR YARD AREA	-	-	412.29 m2
REAR YARD SOFT LANDSCAPE	166.37 m2 (60% EXCESS OF 135m2 OF REAR YARD)		119.67 m2 52.60%
FRONT YARD AREA	-	-	164.10 m2
FRONT YARD LANDSCAPE	-	82.05 m2 (50% OF FRONT YARD)	88.09 m2
FRONT YARD SOFT LANDSCAPE		49.23 m2 (60% OF FRONT YARD LANDCAPED AREA)	94.19 m2

GFA SCHEDULE				
	EXISTING		PROPOSED	
MAIN FLOOR	98.58 m2	1061 sq/ft	131.11 m2	1411 sq/ft
FRONT PORCH AND GARAGE CANOPY	3.86 m2	42 sq/ft	19.49 m2	210 sq/ft
LOGGIA			32.51 m2	350 sq/ft
GARAGE	40.64 m2	437 sq/ft	50.80 m2	547 sq/ft
2ND FLOOR	100.47 m2	1081 sq/ft	169.12 m2	1820 sq/ft
G.F.A. (EXCL. GARAGE, LOGGIA, PORCH AND CANOPIES)	199.05 m2	2143 m2	300.23 m2	3232 m2

- EXISTING
- PROPOSED
- SOFT LANDSCAPE
- HARD LANDSCAPE
- TO BE DEMOLISHED



KEY PLAN



6	ISSUED FOR HERITAGE PERMIT	2023-10-11
5	ISSUED FOR COORDINATION	2023-09-21
4	ISSUED FOR CLIENT REVIEW	2023-06-15
3	ISSUED FOR BUILDING PERMIT	2023-04-21
2	ISSUED FOR SPA SUBMISSION #2	2022-12-20
1	ISSUED FOR SPA/MV	2022-09-02
No.	DESCRIPTION	DATE
REVISIONS		

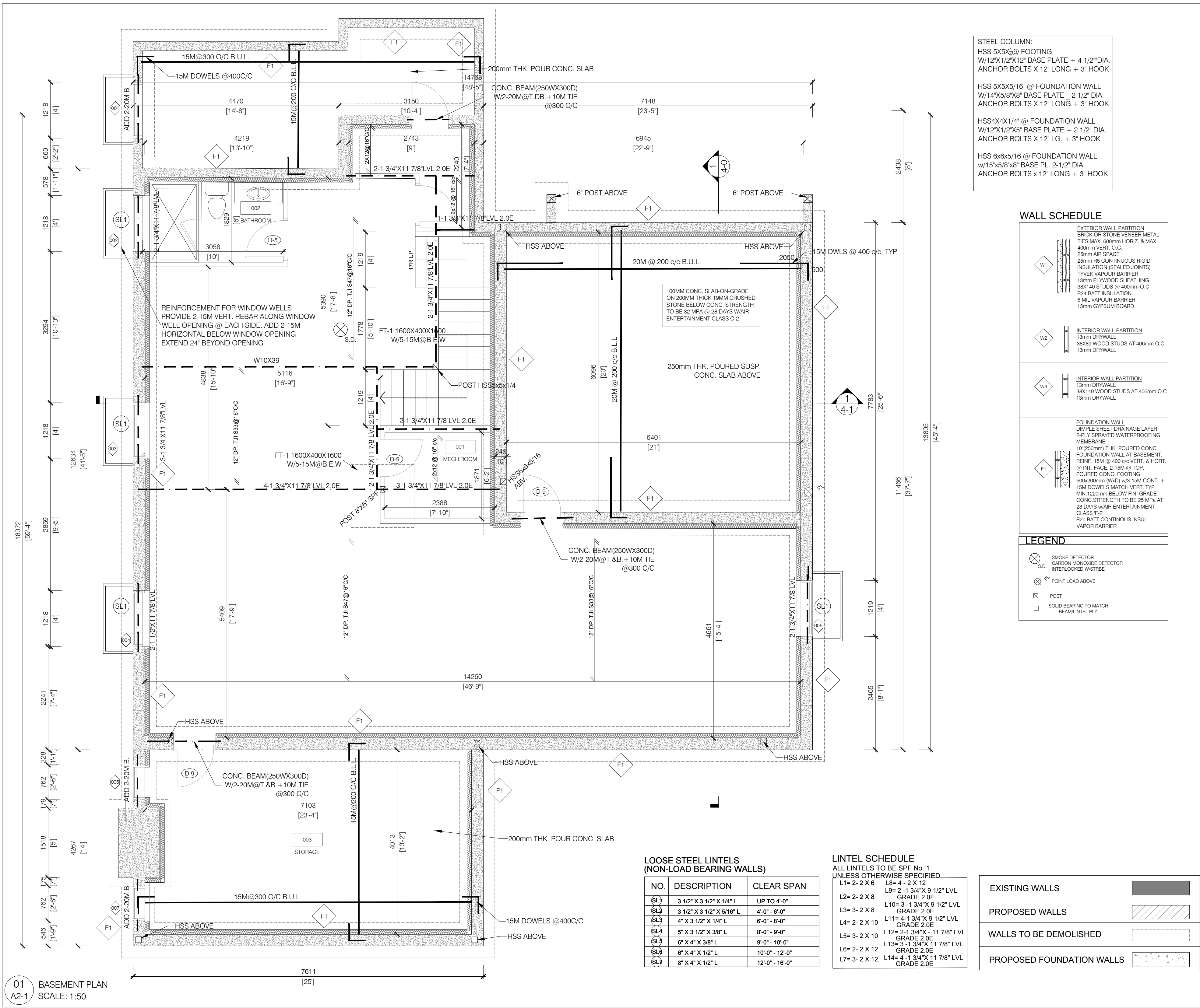
ISSUED FOR CONSTRUCTION  
ISSUED FOR BID  
ISSUED FOR BUILDING PERMIT  
ISSUED FOR SITE PLAN APPROVAL  
SUBMITTALS  
CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.  
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DO NOT SCALE DRAWINGS.

**FAUSTO CORTESE**  
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416-806-7000  
FCORTESE@FCARCHITECTS.CA

DRAWING: PROPOSED SINGLE FAMILY DWELLING ON 60 NAPIER CITY OF VAUGHAN	
DRAWING: SITE PLAN	
PLOTTED: N/A	
DATE: 10/10/2023	PROJECT No: 2022-12
SCALE: AS NOTED	DRAWING No: A 1-0
DRAWN BY: B.S.H.	REVIEWED BY: F.C.





STEEL COLUMN:  
HSS 5X5X $\frac{3}{4}$ @ FOOTING  
W/12"x1/2"x12" BASE PLATE + 4 1/2" DIA.  
ANCHOR BOLTS X 12" LONG + 3" HOOK

HSS 5X5X5/16 @ FOUNDATION WALL  
W/14"x5/8"x8" BASE PLATE + 2 1/2" DIA.  
ANCHOR BOLTS X 12" LONG + 3" HOOK

HSS4X4X1/4" @ FOUNDATION WALL  
W/14"x1/2"x5" BASE PLATE + 2 1/2" DIA.  
ANCHOR BOLTS X 12" LG. + 3" HOOK

HSS 6x6x5/16 @ FOUNDATION WALL  
w/15"x5/8"x8" BASE PL. 2-1/2" DIA.  
ANCHOR BOLTS x 12" LONG + 3" HOOK

WALL SCHEDULE

	EXTERIOR WALL PARTITION BRICK OR STONE VENER METAL TIES MAX. 600mm HORIZ. & MAX. 400mm VERT. O.C. 25mm AIR SPACE 25mm RS CONTINUOUS RIGID INSULATION (SEALED JOINTS) TYVEK VAPOUR BARRIER 13mm PLYWOOD SHEATHING 38X140 STUDS @ 400mm O.C. R24 BATT INSULATION 6 MIL VAPOUR BARRIER 13mm GYPSUM BOARD
	INTERIOR WALL PARTITION 13mm DRYWALL 38X89 WOOD STUDS AT 406mm O.C. 13mm DRYWALL
	INTERIOR WALL PARTITION 13mm DRYWALL 38X140 WOOD STUDS AT 406mm O.C. 13mm DRYWALL
	FOUNDATION WALL DIMPLE SHEET DRAINAGE LAYER 2-PLY SPRAYED WATERPROOFING MEMBRANE 10"(250mm) THK. POURED CONC. FOUNDATION WALL AT BASEMENT, REINF. 15M @ 400 c/c VERT. & HORT. @ INT. FACE, 2-15M @ TOP, POURED CONC. FOOTING 600x200mm (WxD) w/3-15M CONT. + 15M DOWELS MATCH VERT. TYP. MIN.1220mm BELOW FIN. GRADE CONC.STRENGTH TO BE 25 MPa AT 28 DAYS w/AIR ENTERTAINMENT CLASS F-2 R20 BATT CONTINUOUS INSUL. VAPOUR BARRIER

LEGEND

	S.MOKE DETECTOR CARBON MONOXIDE DETECTOR INTERLOCKED W/STRIPE
	POINT LOAD ABOVE
	POST
	SOLID BEARING TO MATCH BEAM/LINTEL PLY

LOOSE STEEL LINTELS  
(NON-LOAD BEARING WALLS)

NO.	DESCRIPTION	CLEAR SPAN
(SL1)	3 1/2" X 3 1/2" X 1/4" L	UP TO 4'-0"
SL2	3 1/2" X 3 1/2" X 5/16" L	4'-0" - 6'-0"
SL3	4" X 3 1/2" X 1/4" L	6'-0" - 8'-0"
SL4	5" X 3 1/2" X 3/8" L	8'-0" - 9'-0"
SL5	6" X 4" X 3/8" L	9'-0" - 10'-0"
SL6	6" X 4" X 1/2" L	10'-0" - 12'-0"
SL7	8" X 4" X 1/2" L	12'-0" - 16'-0"

LINTEL SCHEDULE

ALL LINTELS TO BE SPF No. 1  
UNLESS OTHERWISE SPECIFIED

L1= 2- 2 X 6	L8= 4 - 2 X 12
L2= 2- 2 X 8	L9= 2 - 1 3/4" X 9 1/2" LVL GRADE 2.0E
L3= 3- 2 X 8	L10= 3 - 1 3/4" X 9 1/2" LVL GRADE 2.0E
L4= 2- 2 X 10	L11= 4-1 3/4" X 9 1/2" LVL GRADE 2.0E
L5= 3- 2 X 10	L12= 2-1 3/4" X - 11 7/8" LVL GRADE 2.0E
L6= 2- 2 X 12	L13= 3 - 1 3/4" X 11 7/8" LVL GRADE 2.0E
L7= 3- 2 X 12	L14= 4 - 1 3/4" X 11 7/8" LVL GRADE 2.0E

EXISTING WALLS	
PROPOSED WALLS	
WALLS TO BE DEMOLISHED	
PROPOSED FOUNDATION WALLS	

KEY PLAN

8	ISSUED FOR HERITAGE PERMIT	2023-10-11
7	ISSUED FOR COORDINATION	2023-09-27
6	ISSUED FOR COORDINATION	2023-07-20
5	ISSUED FOR CLIENT REVIEW	2023-07-17
4	ISSUED FOR CLIENT REVIEW	2023-06-15
3	ISSUED FOR BUILDING PERMIT	2023-04-27
2	ISSUED FOR SPA SUBMISSION #2	2022-12-20
1	ISSUED FOR SPA/MV	2022-09-02
No.	DESCRIPTION	DATE

REVISIONS	
ISSUED FOR CONSTRUCTION	
ISSUED FOR BID	
ISSUED FOR BUILDING PERMIT	
ISSUED FOR SITE PLAN APPROVAL	
SUBMITTALS	
CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.	
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DO NOT SCALE DRAWINGS.	

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FCORTESE@FCARCHITECTS.CA

DRAWING: PROPOSED SINGLE FAMILY DWELLING ON 60 NAPIER CITY OF VAUGHAN

DRAWING: BASEMENT PLAN

PLOTTED: N/A

DATE: 10/10/2023

SCALE: AS NOTED

DRAWN BY: B.SH

REVIEWED BY: F.C.

PROJECT No: 2022-12

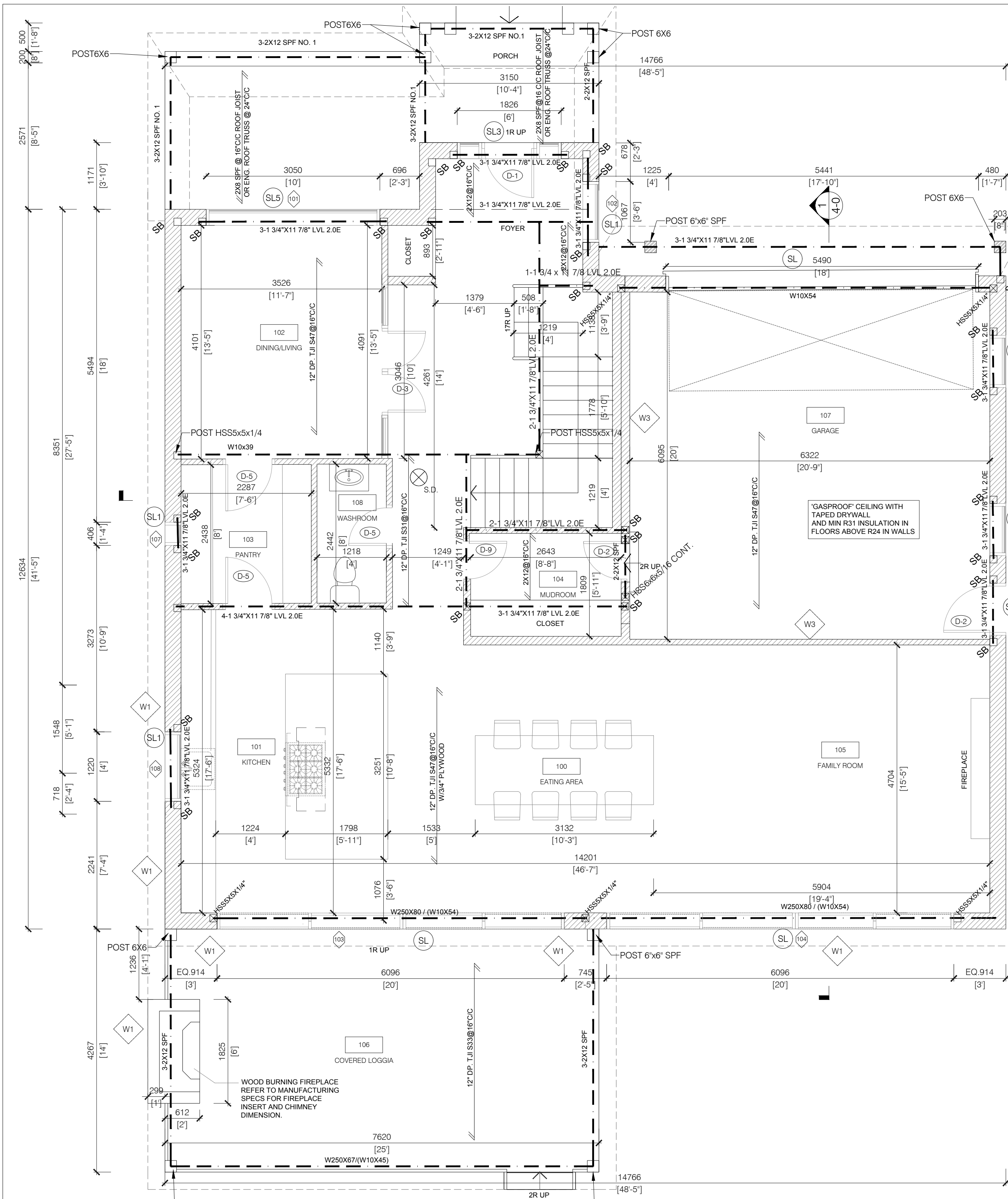
DRAWING No: A 2-1

01 BASEMENT PLAN  
A2-1 SCALE: 1:50

FILE NAME: 60 NAPIER - WORKING DRAWINGS - 2024R030 - CONSTRUCTION SET.DWG

PLOT SCALE: 1"=





WALL SCHEDULE

	EXTERIOR WALL PARTITION BRICK OR STONE VENEER METAL TIES MAX. 600mm HORIZ. & MAX. 400mm VERT. O.C. 25mm AIR SPACE 25mm R5 CONTINUOUS RIGID INSULATION (SEALED JOINTS) TYVEK VAPOUR BARRIER 13mm PLYWOOD SHEATHING 38X140 STUDS @ 400mm O.C. R24 BATT INSULATION 6 MIL VAPOUR BARRIER 13mm GYPSUM BOARD
	INTERIOR WALL PARTITION 13mm DRYWALL 38X99 WOOD STUDS AT 406mm O.C 13mm DRYWALL
	INTERIOR WALL PARTITION 13mm DRYWALL 38X140 WOOD STUDS AT 406mm O.C 13mm DRYWALL
	FOUNDATION WALL DIMPLE SHEET DRAINAGE LAYER 2-PLY SPRAYED WATERPROOFING MEMBRANE 10'(250mm) THK. POURED CONC. FOUNDATION WALL AT BASEMENT, REINF. 15M @ 400 c/c VERT. & HORT. @ INT. FACE, 2-15M @ TOP. POURED CONC. FOOTING 600x200mm (Wd) w/3-15M CONT. + 15M DOWELS MATCH VERT. TYP. MIN. 1220mm BELOW FIN. GRADE CONC. STRENGTH TO BE 25 MPa AT 28 DAYS w/AIR ENTERTAINMENT CLASS F-2 R20 BATT CONTINUOUS INSUL. VAPOR BARRIER

LEGEND

	SMOKE DETECTOR CARBON MONOXIDE DETECTOR INTERLOCKED W/STRBE
	POINT LOAD ABOVE
	POST
	SOLID BEARING TO MATCH BEAM/LINTEL PLY

DOOR TYPES

TYPE	WIDTH	HEIGHT	NOTES
D-1	38"	96"	38" EXTERIOR DOOR W/ 2-18" SIDE LIGHT
D-2	36"	96"	EXTERIOR DOOR
D-3	2-32"	96"	DOUBLE DOOR
D-4	30"	96"	SINGLE DOOR
D-5	28"	96"	SINGLE DOOR
D-6	36"	96"	POCKET DOOR
D-7	40"	96"	POCKET DOOR
D-8	72"	96"	EXTERIOR SLIDING GLASS DOOR
D-9	32"	96"	SLIDING DOOR
D-10	36"	96"	SLIDING DOOR
D-11	40"	96"	SLIDING DOOR

LOOSE STEEL LINTELS  
(NON-LOAD BEARING WALLS)

NO.	DESCRIPTION	CLEAR SPAN
SL1	3 1/2" X 3 1/2" X 1/4" L	UP TO 4'-0"
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SL5	6" X 4" X 3/8" L	9'-0" - 10'-0"
SL6	6" X 4" X 1/2" L	10'-0" - 12'-0"
SL7	8" X 4" X 1/2" L	12'-0" - 16'-0"

LINTEL SCHEDULE

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L1= 2-2 X 6	L8= 4 - 2 X 12
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L3= 3-2 X 8	GRADE 2.0E
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L5= 3-2 X 10	GRADE 2.0E
L6= 2-2 X 12	L11= 4-1 3/4" X 9 1/2" LVL
L7= 3-2 X 12	GRADE 2.0E
	L12= 2-1 3/4" X - 11 7/8" LVL
	GRADE 2.0E
	L13= 3-1 3/4" X 11 7/8" LVL
	GRADE 2.0E
	L14= 4-1 3/4" X 11 7/8" LVL
	GRADE 2.0E

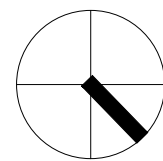
EXISTING WALLS

PROPOSED WALLS

WALLS TO BE DEMOLISHED

PROPOSED FOUNDATION WALLS

KEY PLAN



No.	DESCRIPTION	DATE
8	ISSUED FOR HERITAGE PERMIT	2023-10-11
7	ISSUED FOR COORDINATION	2023-09-21
6	ISSUED FOR COORDINATION	2023-07-20
5	ISSUED FOR CLIENT REVIEW	2023-07-17
4	ISSUED FOR CLIENT REVIEW	2023-06-15
3	ISSUED FOR BUILDING PERMIT	2023-04-21
2	ISSUED FOR SPA SUBMISSION #2	2022-12-20
1	ISSUED FOR SPA/MV	2022-09-02

REVISIONS
ISSUED FOR CONSTRUCTION
ISSUED FOR BID
ISSUED FOR BUILDING PERMIT
ISSUED FOR SITE PLAN APPROVAL
SUBMITTALS

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PROCEEDING WITH CONSTRUCTION.

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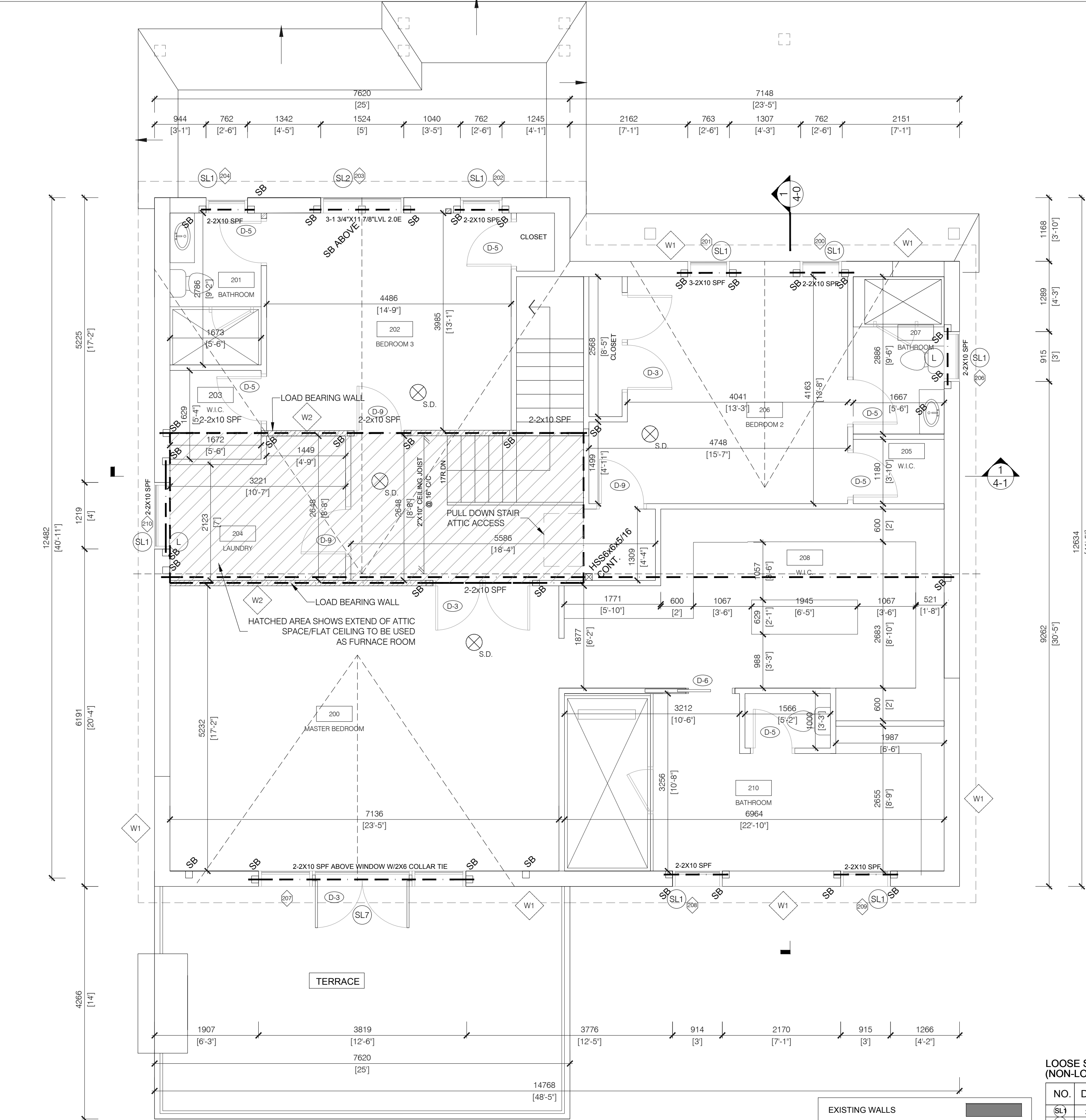
DO NOT SCALE DRAWINGS.

**FAUSTO CORTESE**  
ARCHITECTS

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PROPOSED SINGLE  
FAMILY DWELLING  
ON  
60 NAPIER  
CITY OF VAUGHAN

DRAWING:	FIRST FLOOR PLAN
PLOTTED: N/A	
DATE:	PROJECT No:
10/10/2023	2022-12
SCALE:	DRAWING No:
AS NOTED	
DRAWN BY: B.S.H.	REVIEWED BY: F.C.
	A 2-2



WALL SCHEDULE

W1	EXTERIOR WALL PARTITION BRICK OR STONE VENEER METAL TIES MAX. 600mm HORIZ. & MAX. 400mm VERT. O.C. 25mm AIR SPACE 25mm R5 CONTINUOUS RIGID INSULATION (SEALED JOINTS) TYVEK VAPOUR BARRIER 13mm PLYWOOD SHEATHING 38X140 STUDS @ 400mm O.C. R24 BATT INSULATION 6 MIL VAPOUR BARRIER 13mm GYPSUM BOARD
W2	INTERIOR WALL PARTITION 13mm DRYWALL 38X89 WOOD STUDS AT 406mm O.C. 13mm DRYWALL
W3	INTERIOR WALL PARTITION 13mm DRYWALL 38X140 WOOD STUDS AT 406mm O.C. 13mm DRYWALL
F1	FOUNDATION WALL DIMPLE SHEET DRAINAGE LAYER 2-PLY SPRAYED WATERPROOFING MEMBRANE 10'(250mm) THK. POURED CONC. FOUNDATION WALL AT BASEMENT. REINF. 15M @ 400 c/c VERT. & HORT. @ INT. FACE, 2-15M @ TOP, POURED CONC. FOOTING 600x200mm (WxD) w/3-15M CONT. + 15M DOWELS MATCH VERT. TYP. MIN 1220mm BELOW FIN. GRADE CONC. STRENGTH TO BE 25 MPa AT 28 DAYS w/AIR ENTERTAINMENT CLASS F-2' R20 BATT CONTINUOUS INSUL. VAPOUR BARRIER

LEGEND

	S.M.O. DETECTOR
	CARBON MONOXIDE DETECTOR
	INTERLOCKED W/STRE
	POINT LOAD ABOVE
	POST
	SOLID BEARING TO MATCH BEAM/LINTEL PLY

DOOR TYPES

TYPE	WIDTH	HEIGHT	NOTES
D-1	38"	96"	38" EXTERIOR DOOR W/2-18" SIDE LIGHT
D-2	36"	96"	EXTERIOR DOOR
D-3	2-32"	96"	DOUBLE DOOR
D-4	30"	96"	SINGLE DOOR
D-5	28"	96"	SINGLE DOOR
D-6	36"	96"	POCKET DOOR
D-7	40"	96"	POCKET DOOR
D-8	72"	96"	EXTERIOR SLIDING GLASS DOOR
D-9	32"	96"	SLIDING DOOR
D-10	36"	96"	SLIDING DOOR
D-11	40"	96"	SLIDING DOOR

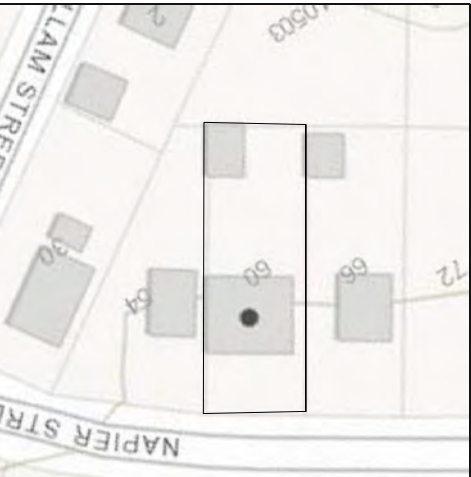
LOOSE STEEL LINTELS  
(NON-LOAD BEARING WALLS)

NO.	DESCRIPTION	CLEAR SPAN
SL1	3 1/2" X 3 1/2" X 1/4" L	UP TO 4'-0"
SL2	3 1/2" X 3 1/2" X 5/16" L	4'-0" - 6'-0"
SL3	4" X 3 1/2" X 1/4" L	6'-0" - 8'-0"
SL4	5" X 3 1/2" X 3/8" L	8'-0" - 9'-0"
SL5	6" X 4" X 3/8" L	9'-0" - 10'-0"
SL6	6" X 4" X 1/2" L	10'-0" - 12'-0"
SL7	8" X 4" X 1/2" L	12'-0" - 16'-0"

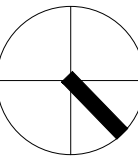
LINTEL SCHEDULE

ALL LINTELS TO BE SPF No. 1 UNLESS OTHERWISE SPECIFIED	
L1= 2- 2 X 6	L8= 4 - 2 X 12
L2= 2- 2 X 8	L9= 2 - 1 3/4" X 9 1/2" LVL GRADE 2.0E
L3= 3- 2 X 8	L10= 3 - 1 3/4" X 9 1/2" LVL GRADE 2.0E
L4= 2- 2 X 10	L11= 4 - 1 3/4" X 9 1/2" LVL GRADE 2.0E
L5= 3- 2 X 10	L12= 2- 1 3/4" X - 11 7/8" LVL GRADE 2.0E
L6= 2- 2 X 12	L13= 3 - 1 3/4" X 11 7/8" LVL GRADE 2.0E
L7= 3- 2 X 12	L14= 4 - 1 3/4" X 11 7/8" LVL GRADE 2.0E

EXISTING WALLS	
PROPOSED WALLS	
WALLS TO BE DEMOLISHED	
PROPOSED FOUNDATION WALLS	



KEY PLAN



No.	DESCRIPTION	DATE
8	ISSUED FOR HERITAGE PERMIT	2023-10-11
7	ISSUED FOR COORDINATION	2023-09-27
6	ISSUED FOR COORDINATION	2023-07-20
5	ISSUED FOR CLIENT REVIEW	2023-07-17
4	ISSUED FOR CLIENT REVIEW	2023-06-15
3	ISSUED FOR BUILDING PERMIT	2023-04-27
2	ISSUED FOR SPA SUBMISSION #2	2022-12-20
1	ISSUED FOR SPA/MV	2022-09-02

REVISIONS
ISSUED FOR CONSTRUCTION
ISSUED FOR BID
ISSUED FOR BUILDING PERMIT
ISSUED FOR SITE PLAN APPROVAL
SUBMITTALS

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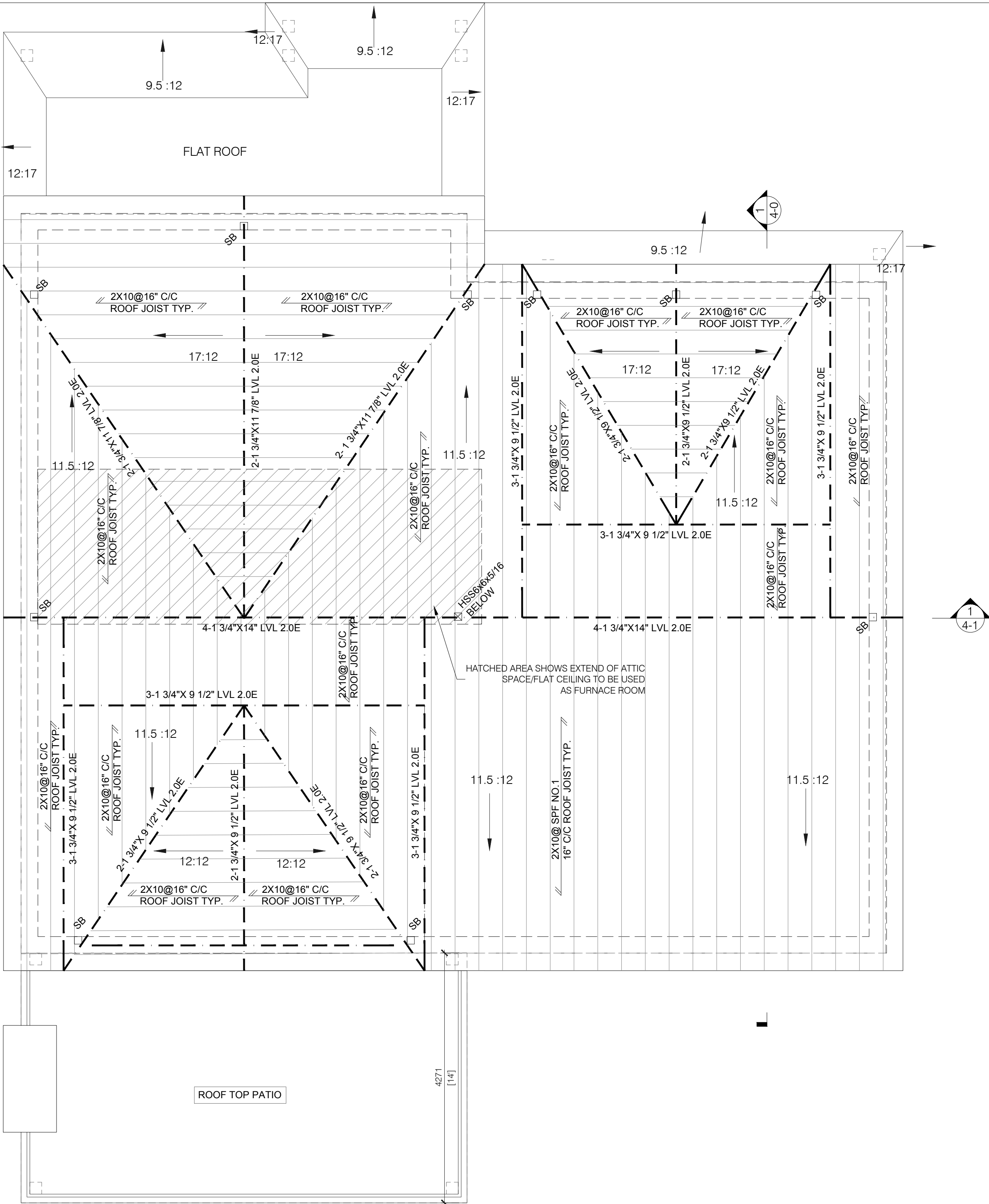
**FAUSTO CORTESE**  
ARCHITECTS

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VAUGHAN, ONTARIO, L4H 3T8  
416-806-7000  
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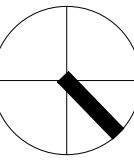
DRAWING: PROPOSED SINGLE  
FAMILY DWELLING  
ON  
60 NAPIER  
CITY OF VAUGHAN

DRAWING: SECOND FLOOR PLAN	
PLOTTED: N/A	PROJECT No: -
DATE: 10/10/2023	2022-12
SCALE: -	DRAWING No: -
DRAWN BY: B.S.H.	AS NOTED REVIEWED BY: F.C.
A 2-3	





KEY PLAN



No.	DESCRIPTION	DATE
8	ISSUED FOR HERITAGE PERMIT	2023-10-11
7	ISSUED FOR COORDINATION	2023-09-21
6	ISSUED FOR COORDINATION	2023-07-20
5	ISSUED FOR CLIENT REVIEW	2023-07-13
4	ISSUED FOR CLIENT REVIEW	2023-06-15
3	ISSUED FOR BUILDING PERMIT	2023-04-21
2	ISSUED FOR SPA SUBMISSION #2	2022-12-20
1	ISSUED FOR SPA/MV	2022-09-02

REVISIONS
ISSUED FOR CONSTRUCTION
ISSUED FOR BID
ISSUED FOR BUILDING PERMIT
ISSUED FOR SITE PLAN APPROVAL
SUBMITTALS

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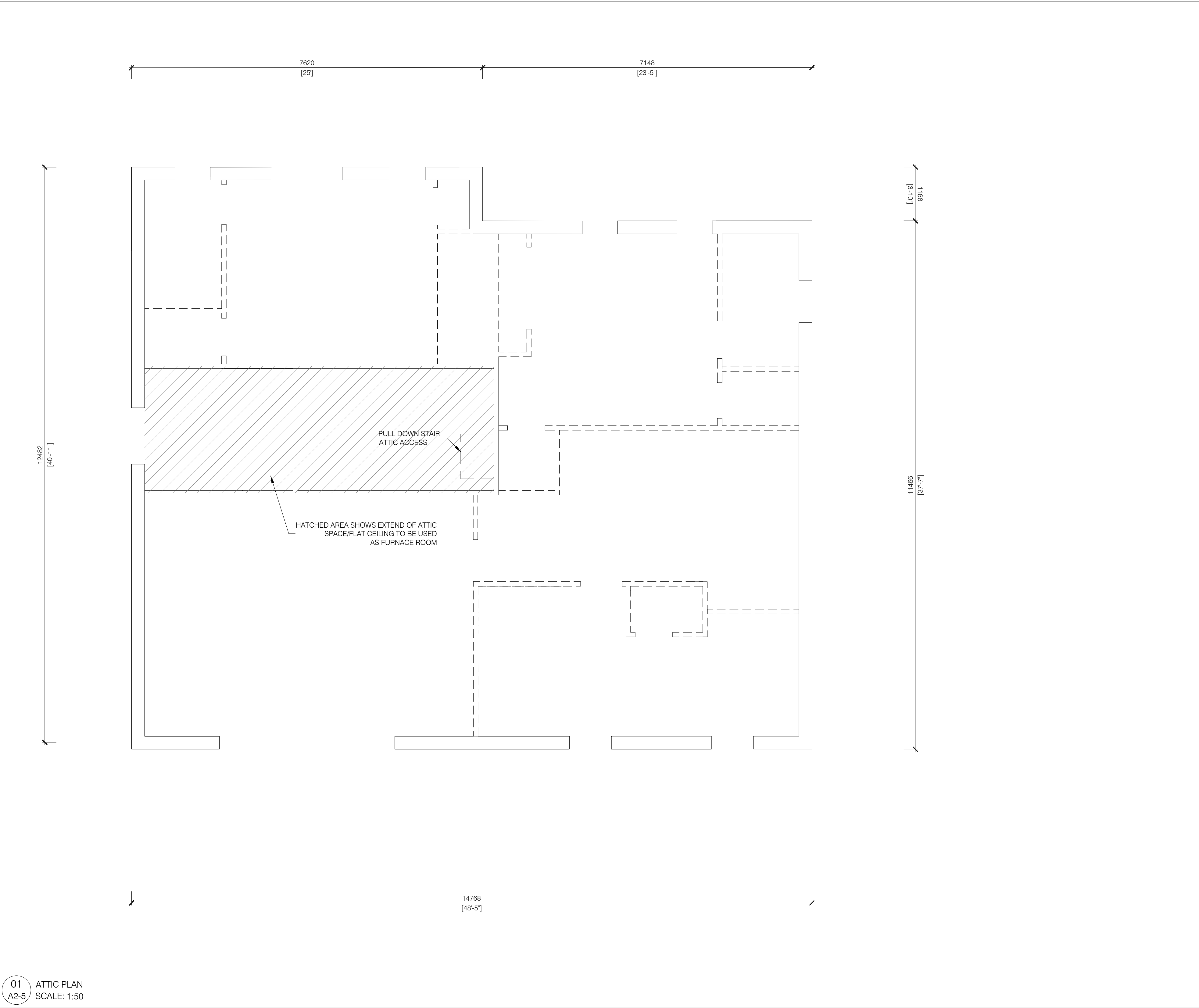
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FCORTESE@FCARCHITECTS.CA

DRAWING:  
**PROPOSED SINGLE  
FAMILY DWELLING  
ON  
60 NAPIER  
CITY OF VAUGHAN**

DRAWING: <b>ROOF PLAN</b>	
PLOTTED: N/A	
DATE: 10/10/2023	PROJECT No: 2022-12
SCALE: AS NOTED	DRAWING No: A 2-4
DRAWN BY: B.SH	REVIEWED BY: F.C.

FILE NAME: 60 NAPIER - WORKING DRAWINGS - 2022-12-20 - CONSTRUCTION SET.DWG



KEY PLAN

No.	DESCRIPTION	DATE
8	ISSUED FOR HERITAGE PERMIT	2023-10-11
7	ISSUED FOR COORDINATION	2023-09-21
6	ISSUED FOR COORDINATION	2023-07-20
5	ISSUED FOR CLIENT REVIEW	2023-07-17
4	ISSUED FOR CLIENT REVIEW	2023-06-15
3	ISSUED FOR BUILDING PERMIT	2023-04-21
2	ISSUED FOR SPA SUBMISSION #2	2022-12-20
1	ISSUED FOR SPA/MV	2022-09-02

REVISIONS		
ISSUED FOR CONSTRUCTION		
ISSUED FOR BID		
ISSUED FOR BUILDING PERMIT		
ISSUED FOR SITE PLAN APPROVAL		
SUBMITTALS		

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FCORTESE@FCARCHITECTS.CA

DRAWING:

PROPOSED SINGLE FAMILY DWELLING  
ON  
60 NAPIER  
CITY OF VAUGHAN

DRAWING:

ATTIC PLAN

PLOTTED: N/A

DATE: 10/10/2023

PROJECT No: 2022-12

SCALE: AS NOTED

DRAWING No: A 2-4

DRAWN BY: B.S.H.

REVIEWED BY: F.C.



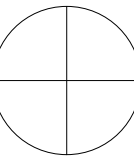


FENESTRATION BREAKDOWN					
	DISTANCE TO PROPERTY LINE	ALLOWABLE UNPROTECTED OPENINGS	TOTAL SM (SQ/FT) OF FENESTRATION	TOTAL SM (SQ/FT) OF WALL AREA	PERCENTAGE OF FENESTRATION
NORTH ELEV. (FRONT Elev.)	9.20m	50 %	21.21	126.16	16.81 %
SOUTH ELEV. (BACK Elev.)	21.37m	100 %	45.94	109.39	42.00%
EAST ELEV.	1.54m	8%	6.40	120.87	5.29 %
WEST ELEV.	1.57 m	8%	5.37	113.73	4.72 %
TOTALS			78.92	470.15	16.79%

FINISHES LEGEND	
M1	BRICK
M2	STONE
M3	STUCCO
M3a	STUCCO (GREY DARK)
M4	ASPHALT SHINGLE ROOF
M5	VINYL



KEY PLAN



No.	DESCRIPTION	DATE
8	ISSUED FOR HERITAGE PERMIT	2023-10-11
7	ISSUED FOR COORDINATION	2023-09-21
6	ISSUED FOR COORDINATION	2023-07-20
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4	ISSUED FOR CLIENT REVIEW	2023-06-15
3	ISSUED FOR BUILDING PERMIT	2023-04-21
2	ISSUED FOR SPA SUBMISSION #2	2022-12-20
1	ISSUED FOR SPA/MV	2022-09-02

REVISIONS	
ISSUED FOR CONSTRUCTION	
ISSUED FOR BID	
ISSUED FOR BUILDING PERMIT	
ISSUED FOR SITE PLAN APPROVAL	
SUBMITTALS	

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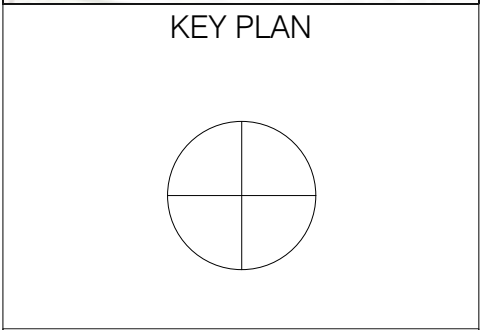
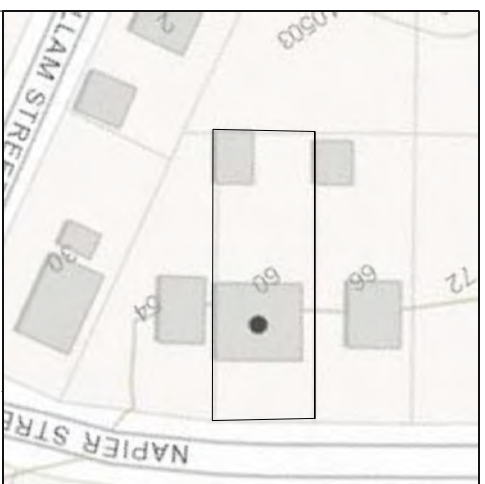
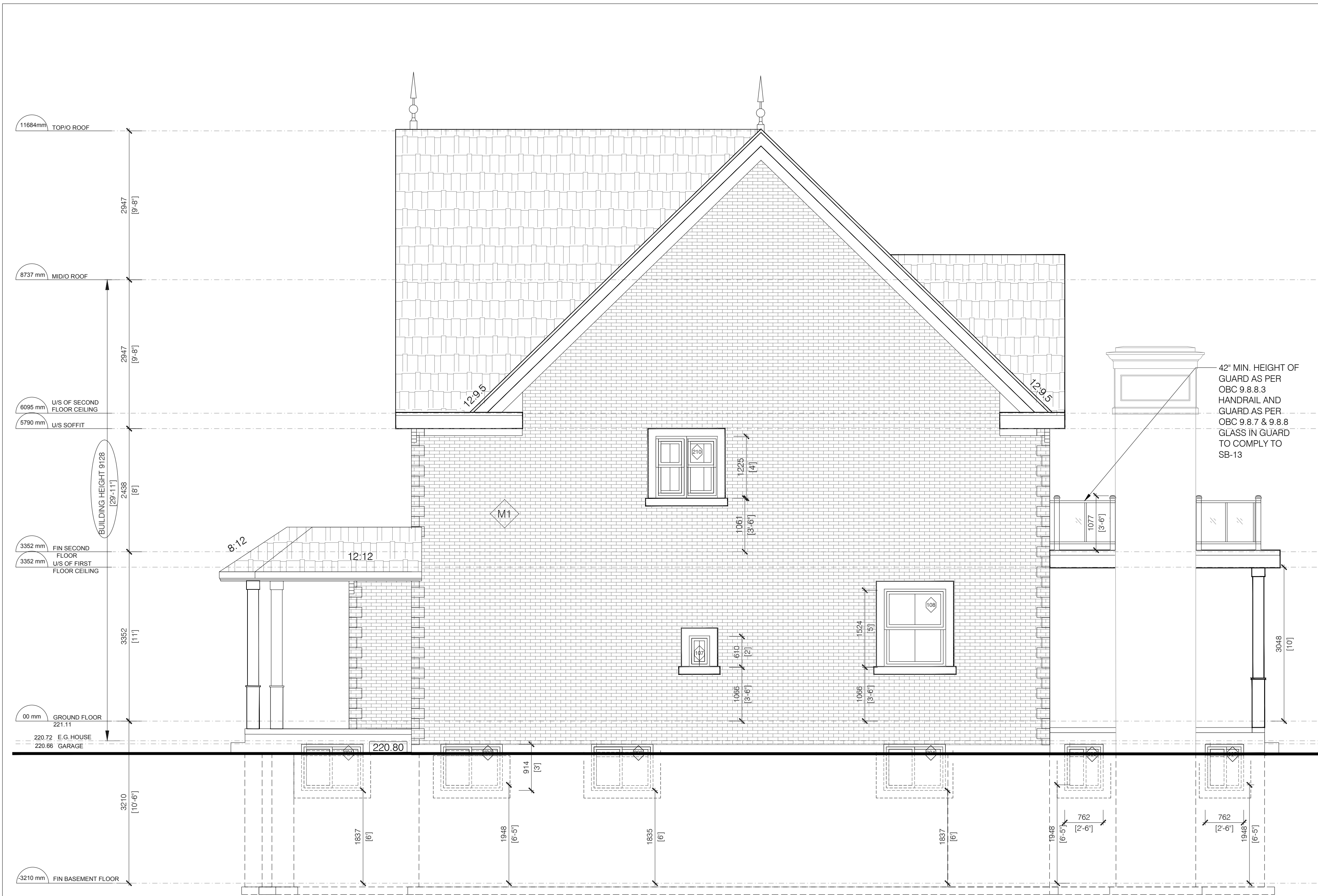
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DRAWING:		PROPOSED SINGLE FAMILY DWELLING ON 60 NAPIER CITY OF VAUGHAN	
DRAWING:		FRONT ELEVATION	
PLOTTED: N/A		-	
DATE:	10/10/2023	PROJECT No:	2022-12
SCALE:	AS NOTED	DRAWING No:	A 3-0
DRAWN BY: B.SH	REVIEWED BY: F.C.		



42" MIN. HEIGHT OF GUARD AS PER OBC 9.8.8.3 HANDRAIL AND GUARD AS PER OBC 9.8.7 & 9.8.8 GLASS IN GUARD TO COMPLY TO SB-13

No.	DESCRIPTION	DATE
8	ISSUED FOR HERITAGE PERMIT	2023-10-11
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3	ISSUED FOR BUILDING PERMIT	2023-04-21
2	ISSUED FOR SPA SUBMISSION #2	2022-12-20
1	ISSUED FOR SPA/MV	2022-09-02

ISSUED FOR CONSTRUCTION  
ISSUED FOR BID  
ISSUED FOR BUILDING PERMIT  
ISSUED FOR SITE PLAN APPROVAL  
SUBMITTALS  
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416-806-7000  
FCORTESE@FCARCHITECTS.CA

DRAWING: PROPOSED SINGLE FAMILY DWELLING ON 60 NAPIER CITY OF VAUGHAN	
DRAWING: RIGHT SIDE ELEVATION	
PLOTTED: N/A	PROJECT No: 2022-12
DATE: 10/10/2023	DRAWING No: A3-1
SCALE: AS NOTED	
DRAWN BY: B.SH	REVIEWED BY: F.C.

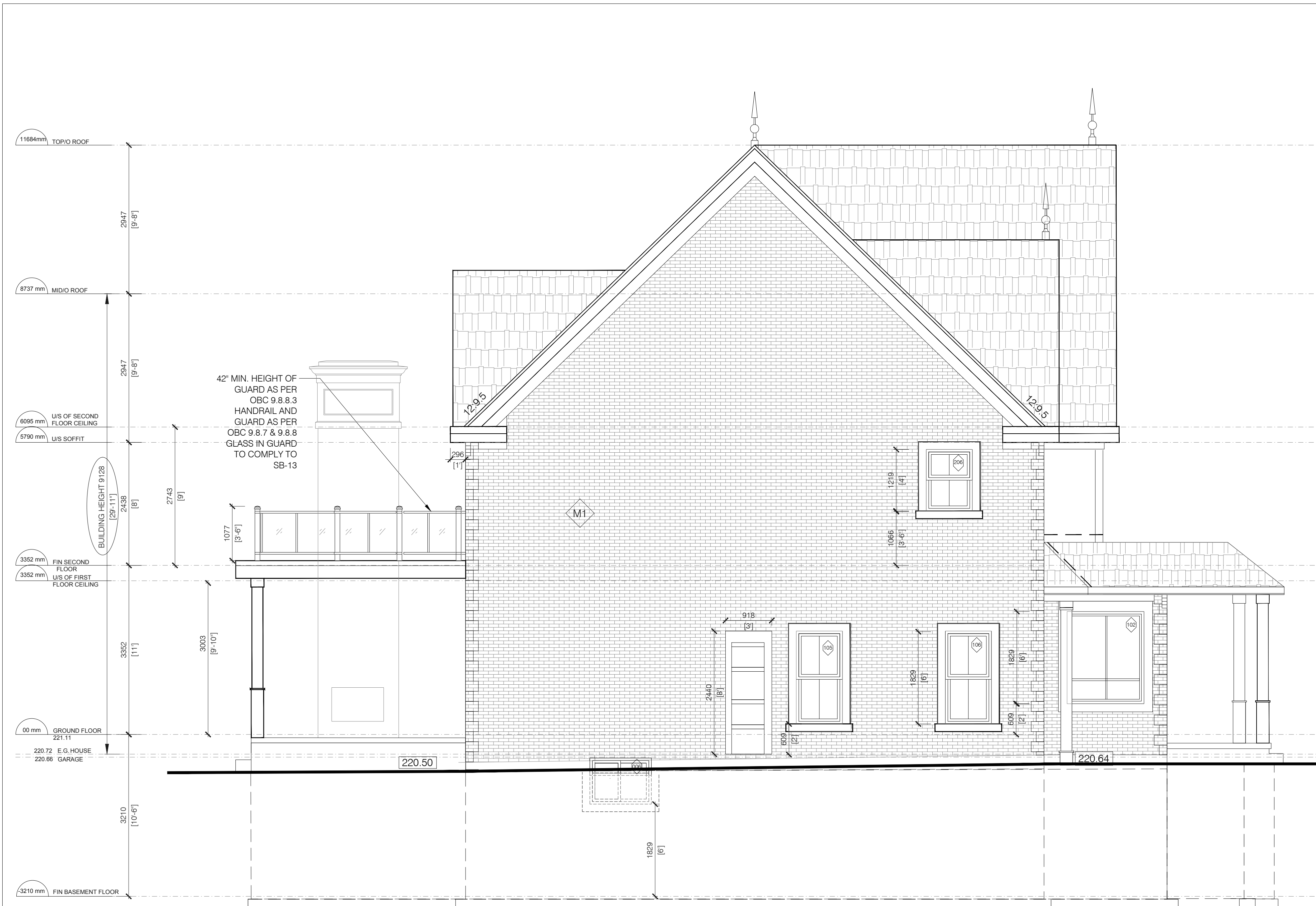
FENESTRATION BREAKDOWN					
	DISTANCE TO PROPERTY LINE	ALLOWABLE UNPROTECTED OPENINGS	TOTAL SM (SQ/FT) OF FENESTRATION	TOTAL SM (SQ/FT) OF WALL AREA	PERCENTAGE OF FENESTRATION
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SOUTH ELEV. (BACK Elev.)	21.37m	100 %	45.94	109.39	42.00%
EAST ELEV.	1.54m	8%	6.40	120.87	5.29 %
WEST ELEV.	1.57 m	8%	5.37	113.73	4.72 %
TOTALS			78.92	470.15	16.79%

FINISHES LEGEND	
M1	BRICK
M2	STONE
M3	STUCCO
M3a	STUCCO (GREY DARK)
M4	ASPHALT SHINGLE ROOF
M5	VINYL

01 RIGHT SIDE ELEVATION  
A3-1 SCALE: 1:50

FILE NAME: 60 NAPIER - WORKING DRAWINGS - 2022-12-20 - CONSTRUCTION SET.DWG

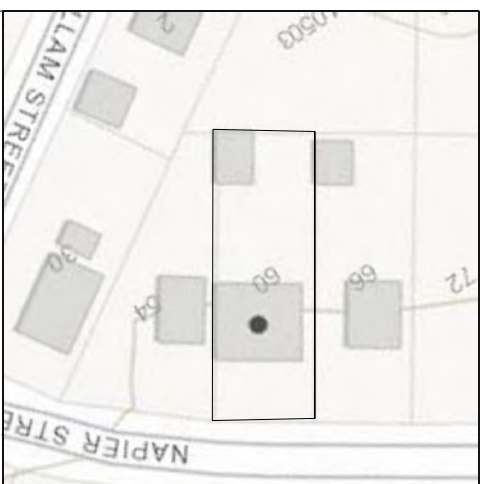




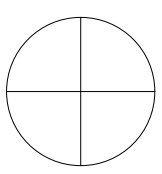
01 LEFT SIDE ELEVATION  
A3-2 SCALE: 1:50

FENESTRATION BREAKDOWN					
	DISTANCE TO PROPERTY LINE	ALLOWABLE UNPROTECTED OPENINGS	TOTAL SM (SQ/FT) OF FENESTRATION	TOTAL SM (SQ/FT) OF WALL AREA	PERCENTAGE OF FENESTRATION
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FINISHES LEGEND	
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M2	STONE
M3	STUCCO
M3a	STUCCO (GREY DARK)
M4	ASPHALT SHINGLE ROOF
M5	VINYL



KEY PLAN



No.	DESCRIPTION	DATE
8	ISSUED FOR HERITAGE PERMIT	2023-10-11
7	ISSUED FOR COORDINATION	2023-09-21
6	ISSUED FOR COORDINATION	2023-07-20
5	ISSUED FOR CLIENT REVIEW	2023-07-17
4	ISSUED FOR CLIENT REVIEW	2023-06-15
3	ISSUED FOR BUILDING PERMIT	2023-04-21
2	ISSUED FOR SPA SUBMISSION #2	2022-12-20
1	ISSUED FOR SPA/MV	2022-09-02

REVISIONS	
ISSUED FOR CONSTRUCTION	
ISSUED FOR BID	
ISSUED FOR BUILDING PERMIT	
ISSUED FOR SITE PLAN APPROVAL	
SUBMITTALS	

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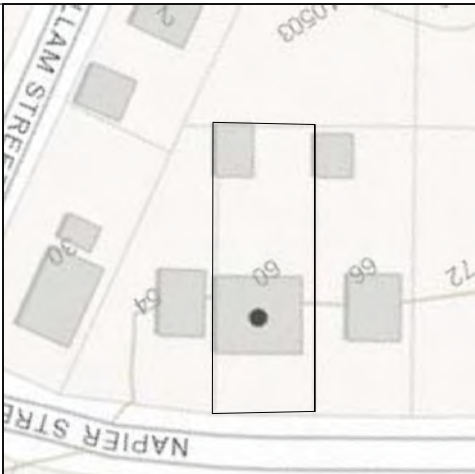
DRAWING:		PROPOSED SINGLE FAMILY DWELLING ON 60 NAPIER CITY OF VAUGHAN	
DRAWING:		LEFT SIDE ELEVATION	
PLOTTED: N/A		-	
DATE:	10/10/2023	PROJECT No:	2022-12
SCALE:	AS NOTED	DRAWING No:	
DRAWN BY: B.SH	REVIEWED BY: F.C.	A 3-2	

FILE NAME: 60 NAPIER - WORKING DRAWINGS - 2022-12-20 - CONSTRUCTION SET.DWG

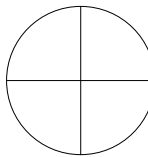


FENESTRATION BREAKDOWN					
	DISTANCE TO PROPERTY LINE	ALLOWABLE UNPROTECTED OPENINGS	TOTAL SM (SQ/FT) OF FENESTRATION	TOTAL SM (SQ/FT) OF WALL AREA	PERCENTAGE OF FENESTRATION
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FINISHES LEGEND	
M1	BRICK
M2	STONE
M3	STUCCO
M3a	STUCCO (GREY DARK)
M4	ASPHALT SHINGLE ROOF
M5	VINYL



KEY PLAN



No.	DESCRIPTION	DATE
8	ISSUED FOR HERITAGE PERMIT	2023-10-11
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1	ISSUED FOR SPA/MV	2022-09-02

REVISIONS	
ISSUED FOR CONSTRUCTION	
ISSUED FOR BID	
ISSUED FOR BUILDING PERMIT	
ISSUED FOR SITE PLAN APPROVAL	
SUBMITTALS	

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**FCA**

**FAUSTO CORTESE**  
ARCHITECTS

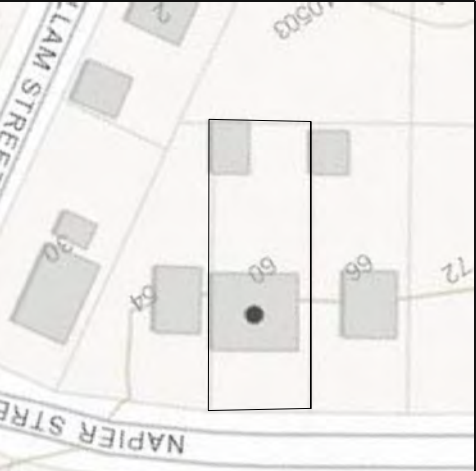
3590 RUTHERFORD RD. UNIT 7  
VAUGHAN, ONTARIO, L4H 3T8  
416-806-7000  
FCORTESE@FCARCHITECTS.CA

DRAWING: PROPOSED SINGLE FAMILY DWELLING ON 60 NAPIER CITY OF VAUGHAN	
DRAWING: REAR ELEVATION	
PLOTTED: N/A	
DATE: 10/10/2023	PROJECT No: 2022-12
SCALE: AS NOTED	DRAWING No: A 3-3
DRAWN BY: B.S.H.	REVIEWED BY: F.C.

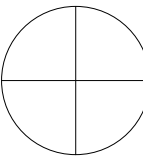


WINDOW SCHEDULE

MARK	WIDTH (mm)	HEIGHT (mm)	SILL HEIGHT (mm)	REMARKS
BASEMENT				
001	1218	914	1837	
002	1218	914	1837	
003	1218	914	1837	
004	1218	914	1837	
005	762	914	1837	
006	1218	914	1837	
007	762	914	1837	
FIRST FLOOR				
101	3050	1829	609	
102	1067	1829	609	
103	6096	2438	0	SLIDING DOOR
104	6096	2438	0	SLIDING DOOR
105	914	1829	609	
106	914	1829	609	
107	406	610	1066	
108	1220	1524	1066	
SECOND FLOOR				
200	762	1524	762	
201	762	1524	762	
202	762	1524	762	
203	1524	2438	762	
204	763	1524	762	
206	914	1219	1066	
207	3819	2438	0	
208	914	1524	609	
209	914	1524	609	
210	1218	1225	1061	



KEY PLAN



8	ISSUED FOR HERITAGE PERMIT	2023-10-11
7	ISSUED FOR COORDINATION	2023-09-21
6	ISSUED FOR COORDINATION	2023-07-20
5	ISSUED FOR CLIENT REVIEW	2023-07-17
4	ISSUED FOR CLIENT REVIEW	2023-06-15
3	ISSUED FOR BUILDING PERMIT	2023-04-21
2	ISSUED FOR SPA SUBMISSION #2	2022-12-20
1	ISSUED FOR SPA/MV	2022-09-02
No.	DESCRIPTION	DATE
REVISIONS		

ISSUED FOR CONSTRUCTION
ISSUED FOR BID
ISSUED FOR BUILDING PERMIT
ISSUED FOR SITE PLAN APPROVAL
SUBMITTALS

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.

THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SEALED AND SIGNED BY THE DESIGNER.

DO NOT SCALE DRAWINGS.

**FAUSTO CORTESE**  
ARCHITECTS

3590 RUTHERFORD RD. UNIT 7  
VAUGHAN, ONTARIO, L4H 3T8  
416-806-7000  
FCORTESE@FCARCHITECTS.CA

DRAWING:

PROPOSED SINGLE FAMILY DWELLING  
ON  
60 NAPIER  
CITY OF VAUGHAN

DRAWING:

WINDOW SCHEDULE

PLOTTED: N/A

DATE: 10/10/2023

SCALE: AS NOTED

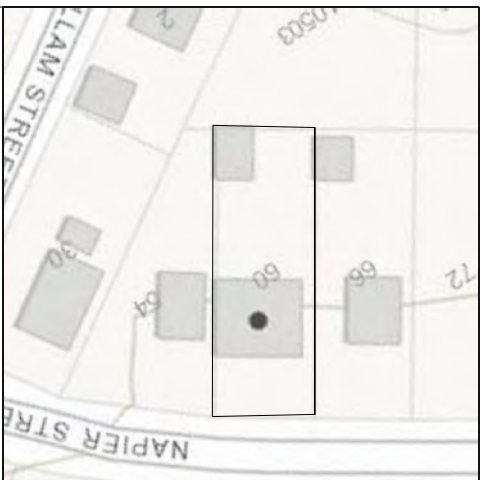
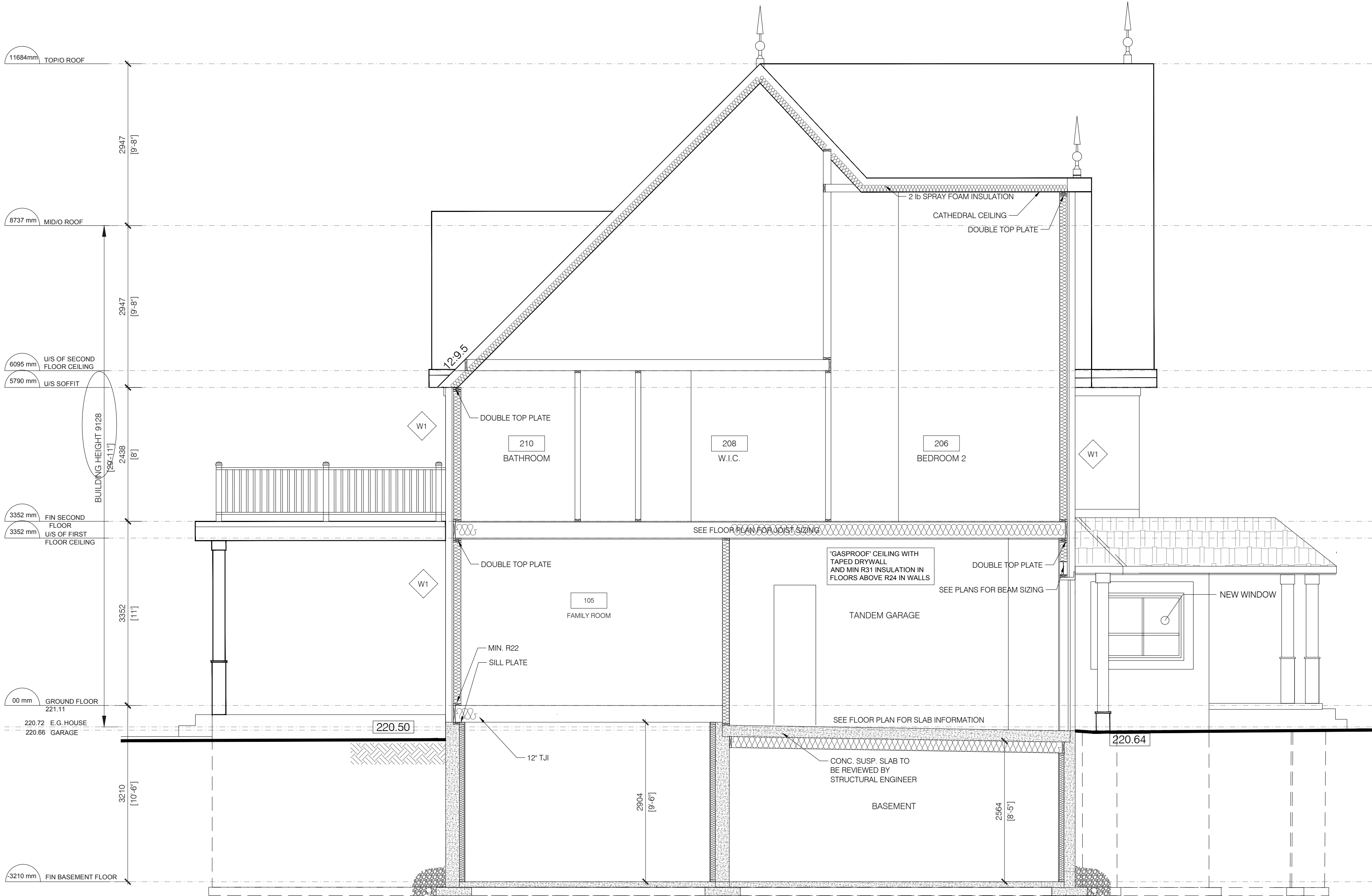
DRAWN BY: B.S.H.

PROJECT No: 2022-12

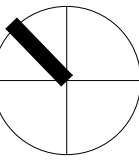
DRAWING No: A 3-A

REVIEWED BY: F.C.

FILE NAME: 60 NAPIER - WORKING DRAWINGS - 2022-12-20 - CONSTRUCTION SET.DWG



KEY PLAN



8	ISSUED FOR HERITAGE PERMIT	2023-10-11
7	ISSUED FOR COORDINATION	2023-09-21
6	ISSUED FOR COORDINATION	2023-07-20
5	ISSUED FOR CLIENT REVIEW	2023-07-17
4	ISSUED FOR CLIENT REVIEW	2023-06-15
3	ISSUED FOR BUILDING PERMIT	2023-04-21
2	ISSUED FOR SPA SUBMISSION #2	2022-12-20
1	ISSUED FOR	00/MM/YYYY
No.	DESCRIPTION	DATE
REVISIONS		

ISSUED FOR CONSTRUCTION  
ISSUED FOR BID  
ISSUED FOR BUILDING PERMIT  
ISSUED FOR SITE PLAN APPROVAL  
SUBMITTALS

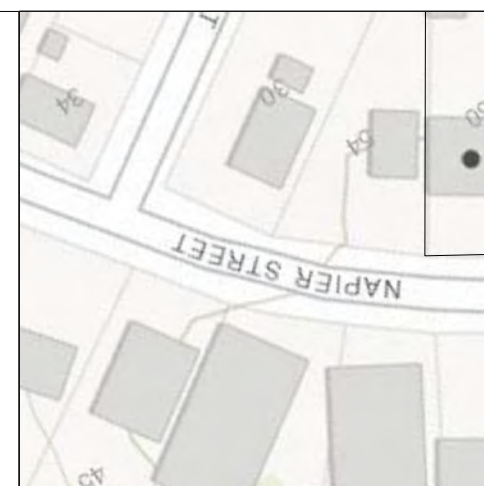
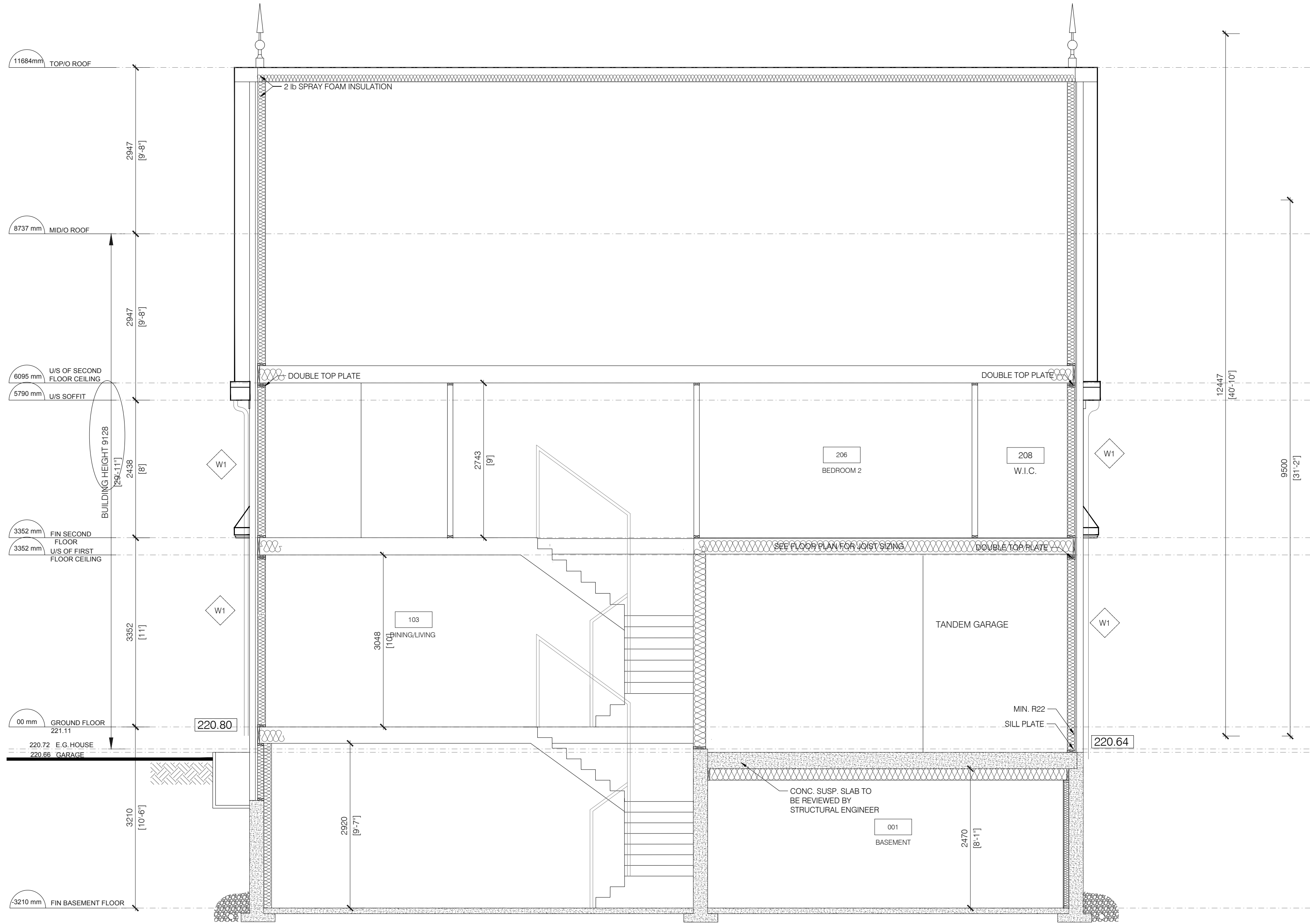
CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.  
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DO NOT SCALE DRAWINGS.

**FCA**

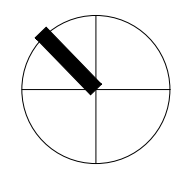
**FAUSTO CORTESE**  
ARCHITECTS

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FCORTESE@FCARCHITECTS.CA

DRAWING: PROPOSED SINGLE FAMILY DWELLING ON 60 NAPIER CITY OF VAUGHAN	
DRAWING: BUILDING SECTION	
PLOTTED: N/A	
DATE: 10/10/2023	PROJECT No: 2022-12
SCALE: AS NOTED	DRAWING No: A 4-0
DRAWN BY: B.SH	REVIEWED BY: F.C.



KEY PLAN



No.	DESCRIPTION	DATE
8	ISSUED FOR HERITAGE PERMIT	2023-10-11
7	ISSUED FOR COORDINATION	2023-09-21
6	ISSUED FOR COORDINATION	2023-07-21
5	ISSUED FOR CLIENT REVIEW	2023-07-11
4	ISSUED FOR CLIENT REVIEW	2023-06-11
3	ISSUED FOR BUILDING PERMIT	2023-04-21
2	ISSUED FOR SPA SUBMISSION #2	2022-12-21
1	ISSUED FOR	DD/MM/YYYY

ISSUED FOR CONSTRUCTION  
ISSUED FOR BID  
ISSUED FOR BUILDING PERMIT  
ISSUED FOR SITE PLAN APPROVAL  
SUBMITTALS  
CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.  
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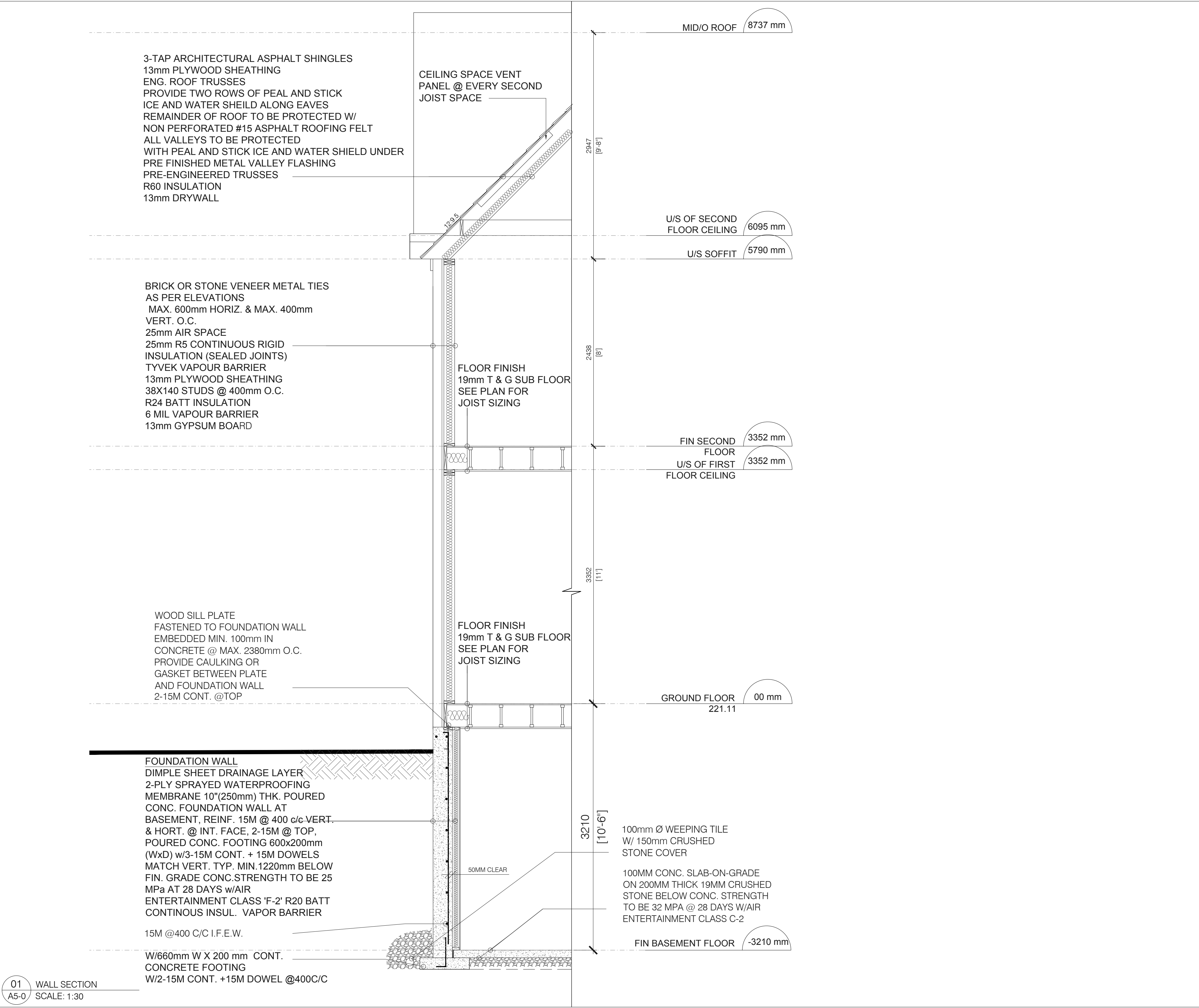
**FAUSTO CORTESE**  
ARCHITECTS

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416-806-7000  
FCORTESE@FCARCHITECTS.CA

DRAWING: PROPOSED SINGLE FAMILY DWELLING ON 60 NAPIER CITY OF VAUGHAN

DRAWING: BUILDING SECTION	
PLOTTED: N/A	
DATE: 10/10/2023	PROJECT No: 2022-12
SCALE: AS NOTED	DRAWING No: A 4-1
DRAWN BY: B.SH	REVIEWED BY: F.C.





KEY PLAN

No.	DESCRIPTION	DATE
8	ISSUED FOR HERITAGE PERMIT	2023-10-11
7	ISSUED FOR COORDINATION	2023-09-21
6	ISSUED FOR COORDINATION	2023-07-20
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2	ISSUED FOR SPA SUBMISSION #2	2022-12-20
1	ISSUED FOR	00/MM/YYYY

REVISIONS	
ISSUED FOR CONSTRUCTION	
ISSUED FOR BID	
ISSUED FOR BUILDING PERMIT	
ISSUED FOR SITE PLAN APPROVAL	
SUBMITTALS	

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.

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ARCHITECTS

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VAUGHAN, ONTARIO, L4H 3T8  
416-806-7000  
FCORTESE@FCARCHITECTS.CA

DRAWING: PROPOSED SINGLE FAMILY DWELLING ON 60 NAPIER CITY OF VAUGHAN

DRAWING: WALL SECTION

PLOTTED: N/A

DATE: 10/10/2023 PROJECT No: 2022-12

SCALE: AS NOTED DRAWING No: A5-0

DRAWN BY: B.S.H. REVIEWED BY: F.C.

FILE NAME: 60 NAPIER - WORKING DRAWINGS - 2022-12-20 - CONSTRUCTION SET.DWG

PLOT SCALE: 1"=





## SOFFIT & FASCIA

WHITE WOOD FASCIA AND WHITE VINYL SOFFIT



## BRICK

MANUFACTURER: BRAMPTON BRICK  
 SERIES: WHITESTONE  
 COLOUR CLASS: WHITE, CREAM  
 FINISH: VELOUR, ANTIQUE, TEXTURED, TUMBLED



## ASPHALT SHINGLES

COLOUR: CHARCOAL GREY



## PRECAST MOULDING

MANUFACTURED BY BRAMPTON BRICK  
 STYLE: FINESSE ACESSORY DETAILS  
 PRODUCT NAME: STANDARD WHITE



## WINDOW - DOUBLE HUNG

PELLA RESERVE - TRADITIONAL  
 BLACK ALUMINUM DOUBLE HUNG WINDOWS



## FRONT DOOR

PELLA PREMIUM SOLID WOOD ENTRY DOOR  
 WITH SIDELIGHT



## GARAGE DOOR

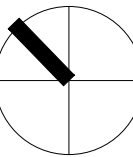
WOOD GARAGE DOOR WITH CHEVRON PATTERN

## APPENDIX B: STREETSCAPE RENDERING





KEY PLAN



7	ISSUED FOR COORDINATION	2023-09-21
6	ISSUED FOR COORDINATION	2023-07-20
5	ISSUED FOR CLIENT REVIEW	2023-07-17
4	ISSUED FOR CLIENT REVIEW	2023-06-15
3	ISSUED FOR BUILDING PERMIT	2023-04-21
2	ISSUED FOR SPA SUBMISSION #2	2022-12-20
1	ISSUED FOR	DD/MM/YYYY
No.	DESCRIPTION	DATE
REVISIONS		

ISSUED FOR CONSTRUCTION

ISSUED FOR BID

ISSUED FOR BUILDING PERMIT

ISSUED FOR SITE PLAN APPROVAL

SUBMITTALS

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**FCA**

**FAUSTO CORTESE**  
ARCHITECTS

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VAUGHAN, ONTARIO, L4H 3T8  
416-806-7000  
FCORTESE@FCARCHITECTS.CA

DRAWING: PROPOSED SINGLE FAMILY DWELLING ON 60 NAPIER CITY OF VAUGHAN

DRAWING: RENDERING	
PLOTTED: N/A	
DATE: 04/10/2023	PROJECT No: 2022-12
SCALE: AS NOTED	DRAWING No: A 5-0
DRAWN BY: B.SH	REVIEWED BY: F.C.








## APPENDIX C: JULY 2022 RENDERING




## **APPENDIX D: CAPE COD/BUNGALOW INVENTORY EXTRACT**








## APPENDIX B – ARCHITECTURAL STYLES INVENTORY – LIST OF CONTRIBUTING AND NON-CONTRIBUTING PROPERTIES

6	10 Howland Mill Road	1960			
7	10110 Islington Avenue	1970			
8	38 Valleyview Court	1970			
9	54 Napier Street	2001			
10	23 Napier Street	2001			

**2B. CAPE COD / BUNGALOW**

1	171 Nashville Road	1920			
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APPENDIX B – ARCHITECTURAL STYLES INVENTORY – LIST OF CONTRIBUTING AND NON-CONTRIBUTING PROPERTIES

2	942 Nashville Road	1930			
3	60 Napier Street	1930			
4	864 Nashville Road	1930			
5	910 Nashville Road	1950			
6	34 Napier Street	1950			

APPENDIX B – ARCHITECTURAL STYLES INVENTORY – LIST OF CONTRIBUTING AND NON-CONTRIBUTING PROPERTIES

7	30 Nashville Road	1950	
8	705 Nashville Road	1950	
9	887 Nashville Road	1950	
10	717 Nashville Road	1950	
11	99 Napier Street	1960	
12	41 Nashville Road	1990	



## APPENDIX E: 60 NAPIER STREET INVENTORY FORM



## 60 NAPIER STREET – KLEINBURG

Pitched-roof, 1½ storey, aluminum-clad house with front gable and gabled porch (c. 1930).

### COMMENTS

Modest house has transitional masonry at base, traditional gables, and Arts-and-Crafts front door. Aluminum siding, despite actual material, is traditional in aspect, while recent windows are unsuitable, particularly at front of house. Front windows may well have been 6/1 or similar (in keeping with spirit of front door), and perhaps grouped in three at the ground floor level, and two at the upper level, all with smaller upper sashes. Reinstatement would be a big improvement to a house which, aside from this aspect, is generally in keeping with the Heritage District. See also the Plan and Guidelines.

### DESCRIPTION

Modest house is built off raised basement clad in rock-faced, pre-cast concrete block. Rebuilt concrete steps and landing, with replacement, standard metal pickets and railings, lead to gabled porch at LH side of front. Central door (behind metal storm) is traditional, Arts-and-Crafts, wooden door, with eight small upper panes over framed panels. Windows to either side of door, and at sides of porch, are replacement 1/1 metal-framed units. Walls are clad in light-brown, horizontal aluminum siding, with front window consisting of large, single-pane unit, with dark-brown aluminum trim as elsewhere. Gables over porch and at main house are set above small, projecting, asphalt-shingled pitches, and are clad in metal siding as described. Second-floor, front fenestration consists large, central window with fixed upper pane over bottom sliders. Soffits are clad in brown aluminum, as are narrow fascias. Roofs have brown asphalt shingles, with small pop-up dormers at north and south pitches. A single, red-brick chimney stack exists towards rear of north side.

## **APPENDIX F: LOT 43 ABSTRACT INDEX SHEETS**

York Region (65), Vaughan, Book 469 Plan 275 pp.43-44



LOT NO. 43

Plan 275

Page 1.

No. of Document	Instrument	In Date	Date of Receipt	GRANTOR	GRANTEE	Quantity of Land	Consideration or Amount of Mortgage	REMARKS
11261	Grant	1 Nov. 1905	11 Nov. 1916	Arch. Robinson	Margaret Mallin	All mol.	\$ 1100.	
11231	Grant	1 Mar. 1917	1 Mar. 1918	Margaret Mallin	Elizabeth L. Cherry Elizabeth A. Cherry Bertha M. Cherry	All mol.	\$ 2500.	
11133	Grant	5 Sept. 1925	15 Sept. 1925	Isabelle L. Cherry Elizabeth L. Cherry Bertha M. Cherry	Lily J. Cherry Alice C. Cherry do Joint Tenants	All mol.	\$ 5.00	
122457	Grant	10 July 1917	21 July 1917	Lily J. Cherry Consent Lines of Ont	Clarence H. Bell	All	\$ 250	
24241	Mtg.	12 Oct. 1919	12 Oct. 1919	Clarence H. Bell	Elizabeth J. Bonnett	All	\$ 2000	24241
27533	Mtg.	12 Oct. 1919	12 Oct. 1919	Clarence H. Bell	Clarence H. Bell	All	\$ 1000	27533
26730	Grant	16 Oct. 1915	18 Oct. 1915	Consent Lines of Ont	Elizabeth J. Bonnett	All	\$ 1000	26730
27822	By-Law	2 Oct. 1953	2 Oct. 1953	27822	27822	27822	27822	27822
30270	By-Law	5 Oct. 1953	28 Oct. 1953	30270	30270	30270	30270	30270
37278	Mtg.	25 Mar. 1956	25 Mar. 1956	37278	37278	37278	37278	37278
37299	Grant	16 Mar. 1956	22 Mar. 1956	37299	37299	37299	37299	37299
39870	By-Law	20 Jan. 1958	13 May 1958	39870	39870	39870	39870	39870
67785	Plan	26 Nov. 1970	5 Feb. 1971	67785	67785	67785	67785	67785
8874				8874	8874	8874	8874	8874

Carried to next Page

Vaughan

67985,

REGISTRATION NUMBER	INSTRUMENT	DATE OF INSTRUMENT	REGISTRATION DATE	GRANTOR	GRANTEE	CONSIDERATION ETC.	LAND AND REMARKS
aw 317625	Grant		day month year 01 06 83	BELL, Clarence H. BELL, Agnes S. as party of the Third Part	ATCHISON, Bruce G. ATCHISON, Linda K. JT	vc & 2.00	All.
mg 317650	Mort		02 06 83	ATCHISON, Bruce G. ATCHISON, Linda K.	CIBC Mortgage Corporation DIS. BY 390072AD	60,000.00 L.R. 188 5-2-86	All.
dw 391577	Mort		20 02 86	ATCHISON, Bruce Gordon ATCHISON, Linda Katherine	Royal Bank of Canada	54,000.00	All.
			DIS. BY 406856A.D.L.R. 17.03.87				
mb 571765	Transfer		Year/month/day 91 06 28	ATCHISON, Bruce Gordon ATCHISON, Linda Katherine	BUCCI, Bruno BUCCI, Filomena JT	230,000.00	All
cb 580549	Transfer		91 10 18	BELL, Clarence H.	ATCHISON, Bruce Gordon ATCHISON, Linda Katherine JT.	\$2.00	All. Re: Correcting Deed.

## APPENDIX G: AERIAL PHOTOGRAPH COMPILATION





1954 Aerial Photograph (YorkMaps)



1970 Aerial Photograph (YorkMaps)



1978 Aerial Photograph (YorkMaps)



1999 Aerial Photograph (YorkMaps)



2002 Aerial Photograph (YorkMaps)



2005 Aerial Photograph (YorkMaps)



2007 Aerial Photograph (YorkMaps)



2012 Aerial Photograph (YorkMaps)



2016 Aerial Photograph (YorkMaps)



2022 Aerial Photograph (YorkMaps)

**60 Napier Street, Vaughan - Aerial Photograph Compilation**



## APPENDIX I: CONSULTANT QUALIFICATIONS

# ELLEN KOWALCHUK

M.A., CAHP (Historian)

Partner, Common Bond Collective

## EDUCATION

- Master of Arts (Canadian History, Carleton University).
- Bachelor of Arts (Hon. History), Queen's University.

## WORK EXPERIENCE

- Common Bond Collective, Partner (2017 - present)
- Taylor Hazell Architects, Associate & Manager of Heritage Planning (2012 - 2017)
- Infrastructure Ontario, Cultural Heritage Specialist (2007 - 2012)
- Contentworks Inc., Historian and Policy Specialist (2001 - 2007)
- Consulting Heritage Specialist (1994 - 2000)

## PROFESSIONAL ACTIVITIES

- Canadian Association of Heritage Professionals (CAHP) - National Director & Co-chair Awards Committee (2015-2017); Ontario Chapter Secretary (2015-2021).
- National Historic Sites Alliance For Ontario (NHSAO) Secretary (2010-2012); Conference Chair (2009-2010).

## PROFESSIONAL DEVELOPMENT

- Group Facilitation Methods (December 2015).
- Project Management Certification I (March 2013);

Ellen draws on 25 years of experience in the public and private sectors, providing expert advice to clients in the cultural heritage field. She is a founding partner of Common Bond Collective, a Toronto-based heritage planning firm. Ellen specializes in project management, stakeholder consultation, public speaking, heritage policy, evaluation, research and writing. She routinely collaborates with architects, planners, landscape architects, urban designers and engineers to identify and conserve places of local, provincial and national significance.

## PROFESSIONAL EXPERIENCE

### COMMON BOND COLLECTIVE, PARTNER (SEPTEMBER 2017-PRESENT)

Heritage Planning, Conservation and Interpretation projects:

- *361 University Avenue Courthouse Heritage Impact Assessment* (Toronto), Cumulus Architects/Infrastructure Ontario, in process.
- *Jane-Finch Cultural Heritage Resource Assessment* (Toronto), Heritage Preservation Services, City of Toronto, in process.
- *Student Centre Heritage Impact Assessment* (Waterloo), John MacDonald Architect/Wilfred Laurier University, 2023.
- *Bloor-Yorkville Cultural Heritage Resource Assessment* (Toronto), Heritage Preservation Services, City of Toronto, in process.
- *Toronto Island Park CHRA* (Toronto), DTAH/City of Toronto, in process.
- *Sir George-Étienne Cartier Park Cultural Landscape Study* (Ottawa), National Capital Commission, 2022.
- *Bloor-Sterling Cultural Heritage Resource Assessment* (Toronto), Heritage Preservation Services, City of Toronto, 2021.
- *William Baker Park Historic Research Report* (Toronto), Canada Lands Company, 2021.
- *Heritage Impact Assessment for Historic Building Relocation* (Milton), AREA Architects, 2020.
- *Heritage Research for Historic Schoolhouse Relocation* (Brampton), AREA Architects, 2020.
- *Heritage Impact Assessment for Residential Redevelopment* (Picton), SvN/Private Client, 2020.
- *Oakville Harbour Cultural Heritage Evaluation and Conservation Plan* (Oakville), Town of Oakville, 2020 \*\*CAHP Award of Merit for Heritage Planning.
- *Peer Review of HIA for former Goodyear Lands Redevelopment* (Bowmanville), SvN/Municipality of Clarington, 2020.
- *Heritage Impact Assessment for Residential Infill* (Stouffville), Private Client, 2020.
- *Cultural Heritage Evaluation for Apartment Building on Isabella Street* (Toronto), SvN/Private Client, 2020.
- *46 Centre Street Heritage Impact Assessment & Conservation Plan* (Thornhill), Phaedrus Designs, 2020.
- *Crescent School Heritage Impact Assessment* (Toronto), Perkins+Will/Crescent School, 2019.
- *Western Fair District Cultural Heritage Evaluation and Heritage Impact Assessment* (London), 2018.



# DAVID DEO

B.A., Dipl. Heritage Conservation,  
CAHP (Historian)

Partner, Common Bond Collective

## EDUCATION

- 2015 Diploma Heritage Conservation, Willowbank School for Restoration Arts
- 2012 Bachelor of Arts, (History), Concordia University

## WORK EXPERIENCE

- Common Bond Collective, Partner (October 2017 - present)
- Taylor Hazell Architects, Heritage Specialist (October 2015 - August 2017)
- Freelance Heritage Consultant, Niagara Falls (March 2015 - August 2015)
- McMichael Canadian Art Collection, Project Assistant to the CEO (October 2014 - March 2015)
- Vitreous Glassworks, Stained Glass Conservator, Assistant (February 2014 - June 2014)

## PROFESSIONAL DEVELOPMENT

- Chair, Willowbank Curriculum Advisory Committee (2019-present)

As a graduate of Willowbank, Cultural Landscape theory was the foundation of his education and remains central to his thinking as a professional. With over seven years of experience as a heritage specialist, his work involves all aspects of the heritage planning process. He is well-versed in diverse traditional architecture and building materials and has extensive experience documenting, assessing and evaluation sites. He has worked with rural and urban sites of local and international significance, in addition to numerous National Historic Sites. David has returned to Willowbank as a lecturer, teaching about approaches to cultural landscapes.

## PROFESSIONAL EXPERIENCE

### COMMON BOND COLLECTIVE, PARTNER (SEPTEMBER 2017-PRESENT)

Heritage Planning, Conservation and Interpretation projects:

- *361 University Avenue Courthouse Heritage Impact Assessment* (Toronto), Cumulus Architects/Infrastructure Ontario, in process.
- *Student Centre Heritage Impact Assessment* (Waterloo), John MacDonald Architect/Wilfred Laurier University, 2023.
- *Gothic Cottage Conservation Plan* (Thornhill), Private Client, in process.
- *Toronto Island Park CHRA* (Toronto), DTAH/City of Toronto, in process.
- *Sir George-Étienne Cartier Park Cultural Landscape Study* (Ottawa), National Capital Commission, 2022.
- *Cultural Landscapes Update Report* (Ottawa), National Capital Commission, 2022
- *Mount Dennis Historic Context Statement and Heritage Screening* (Toronto), Perkins+Will/City of Toronto, 2021.
- *William Baker Park Historic Research Report* (Toronto), Canada Lands Company, 2021.
- *Heritage Impact Assessment for Historic Building Relocation* (Milton), AREA Architects, 2020.
- *Heritage Impact Assessment for Residential Redevelopment* (Picton), SvN/Private Client, 2020.
- *Peer Review of HIA for former Goodyear Lands Redevelopment* (Bowmanville), SvN/Municipality of Clarington, 2020.
- *Heritage Impact Assessment for Residential Infill* (Stouffville), Private Client, 2020.
- *46 Centre Street Heritage Impact Assessment & Conservation Plan* (Thornhill), Phaedrus Designs, 2020.
- *Crescent School Heritage Impact Assessment* (Toronto), Perkins+Will/Crescent School, 2019.
- *Cultural Heritage Landscape Impact Assessment for Residential Infill* (Mississauga), Private Client, 2018.
- *Heritage Impact Assessment for Residential Infill* (Mississauga) Private Client, 2018.
- *Western Fair District Cultural Heritage Evaluation and Heritage Impact Assessment* (London), Western Fair District, 2018.