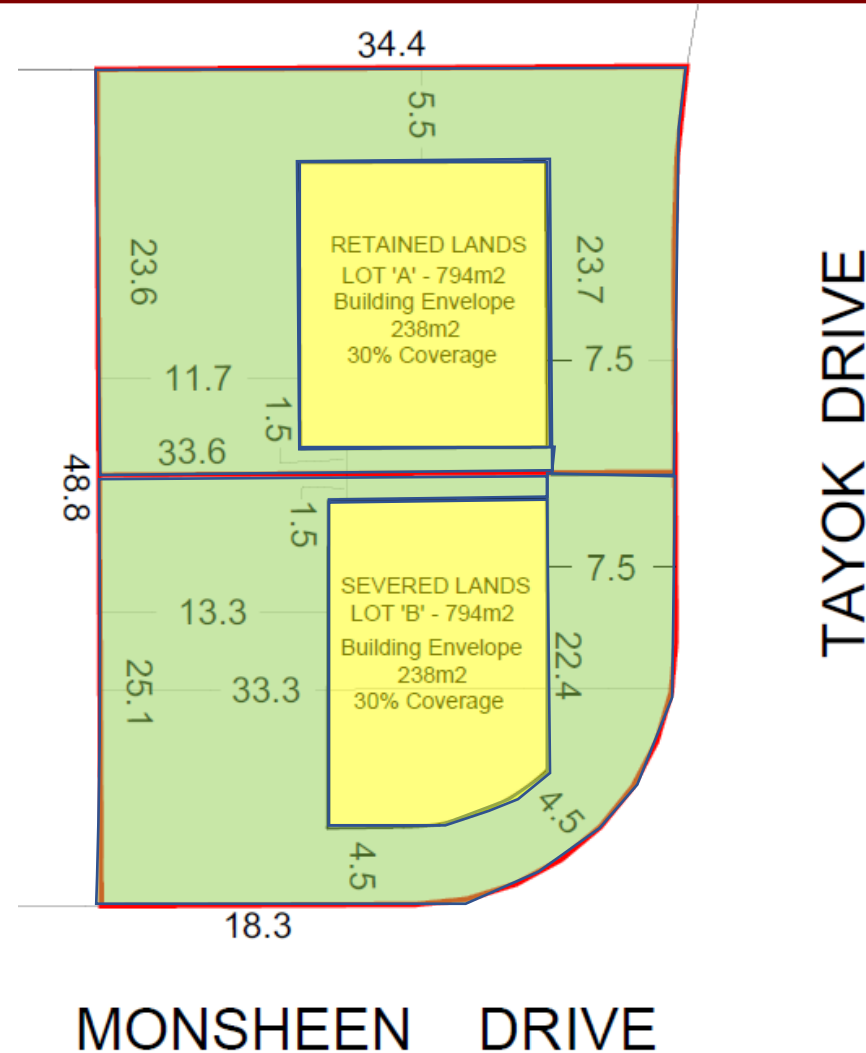


160 Monsheen Drive

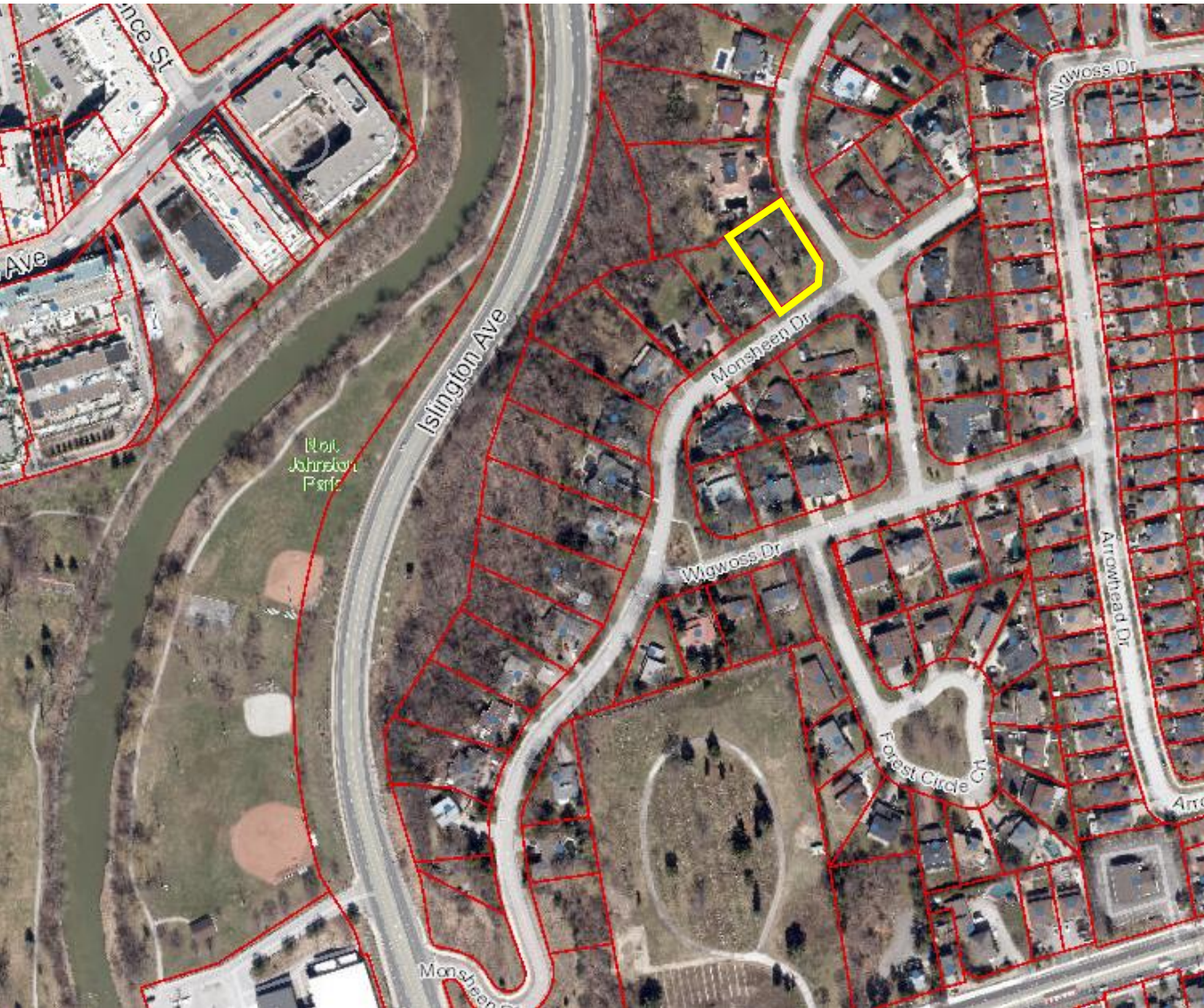


**Committee of Adjustment
Hearing
July 7th 2022
6:00 PM**

**Consent Application
B014/21**

On behalf of Concetta Petruccelli-Defina

SITE LOCATION & AREA CONTEXT



160 Monsheen Drive

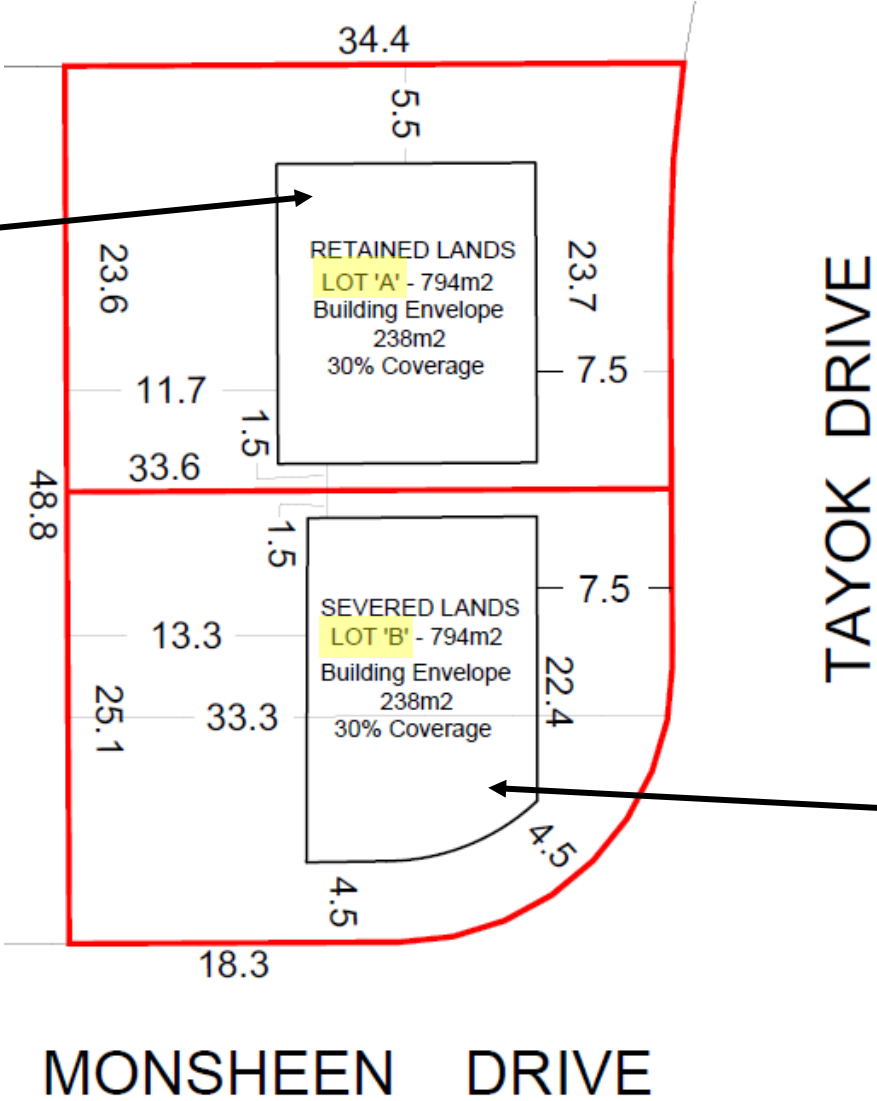
- Located at the north-west corner of Monsheen Drive and Tayok Drive
- Lot area = 1,588 square metres
- Lot frontage = 46.6 metres
- Surrounding properties include a mix of one and two-storey single detached dwellings

DEVELOPMENT PROPOSAL

- The Consent Application proposes to sever the Subject Land into two residential lots

Lot 'A' – Retained Land

	Required	Provided
Frontage	18.0m	23.7m
Lot Area	700 sq.m	794 sq.m
Coverage	30%	30%
Front Yard Setback	7.5m	7.5m
Rear Yard Setback	7.5m	11.7m
Exterior Yard Setback	4.5m	N/A
Interior Yard Setback	1.5m	1.5m

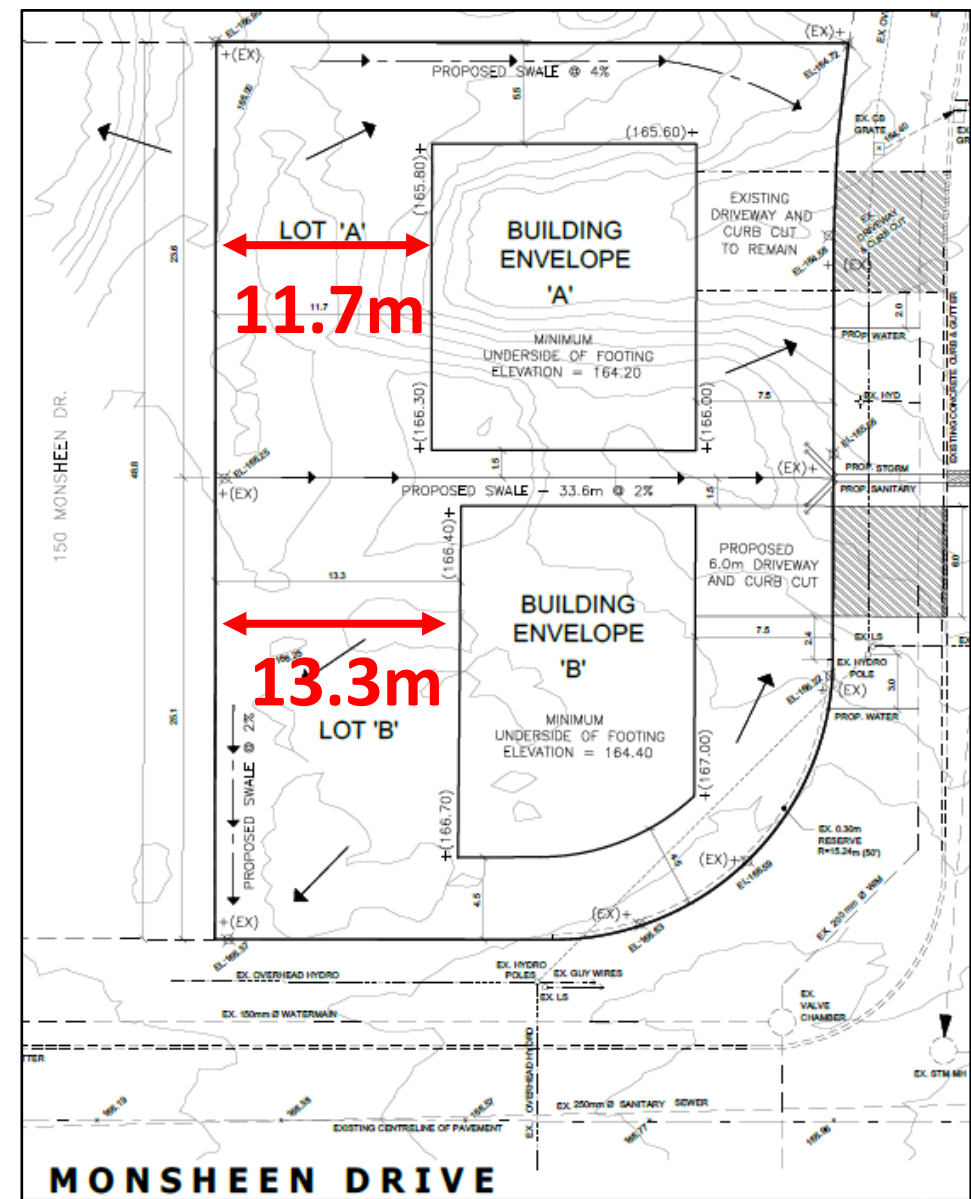


Lot 'B' – Severed Land

	Required	Provided
Frontage	18.0m	22.9m
Lot Area	700 sq.m	794 sq.m
Coverage	30%	30%
Front Yard Setback	7.5m	7.5m
Rear Yard Setback	7.5m	13.3m
Exterior Yard Setback	4.5m	4.5m
Interior Yard Setback	1.5m	1.5m

REAR YARD AMENITY SPACE

- Proposal will create traditional rear yards
- No rear yard exists today (as shown below)
- Propose rear yards exceeds the By-law requirement



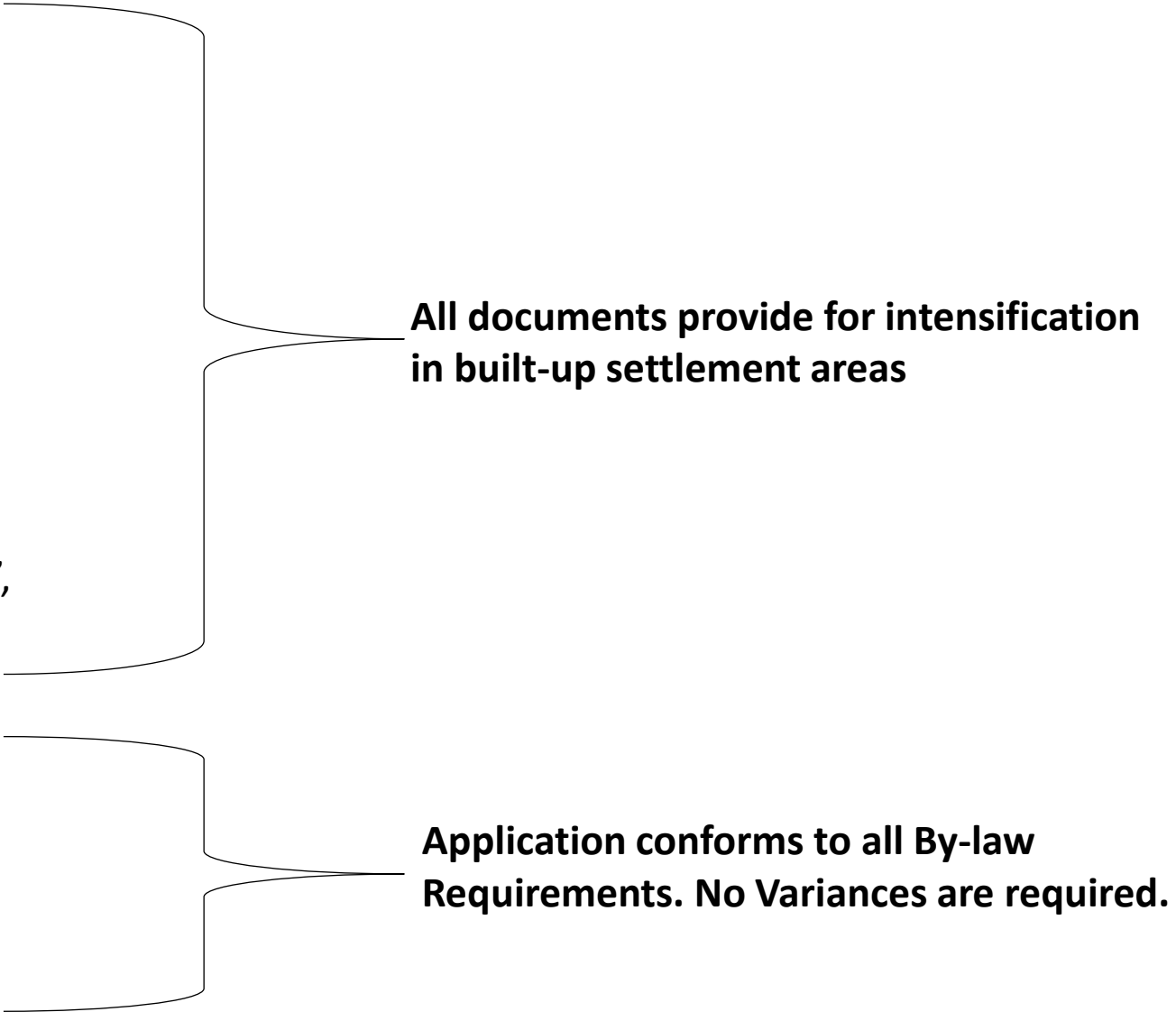
POLICY FRAMEWORK

- **Planning Act**
- **Provincial Policy Statement Review (2020)**

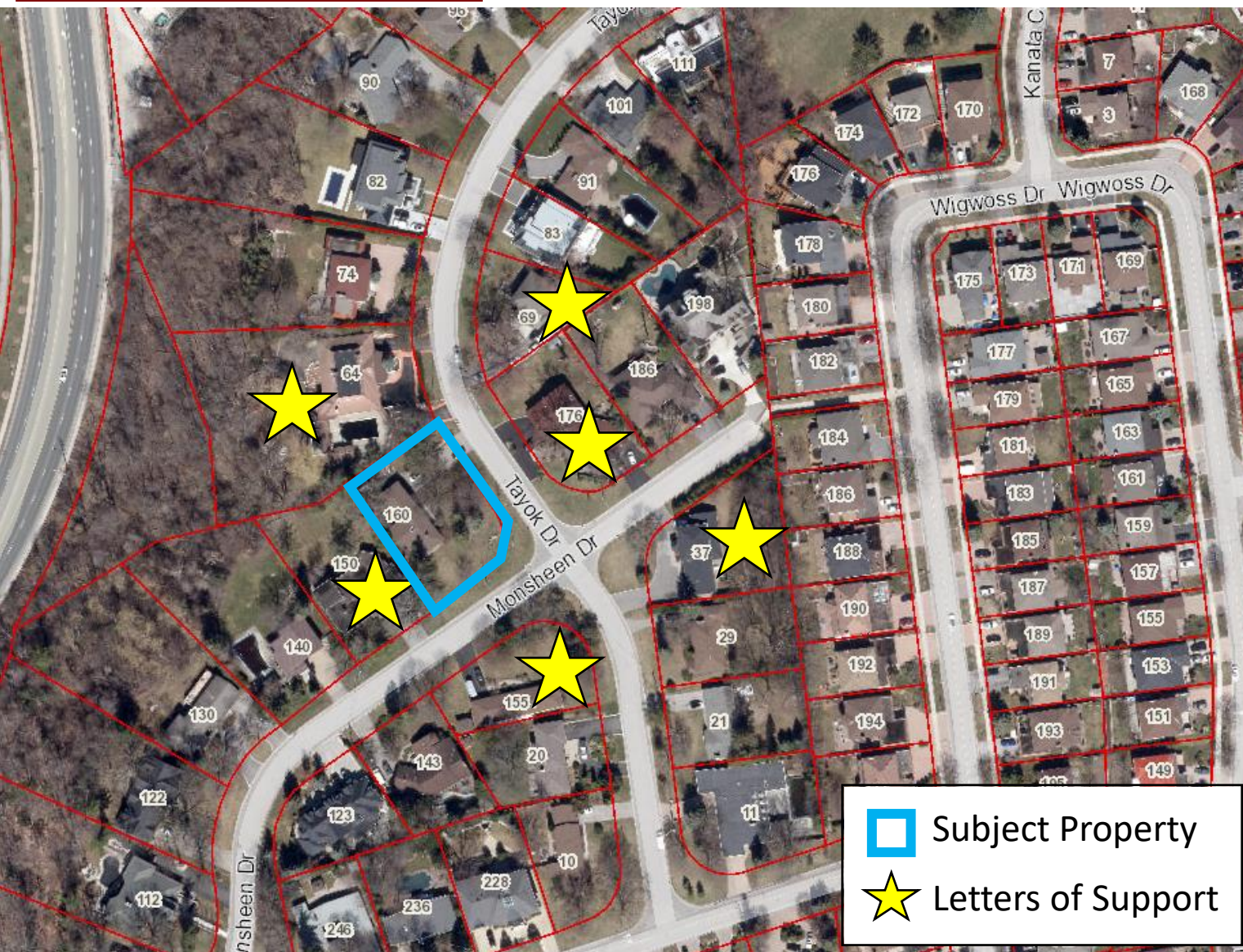
- **A Place to Grow – Growth Plan (2020)**

- **City of Vaughan Official Plan (2010)**
 - The subject land is designated “Low-Rise Residential”, per Schedule 13 of VOP 2010 – Land Use Map.

- **Zoning By-law 1-88**
 - The subject land is zoned “R1 – Residential” per Zoning By-law 1-88



LETTERS OF SUPPORT



- Letters of support have been received from all immediate landowners adjacent to the Subject Property including those adjacent to, abutting with and opposite to.
- These properties represent those which are most affected by the redevelopment proposal.
- Planning Staff have no objections with the application and their Report to the Committee recommends approval.
- Staff state that *“the proposal represents limited intensification in a Community Area that is sensitive to and compatible with the character, form, and planned function of the surrounding context”*.

ISSUES & CONCERNS RAISED:

1) Archaeological Potential

2) Official Plan Conformity

3) Lots are too small

4) Precedent Setting

ARCHAEOLOGICAL POTENTIAL

Page 1 of 2


Ministry of Heritage, Sport, Tourism, and Culture Industries

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Programs and Services Branch
Heritage, Tourism and Culture Division
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Toronto ON M7A 2R9
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Ontario



May 27, 2022

Thomas Irvin (P379)
Irvin Heritage, Inc.
PO BOX 93163 Newmarket ON L3Y 3H6

RE:

Review and Entry into the Ontario Public Register of Archaeological Reports: Archaeological Assessment Report Entitled, "Stage 1 & 2 Archaeological Assessment 160 Monsheen Drive, Woodbridge Lot 17, Registered Plan 5081 City of Vaughan Regional Municipality of York Part of Historic Lots 6 & 7, Concession 7 Historic Township of Vaughan Historic County of York ", Dated May 6, 2022, Filed with MHSTCI Toronto Office on May 26, 2022, MHSTCI Project Information Form Number P379-0440-2021, MHSTCI File Number 0015604

Dear Mr. Irvin:

This office has reviewed the above-mentioned report, which has been submitted to this ministry as a condition of licensing in accordance with Part VI of the *Ontario Heritage Act*, R.S.O. 1990, c 0.18.¹ This review has been carried out in order to determine whether the licensed professional consultant archaeologist has met the terms and conditions of their licence, that the licensee assessed the property and documented archaeological resources using a process that accords with the 2011 *Standards and Guidelines for Consultant Archaeologists* set by the ministry, and that the archaeological fieldwork and report recommendations are consistent with the conservation, protection and preservation of the cultural heritage of Ontario.

The report documents the assessment/mitigation of the study area as depicted in Maps 7-8 of the above titled report and recommends the following:

•Archaeological monitoring during the demolition/construction on the property should be conducted by an archaeological consultant with an associated reporting being submitted to the Ontario Ministry of Heritage, Sport, Tourism, and Culture Industries. Consultation with Indigenous Nations must occur prior to the demolition/construction monitoring.

•Notwithstanding the above recommendations, the provided Advice On Compliance With Legislation shall take precedent over any recommendations of this report should deeply buried archaeological resources or human remains be found during any future earthworks within the Study Area.

- At the October 28, 2021 Hearing the application was ADJOUNRED to permit further consultation in order to investigate archaeological potential and resources on the property.
- An Sage 1 & 2 Archaeological Assessment was undertaken by Irvin Heritage dated May 6, 2022.
- The Stage 2 identified no archaeological resources within the Study Area.
- Further the Report states that *“given the noted lack of archaeological resources, the grading present within the Study Area itself and, in relation to the overall neighbourhood, it is likely that the that the area has been subject to extensive disturbance”*
- The Report was submitted to the Ministry of Heritage, Sport, Tourism, and Culture Industries for review and entry into the Ontario Public Register for Archaeological Reports.
- Based on the information contained in the report, the ministry is satisfied that the fieldwork and reporting for the archaeological assessment are consistent with the ministry's 2011 Standards and Guidelines for Consultant Archaeologists and the terms and conditions for archaeological licences.

HUMPHRIES PLANNING GROUP INC.
CITY FILE NO. B014/21

Slide 6

VOP 2010 – LARGE LOT NEIGHBOURHOODS

Criteria:

- a. Lot Frontage: *In the case of lot creation, new lots should be equal to or exceed the frontages of the adjoining lots or the average of the frontage of the adjoining lots where they differ;*
- b. Lot Area: The area of new lots should be consistent with the size of the adjacent lots



VOP 2010 – LARGE LOT NEIGHBOURHOODS (CONT'D)

Criteria:

c. Lot Configuration: *New lots should respect the existing lotting fabric in the immediate surrounding area*

- The retained land will have a rectangular shaped lot
- The severed land (corner lot) will have a rectangular shape with a curve, consistent with all other corner lots in the immediate area

d. Front Yard and Exterior Side Yards: *Buildings should maintain the established pattern of setbacks for the neighbourhood to retain a consistent streetscape*

- The proposed setbacks are consistent with established and existing setbacks on adjacent and nearby lots in the immediate area (176 Monsheen Drive, 186 Monsheen Drive, 64 Tayok Drive, 101 Tayok Drive)
- Zoning By-law requirements are met/exceeded

VOP 2010 – LARGE LOT NEIGHBOURHOODS (CONT'D)

Criteria:

e. Rear Yards: *Buildings should maintain the established pattern of setbacks for the neighbourhoods to minimize visual intrusion on the adjacent residential lots*

- Currently, the rear yard in the exterior side yard will create a rear yard condition that compliments the neighbourhood
- Lot 'A' has a rear yard setback of 11.7 metres
- Lot 'B' has a rear yard setback of 13.3 metres
- Rear yard setbacks exceed the minimum standards in the Zoning By-law

f. Dwelling Types: *A new dwelling replacing an existing one shall be of the same type, as defined in Section 9.2.3 of this Plan ...*

- Two single detached dwelling units are proposed to replace the existing single detached dwelling
- The proposed dwelling type will remain consistent with the surrounding neighbourhood

VOP 2010 – LARGE LOT NEIGHBOURHOODS (CONT'D)

Criteria:

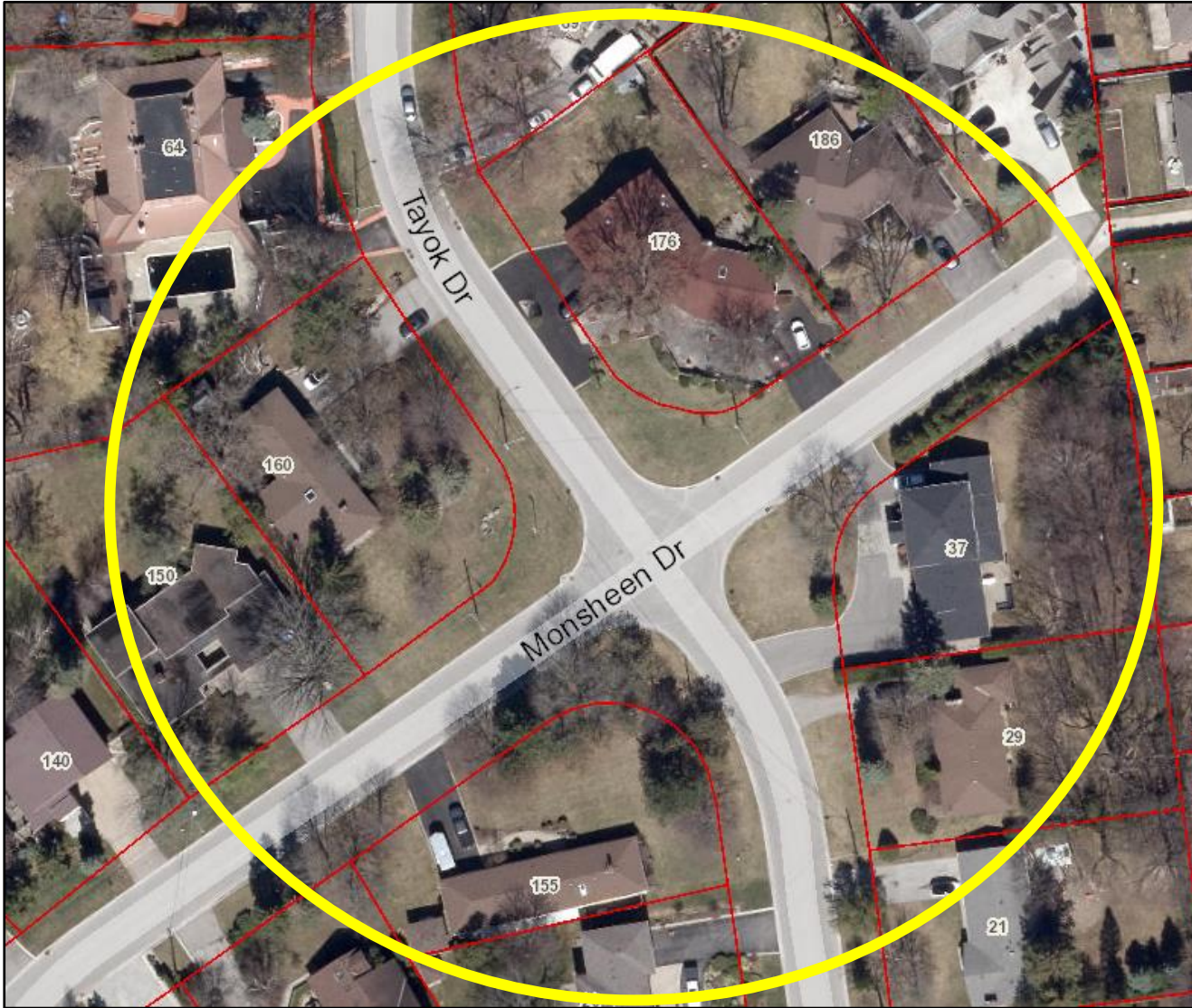
g. Building heights and massing: *Should respect the scale of adjacent residential buildings and any city urban design guidelines prepared for these Community Areas*

- No variance is being requested for building height, and therefore meets the standards set out in By-law 1-88
- Building envelopes have been designed to meet the standards of the Zoning By-law and conform to adjacent built forms which range from relatively large, new, two-storey buildings, to older, smaller bungalows

h. Lot Coverage: *In order to maintain the low density character of these areas and ensure opportunities for generous amenity and landscaping areas, lot coverage consistent with development in the area and as provided for in the Zoning By-law is required to regulate the area of the building footprint within the building envelope, as defined by the minimum yard requirements of the Zoning By-law.*

- The building envelopes proposed meet the coverage requirements set out in the Zoning By-law (30%)
- Floor plates have been designed to be comparable to those of the surrounding area
- Generous rear yards are being proposed

ADJACENT CORNER LOTS



- The Subject Property has unique characteristic in terms of its corner lot configuration, dual frontage along Tayok Drive and Monsheen and the absence of a rear yard.
- Adjacent corner lots are smaller in lot area and lot frontage.
- The division of these lots would yield a demonstrably different outcome than the proposed and one which would fall very short of the zoning bylaw standard and not well represented in the neighbourhood.
- The proposal will not create a precedent or unleash a floodgate of applications that would serve to potentially destabilize the neighbourhood.

STUDIES & PLANS COMPLETED

- Planning Justification Letter, dated September 2021;
- Grading Plan, dated September 2021;
- Arborist Report, dated September 2021; and,
- Tree Inventory & Preservation Plan, dated September 2021
- Stage 1 & 2 Archaeological Assessment, May 6, 2022

THANK YOU