

ITEM # 6.7:	COMMITTEE OF ADJUSTMENT REPORT MINOR VARIANCE APPLICATION A125/22 24 Monica Ct Woodbridge
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COA REPORT SUMMARY

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES:**

Please see **Schedule B of this report for a copy of Staff and Agency correspondence.*

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City’s Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	X	X		General Comments
Building Standards -Zoning Review <i>*Schedule B</i>	X	X		General Comments
Building Inspection (Septic)	X			No Comments Recieved to Date
Development Planning <i>*Schedule B</i>	X	X		Recommend Approval/No Conditions
Development Engineering	X	X	X	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	X	X		No Comments or Concerns
By-law & Compliance, Licensing & Permits	X	X		No Comments or Concerns
Development Finance	X	X		No Comments or Concerns
Real Estate				
Fire Department	X	X		No Comments or Concerns
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA <i>*Schedule B</i>	X	X		General Comments
Ministry of Transportation (MTO) <i>*Schedule B</i>	X			
Region of York <i>*Schedule B</i>	X	X		General Comments
Alectra <i>*Schedule B</i>	X	X		General Comments
Bell Canada <i>*Schedule B</i>	X	X		General Comments
YRDSB <i>*Schedule B</i>				
YCDSB <i>*Schedule B</i>				
CN Rail <i>*Schedule B</i>				
CP Rail <i>*Schedule B</i>				
TransCanada Pipeline <i>*Schedule B</i>	X			No Comments Recieved to Date
Metrolinx <i>*Schedule B</i>				
Propane Operator <i>*Schedule B</i>				

PUBLIC & APPLICANT CORRESPONDENCE				
<i>*Please see Schedule C of this report for a copy of the public & applicant correspondence listed below.</i>				
The deadline to submit public comments is noon on the last business day prior to the scheduled hearing date.				
Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City’s Website.				
All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.				
Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

PREVIOUS COA DECISIONS ON THE SUBJECT LAND		
*Please see Schedule D for a copy of the Decisions listed below		
File Number	Date of Decision MM/DD/YYYY	Decision Outcome
None		

ADJOURNMENT HISTORY	
* Previous hearing dates where this application was adjourned by the Committee and public notice issued.	
None	



COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A125/22
24 Monica Ct Woodbridge

FILE MANAGER: Pravina Attwala, Administrative Coordinator - Committee of Adjustment

ITEM NUMBER: 6.7	CITY WARD #: 3
APPLICANT:	Frances Ayala & Frank Varvaro
AGENT:	Great Room Inc.
PROPERTY:	24 Monica Ct Woodbridge
ZONING DESIGNATION:	See Below
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential" and "Parks"
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit the construction of a proposed pool cabana, storage shed and swimming pool. Relief is also being request to permit the reconstruction of the existing mechanical shed.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R3(EN) – Estate Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.277 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 01-2021	Variance requested
1	An outdoor swimming pool shall only be permitted in the rear yard of a lot [Section 4.21.2]	To permit an outdoor swimming pool not to be located in the rear yard of a lot.
2	A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 metres to any lot line [Section 4.1.2.1b.]	To permit a residential accessory structure (mechanical shed) to be located 0.65 m to the rear lot line.
3	A minimum Rear yard of 7.5 metres is required [Section 14.277, Schedule T-17]	To permit a minimum rear yard of 1.92 metres to the dwelling (attached cabana).
4	A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 metres to any lot line [Section 4.1.2.1b.]	To permit a residential accessory structure (shed) to be located 0.68 m to the interior side lot line.
5	A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 metres to any lot line [Section 4.1.2.1b.]	To permit a residential accessory structure (mechanical shed) to be located 0.91 m to the interior side lot line.
6	A maximum lot coverage of 40% is required [Schedule T-17].	To permit a maximum Lot coverage of 43.57%. (30.02% dwelling; 10.27% cabana; 1.91% storage shed; 1.37% mechanical shed)

The subject lands are R3 - Residential Zone and subject to the provisions of Exception 9(476) under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
7	A swimming pool shall only be located in the rear yard [Section 4.1.1 i)].	To permit a swimming pool not to be located in the rear yard.
8	Any accessory building or structure shall be located in the rear yard [Section 4.1.1 c)].	To permit an accessory structure located in the interior side yard (Shed).

COMMITTEE OF ADJUSTMENT COMMENTS	
In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice.	
An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice.	
Committee of Adjustment Comments:	General Comments
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING) COMMENTS	
**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING COMMENTS	
**See Schedule B for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	nONE

DEVELOPMENT ENGINEERING COMMENTS	
Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation	
As the proposed cabana in the subject property is 62.7 m2, the owner/ applicant needs to obtain a lot grading permit from Development Inspection and Lot Grading division of the City's Development Engineering Department. Please note any in ground structure over 10 m2 requires a grading permit. Please contact COA application engineering reviewer after receiving the grading permit to clear the condition. (Condition attached)	
The Development Engineering (DE) Department does not object to variance application A125/22 subject to the following condition(s):	
Development Engineering Recommended Conditions of Approval:	The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.

PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS	
Forestry: Forestry has no comment	
PFH Recommended Conditions of Approval:	None

DEVELOPMENT FINANCE COMMENTS	
No comment no concerns	
Development Finance Recommended Conditions of Approval:	None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS	
No comment no concerns	
BCLPS Recommended Conditions of Approval:	None

BUILDING INSPECTION (SEPTIC) COMMENTS	
No comments received to date	

BUILDING INSPECTION (SEPTIC) COMMENTS	
Building Inspection Recommended Conditions of Approval:	None

FIRE DEPARTMENT COMMENTS	
No comment no concerns	
Fire Department Recommended Conditions of Approval:	None

SCHEDULES TO STAFF REPORT	
*See Schedule for list of correspondence	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Staff & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL		
All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.		
#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Planning joshua.cipolletta@vaughan.ca	Application under review
2	Development Engineering farzana.khan@vaughan.ca	The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City’s Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.

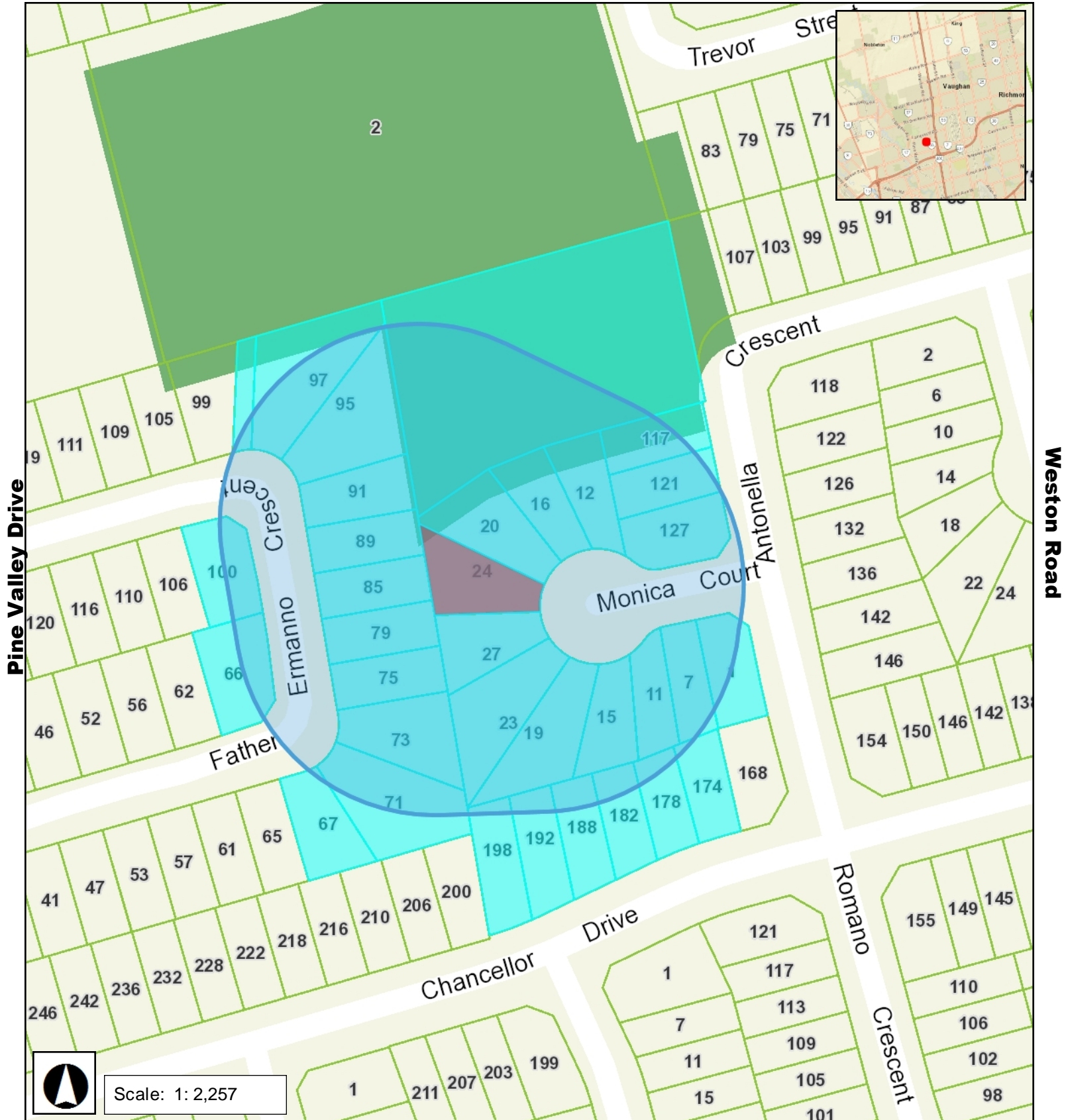
IMPORTANT INFORMATION – PLEASE READ
<p>CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (see condition chart above for contact). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.</p> <p>APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.</p> <p>An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.</p> <p>A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.</p> <p>Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.</p> <p>Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.</p> <p>DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.</p>

IMPORTANT INFORMATION – PLEASE READ
<p>That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment</p> <p>That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.</p>
<p>NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will not receive notice.</p>

SCHEDULE A: DRAWINGS & PLANS

24 MONICA COURT, WOODBRIDGE

Langstaff Road



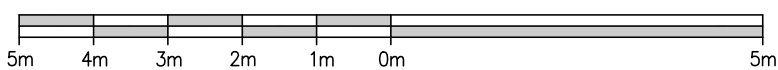
Highway 7

SITE PLAN & BUILDING STATISTICS

Lot 83

REG. PLAN 65M-2511
CITY of VAUGHAN
MUNICIPALITY of YORK

SCALE 1 : 100



METRIC

DISTANCES SHOWN ON THIS PLAN ARE IN METERS AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

GRADE CONDITION

PLEASE NOTE:
ALL EXISTING CONTROL GRADES TO REMAIN UNCHANGED

CURB CUT NOTE

A SEPARATE PERMIT WILL BE OBTAINED FROM THE PUBLIC WORKS DEPARTMENT, PRIOR TO INSTALLATION AND/OR EXTENSION OF THE CURB CUT.

CONSTRUCTION NOTE

THE LOCATION OF ALL UNDERGROUND AND ABOVE GROUND UTILITIES AND STRUCTURES IS NOT NECESSARILY SHOWN ON THE CONTRACT DRAWINGS, AND WHERE SHOWN, THE ACCURACY OF THE LOCATION OF SUCH UTILITIES AND STRUCTURES IS NOT GUARANTEED. BEFORE WORK COMMENCES, THE CONTRACTOR SHALL VERIFY THE EXACT LOCATIONS OF ALL SUCH UTILITIES AND SHALL ASSUME THE LIABILITY FOR ALL DAMAGES.

CITY OF VAUGHAN

RESIDENTIAL LOT GRADING NOTES

1. ALL SITE PLANS, DRAWINGS AND CONSTRUCTION SHALL COMPLY WITH THE CITY OF VAUGHAN LOT GRADING CRITERIA, ENGINEERING STANDARDS, AND APPLICABLE PROVINCIAL STANDARDS, THE ONTARIO BUILDING CODE, SUBDIVISION AGREEMENT & BY-LAW'S UNLESS OTHERWISE APPROVED.
2. APPROVAL OF THIS SITE PLAN DOES NOT RELEASE THE BUILDER/APPLICANT/OWNER OF THEIR RESPONSIBILITIES TO ENSURE THE PROPOSED DRAINAGE WORKS ARE COMPATIBLE WITH THE OVERALL DRAINAGE WITHIN THE SUBDIVISION. PROPOSED LOT DRAINAGE SHALL NOT ADVERSELY AFFECT ADJACENT PROPERTIES.
3. ALTERATIONS TO EXISTING GRADES SHALL NOT BE PERMITTED WITHIN 600mm OF LOT LINES UNLESS SPECIFICALLY APPROVED AS PART OF THIS PERMIT. THE APPROVED GRADING/DRAINAGE PATTERN FOR THIS LOT/BLOCK SHALL BE MAINTAINED AND ALTERATIONS NOT APPROVED AS PART OF THIS PERMIT SHALL BE RESTORED BY THE PROPERTY OWNER TO THE SATISFACTION OF THE CITY OF VAUGHAN.
4. SEDIMENTATION/SILTATION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND OFFSET A MIN. OF 600mm FROM LOT LINES. THESE MEASURES SHALL BE MAINTAINED IN ORDER TO PREVENT ADVERSELY TO ADJACENT LANDS. REFER TO ATTACHED SAMPLE DRAWING.
5. BUILDER SHALL VERIFY EXISTING AND PROPOSED GRADE ELEVATIONS PRIOR TO CONSTRUCTION. FOOTINGS MUST BEAR ON NATIVE UNDISTURBED SOIL OR ROCK, AND BE A MIN. OF 1.22m BELOW FINISHED GRADE.
6. PROVIDE ELEVATION FOR: TOP OF FOUNDATION WALL, UNDERSIDE OF FOOTING, TOP OF BASEMENT FLOOR AND FINISHED FLOOR.
7. SHOW REVERSE VENEER WALL WHERE APPLICABLE.
8. SANITARY AND STORM INVERT ELEVATIONS SHALL BE SHOWN AT MAIN LATERAL CONNECTION AND AT PROPERTY LINE. CITY ENGINEERING DEPARTMENT/YORK REGION APPROVAL IS REQUIRED FOR SANITARY, STORM AND WATER BOX LOCATION AND INSTALLATION TO THE LOT LINE PRIOR TO CONSTRUCTION.
9. WATER, STORM AND SANITARY SERVICES THAT ARE TO BE REUSED OR DECOMMISSIONED ARE TO BE IDENTIFIED ON THE DRAWING.
10. DOWNSPOUTS OF RAIN WATER LEADERS SHALL DISCHARGE ONTO SPLASH PADS AND DRAIN TOWARDS THE STREET. SPLASH PADS SHALL OUTLET OVER SLOPED LAND WHERE POSSIBLE TO ENCOURAGE INFILTRATION OF SURFACE RUNOFF.
11. HIGH POINT ON SPLIT LOT DRAINAGE TO BE A MIN. OF 2.0m BEHIND FRONT DOWNSPOUT LOCATION TO ENSURE DRAINAGE OUTLETS TO STREET.
12. TOP OF FOUNDATION WALLS, EXTERIOR CLADDING, WINDOW AND DOOR SILLS SHALL BE A MIN. OF 150mm ABOVE FINISHED GRADE.
13. THE DESIGNER/CONSULTANT/ENGINEER/ARCHITECT IS RESPONSIBLE TO ENSURE THAT HEIGHT, THICKNESS, LATERAL BRACING, ETC. OFF ALL FOUNDATION WALLS CONFORM TO OBC. OBC SUBSECTION 9.15.4 SHALL APPLY.
14. ALL FRONT AND REAR YARDS SHALL BE GRADED AT A 2%-5% GRADIENT WITHIN 5.0m OF THE BUILDING.
15. DRAINAGE SWALES SHALL BE GRADED WITH A 2%-5% GRADIENT. DESIRABLE SWALE DEPTH IS 250mm. MIN. SWALE DEPTH IS 150mm. MAX. SWALE DEPTH IS VARIABLE AND DEPENDS ON LOCATION AND SAFETY CONSIDERATIONS, BUT MUST NOT EXCEED 450mm.
16. CENTERLINE OF SWALES SHALL BE LOCATED 600mm FROM LOT LINES UNLESS OTHERWISE APPROVED.
17. CENTERLINE OF SWALES MUST NOT BE LOCATED LESS THAN 600mm FROM ANY FOUNDATION WALL.
18. ARTIFICIAL EMBANKMENTS AND/OR RETAINING WALLS SHALL NOT BE PERMITTED UNLESS APPROVED AS PART OF THIS PERMIT. THE MAX. EMBANKMENT SLOPE SHALL BE 3:1 (HORIZONTAL TO VERTICAL) WITH A MAX. GRADE DIFFERENTIAL OF 600mm.
19. PROPOSED RETAINING WALLS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF VAUGHAN LOT GRADING CRITERIA AND BY-LAW'S. RETAINING WALLS EXCEEDING 1.0m IN HEIGHT SHALL BE DESIGNED, INSPECTED AND CERTIFIED BY A PROFESSIONAL ENGINEER AND SHALL BE SERVED BY GUARDS OR OTHERWISE TREATED TO REDUCE ANY PUBLIC HAZARD. ALL RETAINING WALLS SHALL BE CONSTRUCTED OF STONE, PRECAST BLOCKS OR CONCRETE. A RETAINING WALL THAT EXCEEDS 1.0m IN HEIGHT MUST BE SETBACK FROM THE NEAREST PROPERTY LINE OR DISTANCE OR DISTANCE EQUAL TO ITS HEIGHT.
20. DRIVEWAY GRADES SHALL BE 1.5%-8% AND COMPATIBLE WITH APPROVED SIDEWALK GRADES. BOULEVARD GRADES SHALL BE 2%-5%.
21. DRIVEWAYS SHALL BE A MIN. 1.0m FROM ANY TREE, CATCH BASIN OR ABOVE GROUND UTILITY OR OTHER OBSTRUCTION.
22. WATER SERVICE STOPS ARE TO BE LOCATED IN THE GRASS PORTION OF THE FRONT YARD, AS PER TOWN STANDARDS.
23. DRIVEWAYS, CURB CUTS AND DRIVEWAY CULVERTS SHALL BE LOCATED, APPROVED AND CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY ENGINEERING DEPARTMENT, YORK REGION AND BY-LAW'S. A SEPARATE PERMIT IS REQUIRED FROM THE CITY ENGINEERING/PUBLIC WORKS DEPARTMENT FOR CURB CUTS AND/OR PROPOSED CULVERTS.
24. FOOTINGS CONSTRUCTED NEXT TO CATCH BASIN LEAD PIPE OR OTHER MUNICIPAL SERVICE SHALL BE INSPECTED BELOW LEAD PIPE EXCAVATION. FOOTINGS MUST BE CONSTRUCTED ON UNDISTURBED SOIL OR SOIL CONSULTANTS VERIFICATION REQUIRED.
25. IF THE PROPOSED CONSTRUCTION IS IN THE AREA OF FILL A PROFESSIONAL ENGINEER IS TO INSPECT THE EXCAVATION AND CERTIFY THE STABILITY AND BEARING CAPACITY OF THE SOIL PRIOR TO CONSTRUCTION.
26. PRIOR TO LETTER OF CREDIT RELEASE THE OWNER SHALL SUBMIT AN AS-BUILT SURVEY ILLUSTRATING BOTH PROPOSED AND AS CONSTRUCTED GRADE ELEVATIONS. A STORM WATER MANAGEMENT REPORT AUTHORED BY PROFESSIONAL ENGINEER AND/OR LOT GRADING CERTIFICATION BY A PROFESSIONAL ENGINEER OR ONTARIO LAND SURVEYOR SHALL BE SUBMITTED TO THE CITY UPON THEIR REQUEST.
27. POST CONSTRUCTION FLOWS, FROM A 5 YEAR STORM FREQUENCY, SHALL NOT EXCEED THE FLOWS FOR THE PRECONSTRUCTION CONDITIONS, FOR THE SAME STORM, UNLESS IT IS DEMONSTRATED TO THE SATISFACTION OF THE CITY THAT CONTROLLED FLOWS WILL NOT ADVERSELY AFFECT THE EXISTING DRAINAGE PATTERNS (THESE FLOWS SHALL BE COMPUTED USING THE RATIONAL METHOD ONLY).
28. "THE BUILDING SHALL BE LOCATED OR THE BUILDING SITE GRADED SO THAT THE WATER WILL NOT ACCUMULATE AT OR NEAR THE BUILDING AND WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES." OBC 9.14.6.1.(1)
29. TRCA APPROVAL REQUIRED WHERE GRADE CHANGES WILL OCCUR THAT ABOUT REGULATED AREAS; EXISTING NATURAL OR ARTIFICIAL WATERCOURSE, OPEN CHANNEL, SWALE OR DITCH USED TO DRAIN LAND.

SITING INFORMATION

ALL INFORMATION TAKEN FROM SITE PLAN DATED: AUGUST 5TH 1987. ISSUED BY: JOSEPH RADY-PENTEK LTD. 678 SHEPPARD AVE. WEST DOWNSVIEW, ONTARIO L4K 3P3 PH. 416.635.5885

SUMP PUMP NOTE

SUMP PUMP TO DISCHARGE TO CONCRETE SPLASH PAD OR OTHER APPROVED SOLID LANDSCAPE SURFACE.

CITY OF VAUGHAN

LOT GRADING NOTES - POOL PERMIT

1. TO INITIATE REVIEW PROCESS, THE LOT MUST BE CERTIFIED FOR GRADING IN UNASSUMED SUBDIVISION. FAILING THE ABOVE, AN APPROVED GRADING PLAN MUST BE SUBMITTED BY THE DEVELOPERS CONSULTING ENGINEER.
2. ALL SITE PLANS, DRAWINGS AND CONSTRUCTION SHALL COMPLY WITH THE CITY OF VAUGHAN LOT GRADING CRITERIA, SUBDIVISION AGREEMENT AND BY-LAW'S.
3. ALTERATIONS TO EXISTING GRADES SHALL NOT BE PERMITTED WITHIN 600mm OF LOT LINES. THE APPROVED GRADING/DRAINAGE PATTERN FOR THIS LOT SHALL BE MAINTAINED AND ALTERATIONS NOT APPROVED AS PART OF THIS PERMIT SHALL BE RESTORED BY THE BUILDER/APPLICANT/OWNER TO THE SATISFACTION OF THE CITY. CONSTRUCTION/GRADING NOT IN CONFORMANCE WITH THE CITY OF VAUGHAN LOT GRADING CRITERIA OR APPLICATION SUBDIVISION AGREEMENT SHALL BE RESTORED BY THE PROPERTY OWNER TO THE SATISFACTION OF THE CITY, CONSULTANT, DEVELOPER AND/OR BUILDER.
4. UNLESS SPECIFICALLY APPROVED BY THIS PERMIT, GRADING SHALL NOT BE ALTERED FOR ANY OF THE FOLLOWING: EXISTING NATURAL OR ARTIFICIAL WATERCOURSE, OPEN CHANNEL, SWALE OR DITCH USED TO DRAIN THE LAND, CATCHBASIN OR INFILTRATION TRENCH LOCATED ON THE PRIVATE PROPERTY.
5. NO ALTERATIONS TO CITY PROPERTY IS PERMITTED UNLESS APPROVED BY THE CITY OF VAUGHAN PUBLIC WORKS AND/OR DEVELOPMENT ENGINEERING DEPARTMENTS.
6. PROPOSED RETAINING WALLS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF VAUGHAN LOT GRADING CRITERIA AND BY-LAW'S. RETAINING WALLS ARE REQUIRED TO BE SETBACK MIN. 0.6M FROM PROPERTY LINES. IF GREATER THAN 1.0m IN HEIGHT, RETAINING WALLS MUST BE SETBACK A DISTANCE EQUAL TO ITS HEIGHT. WHERE THE WALL IS GREATER THAN 1M AND RETAINS GRADE, A 1.2M HIGH CHAINLINK FENCE OR APPROVED SAFETY GUARD AS PER THE LATEST EDITION OF THE OBC ARE REQUIRED AND THE WALL MUST BE CERTIFIED BY A PROFESSIONAL ENGINEER.
7. POOL DISCHARGE MUST NOT ADVERSELY AFFECT ADJACENT PROPERTIES.
8. SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND OFFSET A MIN. OF 600mm FROM LOT LINES. REFER TO ATTACHED SAMPLE DRAWING.
9. THIS PERMIT HAS NOT BEEN REVIEWED FOR THE CONSTRUCTION OF THE POOL AND FOR ANY POOL DESIGN LOADS EXERTED ONTO NEARBY BUILDINGS OR STRUCTURES (INCLUDING RETAINING WALLS OR DECORATIVE WALLS, DWELLING, CATCHBASIN LEAD PIPE, ETC.). THE OWNER, AT THEIR EXPENSE, IS RESPONSIBLE TO RETAIN A PROFESSIONAL ENGINEER TO DESIGN, INSPECT AND CERTIFY THE SAME, WHERE REQUIRED.
10. AS PART OF THE PERMIT REVIEW PROCESS, CITY OF VAUGHAN STAFF WILL REQUIRE ACCESS TO THE PROPERTY TO TAKE PHOTOS ALONG SIDE AND REAR LOT LINES OF THE PROPERTY BEFORE AND AFTER CONSTRUCTION IN ORDER TO CONFIRM THAT GRADES HAVE REMAINED UNALTERED.
11. FAILING TO THE TERMS AND CONDITIONS OF THE APPROVED PERMIT MAY RESULT IN HOLD BACK OF LETTER OF CREDIT FUNDS.

Item 8
NEW STORAGE SHED
100.0sq.ft. (9.3sq.m.) (1-88)
144.0sq.ft. (13.4sq.m.) (2021)
T.O.S.=196.03

Item 6
Total Lot Coverage: 43.57%

Item 5 & 11
NEW MECHANICAL SHED
65.0sq.ft. (6.0sq.m.) (1-88)
103.3sq.ft. (9.6sq.m.) (2021)
T.O.S.=196.18

Item 1 & 7
T.O.C.=196.05

Item 2 & 10

Project:
NEW RESIDENTIAL POOL & CABANA
24 MONICA COURT, WOODBRIDGE, ONTARIO
CITY OF VAUGHAN

Title:
PROPOSED SITE PLAN

Scale:
1:100

Date:
JULY 21/2021

Legal:
LOT 83
REG. PLAN 65M-2511

Owner:
MR. FRANK VARVARO & FRANCES AYALA

GREAT ROOM
www.greatroom.ca
Tel. No. (416) 627-2594
DESIGN, CONSULT, MANAGE

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the 2012 Ontario Building Code to design the work shown on the attached documents.

QUALIFICATION INFORMATION
Required unless design is exempt under Div. C, Part 3, Section 3.2.2 of the Building Code
GEORGE SHAMA 43035
REGISTRATION INFORMATION
Required unless design is exempt under Div. C, Section 3.2.4 of the Building Code
GREAT ROOM INC. 43844

ZONING SUMMARY : R3	REQUIRED	PROPOSED OR EXISTING
LOT FRONTAGE	12.0M (39'-4")	12.05M (39'-6") (EXISTING @ 6.4M SETBACK)
LOT AREA	360 SQ.M. (3,875.2 SQ.FT.)	702.8 SQ.M. (7,565.1 SQ.FT.) (EXISTING)
FRONT YARD SETBACK (EAST)	4.5M (14'-9")	7.60M (24'-11") (EXISTING)
SIDE YARD SETBACK (NORTH)	1.2M (3'-11")	1.96M (6'-5") (EXISTING)
SIDE YARD SETBACK (SOUTH)	1.2M (3'-11")	1.26M (4'-1") (EXISTING)
REAR YARD SETBACK (WEST)	7.5M (24'-7")	7.36M (24'-1") (EXISTING)
MAX. LOT COVERAGE	40% (281.1 SQ.M.) (3025 SQ.FT.)	27.4% (192.6 SQ.M.) (2073.2 SQ.FT.) (EXISTING)
MAX. BUILDING HEIGHT	9.5M (31'-2")	6.91M (22'-8") (APPROX.-EXISTING)
MIN. FRONT SOFT LANDSCAPE AREA	17.4 SQ.M. (60% x 33% x 87.5 SQ.M.)	37.2 SQ.M.
MIN. REAR SOFT LANDSCAPE AREA	52.2 SQ.M. (60% x (266-44-135))	56.3 SQ.M.
ATTACHED CABANA ZONING SUMMARY : R3	REQUIRED	PROPOSED OR EXISTING
SIDE YARD SETBACK (SOUTH)	1.2M (3'-11")	1.33M (4'-4") (PROPOSED)
REAR YARD SETBACK (WEST)	7.5M (24'-7")	1.26M (4'-1") (PROPOSED)
MAX. LOT COVERAGE (CABANA + DW)	40% (281.1 SQ.M.) (3025 SQ.FT.)	36.4% (265.3 SQ.M.) (2748.1 SQ.FT.)
MAX. BUILDING HEIGHT	9.5M (31'-2")	4.25M (14'-0") (3.0M (9'-8") (PROPOSED))
TOTAL COMBINED LOT COVERAGE	40% (281.1 SQ.M.) (3025 SQ.FT.)	38.5% (270.6 SQ.M.) (2912.8 SQ.FT.) (PROP.)

REVISIONS:	
1	7/28/2021 ISSUED FOR CLIENT REVIEW
2	1/14/2022 ISSUED FOR CLIENT REVIEW
3	2/8/2022 REVISED FOR CLIENT REVIEW
4	3/28/2022 ISSUED FOR M.V. APPLICATION
5	5/12/2022 REVISED FOR M.V. APPLICATION
6	5/24/2022 REVISED FOR M.V. APPLICATION
7	7/7/2022 REVISED FOR M.V. APPLICATION

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE CONSULTANT PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.

GREAT ROOM INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR TO FOLLOW THE CONTRACT DOCUMENTS.

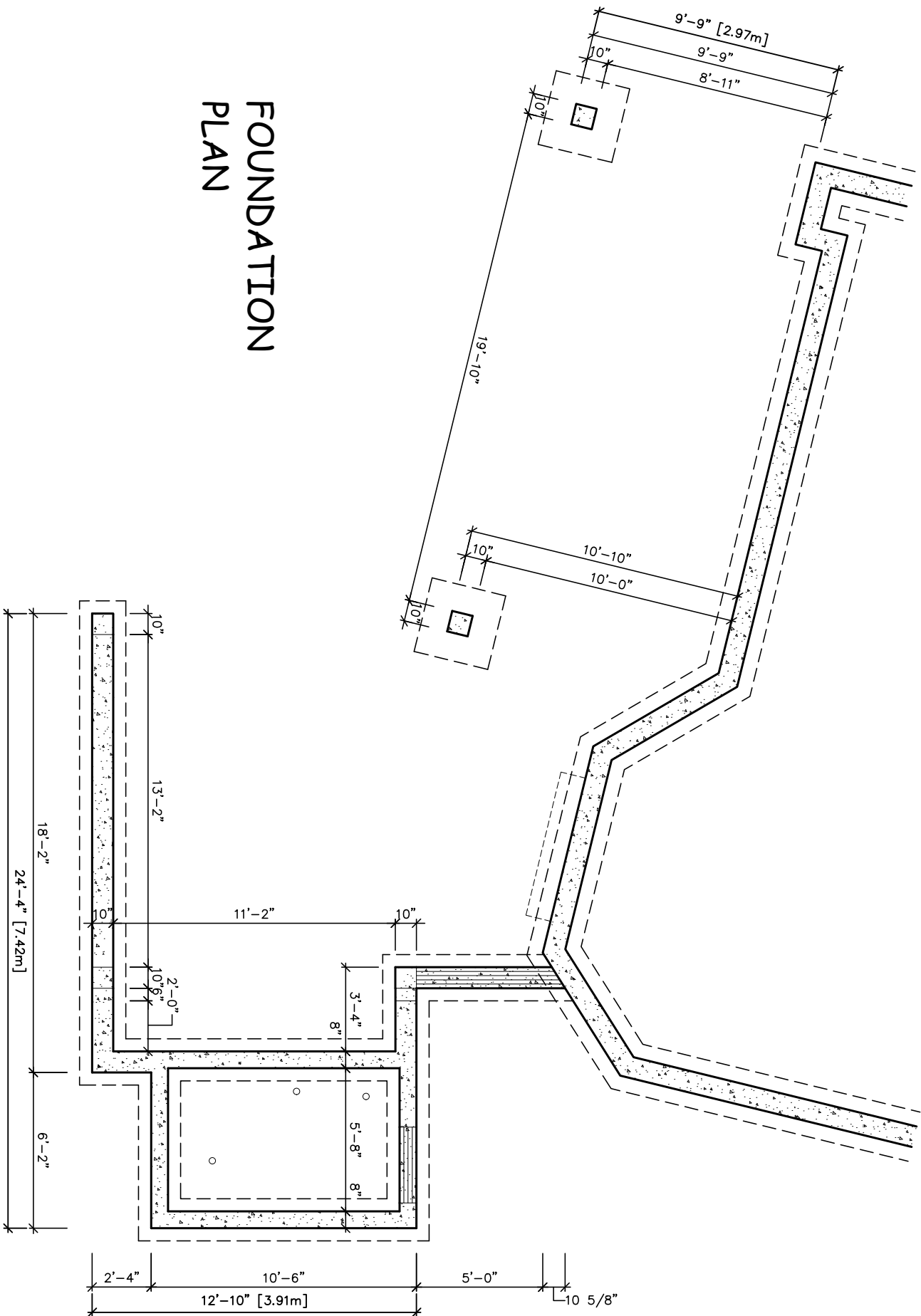
CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS PROVIDED BY AND IS THE PROPERTY OF GREAT ROOM INC. THE DRAWING IS NOT TO BE REPRODUCED.

LEGEND	
■ DENOTES SURVEY MONUMENT FOUND	
SB SURVEY MONUMENT SET	
IB STANDARD IRON BAR	
CP CONCRETE PIN	
IP IRON PIPE	
CALC CALCULATED	
P.L.N. PROPERTY IDENTIFIER NUMBER	
WITNESS	
OU ORIGIN UNKNOWN	
M MEASURED	
RP REGISTERED PLAN	
N.S.E.W. NORTH, SOUTHEAST, WEST	
WCC WOOD RAIL FENCE	
RCC REMAINS OF CONCRETE CURB	
CB CATCH BASIN	
FF FINISHED FLOOR ELEVATION	
TFW TOP OF FOUNDATION WALL ELEVATION	
BF BASEMENT FLOOR ELEVATION	
UF UNDERSIDE OF FOOTING ELEVATION	
T.R.E. TOP OF ROOF ELEVATION	
MH MAN HOLE	
INV. INVERT	
CUL. CULVERT	
DS DOWNSPOUT	
LS LIGHT STANDARD	
UP UTILITY POLE	
HYDRO VALVE	
HT HYDRO TRANSFORMER	
BP BELL POLE	
BB BELL BOX	
CM GAS METER	
HM HYDRO METER	
SPP SWIM POOL PUMP	
OW OVERHEAD WIRES	
SW SWALE (%)	
3:1 SLOPE	
ENGINEERED FILL	
LOT	
CTB CABLE TELEVISION BOX	
FH FIRE HYDRANT	
WV WATER VALVE	
WC WATER CHAMBER	
GV GAS VALVE	
SS STREET SIGN	
DT DECIDUOUS TREES	
CT CONIFEROUS TREES	
BC BOTTOM OF CURB	
TC TOP OF CURB	
DS DOWNSPOUT	
EX. EX. ELEV. TO REMAIN	
NEW PROPOSED ELEV.	
HIGH POINT	

24 Monica Court

Gabana2



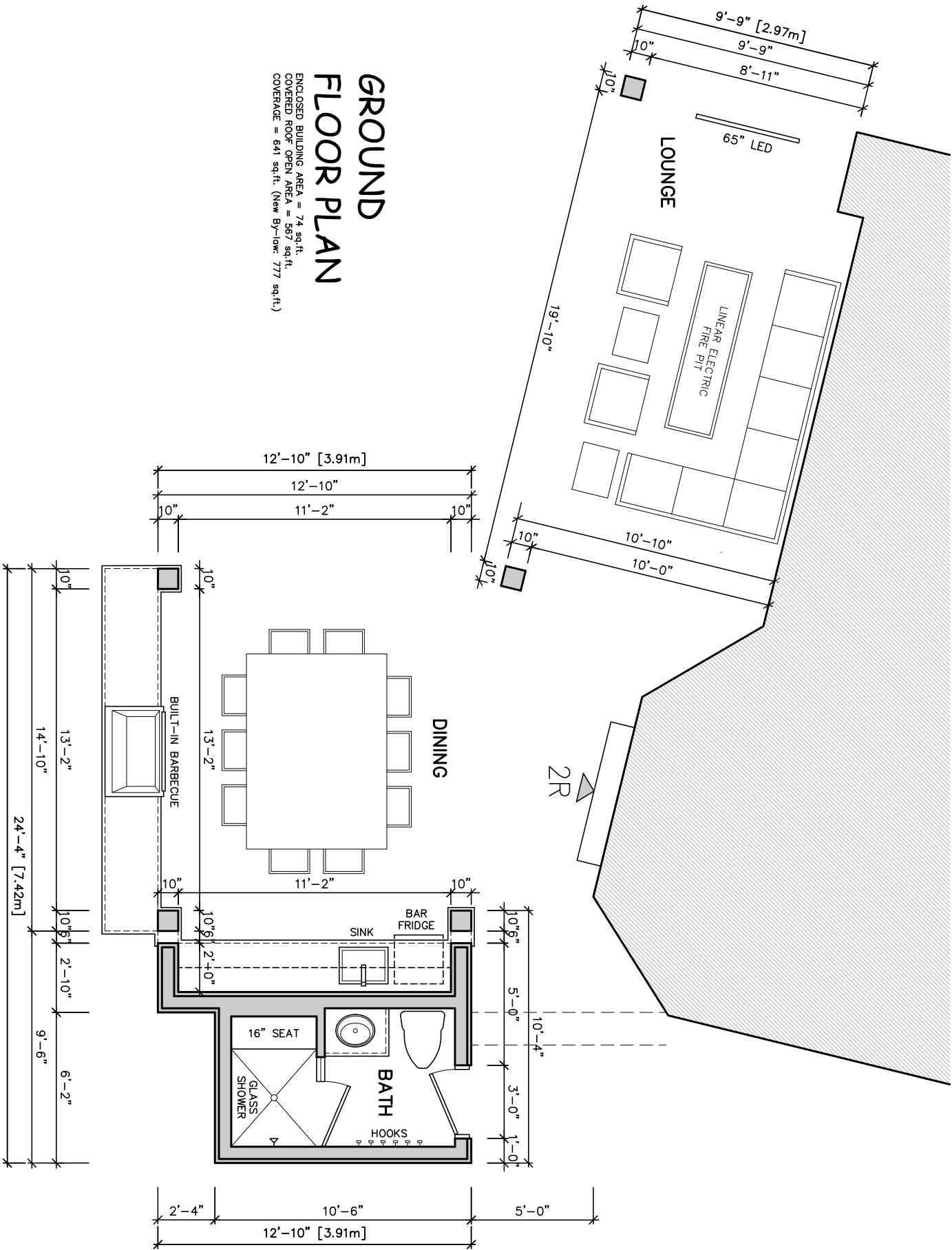
ARTISTS IMPRESSION

ORIENTATION OF FLOOR PLAN MAY BE REVERSED AND PARALLEL ADJUSTED TO ACCEPT THE SAME. STEPS MAY VARY AT ANY EXTERIOR ENTRANCE WINGS DUE TO GRADING VARIANCE. NOTE: ACTUAL FLOOR SPACE MAY VARY FROM THE SHOWN FLOOR AREA. ALL DIMENSIONS ARE ARTISTS CONCEPT. DIMENSIONS, SPECIFICATIONS AND ARCHITECTURAL DETAILS ARE SUBJECT TO MARKET VARIANCE. E & O U.E.



24 Monica Court

Gabana2



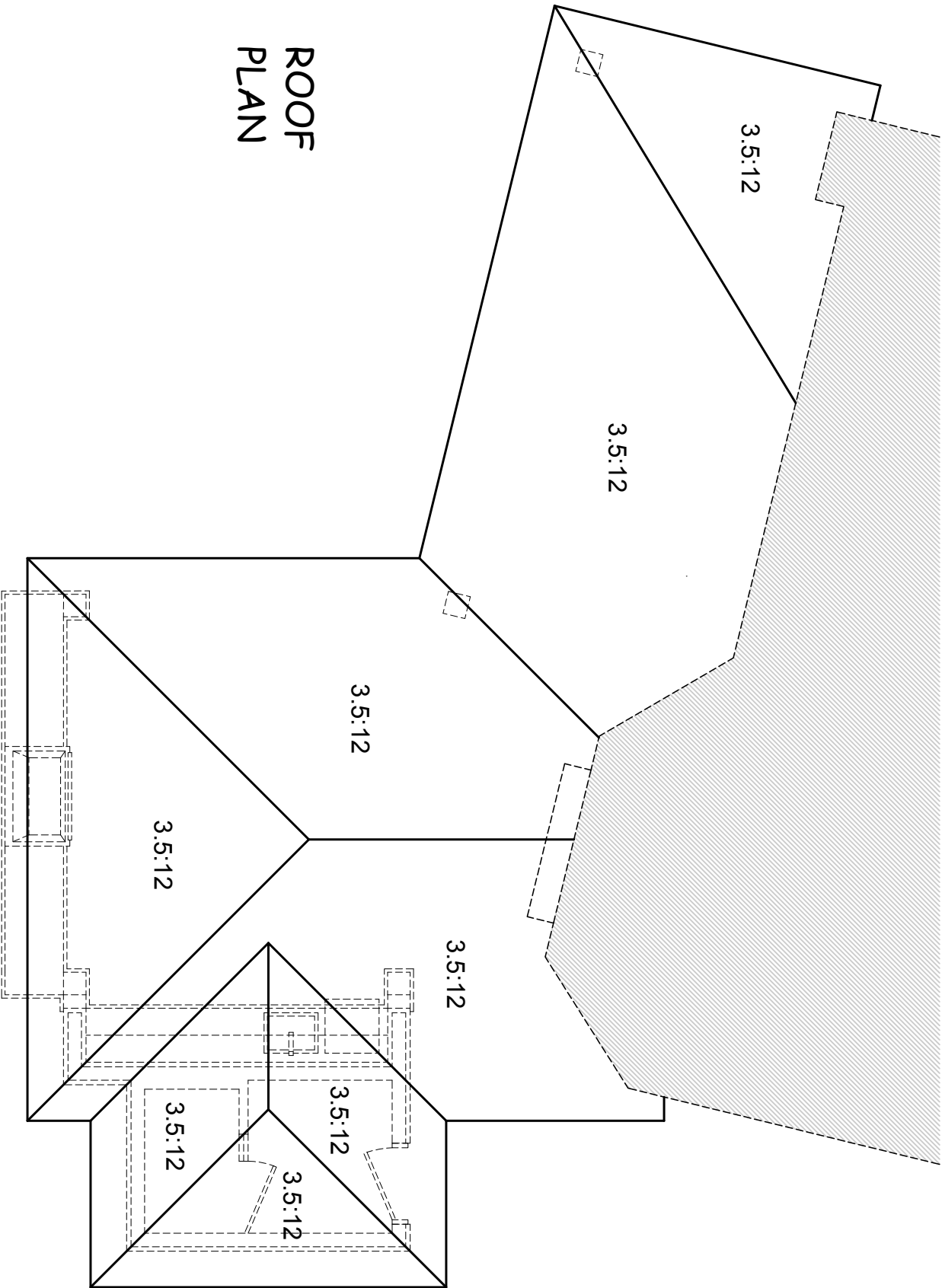
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24 Monica Court

Gabana



ROOF
PLAN

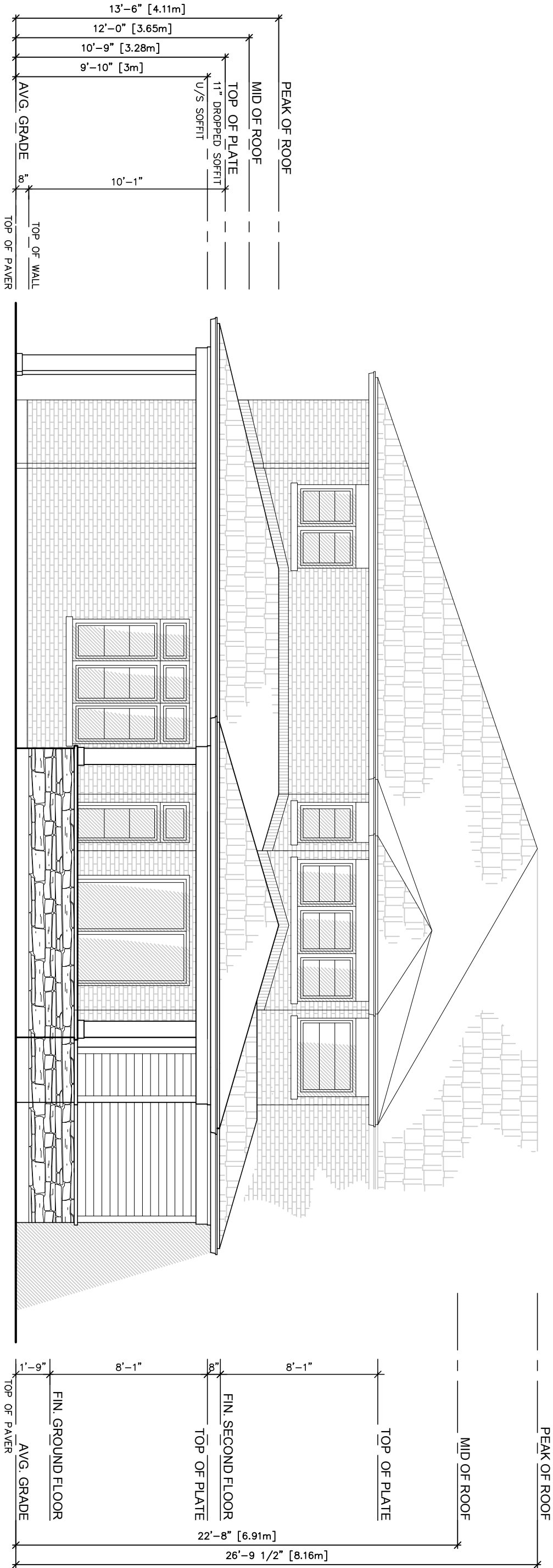
ARTISTS' IMPRESSION

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24 Monica Court

Gabana



FRONT ELEVATION

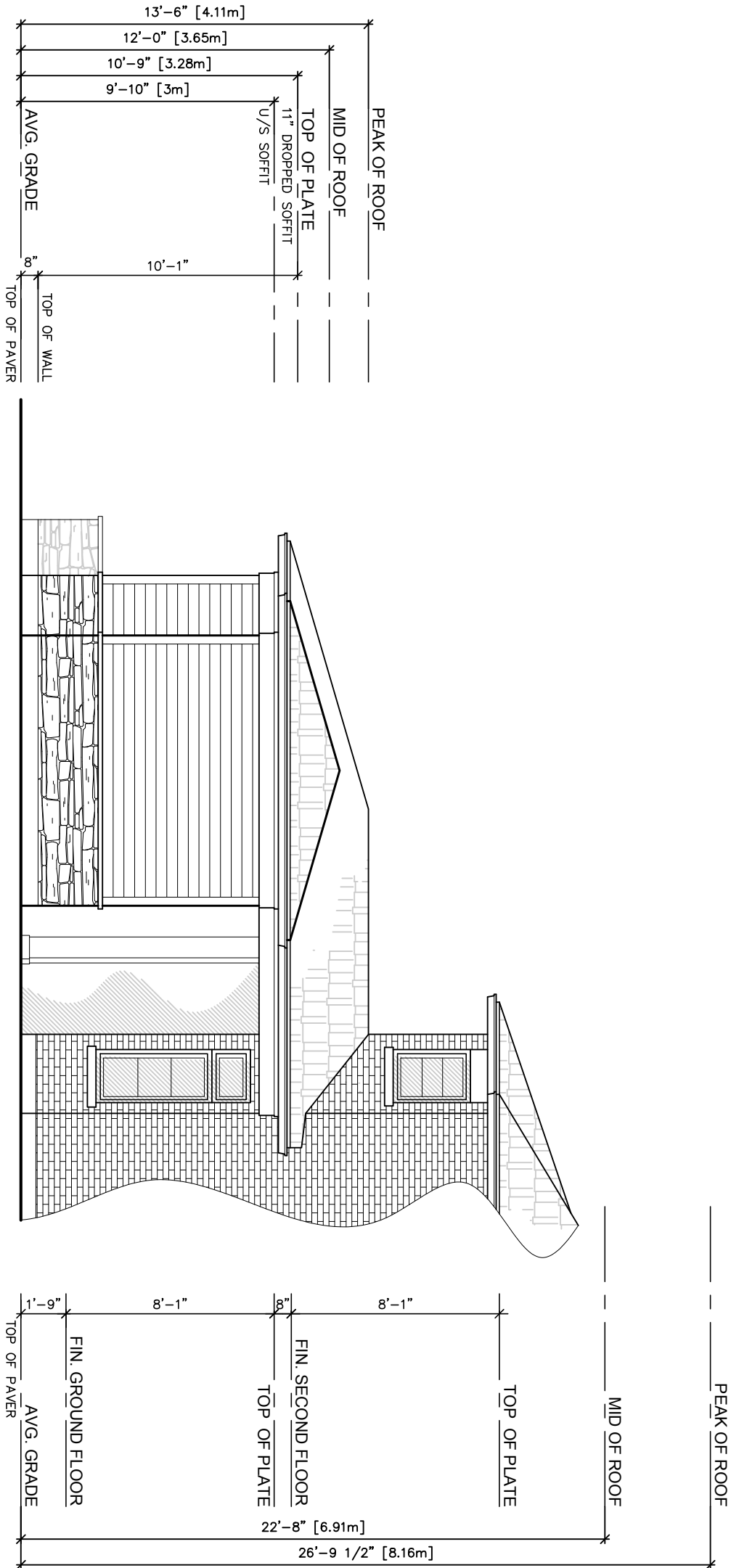
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24 Monica Court

Gabana



RIGHT SIDE ELEVATION

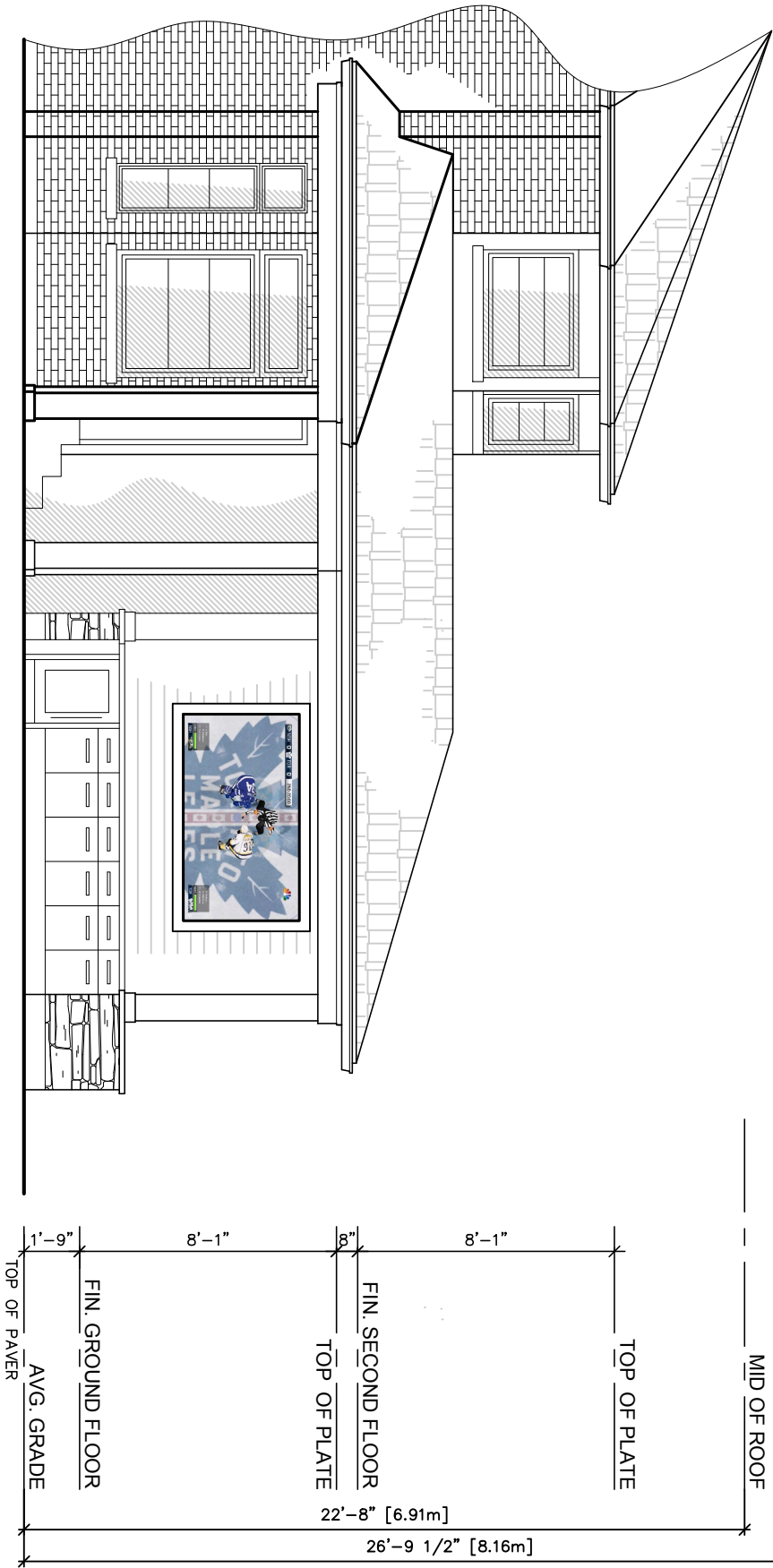
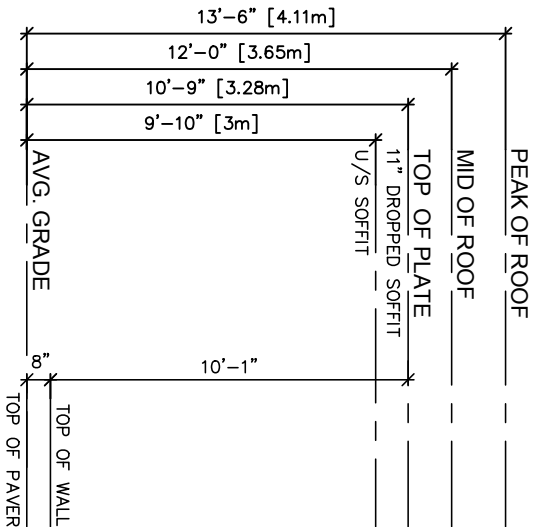
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24 Monica Court

Gabana



LEFT SIDE ELEVATION

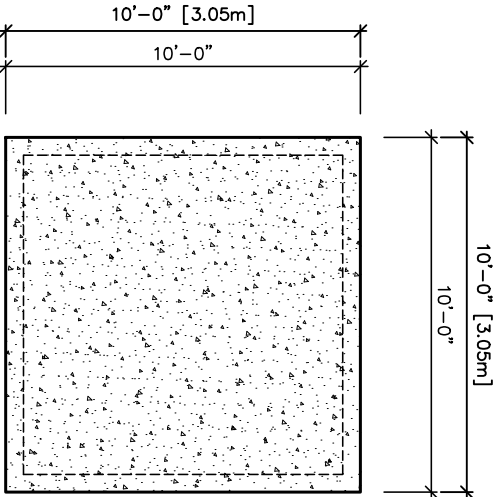
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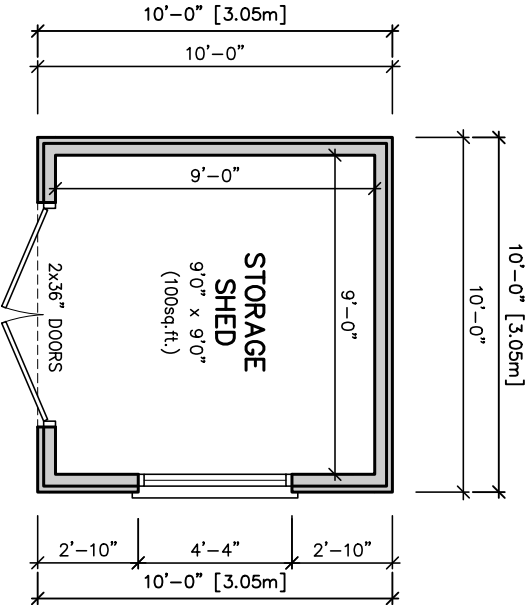


24 Monica Court

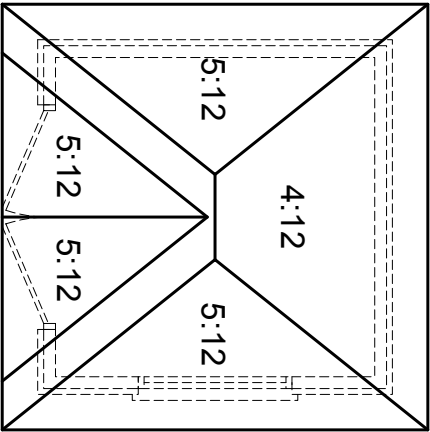
Storage Shed



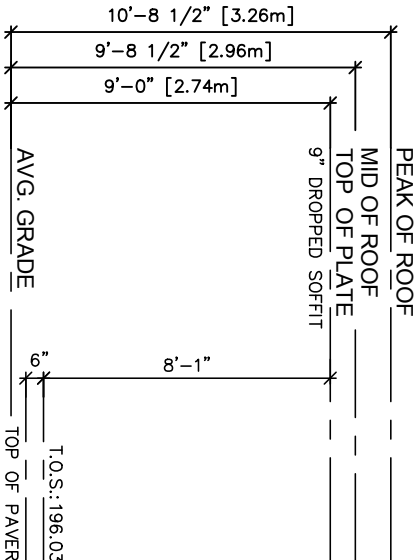
FOUNDATION
PLAN



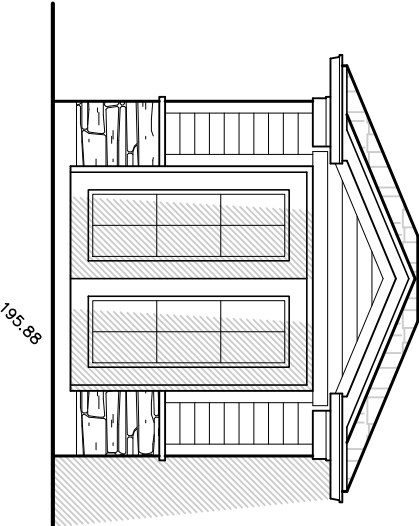
GROUND
FLOOR PLAN



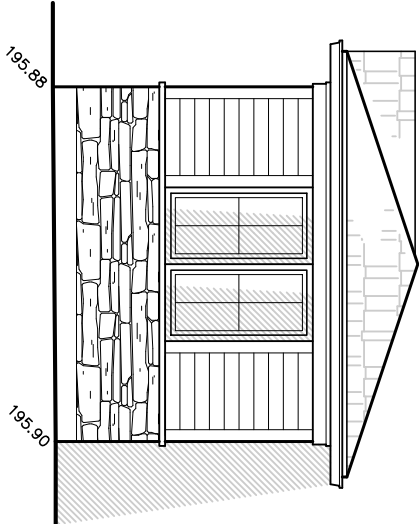
ROOF
PLAN



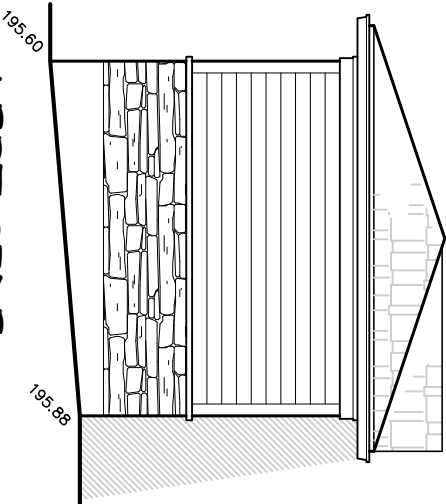
FRONT
ELEVATION



RIGHT SIDE
ELEVATION



LEFT SIDE
ELEVATION



REAR
ELEVATION

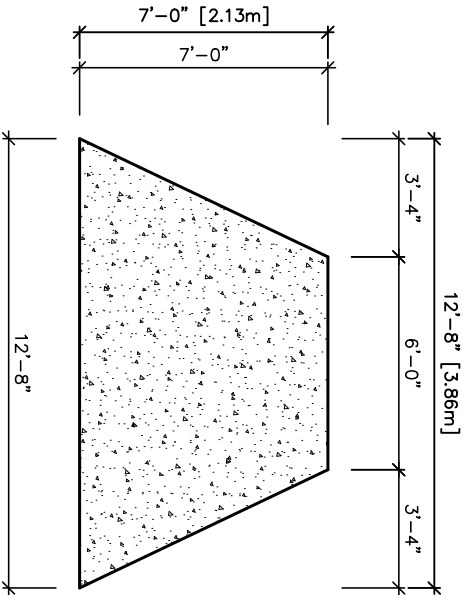
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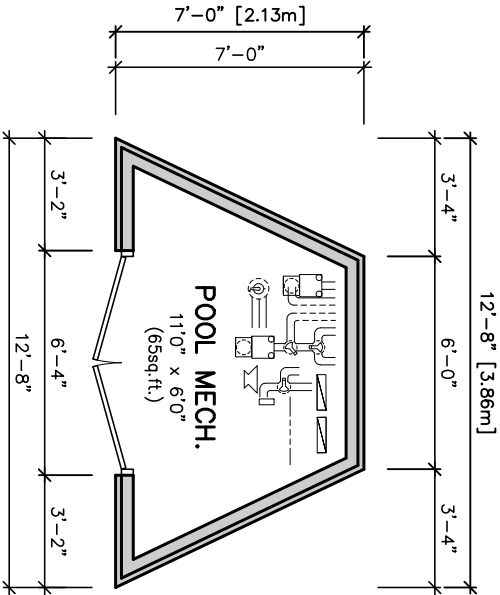


24 Monica Court

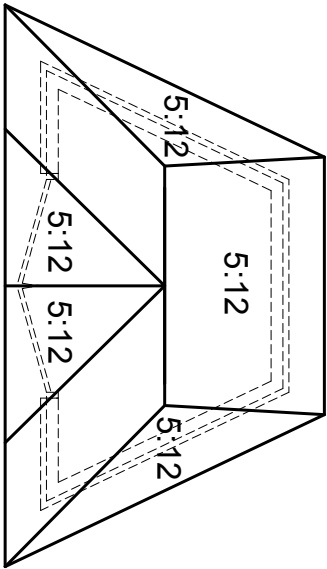
Pool Mechanical Shed



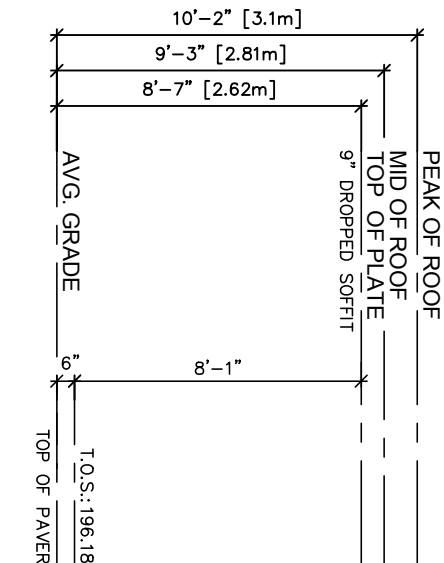
FOUNDATION
PLAN



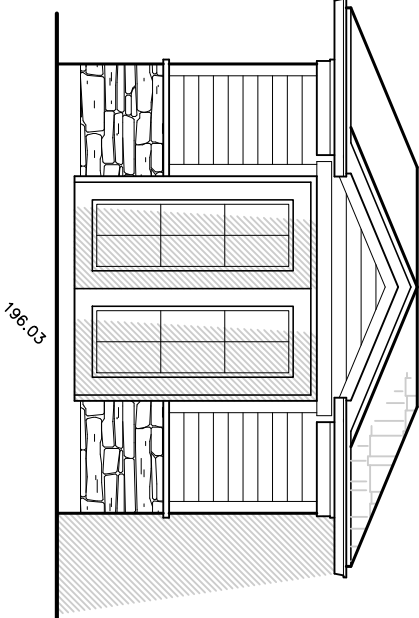
GROUND
FLOOR PLAN



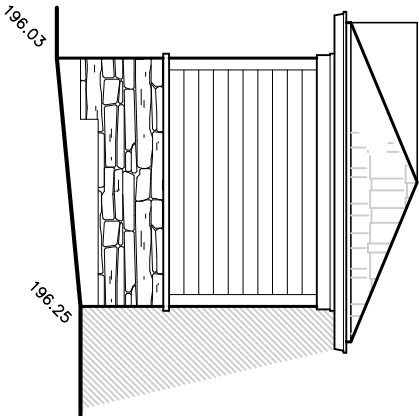
ROOF
PLAN



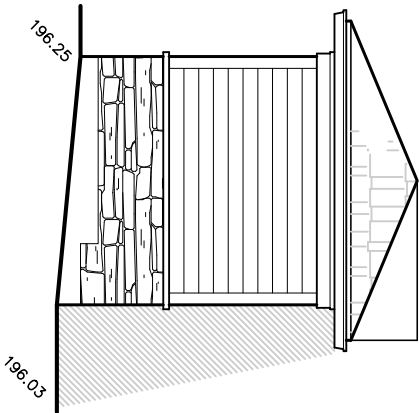
FRONT
ELEVATION



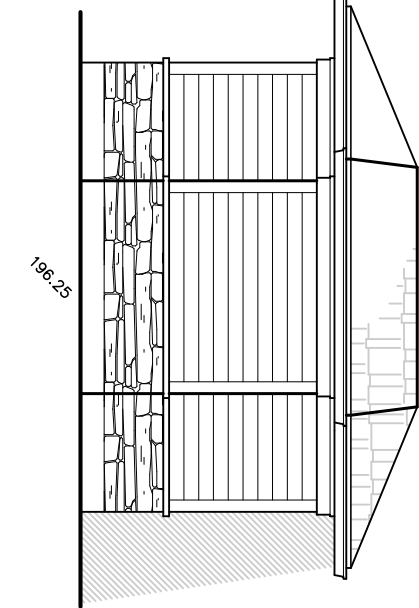
RIGHT SIDE
ELEVATION



LEFT SIDE
ELEVATION



REAR
ELEVATION



ARTISTS IMPRESSION

ORIENTATION OF HOME MAY BE REVERSED AND PARAGRAPH ADDRESSES TO ACCEPT THE SAME. STEPS MAY VARY AT ANY EXTERIOR ENTRANCE WAYS DUE TO GRADING VARIANCE. NOTE: ACTUAL FLOOR SPACE MAY VARY FROM THE SHOWN FLOOR AREA. ALL DIMENSIONS ARE ARTISTS CONCEPT. DIMENSIONS, SPECIFICATIONS AND ARCHITECTURAL DETAILS ARE SUBJECT TO MARKET VARIANCE. E & O.E.



SCHEDULE B: STAFF & AGENCY COMMENTS				
DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	X	X		General Comments
Ministry of Transportation (MTO) *Schedule B	X			
Region of York *Schedule B	X	X		General Comments
Alectra *Schedule B	X	X		General Comments
Bell Canada *Schedule B	X	X		General Comments
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Recieved to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				
Development Planning	X	X		Recommend Approval/no conditions
Building Standards (Zoning)	X	X		General Comments

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer

From: Nancy Tuckett, Director of Development Planning

Date: July 19, 2022

Name of Owners: Frances Ayala and Frank Varvaro

Location: 24 Monica Court

File No.(s): A125/22

Proposed Variance(s) (By-law 001-2021):

1. To permit an outdoor swimming pool not to be located in the rear yard of a lot.
2. To permit a residential accessory structure (mechanical shed) to be located 0.65 m to the rear lot line.
3. To permit a minimum rear yard of 1.92 m to the dwelling (attached cabana).
4. To permit a residential accessory structure (shed) to be located 0.68 m to the interior side lot line.
5. To permit a residential accessory structure (mechanical shed) to be located 0.91 m to the interior side lot line.
6. To permit a maximum Lot coverage of 43.57%.

By-Law Requirement(s) (By-law 001-2021):

1. An outdoor swimming pool shall only be permitted in the rear yard of a lot.
2. A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line.
3. A minimum rear yard of 7.5 m is required.
4. A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line.
5. A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line.
6. A maximum lot coverage of 40% is required.

Proposed Variance(s) (By-law 1-88):

7. To permit a swimming pool not to be located in the rear yard.
8. To permit an accessory structure located in the interior side yard (shed).
9. To permit a minimum rear yard setback of 1.92 m to a dwelling (attached cabana).
10. To permit a minimum rear yard setback of 0.65 m to the mechanical shed.
11. To permit a minimum interior side yard of 0.91 m (mechanical shed).
12. To permit a minimum interior side yard of 0.68 m (shed).

By-Law Requirement(s) (By-law 1-88):

7. A swimming pool shall only be located in the rear yard.
8. Any accessory building or structure shall be located in the rear yard.
9. A minimum rear yard setback of 7.5 m is required.
10. A minimum rear yard setback of 7.5 m is required.
11. A minimum interior side yard setback of 1.2 m is required.
12. A minimum interior side yard setback of 1.2 m is required.

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Comments:

The Owners are requesting relief to facilitate the construction of a storage shed, an attached cabana to the existing single detached dwelling, and the replacement of an existing mechanical shed with the above noted variances.

The Development Planning Department has no objection to Variances 1 and 7 as the subject property is a pie-shaped lot and the pool would be in what is effectively used as the rear yard. The pool also complies with all rear yard and side yard setback requirements which allows for safe access around the pool area.

The Development Planning Department has no objection to Variances 2, 5, 10 and 11 as the reduction to the interior side yard and rear yard setbacks for the mechanical shed would not have adverse impacts to the neighbouring properties and maintains an appropriate area for drainage.

Upon recommendations from the Development Planning Department, the Owners have revised their application to reduce the height and increase the rear yard setback of the proposed attached cabana. The Development Planning Department has no objection to Variances 3 and 9 for the revised attached cabana. The cabana will be screened to the south by existing trees on 27 Monica Court and to the west by a shed on 79 Father Ermanno Crescent. The applicant has also proposed tree plantings between the cabana and rear fence to further screen the cabana from the neighbouring properties to the rear. The proposed 1.92 m setback will also facilitate safe access and drainage.

Upon recommendations from the Development Planning Department, the Owners have revised their application to reduce the height of the proposed storage shed to minimize the massing impact on the neighbour and prominence of the building from the street. The Development Planning Department has no objection to Variances 4, 8 and 12 as the reduction to the interior side yard setback for the storage shed does not have adverse impacts to the neighbouring properties and it maintains an appropriate area for drainage. The shed is also located in what is effectively used as the rear yard due to the shape of the lot.

The existing dwelling has a lot coverage of 27.4 %. The existing dwelling's footprint with attached cabana will have a combined lot coverage of 35.9%. The storage shed, mechanical shed, and all building eaves will have lot coverages of 1.32%, 0.85% and 5.5% respectively. By-law 001-2021 currently includes eaves as part of the lot coverage calculation whereas By-law 1-88 does not. The 3.57% increase to the permitted lot coverage is minor in nature. The total lot coverage of 38.07% would also comply with Zoning By-law 01-2021 once the eaves are removed from the calculation as part of a general housekeeping amendment that was approved at the June 28th, 2022 Council meeting and is currently in its appeal period. As such, the Development Planning Department has no objection to Variance 6 for the increase in lot coverage.

Accordingly, the Development Planning Department can support the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-laws, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None

Comments Prepared by:

Joshua Cipolletta, Planner I
David Harding, Senior Planner

To: Committee of Adjustment
From: Lindsay Haviland, Building Standards Department
Date: July 11, 2022
Applicant: Frances Ayala & Frank Varvaro
Location: PLAN 65M2511 Lot 83 municipally known as 24 Monica Court
File No.(s): A125/22

Zoning Classification:

The subject lands are zoned R3(EN) – Estate Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.277 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 01-2021	Variance requested
1	An outdoor swimming pool shall only be permitted in the rear yard of a lot [Section 4.21.2]	To permit an outdoor swimming pool not to be located in the rear yard of a lot.
2	A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 metres to any lot line [Section 4.1.2.1b.]	To permit a residential accessory structure (mechanical shed) to be located 0.65 m to the rear lot line.
3	A minimum Rear yard of 7.5 metres is required [Section 14.277, Schedule T-17]	To permit a minimum rear yard of 1.92 metres to the dwelling (attached cabana).
4	A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 metres to any lot line [Section 4.1.2.1b.]	To permit a residential accessory structure (shed) to be located 0.68 m to the interior side lot line.
5	A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 metres to any lot line [Section 4.1.2.1b.]	To permit a residential accessory structure (mechanical shed) to be located 0.91 m to the interior side lot line.
6	A maximum lot coverage of 40% is required [Schedule T-17].	To permit a maximum Lot coverage of 43.57%.

The subject lands are R3 - Residential Zone and subject to the provisions of Exception 9(476) under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
7	A swimming pool shall only be located in the rear yard [Section 4.1.1 i)].	To permit a swimming pool not to be located in the rear yard.
8	Any accessory building or structure shall be located in the rear yard [Section 4.1.1 c)].	To permit an accessory structure located in the interior side yard (Shed).
9	A minimum rear yard setback of 7.5 metres is required [Schedule T-17].	To permit a minimum rear yard setback of 1.92 metres to a dwelling (attached cabana).
10	A minimum rear yard setback of 7.5 metres is required [Schedule T-17].	To permit a minimum rear yard setback of 0.65 metres to the mechanical shed.

11	A minimum interior side yard setback of 1.2 metres is required [Schedule T-17].	To permit a minimum interior side yard of 0.91 m (mechanical shed).
12	A minimum interior side yard setback of 1.2 metres is required [Schedule T-17].	To permit a minimum interior side yard of 0.68 metres (shed).

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m²

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

Date: May 31st, 2022

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A125-22**

Related Files:

Applicant Frances Ayala Frank Varvaro

Location 24 Monica Court

COMMENTS:

- | | |
|-------------------------------------|--|
| <input type="checkbox"/> | We have reviewed the proposed Variance Application and have no comments or objections to its approval. |
| <input checked="" type="checkbox"/> | We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below). |
| <input type="checkbox"/> | We have reviewed the proposed Variance Application and have the following concerns (attached below). |

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

Pravina Attwala

Subject: FW: [External] RE: A125/22 (24 MONICA COURT) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

From: Gordon, Carrie <carrie.gordon@bell.ca>
Sent: June-01-22 8:21 AM
To: Pravina Attwala <Pravina.Attwala@vaughan.ca>
Cc: Committee of Adjustment <CofA@vaughan.ca>
Subject: [External] RE: A125/22 (24 MONICA COURT) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

Hello Pravina

Bell Canada has no comments for this minor variance.

Kind regards,

Carrie Gordon

Carrie Gordon



Associate, External Liaison
Right of Way Control Centre
140 Bayfield St, Fl 2
Barrie ON, L4M 3B1
T: 705-722-2244/844-857-7942
F :705-726-4600

Pravina Attwala

Subject: FW: [External] RE: A125/22 (24 MONICA COURT) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

From: Hamedeh Razavi <Hamedeh.Razavi@trca.ca>

Sent: May-30-22 3:44 PM

To: Pravina Attwala <Pravina.Attwala@vaughan.ca>

Subject: [External] RE: A125/22 (24 MONICA COURT) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

Hi Pravina,

The subject property is not located within TRCA's Regulated Area. As such, any site alteration or development on the property would not require a permit and TRCA's Planning and Regulatory policy interests are not impacted.

TRCA has no comments and no objection to the application.

Regards,

Hamedeh Razavi MURP

Planner I

Development Planning and Permits | Development and Engineering Services

T: [\(416\) 661-6600](tel:(416)661-6600) ext. 5256

E: Hamedeh.Razavi@trca.ca

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca/101-Exchange-Avenue-Vaughan-ON-L4K-5R6) | [trca.ca](https://www.trca.ca)



TRCA's Offices are closed to visitors. The plan input and review function continues during the Coronavirus pandemic. In order to reduce the potential of transmission, TRCA requests that all development planning and permit applications and materials be submitted digitally in PDF format only. Paper submissions are discouraged and may result in extended timeframes for review. All documents should be submitted via an on-line file sharing service (e.g. OneDrive, Dropbox or corporate file sharing services) or via email in PDF format. Documents can be submitted directly to me at Hamedeh.Razavi@trca.ca We thank you for your cooperation as we respond to the current situation.

Pravina Attwala

Subject: FW: [External] RE: A125/22 (24 MONICA COURT) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

From: Hurst, Gabrielle <Gabrielle.Hurst@york.ca>

Sent: June-02-22 12:05 PM

To: Pravina Attwala <Pravina.Attwala@vaughan.ca>

Cc: Committee of Adjustment <CofA@vaughan.ca>

Subject: [External] RE: A125/22 (24 MONICA COURT) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

Good afternoon Pravina,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Gabrielle

Gabrielle Hurst MCIP, RPP | Programs and Process Improvement | Planning and Economic Development | The Regional Municipality of York | 1-877 464 9675 ext 71538 | gabrielle.hurst@york.ca | www.york.ca

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				