

ITEM #: 6.19

**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A178/22
111 GREENBROOKE DR WOODBRIDGE**

COA REPORT SUMMARY

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES:**

*Please see **Schedule B** of this report for a copy of Staff and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	X	X		General Comments
Building Standards -Zoning Review *Schedule B	X	X		General Comments
Building Inspection (Septic)	X			No Comments Recieved to Date
Development Planning *Schedule B	X	X	X	Recommend Approval w/Conditions
Development Engineering	X	X	X	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	X	X	X	No Comments or Concerns
By-law & Compliance, Licensing & Permits	X	X		No Comments or Concerns
Development Finance	X	X		No Comments or Concerns
Real Estate				
Fire Department	X	X		No Comments Recieved to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	X			No Comments Recieved to Date
Ministry of Transportation (MTO) *Schedule B	X			No Comments Recieved to Date
Region of York *Schedule B	X	X		General Comments
Alectra *Schedule B	X	X		General Comments
Bell Canada *Schedule B	X	X		General Comments
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Recieved to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				

PUBLIC & APPLICANT CORRESPONDENCE

*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant	Marco Razzolini	111 Greenbrooke Drive	07/18/2022	Justification Letter & Presentation to Committee

PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

File Number	Date of Decision MM/DD/YYYY	Decision Outcome
A243/14	11/20/2014	Approved with conditions.

ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

None	
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**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A178/22
111 GREENBROOKE DR WOODBRIDGE**

FILE MANAGER: Lenore Providence, Administrative Coordinator - Committee of Adjustment

ITEM NUMBER: 6.19	CITY WARD #: 3
APPLICANT:	Anthony Ruffolo, Frank Ruffolo & Anna Marzilli Ruffolo
AGENT:	Sakora Design
PROPERTY:	111 Greenbrooke Dr Woodbridge ON L4L 8L1
ZONING DESIGNATION:	See Below
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit the construction of a proposed dwelling and swimming pool.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned RE(EN) – Estate Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.162 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 01-2021	Variance requested
1	A pool shall be located in the rear yard only. [Section 4.21, By-law 001-2021 as amended]	To permit a pool not located in the rear yard.
2	A minimum interior side yard (south) setback of 8.8 metres is required. [Section 4.5, By-law 001-2021 as amended]	To permit a minimum interior side yard setback of 7.21 metres.
3	A minimum interior side yard setback (north) of 16.4 metres is required. [Section 4.5, By-law 001-2021 as amended]	To permit a minimum interior side yard setback of 6.13 metres.
4	A maximum building height of 9.5 metres is required. [Section 7.2.2, By-law 001-2021 as amended]	To permit a maximum building height of 10.2 metres.

The subject lands are zoned RR – Rural Residential and subject to the provisions of Exception 9(310) under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
5	A maximum building height of 9.5 metres is permitted. [Schedule A, By-law 1-88a.a.]	To permit a maximum building height of 10.2 metres.
6	A maximum lot coverage of 10% is permitted. [Schedule A, By-law 1-88a.a.]	To permit a maximum lot coverage of 13.3%.
7	A pool shall be located in the rear yard only. [Section 4.1.1, By-law 1-88a.a.]	To permit a pool not located in the rear yard.

HEARING INFORMATION

DATE OF MEETING: Thursday, July 28, 2022
TIME: 6:00 p.m.
MEETING LOCATION: Vaughan City Hall, Council Chamber, 2141 Major Mackenzie Drive, Vaughan
LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca
 If you would like to submit written comments, please quote file number above and submit by mail or email to:
Email: cofa@vaughan.ca

HEARING INFORMATION

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

THE DEADLINE TO REGISTER TO SPEAK OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT COMMENTS

Date Public Notice Mailed:	July 14, 2022	
Date Applicant Confirmed Posting of Sign:	July 19, 2022	
Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small>	The homeowners require more space to accommodate their growing family.	
Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	None	
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice. *A revised submission may be required to address staff / agency comments received as part of the application review process. *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>	No	
Adjournment Fees: In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice. An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice.		
Committee of Adjustment Comments:	Applicant updated the plan, altering the driveway to preserve trees and stay out of the TPZ. The applicant advised on July 13, 2022 that the change did not alter the variances being requested.	
Committee of Adjustment Recommended Conditions of Approval:	None	

BUILDING STANDARDS (ZONING) COMMENTS

**See Schedule B for Building Standards (Zoning) Comments

Building Standards Recommended Conditions of Approval:	None
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DEVELOPMENT PLANNING COMMENTS

**See Schedule B for Development Planning Comments.

Development Planning Recommended Conditions of Approval:	That the final Landscape Plan be approved to the satisfaction of the Development Planning Department.
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DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#)
 [Link to Pool Permit](#)
 [Link to Curb Curt Permit](#)
 [Link Culvert Installation](#)

As the proposed structures area in the subject property is over 10m², the owner/ applicant needs to obtain a lot grading permit from Development Inspection and Lot Grading division of the City's Development Engineering Department. Please note any in ground structure over 10 m² requires a grading permit. Please contact COA application engineering reviewer after receiving the grading permit to clear the condition. (Condition attached).

The Owner/applicant shall apply for a pool permit with the Development Engineering (DE) Department. Please visit the grading permits page at City of Vaughan website to learn how to apply for the Pool Permit. If you have any question about Pool Grading Permit, please contact the Development Engineering Department through email at DEPermits@vaughan.ca.

The proposed work by the owner/ applicant is increasing the lot coverage area from 10% to 13.3% in the subject property. The added hardscape may have impact on City's Storm Water management system. Staff suggests the owner/applicant to introduce Low-impact Development (LID) measures (Bioswales, Permeable pavers, Rain Gardens, Rain Barrels etc.) to reduce the impacts.

The owner/applicant shall contact Transportation and Fleet Management Services (Joint Operations Centre) if there is any work required related to the driveway culvert. Please visit the culvert work at City of Vaughan website for more information.

The Development Engineering (DE) Department does not object to variance application A178/22 subject to the following condition(s):

Development Engineering Recommended Conditions of Approval:	The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final Lot Grading and/or Servicing Permit prior to any work being undertaken on the property. Please visit the grading permits page at City of Vaughan website to learn how to apply for the grading permit. If you have any question about grading permit, please contact the Development Engineering Department through email at DEPermits@vaughan.ca.
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PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

Recommended condition of approval:

PFH Recommended Conditions of Approval:	Applicant/owner shall obtain a "Private Property Tree Removal & Protection" permit through the forestry division prior to any construction works on the subject property.
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DEVELOPMENT FINANCE COMMENTS

That the payment of the City Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and City-wide Development Charge By-law in effect at time of payment.

That the payment of Region of York Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Regional Development Charges By-laws in effect at time of payment.

That the payment of Education Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Education Act and York Region District School Board and York Catholic District School Board Development Charges By-laws in effect at time of payment.

That the payment of applicable Area Specific Development Charges are payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Area Specific Development Charge By-laws in effect at time of payment.

Demolition development charge credit will expire on Feb 11, 2025.

Demolition development charge credits valid for a period of 48 months from date of demolition permit issuance. After 48 months, full development charges apply as per by-laws.

Development Finance Recommended Conditions of Approval:	None
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BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

No comments received to date.

BCLPS Recommended Conditions of Approval:	N/A
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BUILDING INSPECTION (SEPTIC) COMMENTS

No comments received to date.

Building Inspection Recommended Conditions of Approval:	N/A
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FIRE DEPARTMENT COMMENTS

All proposed construction for the noted land is to go through the proper permitting process and adhere to OBC (Ontario Building Code). Requirements for approval prior to construction.

Fire Department Recommended Conditions of Approval:	None
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SCHEDULES TO STAFF REPORT

*See Schedule for list of correspondence

Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Staff & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “**if required**”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Planning joshua.cipolletta@vaughan.ca	That the final Landscape Plan be approved to the satisfaction of the Development Planning Department.
2	Development Engineering farzana.khan@vaughan.ca	The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City’s Development Engineering Department for final Lot Grading and/or Servicing Permit prior to any work being undertaken on the property. Please visit the grading permits page at City of Vaughan website to learn how to apply for the grading permit. If you have any question about grading permit, please contact the Development Engineering Department through email at DEPermits@vaughan.ca .
3	Parks, Forestry and Horticulture Operations zachary.quizzetti@vaughan.ca	Applicant/owner shall obtain a “Private Property Tree Removal & Protection” permit through the forestry division prior to any construction works on the subject property.

IMPORTANT INFORMATION – PLEASE READ

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

IMPORTANT INFORMATION – PLEASE READ

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

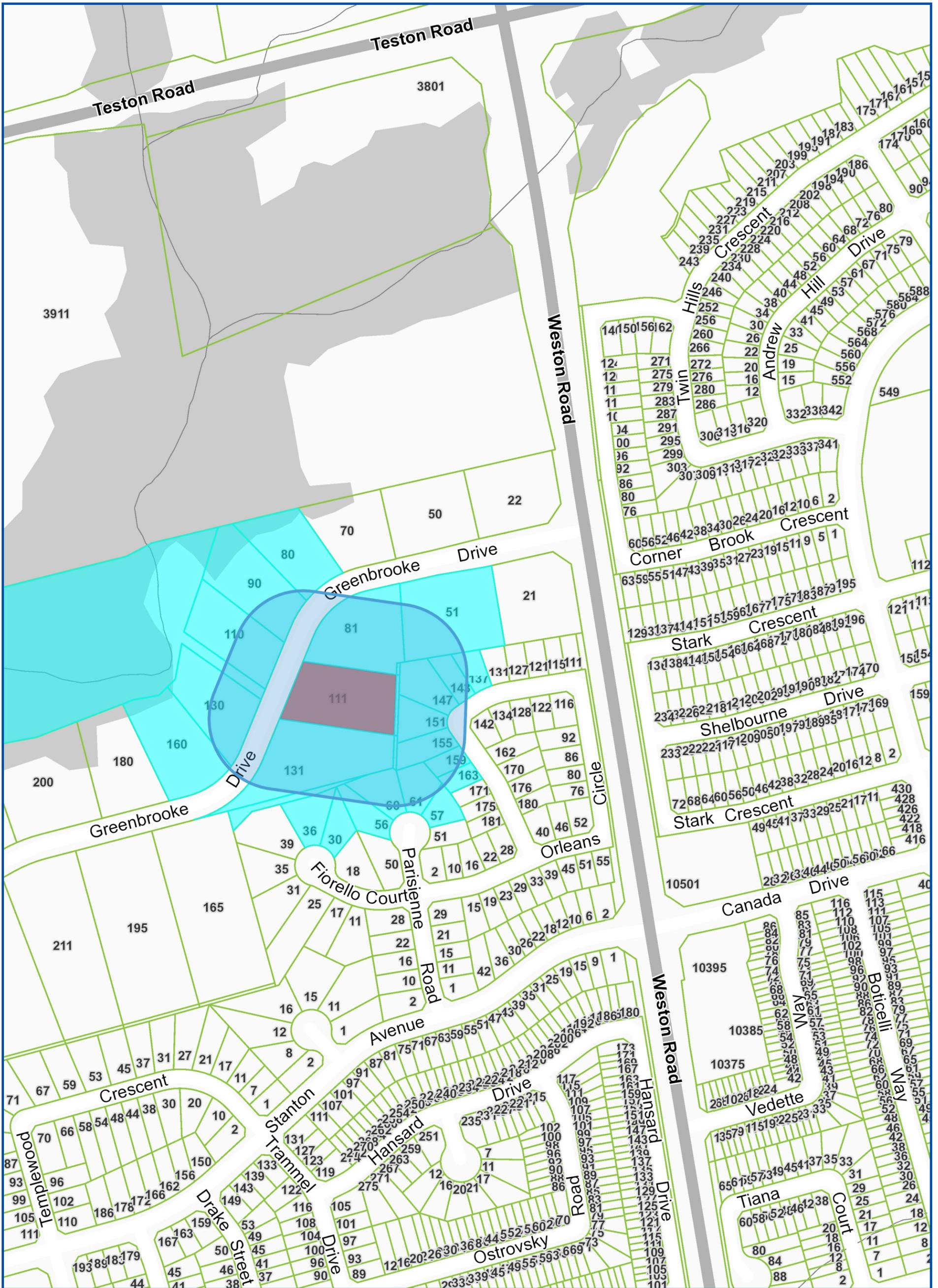
That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

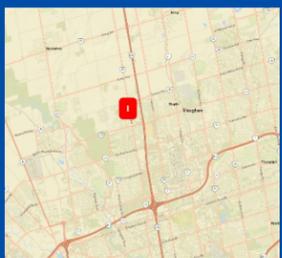
That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS



Map Information:



Title: 111 Greenbrooke Drive, Woodbridge

NOTIFICIATION MAP - A178/22

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1:4,514

0 0.07 km

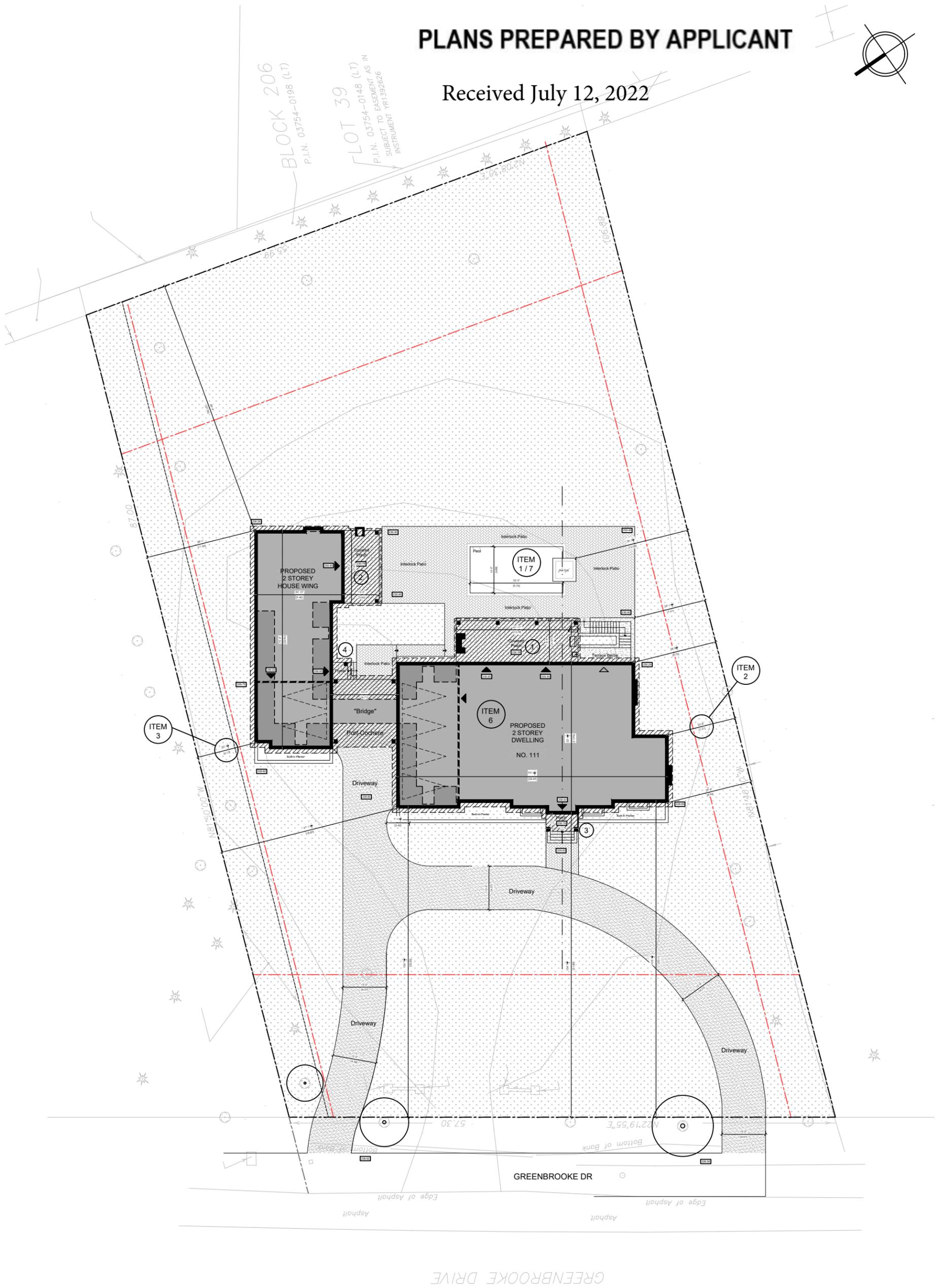
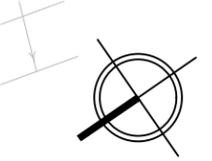


Created By:
Infrastructure Delivery
Department
June 13, 2022 7:11 PM

Projection:
NAD 83
UTM Zone
17N

PLANS PREPARED BY APPLICANT

Received July 12, 2022



SITE PLAN - FULL

SCALE = 1/32" - 1'-0"

111 GREENBROOKE DR
 PROJECT # - 22-01
 ISSUE DATE - 22/07/12

PRINTS AND SPECIFICATIONS SHALL NOT BE REPRODUCED WITHOUT THE PERMISSION OF THE DESIGNER. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING. IF THERE ARE ANY DIMENSIONS, DETAILS OR DESIGN INTENT THAT CANNOT BE DETERMINED FROM THE DRAWINGS, THE DESIGNER SHALL BE NOTIFIED PRIOR TO PROCEEDING WITH FABRICATION AND/OR CONSTRUCTION. DRAWINGS ARE NOT TO BE SCALED.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS:

QUALIFICATION INFORMATION

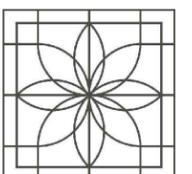
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4.7.(5) DIVISION C OF THE ONTARIO BUILDING CODE.

MARCO RAZZOLINI 111893
 NAME SIGNATURE BCIN

REGISTRATION INFORMATION

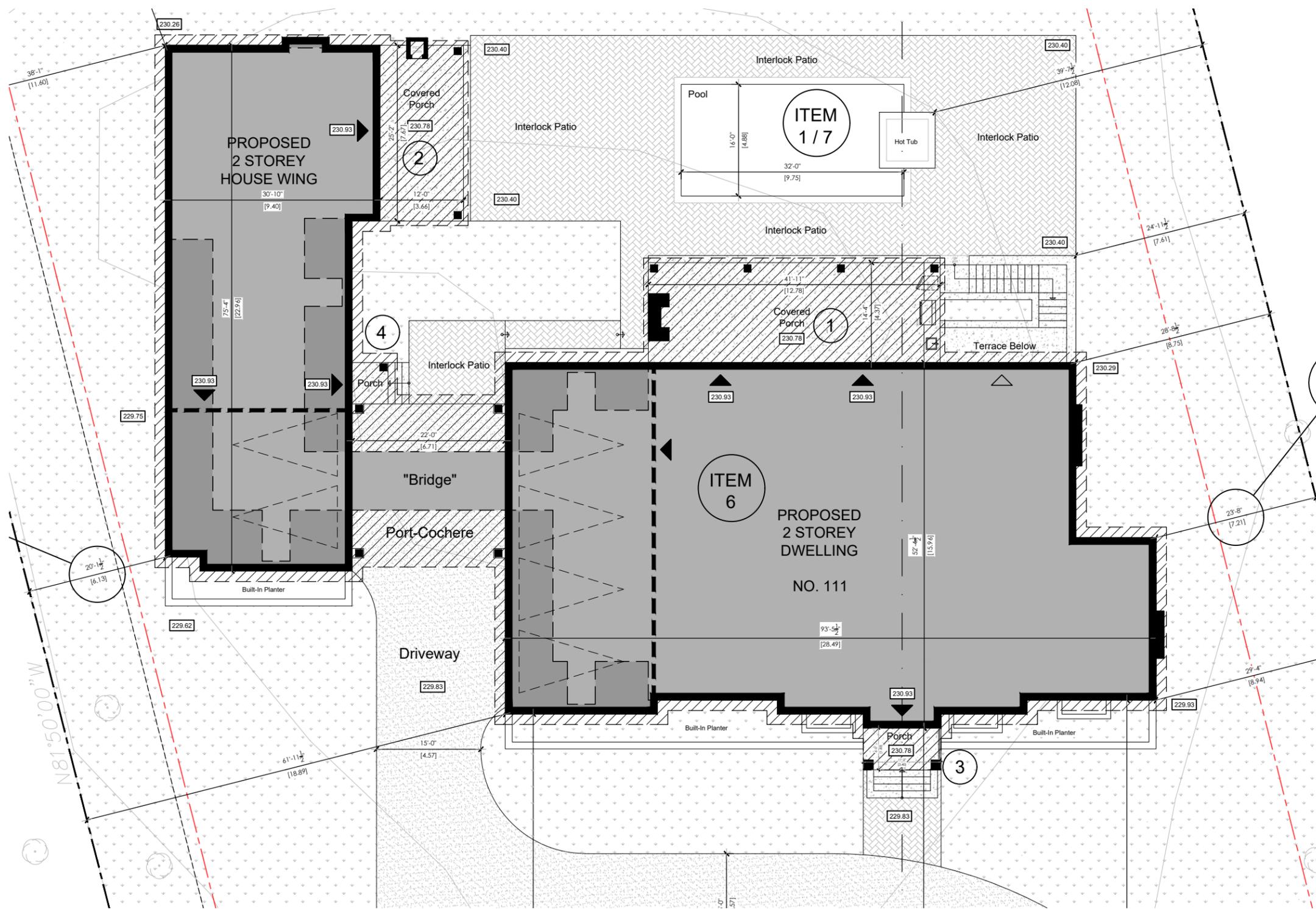
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4.7. DIVISION C OF THE ONTARIO BUILDING CODE.

SAKORA DESIGN INC. 123145
 NAME SIGNATURE BCIN



SAKORA
 DESIGN

A1.0



111 Greenbrooke Dr

Vaughan ON

Designation	RR (ex. 9-310)	RE (EN) (ex. 14.162)
Lot Area	5,392.22 sm	58,041.33 sf
Lot Frontage	57.30 m	187.99 ft
Lot Depth	96.95 m	318.08 ft

	Required		Proposed	
	Not Limited	sm	0.16	sm
FSI	Not Limited	sm	0.16	sm
Max GFA sm	Not Limited	sm	888.66	sm
Max GFA sf	Not Limited	sf	9,565.42	sf

By-Law 1-88			
Coverage	10%	13.26%	
Max Coverage sm	539.22 sm	714.88 sm	
Max Coverage sf	5,804.13 sf	7,694.88 sf	

By-Law 1-2021			
Coverage	Not Limited	14.98%	
Max Coverage sm	Not Limited	807.85 sm	
Max Coverage sf	Not Limited	8,695.68 sf	

Building Height			
Height	9.50 m	10.20 m	
Storeys	N/A sty	2 sty	

Setbacks			
Front	15.00 m	31.89 m	
Int Side L	4.50 m	6.13 m	
Int Side R	4.50 m	7.21 m	
Rear	15.00 m	27.36 m	

Encroachments			
Open Porch	1.80 m	N/A m	
Covered Porch	0.00 m	N/A m	
Arch Element	0.50 m	N/A m	
Window Projection	1.80 m	N/A m	

	Gross Floor Area	
	Sft	M2
Ground	5,009.36 sf	465.38 m2
Second	3,513.73 sf	326.44 m2
Second Attic	1,042.33 sf	96.84 m2
Garage (NIC)	1,500.43 sf	139.39 m2
Total	9,565.42 sf	888.66 m2
FSI	0.16	0.16

	Coverage 1-88	
	Sft	M2
House	6,509.78 sf	604.78 m2
Rear Porches	902.81 sf	83.87 m2
Wing Porch	30.62 sf	2.84 m2
Front Porch	67.00 sf	6.22 m2
Bridge	184.67 sf	17.16 m2
Total	7,694.88 sf	714.88 m2
Percentage	13.26%	13.26%

	Coverage 1-2021	
	Sft	M2
House	6,509.78 sf	604.78 m2
Rear Porches	902.81 sf	83.87 m2
Wing Porch	30.62 sf	2.84 m2
Front Porch	67.00 sf	6.22 m2
Bridge	184.67 sf	17.16 m2
Eaves	1,000.80 sf	92.98 m2
Total	8,695.68 sf	807.85 m2
Percentage	14.98%	14.98%

Landscape Stats			
Driveway Width	9.00 m	6.71 m	
Driveway Circle	15.00 m	9.14 m	
F Landscape Area	50%	79%	
F Soft L.A	75%	99%	
R Soft L.A	60%	89%	

LANDSCAPE CALCULATIONS

Front Yard Landscaping Calculations			
Total Front Yard	21,573.92 sft	2,004.28 sm	
Permitted Encroachments			
Porch	67.00 sft	6.22 sm	
Steps	40.67 sft	3.78 sm	
Permitted Driveway	4,522.43 sft	420.15 sm	
	0.00 sft	0.00 sm	
	0.00 sft	0.00 sm	
	0.00 sft	0.00 sm	
Total Removed	4,630.10 sft	430.15 sm	

Rear Yard Landscaping Calculations			
Total Rear Yard	25,580.51 sft	2,376.51 sm	
Permitted Encroachments			
Porch	902.81 sft	83.87 sm	
	0.00 sft	0.00 sm	
	0.00 sft	0.00 sm	
	0.00 sft	0.00 sm	
	0.00 sft	0.00 sm	
Total Removed	902.81 sft	83.87 sm	

Front Landscape Area	16,943.82 sft	1,574.13 sm
	79%	

Front Landscape Area	24,677.70 sft	2,292.63 sm
	96%	

Front Hard Landscaping			
Planter	129.13 sft	12.00 sm	
Walkway	102.97 sft	9.57 sm	
	0.00 sft	0.00 sm	
	0.00 sft	0.00 sm	
	0.00 sft	0.00 sm	
Total Hard L.A	232.10 sft	21.56 sm	

Rear Hard Landscaping			
Steps	67.08 sft	6.23 sm	
Walk-Up	259.50 sft	24.11 sm	
Patio	2,326.50 sft	216.14 sm	
	0.00 sft	0.00 sm	
	0.00 sft	0.00 sm	
Total Hard L.A	2,653.08 sft	246.48 sm	

Soft Landscaping	16,711.72 sft	1,552.57 sm
	99%	

Soft Landscaping	22,024.62 sft	2,046.15 sm
	89%	

SITE PLAN & STATS

SCALE = 1/16" = 1'-0"

111 GREENBROOKE DR
PROJECT # - 22-01
ISSUE DATE - 22/07/06

PRINTS AND SPECIFICATIONS SHALL NOT BE REPRODUCED WITHOUT THE PERMISSION OF THE DESIGNER. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING. IF THERE ARE ANY DIMENSIONS, DETAILS OR DESIGN INTENT THAT CANNOT BE DETERMINED FROM THE DRAWINGS, THE DESIGNER SHALL BE NOTIFIED PRIOR TO PROCEEDING WITH FABRICATION AND/OR CONSTRUCTION. DRAWINGS ARE NOT TO BE SCALED.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS:

QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4.7.(5) DIVISION C OF THE ONTARIO BUILDING CODE.

MARCO RAZZOLINI 111893
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4.7. DIVISION C OF THE ONTARIO BUILDING CODE.

SAKORA DESIGN INC. 123145
NAME SIGNATURE BCIN



A1.1



FRONT ELEVATION (NORTH)

SCALE = 3/32" = 1'-0"

111 GREENBROOKE DR
 PROJECT # - 22-01
 ISSUE DATE - 22/07/06

PRINTS AND SPECIFICATIONS SHALL NOT BE REPRODUCED WITHOUT THE PERMISSION OF THE DESIGNER. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING. IF THERE ARE ANY DIMENSIONS, DETAILS OR DESIGN INTENT THAT CANNOT BE DETERMINED FROM THE DRAWINGS, THE DESIGNER SHALL BE NOTIFIED PRIOR TO PROCEEDING WITH FABRICATION AND/OR CONSTRUCTION. DRAWINGS ARE NOT TO BE SCALED.

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MARCO RAZZOLINI 111893
 NAME SIGNATURE BCIN

REGISTRATION INFORMATION

REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4.7. DIVISION C OF THE ONTARIO BUILDING CODE.

SAKORA DESIGN INC. 123145
 NAME SIGNATURE BCIN



SAKORA
 DESIGN

A6.0



SIDE ELEVATION (WEST)

SCALE = 3/32" = 1'-0"

111 GREENBROOKE DR
 PROJECT # - 22-01
 ISSUE DATE - 22/07/06

PRINTS AND SPECIFICATIONS SHALL NOT BE REPRODUCED WITHOUT THE PERMISSION OF THE DESIGNER. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING. IF THERE ARE ANY DIMENSIONS, DETAILS OR DESIGN INTENT THAT CANNOT BE DETERMINED FROM THE DRAWINGS, THE DESIGNER SHALL BE NOTIFIED PRIOR TO PROCEEDING WITH FABRICATION AND/OR CONSTRUCTION. DRAWINGS ARE NOT TO BE SCALED.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS:

QUALIFICATION INFORMATION

REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4.7.(5) DIVISION C OF THE ONTARIO BUILDING CODE.

MARCO RAZZOLINI 111893
 NAME SIGNATURE BCIN

REGISTRATION INFORMATION

REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4.7. DIVISION C OF THE ONTARIO BUILDING CODE.

SAKORA DESIGN INC. 123145
 NAME SIGNATURE BCIN



SAKORA
 DESIGN

A7.0



REAR ELEVATION (SOUTH)

SCALE = 3/32" = 1'-0"

111 GREENBROOKE DR

PROJECT # - 22-01

ISSUE DATE - 22/07/06

PRINTS AND SPECIFICATIONS SHALL NOT BE REPRODUCED WITHOUT THE PERMISSION OF THE DESIGNER. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING. IF THERE ARE ANY DIMENSIONS, DETAILS OR DESIGN INTENT THAT CANNOT BE DETERMINED FROM THE DRAWINGS, THE DESIGNER SHALL BE NOTIFIED PRIOR TO PROCEEDING WITH FABRICATION AND/OR CONSTRUCTION. DRAWINGS ARE NOT TO BE SCALED.

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QUALIFICATION INFORMATION

REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4.7.(5) DIVISION C OF THE ONTARIO BUILDING CODE.

MARCO RAZZOLINI 111893
 NAME SIGNATURE BCIN

REGISTRATION INFORMATION

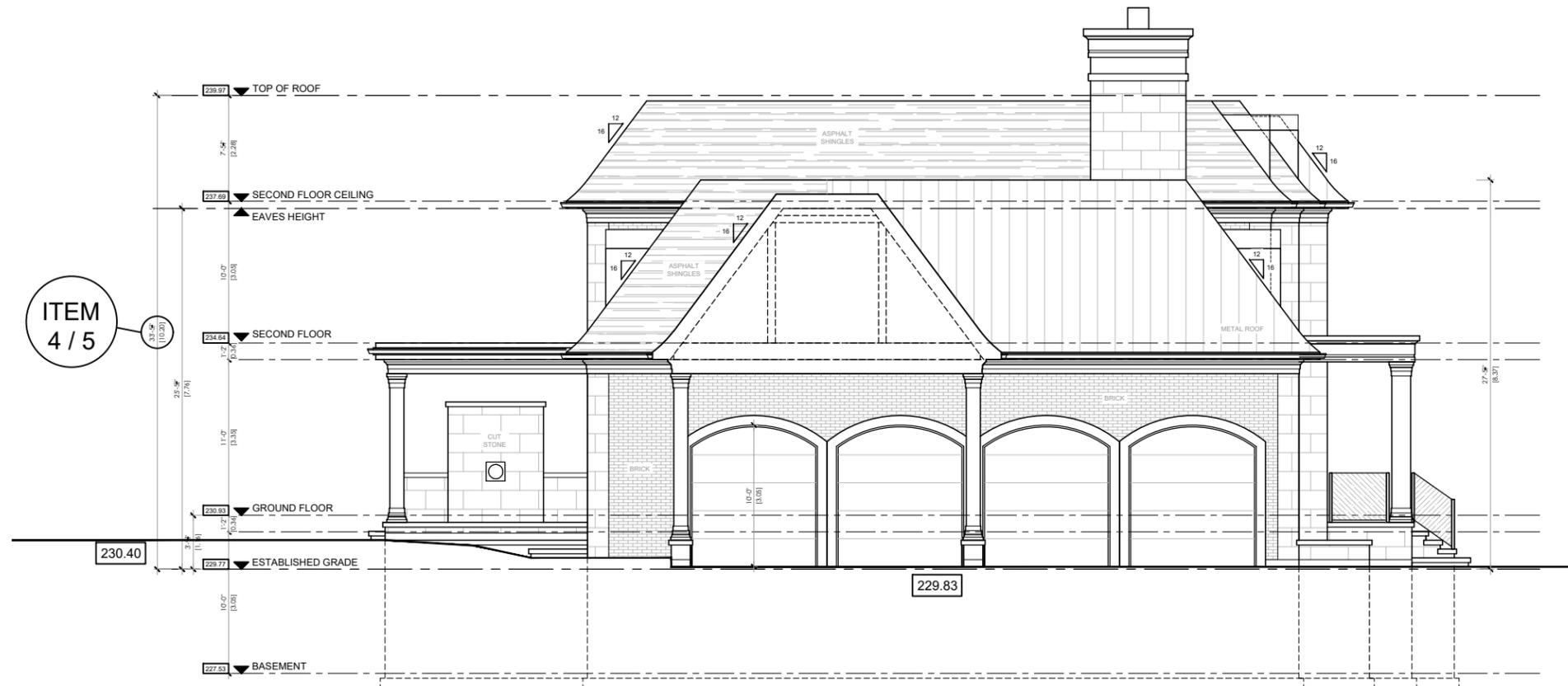
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4.7. DIVISION C OF THE ONTARIO BUILDING CODE.

SAKORA DESIGN INC. 123145
 NAME SIGNATURE BCIN



SAKORA
DESIGN

A8.0



INTERIOR ELEVATION (EAST)

SCALE = 3/32" - 1'-0"

111 GREENBROOKE DR

PROJECT # - 22-01

ISSUE DATE - 22/07/06

PRINTS AND SPECIFICATIONS SHALL NOT BE REPRODUCED WITHOUT THE PERMISSION OF THE DESIGNER. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING. IF THERE ARE ANY DIMENSIONS, DETAILS OR DESIGN INTENT THAT CANNOT BE DETERMINED FROM THE DRAWINGS, THE DESIGNER SHALL BE NOTIFIED PRIOR TO PROCEEDING WITH FABRICATION AND/OR CONSTRUCTION. DRAWINGS ARE NOT TO BE SCALED.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS:

QUALIFICATION INFORMATION

REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4.7.(5) DIVISION C OF THE ONTARIO BUILDING CODE.

MARCO RAZZOLINI 111893
NAME SIGNATURE BCIN

REGISTRATION INFORMATION

REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4.7. DIVISION C OF THE ONTARIO BUILDING CODE.

SAKORA DESIGN INC. 123145
NAME SIGNATURE BCIN



A9.0



SIDE ELEVATION (EAST)

SCALE = 3/32" = 1'-0"

111 GREENBROOKE DR
 PROJECT # - 22-01
 ISSUE DATE - 22/07/06

PRINTS AND SPECIFICATIONS SHALL NOT BE REPRODUCED WITHOUT THE PERMISSION OF THE DESIGNER. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING. IF THERE ARE ANY DIMENSIONS, DETAILS OR DESIGN INTENT THAT CANNOT BE DETERMINED FROM THE DRAWINGS, THE DESIGNER SHALL BE NOTIFIED PRIOR TO PROCEEDING WITH FABRICATION AND/OR CONSTRUCTION. DRAWINGS ARE NOT TO BE SCALED.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS:

QUALIFICATION INFORMATION

REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4.7.(5) DIVISION C OF THE ONTARIO BUILDING CODE.

MARCO RAZZOLINI 111893
 NAME SIGNATURE BCIN

REGISTRATION INFORMATION

REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4.7. DIVISION C OF THE ONTARIO BUILDING CODE.

SAKORA DESIGN INC. 123145
 NAME SIGNATURE BCIN



A10.0



INTERIOR ELEVATION (WEST)

SCALE = 3/32" = 1'-0"

111 GREENBROOKE DR
 PROJECT # - 22-01
 ISSUE DATE - 22/07/06

PRINTS AND SPECIFICATIONS SHALL NOT BE REPRODUCED WITHOUT THE PERMISSION OF THE DESIGNER. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING. IF THERE ARE ANY DIMENSIONS, DETAILS OR DESIGN INTENT THAT CANNOT BE DETERMINED FROM THE DRAWINGS, THE DESIGNER SHALL BE NOTIFIED PRIOR TO PROCEEDING WITH FABRICATION AND/OR CONSTRUCTION. DRAWINGS ARE NOT TO BE SCALED.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS:

QUALIFICATION INFORMATION

REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4.7.(5) DIVISION C OF THE ONTARIO BUILDING CODE.

MARCO RAZZOLINI 111893
 NAME SIGNATURE BCIN

REGISTRATION INFORMATION

REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4.7. DIVISION C OF THE ONTARIO BUILDING CODE.

SAKORA DESIGN INC. 123145
 NAME SIGNATURE BCIN



A11.0

SCHEDULE B: STAFF & AGENCY COMMENTS

DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	X			No Comments Recieved to Date
Ministry of Transportation (MTO) *Schedule B	X			No Comments Recieved to Date
Region of York *Schedule B	X	X		General Comments
Alectra *Schedule B	X	X		General Comments
Bell Canada *Schedule B	X	X		General Comments
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Recieved to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				
Development Planning	X	X	X	Recommend Approval/no conditions
Building Standards (Zoning)	X	X		General Comments

Date: July 6th , 2022

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A178-22**

Related Files:

Applicant Anthony Ruffolo, Frank Ruffolo, Anna Marzilli Ruffolo

Location 111 Greenbrook Drive



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

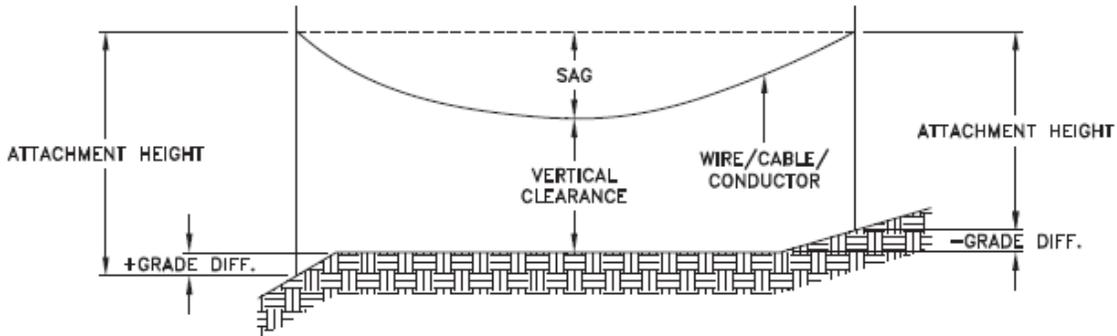
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

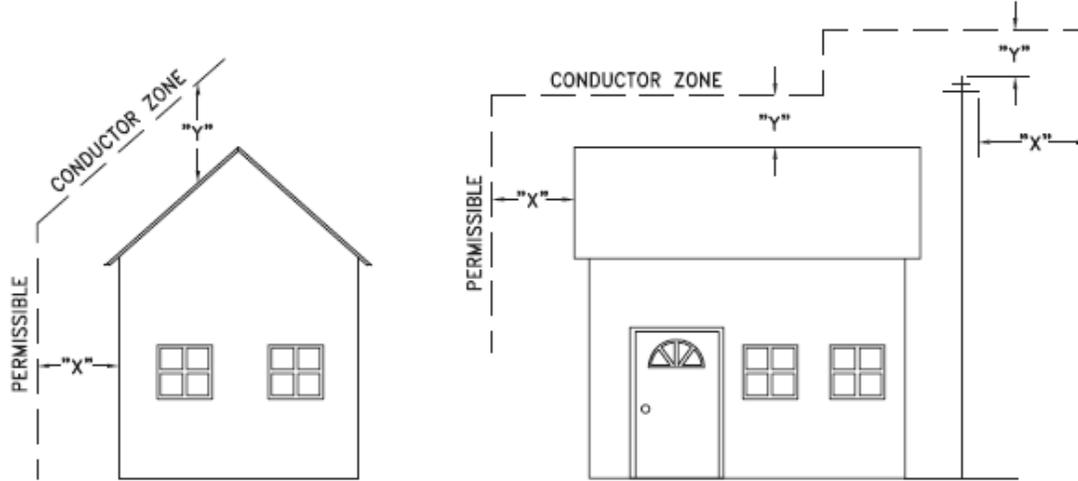
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

From: [Gordon, Carrie](#)
To: [Christine Vigneault](#)
Cc: [Committee of Adjustment](#)
Subject: [External] RE: A178/22 (111 Greenbrook Drive) - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Tuesday, July 5, 2022 3:46:46 PM

Hello,

Bell Canada has no comments for this minor variance.

Kind regards,

Carrie Gordon

Carrie Gordon



Associate, External Liaison
Right of Way Control Centre
140 Bayfield St, Fl 2
Barrie ON, L4M 3B1
T: 705-722-2244/844-857-7942
F :705-726-4600

From: Christine Vigneault <Christine.Vigneault@vaughan.ca>
Sent: Tuesday, July 5, 2022 3:38 PM
To: ROWCC <rowcentre@bell.ca>; Gordon, Carrie <carrie.gordon@bell.ca>;
developmentservices@york.ca; yorkplan@trca.ca; Hamedeh.Razavi@trca.ca;
engineeringadmin@powerstream.ca; TCenergy@mhbcplan.com
Subject: [EXT]A178/22 (111 Greenbrook Drive) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

Hello,

Please email comments and recommendations on the above noted application to cofa@vaughan.ca. If you wish to be notified of the decision, please confirm in writing.

The deadline to submit comments on this application is **July 11, 2022**.

Should you have any questions or require additional information please contact the undersigned.

Regards,

Christine Vigneault, AMP, ACST
Manager, Development Services & Secretary Treasurer to the Committee of Adjustment
905-832-2281, ext. 8332 | christine.vigneault@vaughan.ca

City of Vaughan | Office of the City Clerk
2141 Major Mackenzie Dr., Vaughan ON L6A 1T1
vaughan.ca

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External Email: *Please use caution when opening links and attachments /* **Courriel externe:** *Soyez prudent avec les liens et documents joints*

From: [Development Services](#)
To: [Christine Vigneault](#)
Cc: [Committee of Adjustment](#); [Kanji, Teema](#)
Subject: [External] RE: A178/22 (111 Greenbrook Drive) - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Monday, July 11, 2022 12:36:15 PM
Attachments: [image001.png](#)
[image003.png](#)

Hello Christine,

The Regional Municipality of York has completed its review of the above minor variance.

Water Resources (York Region) does not have any objections/concerns subject to the following comments with respect to the Minor Variance application to change setbacks as it relates to Source Protection policy. Should the proposal change and/or the application be amended, Water Resources will require recirculation for comment and/or approval.

Thank you,
Niranjan

Niranjan Rajevan, M.Pl. | Associate Planner, Programs and Process Improvement, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

Our Values: Integrity, Commitment, Accountability, Respect, Excellence



Our Mission: **Working together to serve our thriving communities – today and tomorrow**

Please consider the environment before printing this email.

From: Christine Vigneault <Christine.Vigneault@vaughan.ca>
Sent: Tuesday, July 5, 2022 3:38 PM
To: rowcentre@bell.ca; carrie.gordon@bell.ca; Development Services <developmentservices@york.ca>; yorkplan@trca.ca; Hamedeh.Razavi@trca.ca; engineeringadmin@powerstream.ca; TCEnergy@mhbcplan.com
Subject: A178/22 (111 Greenbrook Drive) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, forward it to isitsafe@york.ca then delete it from your inbox. If you think you may have clicked on a phishing link, report it to the IT Service Desk, ext. 71111, and notify your supervisor immediately.

Hello,

Please email comments and recommendations on the above noted application to cofa@vaughan.ca. If you wish to be notified of the decision, please confirm in writing.

To: Committee of Adjustment
From: Sarah Scauzillo, Building Standards Department
Date: July 5, 2022
Applicant: Anthony Ruffolo, Frank Ruffolo & Anna Marzilli Ruffolo
Location: PLAN 65M2192 Lot 19 municipally known as 111 Greenbrooke Drive
File No.(s): A178/22

Zoning Classification:

The subject lands are zoned RE(EN) – Estate Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.162 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 01-2021	Variance requested
1	A pool shall be located in the rear yard only. [Section 4.21, By-law 001-2021 as amended]	To permit a pool not located in the rear yard.
2	A minimum interior side yard (south) setback of 8.8 metres is required. [Section 4.5, By-law 001-2021 as amended]	To permit a minimum interior side yard setback of 7.21 metres.
3	A minimum interior side yard setback (north) of 16.4 metres is required. [Section 4.5, By-law 001-2021 as amended]	To permit a minimum interior side yard setback of 6.13 metres.
4	A maximum building height of 9.5 metres is required. [Section 7.2.2, By-law 001-2021 as amended]	To permit a maximum building height of 10.2 metres.

The subject lands are zoned RR – Rural Residential and subject to the provisions of Exception 9(310) under Zoning By-law 1-88, as amended.

#	Zoning By-law 1-88	Variance requested
5	A maximum building height of 9.5 metres is permitted. [Schedule A, By-law 1-88a.a.]	To permit a maximum building height of 10.2 metres.
6	A maximum lot coverage of 10% is permitted. [Schedule A, By-law 1-88a.a.]	To permit a maximum lot coverage of 13.3%.
7	A pool shall be located in the rear yard only. [Section 4.1.1, By-law 1-88a.a.]	To permit a pool not located in the rear yard.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m2

Other Comments:

Zoning By-law 01-2021	
1	Pool equipment shall be constructed in accordance with Section 4.13
2	This proposed dwelling has been reviewed as a Single Detached Dwelling Unit. A second dwelling unit is not permitted.

Zoning By-law 1-88	
3	Pool equipment shall be constructed in accordance with Section 3.14
4	This proposed dwelling has been reviewed as a Single Detached Dwelling Unit. A second dwelling unit is not permitted.

General Comments	
5	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development Planning
Date: July 19, 2022
Name of Owners: Anthony Ruffolo, Frank Ruffolo & Anna Marzilli Ruffolo
Location: 111 Greenbrooke Drive
File No.(s): A178/22

Proposed Variance(s) (By-law 001-2021):

1. To permit a pool not located in the rear yard.
2. To permit a minimum interior side yard setback of 7.21 m.
3. To permit a minimum interior side yard setback of 6.13 m.
4. To permit a maximum building height of 10.2 m.

By-Law Requirement(s) (By-law 001-2021):

1. A pool shall be located in the rear yard only.
2. A minimum interior side yard (south) setback of 8.8 m is required.
3. A minimum interior side yard setback (north) of 16.4 m is required.
4. A maximum building height of 9.5 m is required.

Proposed Variance(s) (By-law 1-88):

5. To permit a maximum building height of 10.2 m.
6. To permit a maximum lot coverage of 13.3%.
7. To permit a pool not located in the rear yard.

By-Law Requirement(s) (By-law 1-88):

5. A maximum building height of 9.5 m is permitted.
6. A maximum lot coverage of 10% is permitted.
7. A pool shall be located in the rear yard only.

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Comments:

The Owners are requesting relief to facilitate the construction of a single detached dwelling and pool with the above noted variances.

The Development Planning Department has no objection to Variances 1 and 7 for the proposed pool as it is located behind the main part of the dwelling in what is effectively to be used as part of the rear yard. The pool also complies with all rear yard and side yard setback requirements.

The subject lands are identified as part of an Established Neighbourhood by Zoning By-law 001-2021, so it is the existing setbacks that apply to the property. The property is also identified as being within a large lot neighbourhood in VOP 2010. The underlying "RE – Estate Residential Zone" permits 4.5 m interior side yard setbacks, indicating that this can be a sufficient distance to maintain attractive landscaping to preserve the streetscape character that more expansive amenity areas create in large lot neighbourhoods. Given that the proposed north and south side yard setbacks exceed the minimum requirement of the "RE Zone", and only corners of the dwelling would utilize the full extent of the requested relief, the Development Planning Department has no objection to Variances 2 and 3 for the reduced interior side yard setbacks.

The Development Planning Department has no objection to Variances 4 and 5 for the proposed dwelling height as it is appropriate for the size of the lot and will not have a negative visual impact to the neighbourhood or the existing streetscape.

The dwelling proposes a lot coverage of 13.3%. The total lot coverage is suitable for the context of the existing neighbourhood: the lot is sufficiently sized to absorb the proposed built form, it will not pose a significant visual impact to the adjacent properties, and

complies with Zoning By-law 001-2021. As such, the Development Planning Department has no objection to Variance 6 for the increase in lot coverage.

In support of the application, the Owners have submitted an Arborist Report and Tree Protection Plan prepared by Tree and Ravine Inc., dated May 30, 2022. The report inventoried 25 trees, seven of which are proposed to be removed. Urban Design staff have reviewed the report and concur with its recommendations.

Accordingly, the Development Planning Department can support the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-laws, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application, subject to the following condition.

Condition of Approval:

If the Committee finds merit in the application, the following condition of approval is recommended:

1. That the final Landscape Plan be approved to the satisfaction of the Development Planning Department.

Comments Prepared by:

Joshua Cipolletta, Planner I
David Harding, Senior Planner

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant	Marco Razzolini	111 Greenbrooke Drive	07/18/2022	Justification Letter & Presentation to Committee

Cover Letter

JULY 15, 2022

TO: COMMITTEE OF ADJUSTMENT, CITY OF TORONTO
FILE #: A178/22
ADDRESS: 111 GREENBROOK DR, VAUGHAN



Dear Chair and Committee Members,

On behalf of our client, (hereinafter referred to as the "Owner"), we are pleased to submit this letter for Minor Variance on the lands municipally addressed as 111 Greenbrooke Dr in the City of Vaughan (hereinafter referred to as the "Subject Lands"). The purpose of the Minor Variance application is to construct a new single family detached dwelling.

PROPOSAL DESCRIPTION

The Subject Lands occupy a total lot area of 5,392.22 sq. m., with 57.30 m. of frontage along Greenbrooke Dr, and a lot depth of 96.95 m. The Subject Lands are located on a bend of Greenbrooke Dr. As a result, the existing shape of the lot is an irregular trapezoid with parallel side lot lines and skewed rear and front lot lines. The Subject Lands are mostly unoccupied; however, did previously consist of an under construction single family detached dwelling that was demolished in 2021 after a major fire damaged the dwelling while in the finishing phase of construction in 2020.

The dwelling as partially constructed was a renovated single family detached dwelling originally built in the 1980s. The owner and previous applicant applied to The Committee of Adjustment in 2014 to increase the footprint and height of the dwelling. The previous application (A143/14) sought the following variances that were approved with minor conditions relating to septic and TRCA:

1. To permit a maximum building height of 11.45 m
 - a. Allowed was 9.5 m
2. To permit a maximum lot coverage of 10.07%
 - a. Allowed was 10.00%
3. To permit a maximum driveway width of 6.9m measured form 4.25m from the street line onto the private side of the lot where there is no street curb
4. To permit a maximum driveway width of 44.00 m
 - a. Allowed was 9.0 m

The application heard by The Committee included a proposed site plan, and proposed elevations attached in Appendix C. The owner and previous applicant then applied for and received a building permit in 2016.

While completing the interior finishes of the dwelling in 2020, a major fire damaged the structure. As a result, the house was demolished in 2021. The lot now currently consists of trees at the front of the Subject Lands and sparsely spread throughout. The center of the lot is mostly fill from the once existing dwelling.

The new proposal is to construct a new 888.66 sq. m. single family detached dwelling with porte-cochere, 2 integral garages with 6 parking spaces, 2 rear porches, pool and circular double entrance access driveway. The proposed dwelling will have a front yard setback of 31.89 m, a rear yard setback of 27.36 m, a north side yard setback of 6.13 m and a south side setback of 7.21 m. The proposed dwelling is 2 storeys (10.20 m) measured from established grade to the top of the main roof. The proposed lot coverage is 714.88 sq. m (13.30%) under by-law 1-88 and 807.85 sq. m (14.98%) under by-law 1-2021.

The proposed dwelling has been oriented on the lot to respect the existing spatial separation character of the community and to limit the removal or existing vegetation where feasible in order to fit harmoniously into the existing landscape.

REQUESTED RELIEF – VARIANCES REQUIRED (01-2021)

1. POOL LOCATION

Proposal

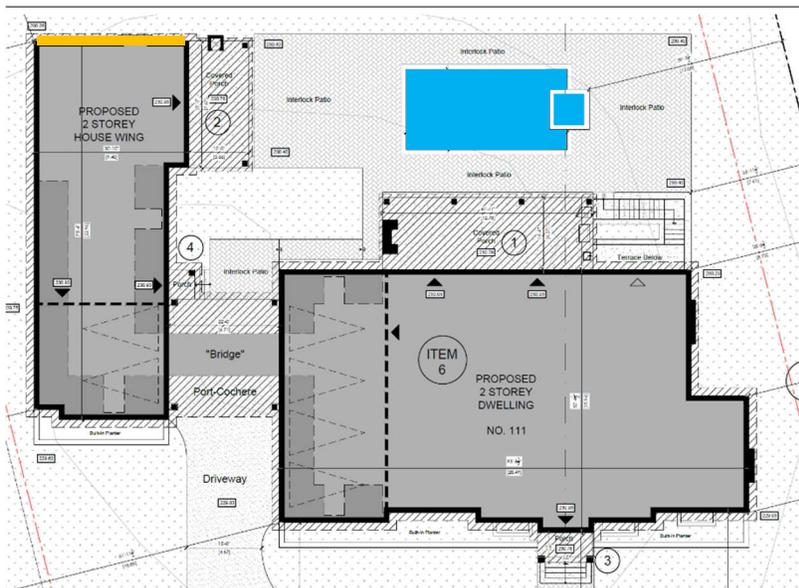
To permit a pool not located in the rear yard.

By-law Requirement

A pool shall be located in the rear yard only.
[Section 4.21, By-law 001-2021 as amended].

Notes for Item 1 & 7:

A proposed pool is required to be located in the rear yard of a dwelling only. The rear yard as defined in the zoning by-law "Means the yard extending across the full width of the lot between the rear lot line and the nearest part of a building on the lot". Zoning staff has interpreted that the nearest part of the dwelling to the rear lot line is shown in yellow below. Given the irregular lot size and L-shape house design the pool is considered to not be in the rear yard.



Site plan showing proposed pool location

2. SOUTH SIDE YARD SETBACK

Proposal

To permit a minimum interior side yard setback of 7.21 metres.

By-law Requirement

A minimum interior side yard (south) setback of 8.8 metres is required.
[Section 4.5, By-law 001-2021 as amended]

Notes: see notes outlined in Item 3.

3. NORTH SIDE YARD SETBACK

Proposal

To permit a minimum interior side yard setback of 6.13 metres.

By-law Requirement

A minimum interior side yard (south) setback of 16.40 metres is required.
[Section 4.5, By-law 001-2021 as amended]

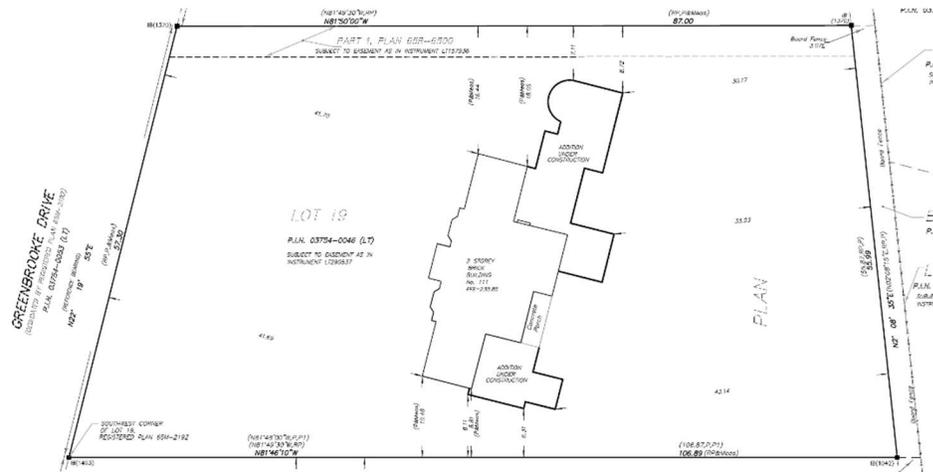
Notes for Item 2 & 3:

The required side yard setback for the proposed dwelling has been determined by using the requirements outlined in Section 4.5.2. of bylaw 1-2021.

To summarize, this section states that the minimum side yard setback for a dwelling that has a proposed height greater than 9.5m shall be the greater of A) the requirement for the zone or B) the existing setback.

The interpretation from the Planning Department has outlined the existing setbacks as 8.8 m (south) and 16.4 m (north), while the minimum required for the RR & RE zone is 4.5m. These required existing setbacks have been determined based on the existing structure built in the 1980s and not the as built house that was under construction and which CofA had approved when the fire took place in 2020. The definition of existing in the zoning by-law requires that the building permit from 2016 must have been closed prior to the fire, for the structure to be considered existing.

The approved setbacks at the time were 6.13 m (south) and 7.11m (north), combined 13.42 m. For context, the combined setback as proposed in this application is 13.34 m - only a 0.08 m minor decrease from the CofA approved and under construction house. The required setback for an undeveloped lot in the RR or RE zone is 4.5m.



Survey from 2016 showing the as-built building extension. Side setbacks noted as 6.13 m (south) and 7.11m (north).



Proposed site plan with the under construction dwelling highlighted in Blue



Image from 2014 (google street view)
Prior to original work



Image from 2018 (google street view)
During Construction – foundation, exterior walls & roof complete

4. BUILDING HEIGHT

Proposal

To permit a maximum building height of 10.20 metres.

By-law Requirement

A maximum building height of 9.5 metres is required.
[Section 7.2.2, By-law 001-2021 as amended]

Notes:

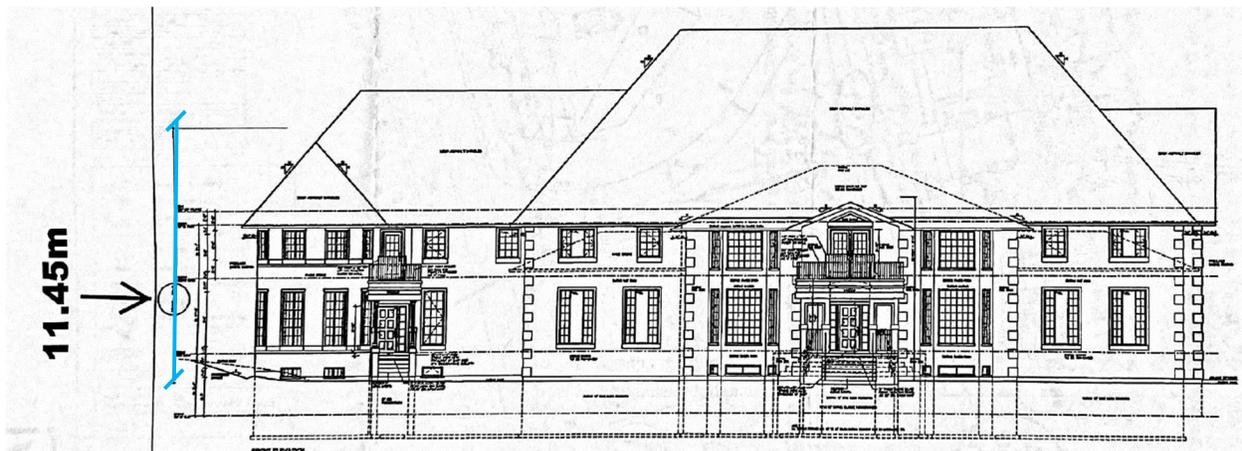
The required building height is 9.5 m, while the proposed building height is 10.02 m.

The Subject Lands increase in height from the front property line to the rear property line. The difference in height from the southwest corner of the Subject Lands to the northeast corner is 5.95 m. The proposed dwelling is located in the center of this slope. As a result, the dwelling is higher above finished grade at the front than it is at the rear. Added to the need for a height variance is the location of where the average

grade markers are taken - as noted the front of structure is where the grade in relation to the first floor is at its lowest. The proposed height that is sought in this application is 10.20 m, while the proposed height at the rear of the structure is 9.50 m as noted by the orange dimension below. The approval from 2014 proposed a maximum height of 11.45 m measured to the mid-point of the structure as shown in the second image below by the blue dimension.



Proposed south side elevation highlights the grade difference from the front to rear of the structure. The orange dimension taken at the rear of the structure is 9.5m.



Front elevation approved in 2014 for a maximum building height of 11.45 m measured to the mid-point of the roof.

REQUESTED RELIEF – VARIANCES REQUIRED (1-88)

5. BUILDING HEIGHT

Proposal

To permit a maximum building height of 10.2 metres.

By-law Requirement

A maximum building height of 9.5 metres is permitted.
[Schedule A, By-law 1-88a.a.]

Notes: See “Notes” from Item 4 above.

6. LOT COVERAGE

Proposal

To permit a maximum lot coverage of 13.3%.

By-law Requirement

A maximum lot coverage of 10% is permitted.
[Schedule A, By-law 1-88a.a.]

Notes:

The proposed coverage is inclusive of the full extents of the structure as well as the front, side and rear covered porches. The house footprint accounts for 11.21% (604.78 sq m) of the proposed coverage while the porches account for 1.09% of the proposed coverage, this is outlined in the below chart.

Main Dwelling Footprint	604.78 m2	11.21%
Rear Porches	83.87 m2	1.55%
Wing Porch	2.84 m2	0.05%
Front Porch	6.22 m2	0.12%
Bridge	17.16 m2	0.31%
Total	714.88 m2	13.26%

The approved 2014 application sought a minor variance for an increase coverage of 10.07% (543 sq m) at that time covered porches did not factor into the proposal. When reviewed against each other the proposed house footprint is an increase of 61.78 sq m. The new proposed design places outdoor private amenity space including porches higher on the list of wishes from the client resulting in a higher proposed coverage. Lastly, under the new zoning by-law 1-2021, there is no maximum coverage for this property.

7. POOL LOCATION

Proposal

To permit a pool not located in the rear yard.

By-law Requirement

A pool shall be located in the rear yard only.
[Section 4.1.1, By-law 1-88a.a.]

Notes: See "Notes" from item 1. Above.

MINOR VARIANCE TESTS

We believe that the request for relief from the City of Vaughan Zoning By-law 1-2021 & 1-88 meets the four tests as set out under Section 45(1) of the *Planning Act*, as described above & below.

The Subject Lands are designated as Urban Area on Map 1 – Regional Structure in the York Region Official Plan. In our opinion, the proposed minor variance meets the general intent and purpose of the York Region Official Plan.

Under the City of Vaughan Official Plan, the Subject Lands are designated as "Low-Rise Residential" on Schedule 13 (Land Use). In our opinion, the proposed minor variance meets the general intent and purpose of the Vaughan Official Plan.

The Subject Lands are subject to the City of Vaughan Zoning By-law 1-88 and 1-2021 and are zoned RR / RE Residential Zone. The permitted use in the RR & RE Residential Zones allows for a single family detached dwelling.

As required by the Provincial Policy Statement the new dwellings will maintain the character of the neighbourhood by having a similar architectural quality to the other dwellings observed in the broader context, in our opinion that this proposal meets this requirement. The proposed design also maintains appropriate separation from the neighbouring lots and preserves existing vegetation where feasible to provide for additional privacy and screening.

Based on the above, we have worked hard to design a home to fit harmoniously into the existing context. In our opinion the requested variances are desirable for the appropriate development of the use of the Subject Lands.

SUMMARY

In conclusion, we believe the requested Minor Variance application for relief from the City of Vaughan Zoning By-law 1-88 & 1-2021 to permit the proposed two storey single detached dwelling is in the public interest and represents good design & planning.

If you have questions, please do not hesitate to contact us.

Thank you.

Your truly,

A handwritten signature in black ink, appearing to read 'MR', followed by a long, sweeping horizontal line that tapers to the right.

Marco Razzolini Founder & Principal Designer
BCIN | BURPI

APPENDIX A – PAST CofA DECISION NOTICES

Variance Proposed - Coverage			
Permitted/Required as per By-Law - 10% Coverage			
ADDRESS	FILE NUMBER	METRIC	DECISION
111 Greenbrooke Dr	A243-14	10.07%	Approved
24 Nesver Court	A087-13	10.93%	Approved
80 Greenbrooke Dr	A152-17	10.31%	Approved
111 Greenbrooke Dr	A178-22	13.30%	
24 Lee Anne Court	A211-13	21.56%	Approved
56 Abbruzze Court	A350-17	11.70%	Approved
Variance Proposed - Building Height			
Permitted/Required as per By-Law - 9.5 m			
ADDRESS	FILE NUMBER	METRIC	DECISION
111 Greenbrooke Dr	A178-22	10.20 m	
24 Lee Anne Court	A211-13	11.25 m	Approved
111 Greenbrooke Dr	A243-14	11.45 m	Approved
Variance Proposed - Side Yard Setback			
Permitted/Required as per By-Law - 4.5 m			
ADDRESS	FILE NUMBER	METRIC	DECISION
111 Greenbrooke Dr	A178-22	6.13 m	
24 Lee Anne Court	A211-13	4.11 m	Approved

APPENDIX B – PREVAILING CONTEXT (PAGE 1)

21 Greenbrooke Dr



22 Greenbrooke Dr



50 Greenbrooke Dr



51 Greenbrooke Dr



80 Greenbrooke Dr



90 Greenbrooke Dr



130 Greenbrooke Dr



131 Greenbrooke Dr



APPENDIX B – PREVAILING CONTEXT (PAGE 2)

160 Greenbrooke Dr



165 Greenbrooke Dr



195 Greenbrooke Dr



211 Greenbrooke Dr



261 Greenbrooke Dr



289 Greenbrooke Dr



300 Greenbrooke Dr



301 Greenbrooke Dr



APPENDIX C – ORIGINAL COFA APPLICATION FROM 2014
FOLLOWING PAGES

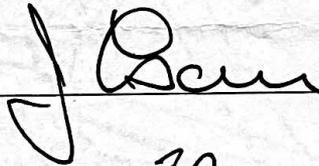
NOTICE OF DECISION

MINOR VARIANCES

- FILE NUMBER:** A243/14
- APPLICANT:** RUFFOLO, FRANK & RUFFOLO, ANNA MARZILLI
- PROPERTY:** Part of Lot 24; Concession 3 (being Lot 19, Plan 65M-2192) municipally known as 111 Greenbrooke Drive, Woodbridge
- ZONING:** The subject lands are zoned RR, Rural Residential and subject to the provisions of Exception 9(310) under By-law 1-88 as amended.
- PURPOSE:** To permit the construction of an addition to the existing dwelling.
- PROPOSAL:**
1. To permit a maximum building height of 11.45m
 2. To permit a maximum lot coverage of 10.07%
 3. Maximum driveway width of 6.9m measured from a point 4.25m from the street line onto the private side of the lot where there is no street curb.
 4. Maximum driveway width of 44.0m
- BY-LAW REQUIREMENT:**
1. Maximum building height 9.5m.
 2. Maximum lot coverage 10%.
 3. Maximum width of driveway 6.0m measured from a point 4.25m from the street line onto the private side of the lot where there is no street curb.
 4. Maximum driveway width 9.0m.

Sketches are attached illustrating the request.

MOVED BY: _____



SECONDED BY: _____



THAT the Committee is of the opinion that the variances sought, can be considered minor and are desirable for the appropriate development and use of the land. The general intent and purpose of the By-law and the Official Plan will be maintained.

THAT Application No. **A243/14, RUFFOLO, FRANK & RUFFOLO, ANNA MARZILLI**, be **APPROVED**, in accordance with the sketches attached and subject to the following conditions:

1. That a septic design is to be submitted accommodating the increase in flow created by the addition, if required, to the satisfaction of the Building Standards Department.
2. That the applicant submits the variance application fee of \$315.00 payable to the Toronto and Region Conservation Authority, if required to the satisfaction of the Toronto and Region Conservation Authority.
3. That if the condition(s) listed above is/are not fulfilled and the Building Permit is not applied for within twelve (12) months of the date this decision becomes final and binding, the said decision shall expire and shall be deemed to have been annulled and rescinded by the Committee. (PLEASE NOTE THAT THIS TIME PERIOD CANNOT BE EXTENDED IN ANY WAY, FAILURE TO MEET THIS DEADLINE WILL RESULT IN REQUIRING A NEW APPLICATION AND FEE.)

VERY IMPORTANT: IT IS THE RESPONSIBILITY OF THE OWNER/APPLICANT AND/OR AGENT TO OBTAIN AND PROVIDE A CLEARANCE LETTER FROM EACH AGENCY AND/OR DEPARTMENT LISTED IN THE CONDITIONS WHETHER "IF REQUIRED" APPEARS IN THE CONDITION OR NOT, AND FORWARD THIS CLEARANCE LETTER TO THE SECRETARY-TREASURER AS SOON AS THE CONDITIONS ARE FULFILLED.

FAILURE TO COMPLY WITH THIS PROCEDURE WILL RESULT IN A LETTER BEING FORWARDED BY THE SECRETARY-TREASURER INDICATING THIS FILE HAS LAPSED AND, THEREFORE, WILL NECESSITATE THAT A NEW APPLICATION BE SUBMITTED TO LEGALIZE THIS PROPERTY.

THIS MINOR VARIANCE DECISION IS NOT A BUILDING PERMIT AUTHORIZING CONSTRUCTION UNDER THE BUILDING CODE ACT, R.S.O. 1990, AS AMENDED. A BUILDING PERMIT MAY BE REQUIRED. PLEASE CONTACT THE BUILDING STANDARDS DEPARTMENT IN THE EVENT THAT YOU REQUIRE FURTHER CLARIFICATION.

CARRIED.

CHAIR: *A. Perrella*

Signed by all members present who concur in this decision:

A. Perrella
A. Perrella,
Chair

H. Zheng
H. Zheng,
Vice Chair

J. Cesario
J. Cesario,
Member

L. Fluxgold
L. Fluxgold,
Member

M. Mauti
M. Mauti,
Member

CERTIFICATION

I hereby certify this to be a true copy of the decision of the Committee of Adjustment, and this decision was concurred in by a majority of the members who heard this application.

T. Coles
Todd Coles, BES, MCIP, RPP
Manager of Development Services
and Secretary-Treasurer to
Committee of Adjustment

Date of Hearing: NOVEMBER 20, 2014
Last Date of Appeal: DECEMBER 10, 2014

APPEALS

APPEALS MUST BE RECEIVED BY THIS OFFICE NO LATER THAN 4:30 P.M. ON THE LAST DATE OF APPEAL NOTED ABOVE.

Should you decide to appeal this decision to the Ontario Municipal Board, a copy of an appeal form is available for download in Microsoft Word and Adobe Acrobat versions from the Ontario Municipal Board website at www.omb.gov.on.ca. If you do not have Internet access, these forms can be picked up at the City of Vaughan, Committee of Adjustment offices.

Please fill out Form A1 and follow the instructions as provided by the Ontario Municipal Board and submit your appeal to the City of Vaughan, Committee of Adjustment on or before the date stated above. You must enclose the completed form with the \$650.00 processing fee, paid by **certified cheque** or **money order**, to the "TREASURER, CITY OF VAUGHAN" and the appeal fee of \$125.00 for each application appealed, paid by **certified cheque** or **money order**, made payable to the "ONTARIO MINISTER OF FINANCE".

NOTE: The Planning Act provides for appeals to be filed by "persons". As groups or associations, such as residents or ratepayers groups which do not have incorporated status, may not be considered "persons" for the purposes of the Act, groups wishing to appeal this decision should do so in the name of individual group members, and not in the name of the group.

CONDITIONS

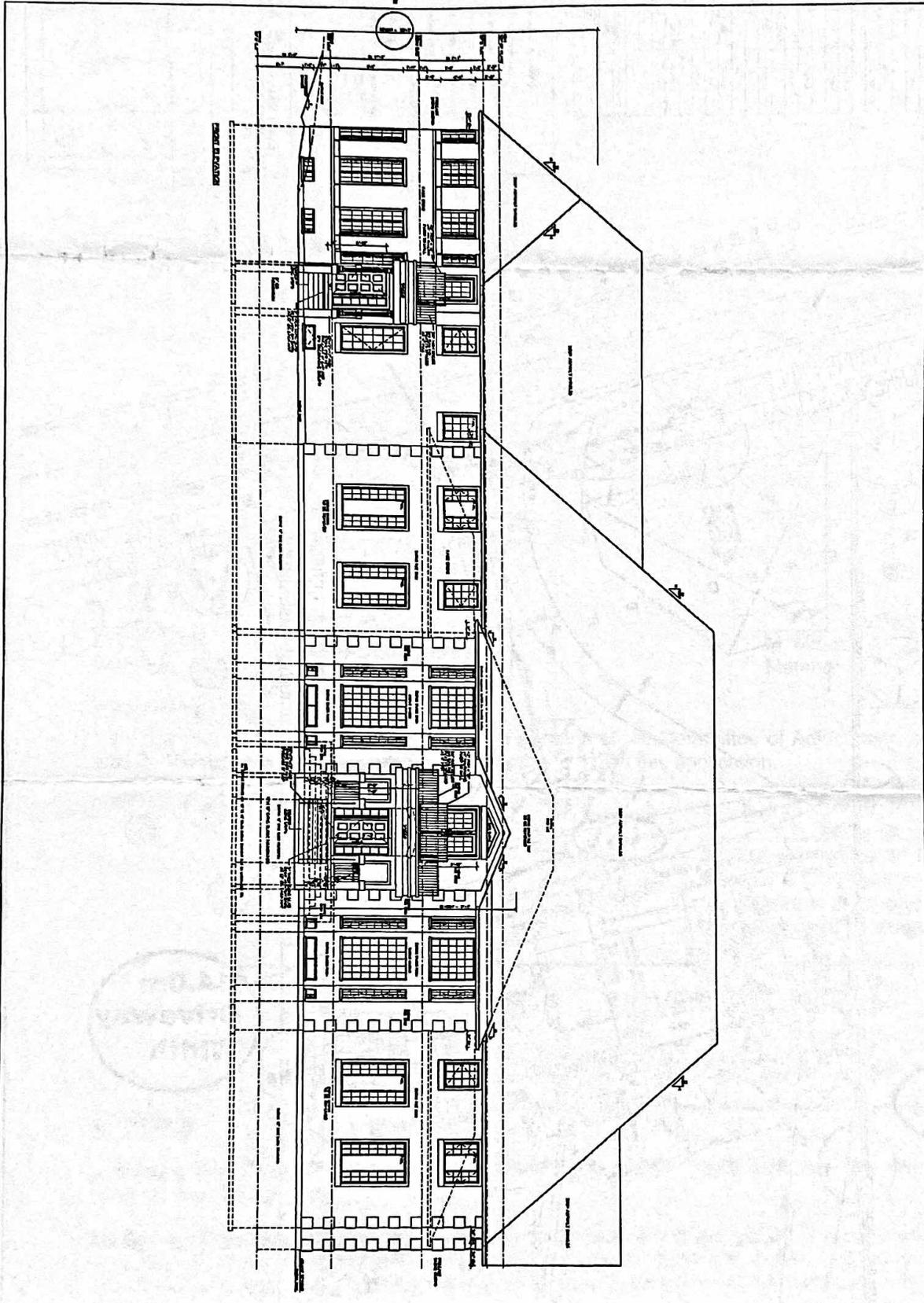
IF ANY CONDITIONS ARE IMPOSED ON THIS APPLICATION, THE FINAL DATE FOR FULFILLING THEM IS:
DECEMBER 10, 2015

Revised Sketch Oct. 16/14

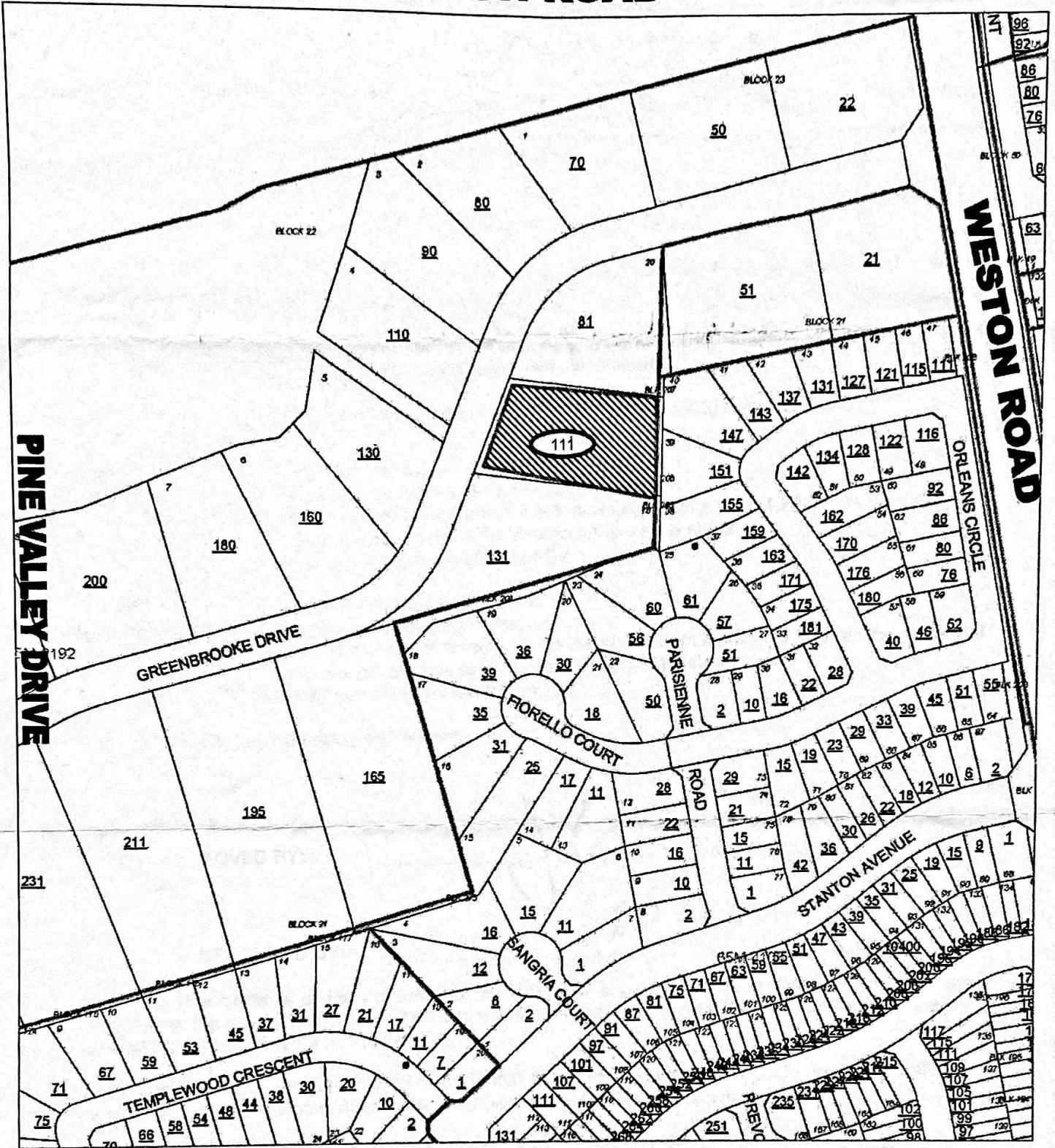
ANER VON H...

A243/14

11.45m



TESTON ROAD



MAJOR MACKENZIE DRIVE



COMMITTEE OF ADJUSTMENT
 2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
 Phone: (905)832-8585 Fax: (905)832-8535

	FILE NUMBER:	A243/14
	APPLICANT:	FRANK & ANNA MARZILLI RUFFOLO
		Subject Area Municipally known as 111 Greenbrooke Drive, Woodbridge

APPENDIX D – AS-BUILT SURVEY FROM 2016
FOLLOWING PAGES

SURVEYOR'S REAL PROPERTY REPORT
 PART 1 – PLAN OF SURVEY OF
 LOT 19
 REGISTERED PLAN 65M-2192
 CITY OF VAUGHAN
 REGIONAL MUNICIPALITY OF YORK



ALEX MARTON LTD.

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METRIC
 DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

PART 2 – REPORT

1. THIS REPORT WAS PREPARED FOR RUFFOLO ANNA MARZILLI, RUFFOLO FRANK. THE PROPERTY IS MUNICIPALLY KNOWN AS No. 111 GREENBROOK DRIVE.
2. REGISTERED EASEMENTS AND/OR RIGHTS OF WAY: THE PROPERTY IS SUBJECT TO EASEMENTS AS IN INSTRUMENTS LT290537 AND LT157936.
3. COMPLIANCE WITH MUNICIPAL ZONING BY-LAWS: THIS PLAN DOES NOT CERTIFY ZONING COMPLIANCE OR IDENTIFY WHAT ZONING RESTRICTIONS ARE INVOLVED.
4. ADDITIONAL REMARKS:
 NOTE THE POSITION OF THE BOARD FENCE ALONG THE EASTERLY LIMIT OF THE PROPERTY.

LEGEND

SYMBOL	DENOTES	DESCRIPTION
SIB	STANDARD IRON BAR	
IB	IRON BAR	
N,S,E,W	NORTH, SOUTH, EAST, WEST	
OU	ORIGIN UNKNOWN	
1493	J.F.G. YONGE, O.L.S.	
922	SCHAEFFER & REINTHALER LIMITED, O.L.S.	
1042	D.B. SEARLES SURVEYING LTD., O.L.S.	
1370	KROCHMAR SURVEYORS LTD., O.L.S.	
PIN	PROPERTY IDENTIFIER NUMBER	
MEAS	MEASURED	
RP	REGISTERED PLAN 65M-2192	
P	SURVEYOR'S REAL PROPERTY REPORT BY	
	BY KROMAR SURVEYORS LTD, O.L.S.,	
	DATED SEPTEMBER 18, 2007	
	PLAN 65R-30500	
P1		
FFE	FINISHED FLOOR ELEVATION	

BEARING NOTE

BEARINGS HEREON ARE ASTRONOMIC AND ARE REFERRED TO THE EASTERLY LIMIT OF GREENBROOK STREET AS SHOWN ON REGISTERED PLAN 65M-2192, HAVING A BEARING OF N22°19'55"E.

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM;
 2. THE SURVEY WAS COMPLETED ON THE 14TH DAY OF SEPTEMBER, 2016.

SEPTEMBER 15, 2016
 DATE

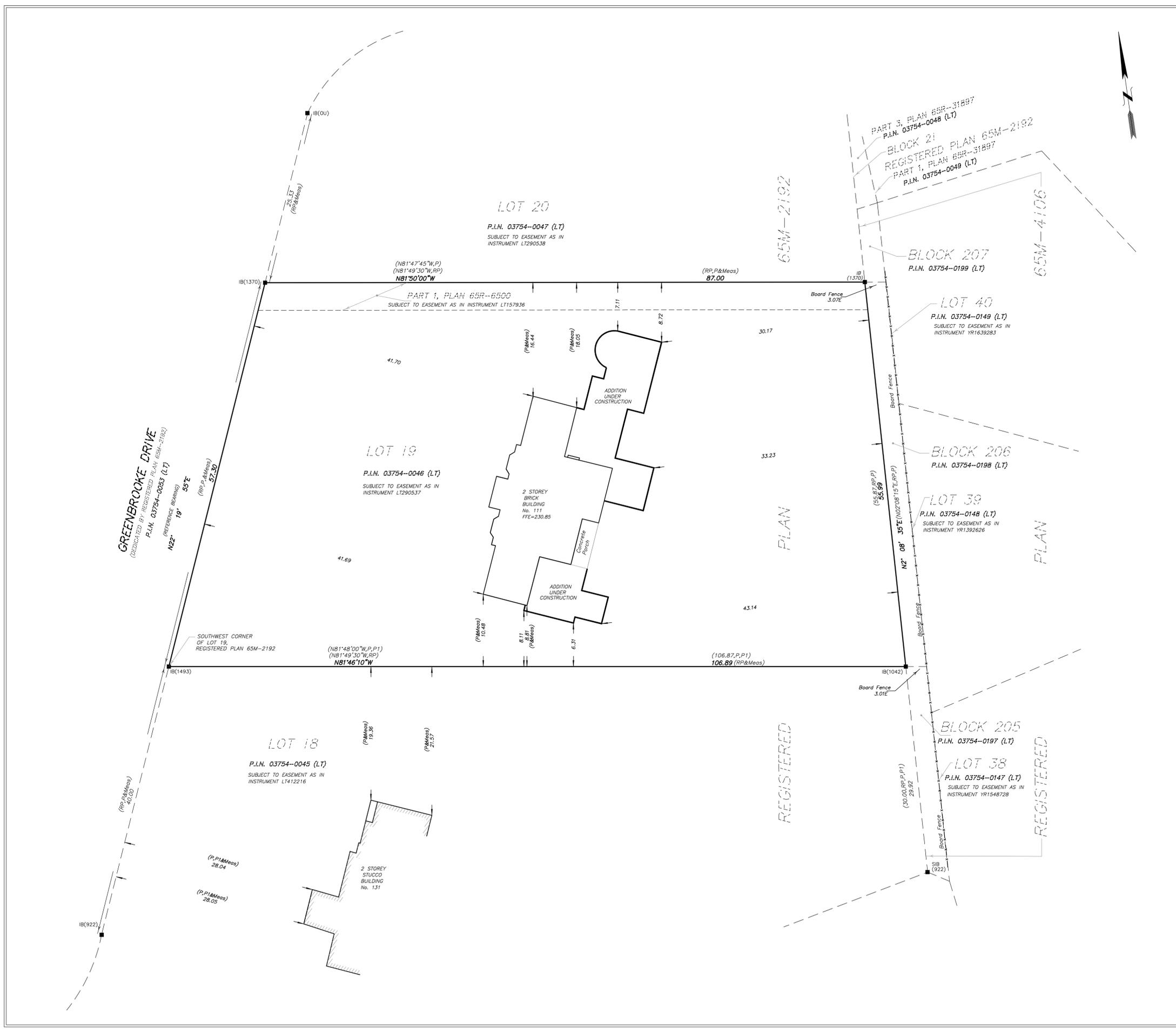
Alex Marton
 ALEX MARTON
 ONTARIO LAND SURVEYOR

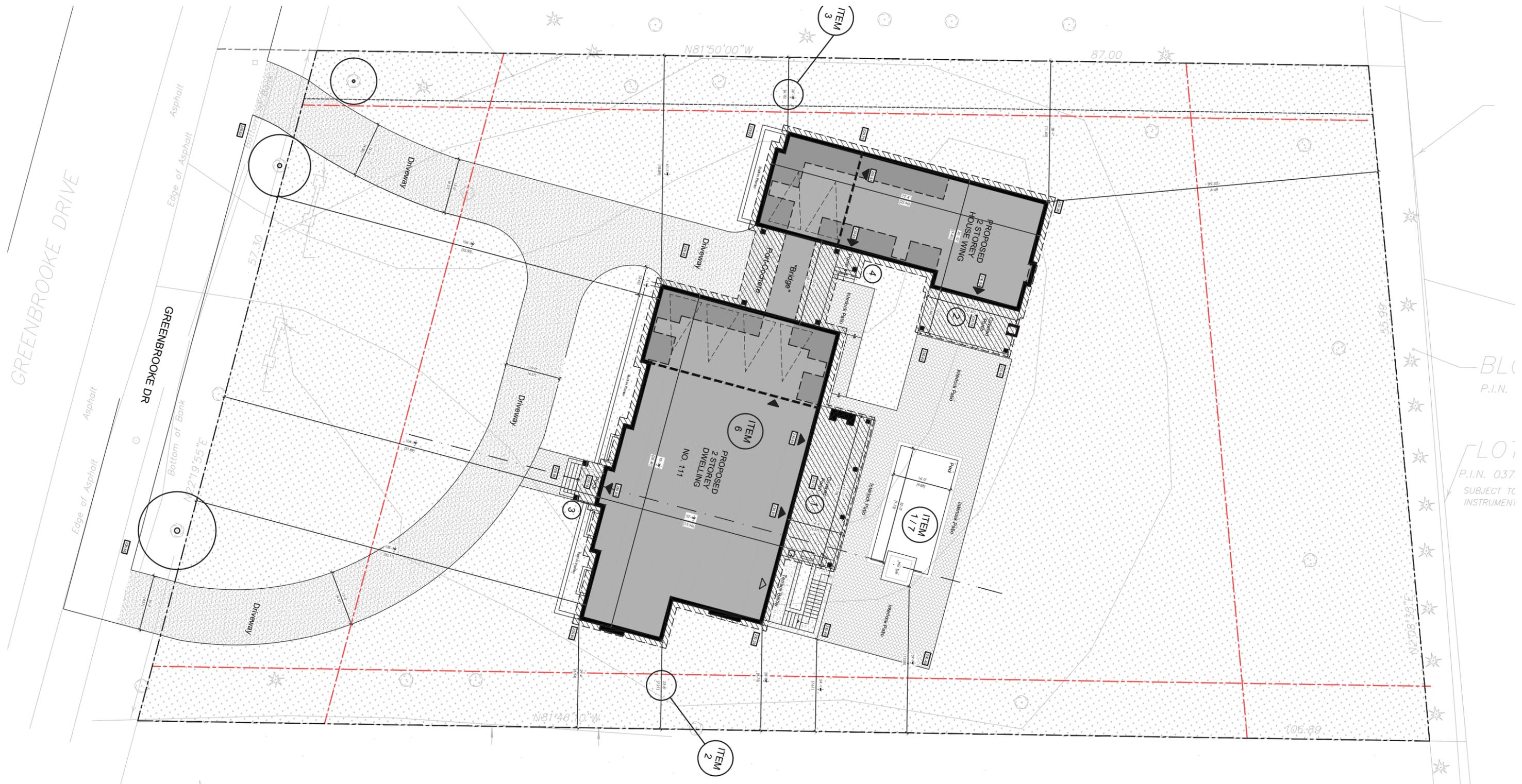
ASSOCIATION OF ONTARIO LAND SURVEYORS
 PLAN SUBMISSION FORM
 2 1 3 5 4 6 6

THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR In accordance with Regulation 1026, Section 29(3)

ALEX MARTON LIMITED
 ONTARIO LAND SURVEYORS
 160 APPLEWOOD CRESCENT, UNIT 8,
 CONCORD, ONTARIO, L4K 4H2
 PHONE: 905-879-9889 FAX: 905-879-0770
 E-MAIL: alex@amsurveying.ca
 WEBSITE: www.amsurveying.ca

PARTY CHIEF : P.C	FILE NAME : 2016-081_SRPR.DWG
DRAWN : I.K	PLOT SCALE : 1:300
CHECKED : A.M.	PROJECT No. 2016-081





BLK
P.I.N.
LO
P.I.N. 037
SUBJECT TO
INSTRUMENT

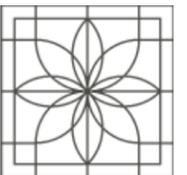
111 GREENBROOKE DR - PROPOSED SITE PLAN

SCALE = NTS

111 GREENBROOKE DR

PROJECT # = 22-01

ISSUE DATE - 22/07/27



1 SAKORA
DESIGN

2014 COFA

1. To permit a maximum building height of 11.45 m
 - a. Allowed was 9.5 m
2. To permit a maximum lot coverage of 10.07%
 - a. Allowed was 10.00%
3. To permit a maximum driveway width of 6.9m measured form 4.25m from the street line onto the private side of the lot where there is no street curb
4. To permit a maximum driveway width of 44.00 m
 - a. Allowed was 9.0 m



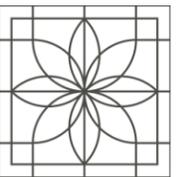
111 GREENBROOKE DR - SITE IMAGE 2014

SCALE = NTS

111 GREENBROOKE DR

PROJECT # = 22-01

ISSUE DATE - 22/07/27



1 SAKORA
DESIGN

2014 COFA / 2016 ADDITION

ORIGINAL HOUSE

GREENBROOKE DRIVE
(DEDICATED BY REGISTERED PLAN 65M-2192)
P.I.N. 03754-0053 (LT)
(REFERENCE BEARING)
N22° 19' 55"E
(RP,P,&Meas)
57.30

SOUTHWEST CORNER
OF LOT 19,
REGISTERED PLAN 65M-2192

IB(1493)

IB(1370)

(N81°49'30"W,RP)
N81°50'00"W

PART 1, PLAN 65R-6500
SUBJECT TO EASEMENT AS IN INSTRUMENT LT157936

(RP,P&Meas)
87.00

IB
(1370)

P.I.N. 03754

Board Fence
3.07E

P.I.N.
SUBU
INSTI

41.70

(P&Meas)
16.44

(P&Meas)
18.05

7.11

8.72

30.17

LOT 19

P.I.N. 03754-0046 (LT)

SUBJECT TO EASEMENT AS IN
INSTRUMENT LT290537

2 STOREY
BRICK
BUILDING
No. 111
FFE=230.85

ADDITION
UNDER
CONSTRUCTION

ADDITION
UNDER
CONSTRUCTION

Concrete
Porch

ADDITION
UNDER
CONSTRUCTION

33.23

PLAN

(55.87,RP,P)
55.99

(N02°08'15"E,RP,P)

BL
P.I.N.

LC
P.I.N. 03
SUBJECT
INSTRUM

41.69

(N81°48'00"W,P,P1)
(N81°49'30"W,RP)
N81°46'10"W

(P&Meas)
10.48

8.11

8.81

(P&Meas)

6.31

(106.87,P,P1)
106.89 (RP&Meas)

43.14

IB(1042)

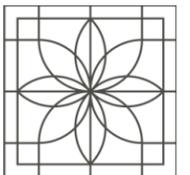
2016 SURVEY

SCALE = NTS

111 GREENBROOKE DR

PROJECT # = 22-01

ISSUE DATE - 22/07/27



3 SAKORA
DESIGN



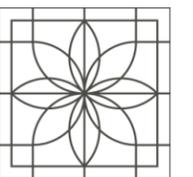
111 GREENBROOKE DR - 2018

SCALE = NTS

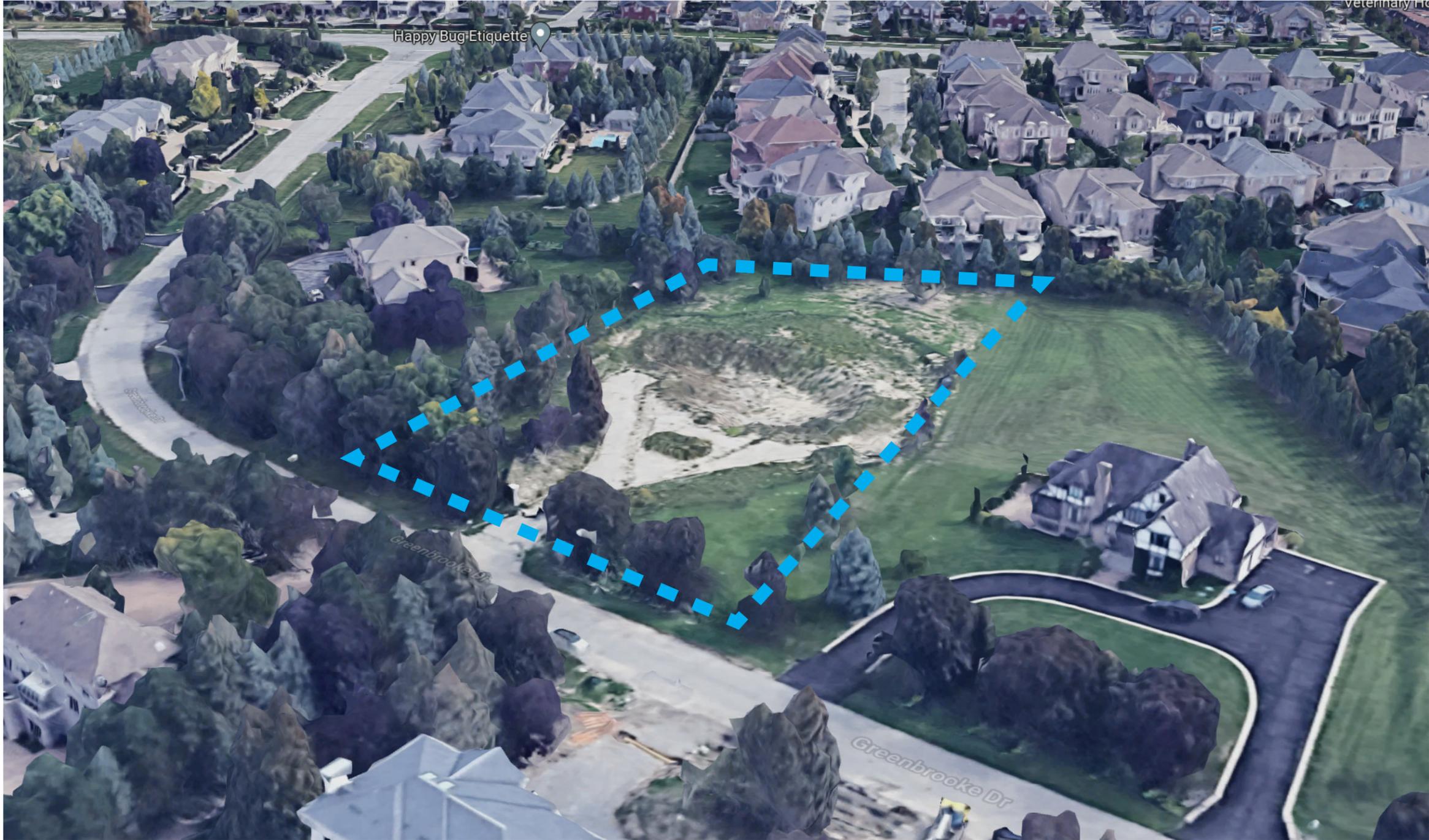
111 GREENBROOKE DR

PROJECT # = 22-01

ISSUE DATE - 22/07/27



2 SAKORA
DESIGN



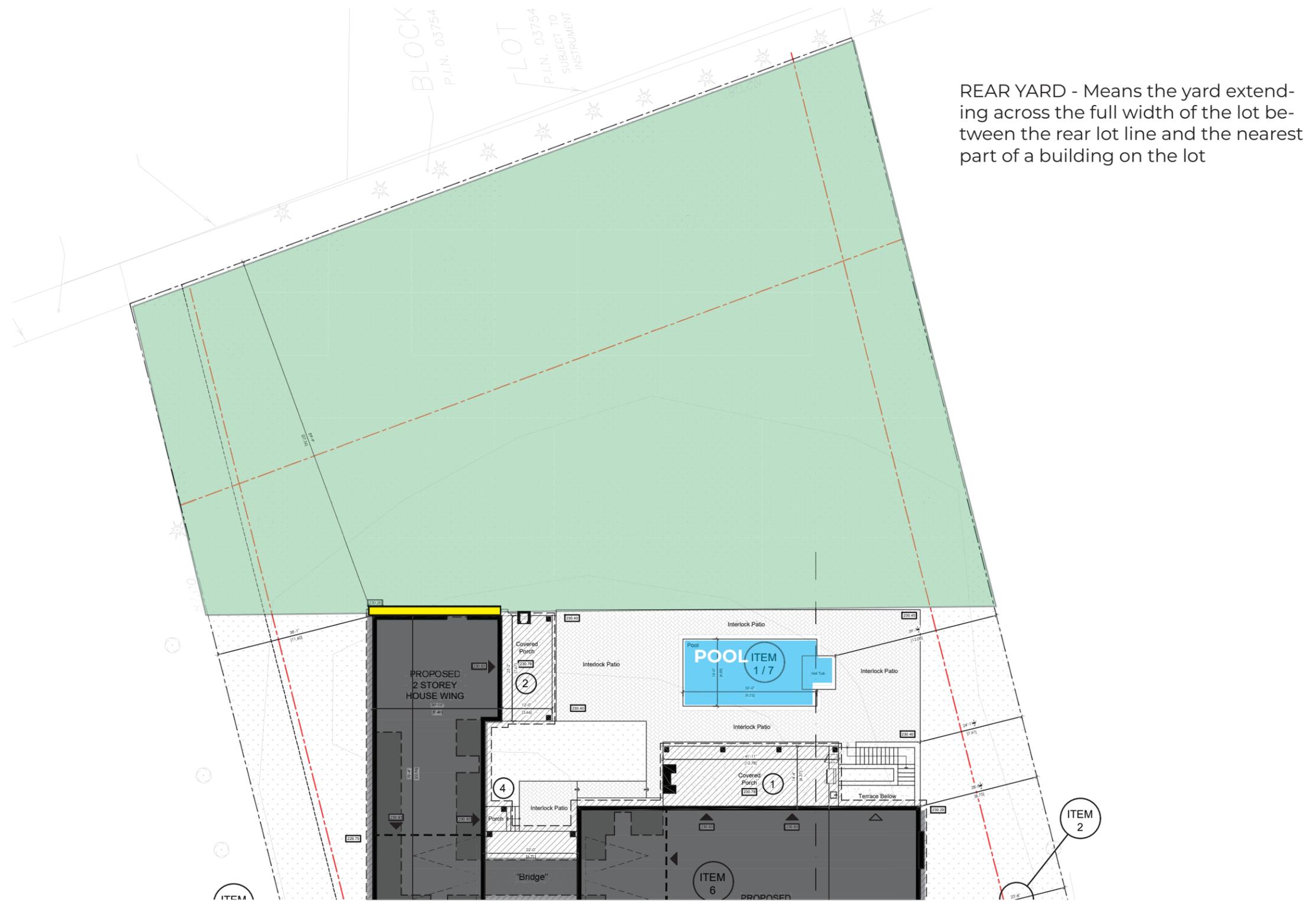
111 GREENBROOKE DR - 2022

SCALE = NTS

111 GREENBROOKE DR

PROJECT # = 22-01

ISSUE DATE - 22/07/27



POOL LOCATION
 SCALE = NTS

111 GREENBROOKE DR
 PROJECT # = 22-01
 ISSUE DATE - 22/07/27



COMBINED

Previous Approval
13.42 m

Proposed
13.34 m

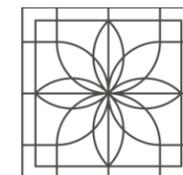
SETBACK VISUAL

SCALE = NTS

111 GREENBROOKE DR

PROJECT # = 22-01

ISSUE DATE - 22/07/27



5 SAKORA
DESIGN



ITEM
4 / 5

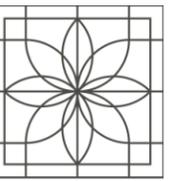
HEIGHT

SCALE = NTS

111 GREENBROOKE DR

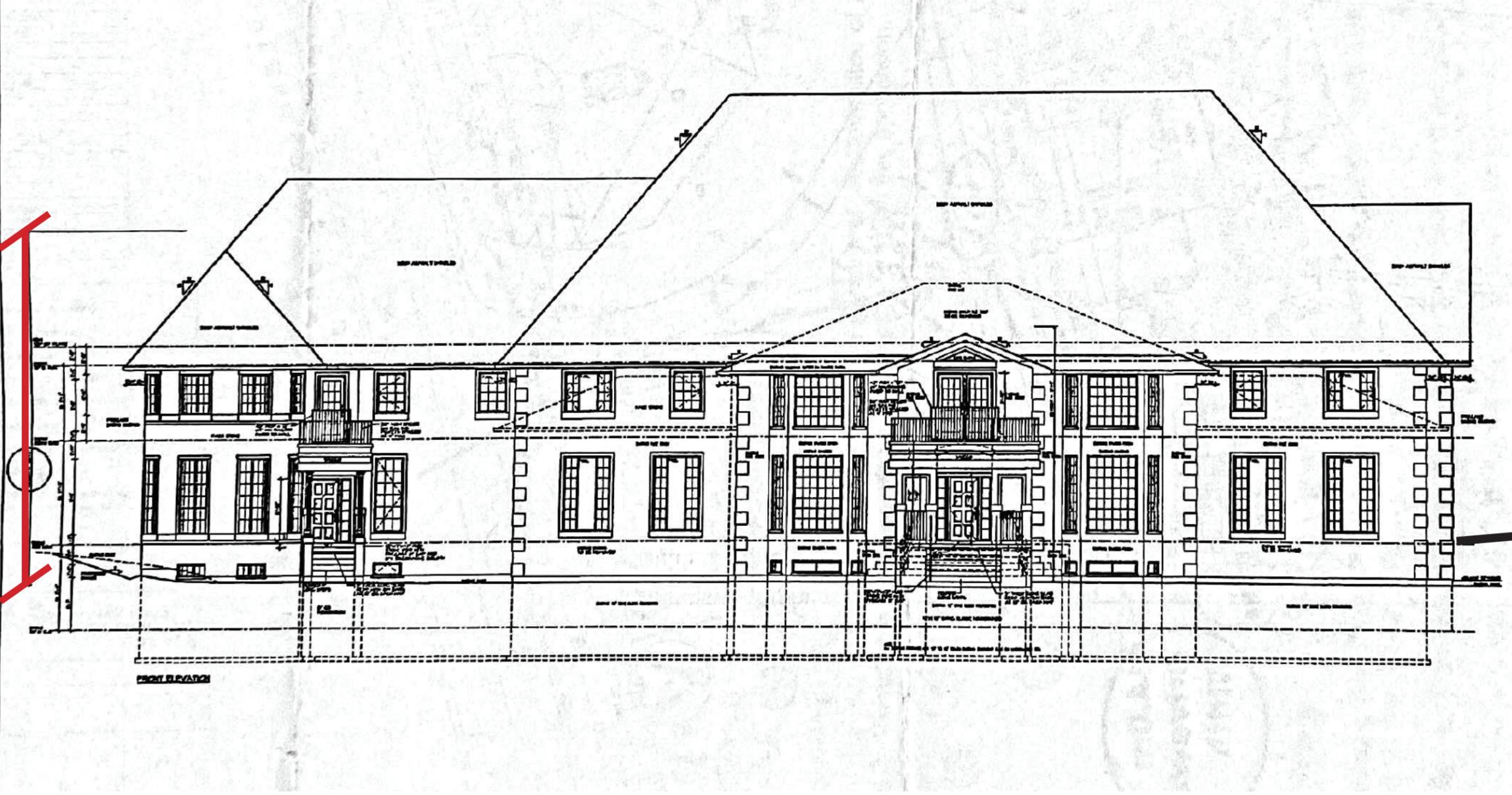
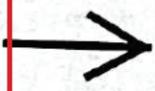
PROJECT # = 22-01

ISSUE DATE - 22/07/27



6 SAKORA
DESIGN

11.45m

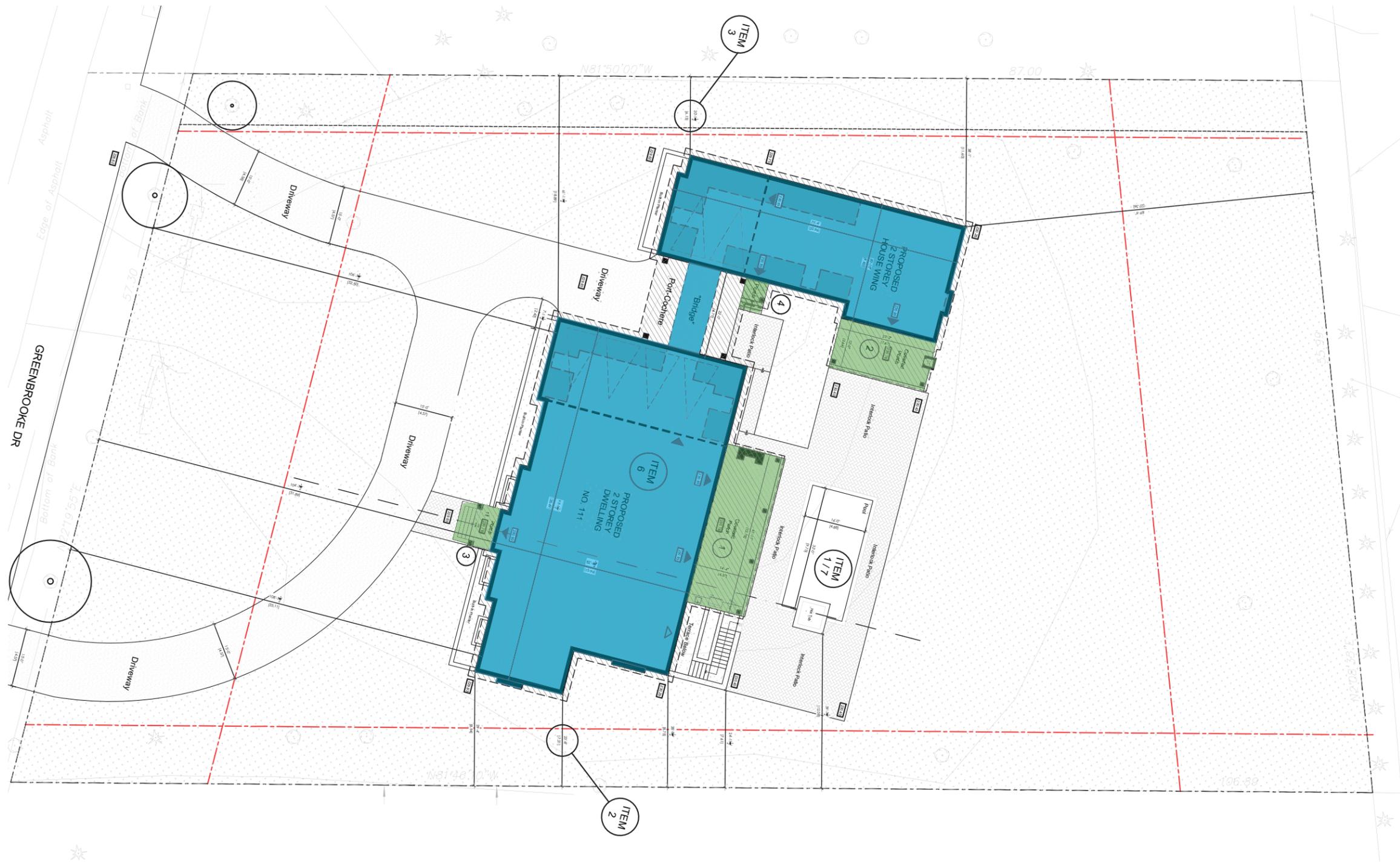


2016 APPROVED HEIGHT
SCALE = NTS

111 GREENBROOKE DR
PROJECT # = 22-01
ISSUE DATE - 22/07/27



- HOUSE
11.21%
- ORIGINAL HOUSE
1.09%



COVERAGE VISUAL
SCALE = NTS

111 GREENBROOKE DR
PROJECT # = 22-01
ISSUE DATE - 22/07/27

21 Greenbrooke Dr



22 Greenbrooke Dr



160 Greenbrooke Dr



165 Greenbrooke Dr



50 Greenbrooke Dr



51 Greenbrooke Dr



195 Greenbrooke Dr



211 Greenbrooke Dr



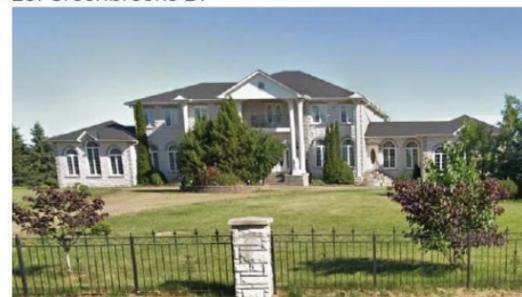
80 Greenbrooke Dr



90 Greenbrooke Dr



261 Greenbrooke Dr



289 Greenbrooke Dr



130 Greenbrooke Dr



131 Greenbrooke Dr



300 Greenbrooke Dr



301 Greenbrooke Dr



111 GREENBROOKE DR - CONTEXT IMAGES

SCALE = NTS

111 GREENBROOKE DR

PROJECT # = 22-01

ISSUE DATE - 22/07/27



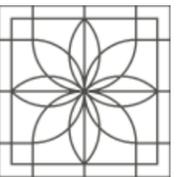
111 GREENBROOKE DR - PROPOSED

SCALE = NTS

111 GREENBROOKE DR

PROJECT # = 22-01

ISSUE DATE - 22/07/27



SCHEDULE D: PREVIOUS COA DECISIONS ON THE SUBJECT LAND		
File Number	Date of Decision MM/DD/YYYY	Decision Outcome
A243/14	11/20/2014	Approved with conditions.

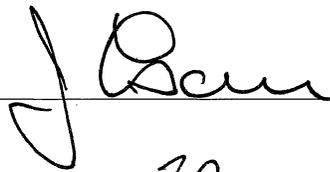
NOTICE OF DECISION

MINOR VARIANCES

- FILE NUMBER:** A243/14
- APPLICANT:** RUFFOLO, FRANK & RUFFOLO, ANNA MARZILLI
- PROPERTY:** Part of Lot 24; Concession 3 (being Lot 19, Plan 65M-2192) municipally known as 111 Greenbrooke Drive, Woodbridge
- ZONING:** The subject lands are zoned RR, Rural Residential and subject to the provisions of Exception 9(310) under By-law 1-88 as amended.
- PURPOSE:** To permit the construction of an addition to the existing dwelling.
- PROPOSAL:**
1. To permit a maximum building height of 11.45m
 2. To permit a maximum lot coverage of 10.07%
 3. Maximum driveway width of 6.9m measured from a point 4.25m from the street line onto the private side of the lot where there is no street curb.
 4. Maximum driveway width of 44.0m
- BY-LAW REQUIREMENT:**
1. Maximum building height 9.5m.
 2. Maximum lot coverage 10%.
 3. Maximum width of driveway 6.0m measured from a point 4.25m from the street line onto the private side of the lot where there is no street curb.
 4. Maximum driveway width 9.0m.

Sketches are attached illustrating the request.

MOVED BY: _____



SECONDED BY: _____



THAT the Committee is of the opinion that the variances sought, can be considered minor and are desirable for the appropriate development and use of the land. The general intent and purpose of the By-law and the Official Plan will be maintained.

THAT Application No. **A243/14, RUFFOLO, FRANK & RUFFOLO, ANNA MARZILLI**, be **APPROVED**, in accordance with the sketches attached and subject to the following conditions:

1. That a septic design is to be submitted accommodating the increase in flow created by the addition, if required, to the satisfaction of the Building Standards Department.
2. That the applicant submits the variance application fee of \$315.00 payable to the Toronto and Region Conservation Authority, if required to the satisfaction of the Toronto and Region Conservation Authority.
3. That if the condition(s) listed above is/are not fulfilled and the Building Permit is not applied for within twelve (12) months of the date this decision becomes final and binding, the said decision shall expire and shall be deemed to have been annulled and rescinded by the Committee. **(PLEASE NOTE THAT THIS TIME PERIOD CANNOT BE EXTENDED IN ANY WAY, FAILURE TO MEET THIS DEADLINE WILL RESULT IN REQUIRING A NEW APPLICATION AND FEE.)**

VERY IMPORTANT: IT IS THE RESPONSIBILITY OF THE OWNER/APPLICANT AND/OR AGENT TO OBTAIN AND PROVIDE A CLEARANCE LETTER FROM EACH AGENCY AND/OR DEPARTMENT LISTED IN THE CONDITIONS WHETHER "IF REQUIRED" APPEARS IN THE CONDITION OR NOT, AND FORWARD THIS CLEARANCE LETTER TO THE SECRETARY-TREASURER AS SOON AS THE CONDITIONS ARE FULFILLED.

FAILURE TO COMPLY WITH THIS PROCEDURE WILL RESULT IN A LETTER BEING FORWARDED BY THE SECRETARY-TREASURER INDICATING THIS FILE HAS LAPSED AND, THEREFORE, WILL NECESSITATE THAT A NEW APPLICATION BE SUBMITTED TO LEGALIZE THIS PROPERTY.

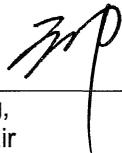
THIS MINOR VARIANCE DECISION IS NOT A BUILDING PERMIT AUTHORIZING CONSTRUCTION UNDER THE BUILDING CODE ACT, R.S.O. 1990, AS AMENDED. A BUILDING PERMIT MAY BE REQUIRED. PLEASE CONTACT THE BUILDING STANDARDS DEPARTMENT IN THE EVENT THAT YOU REQUIRE FURTHER CLARIFICATION.

CARRIED.

CHAIR: 

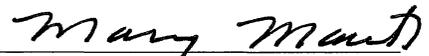
Signed by all members present who concur in this decision:


A. Perrella,
Chair


H. Zheng,
Vice Chair

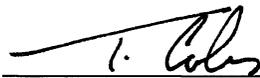

J. Cesario,
Member


L. Fluxgold,
Member


M. Mauti,
Member

CERTIFICATION

I hereby certify this to be a true copy of the decision of the Committee of Adjustment, and this decision was concurred in by a majority of the members who heard this application.


Todd Coles, BES, MCIP, RPP
Manager of Development Services
and Secretary-Treasurer to
Committee of Adjustment

Date of Hearing: NOVEMBER 20, 2014
Last Date of Appeal: DECEMBER 10, 2014

APPEALS

APPEALS MUST BE RECEIVED BY THIS OFFICE NO LATER THAN 4:30 P.M. ON THE LAST DATE OF APPEAL NOTED ABOVE.

Should you decide to appeal this decision to the Ontario Municipal Board, a copy of an appeal form is available for download in Microsoft Word and Adobe Acrobat versions from the Ontario Municipal Board website at www.omb.gov.on.ca. If you do not have Internet access, these forms can be picked up at the City of Vaughan, Committee of Adjustment offices.

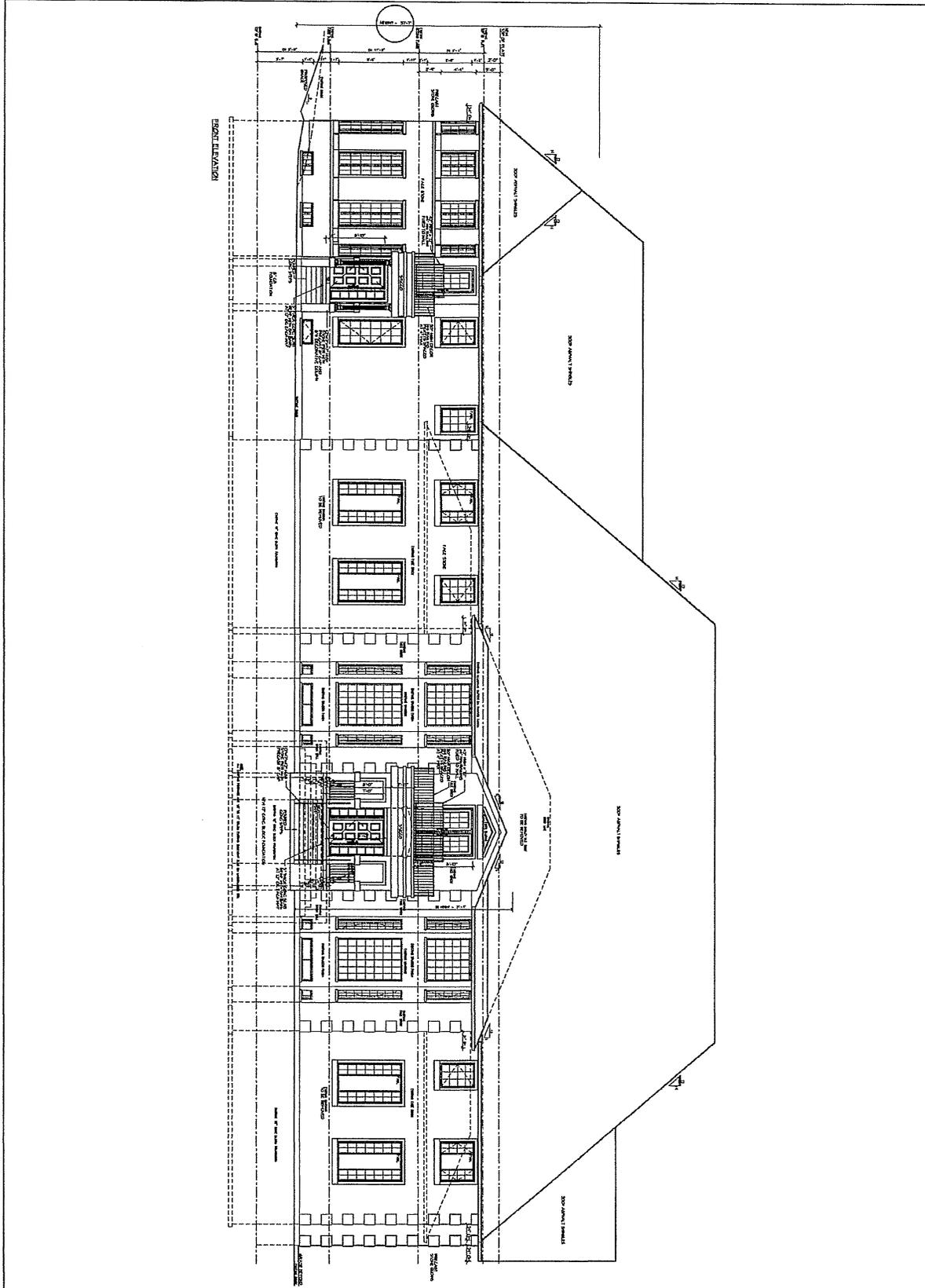
Please fill out Form A1 and follow the instructions as provided by the Ontario Municipal Board and submit your appeal to the City of Vaughan, Committee of Adjustment on or before the date stated above. You must enclose the completed form with the \$650.00 processing fee, paid by **certified cheque** or **money order**, to the "TREASURER, CITY OF VAUGHAN" and the appeal fee of \$125.00 for each application appealed, paid by **certified cheque** or **money order**, made payable to the "ONTARIO MINISTER OF FINANCE".

NOTE: The Planning Act provides for appeals to be filed by "persons". As groups or associations, such as residents or ratepayers groups which do not have incorporated status, may not be considered "persons" for the purposes of the Act, groups wishing to appeal this decision should do so in the name of individual group members, and not in the name of the group.

CONDITIONS

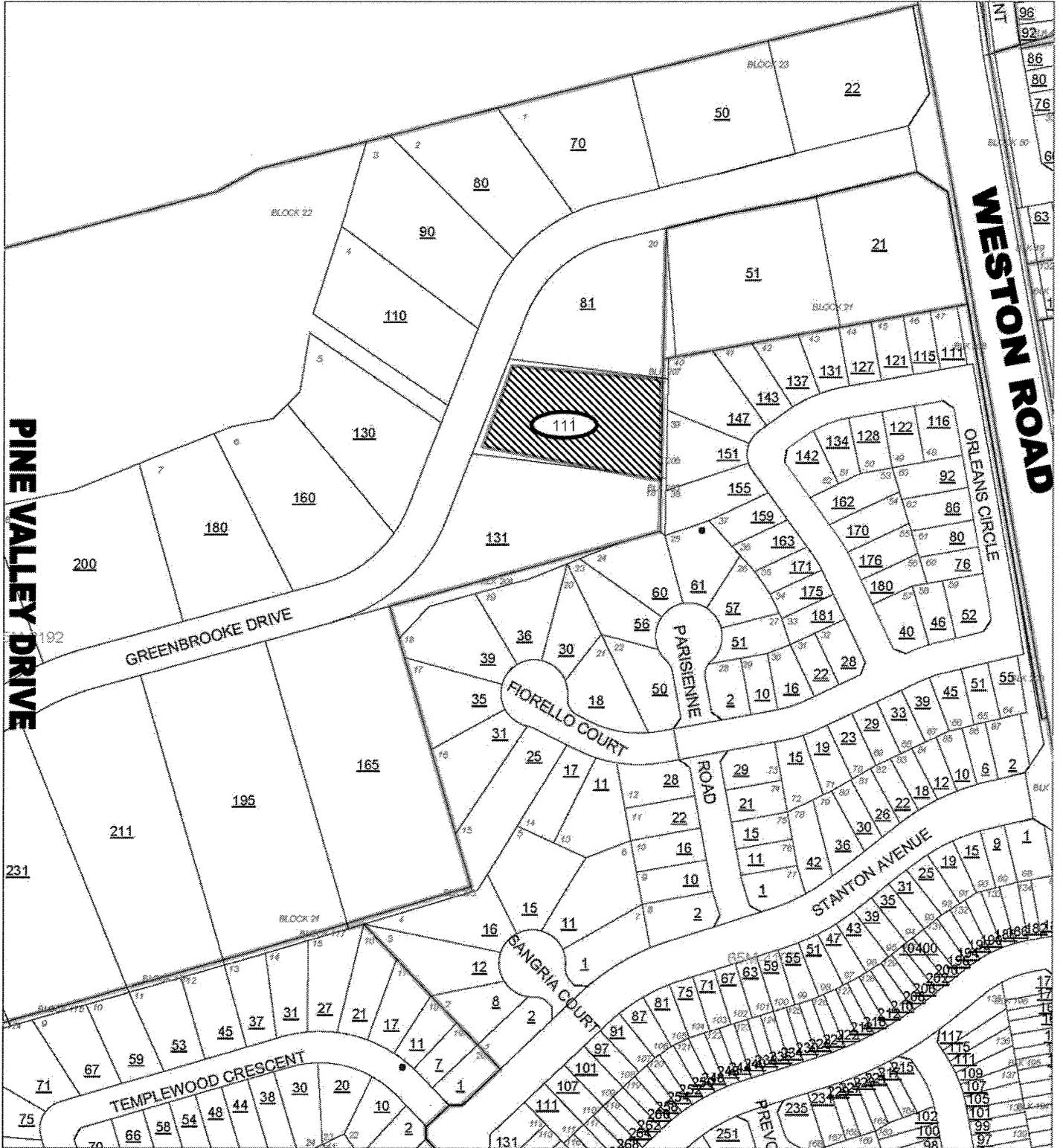
IF ANY CONDITIONS ARE IMPOSED ON THIS APPLICATION, THE FINAL DATE FOR FULFILLING THEM IS:
DECEMBER 10, 2015

11.45m



<p>DATE: 10/16/14 DRAWN BY: [Name] CHECKED BY: [Name]</p>		<p>PROVISIONAL NOTE LINE WORKING METHOD - METERS AS 1/8" = 1' 1/8" = 1/8" WORKING METERS - METERS AS 1/8" = 1' 1/8" = 1/8" WORKING METERS - METERS AS 1/8" = 1' 1/8" = 1/8" WORKING METERS - METERS AS 1/8" = 1'</p>	<p>DESIGNED BY: [Name] DRAWN BY: [Name] CHECKED BY: [Name]</p>	<p>Regional Municipality of York CITY OF VAUGHAN LOT # 104 (PARTIAL) PLAN 894 - 2103</p>	<p>FRONT ELEVATION</p>
<p>PROPOSED ADDITION TO RESIDENCE AT 111 GREENBROOKE DRIVE WILLOWDALE</p>		<p>DATE: 10/16/14 DRAWN BY: [Name] CHECKED BY: [Name]</p>		<p>4</p>	

TESTON ROAD



MAJOR MACKENZIE DRIVE



COMMITTEE OF ADJUSTMENT

2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1

Phone: (905)832-8585 Fax: (905)832-8535

	FILE NUMBER:	A243/14
	APPLICANT:	FRANK & ANNA MARZILLI RUFFOLO
		Subject Area Municipally known as 111 Greenbrooke Drive, Woodbridge