

<b>ITEM #: 6.17</b>	<b>COMMITTEE OF ADJUSTMENT REPORT</b> <b>MINOR VARIANCE APPLICATION</b> <b>A174/22</b> <b>10356 HUNTINGTON RD VAUGHAN</b>
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COA REPORT SUMMARY

THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING DEPARTMENTS & AGENCIES:

\*Please see **Schedule B** of this report for a copy of Staff and Agency correspondence.

*Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City’s Website.*

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	X	X		General Comments
Building Standards -Zoning Review *Schedule B	X			General Comments
Building Inspection (Septic)	X			No Comments Recieved to Date
Development Planning *Schedule B	X			Application Under Review
Development Engineering	X	X		Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	X	X		No Comments or Concerns
By-law & Compliance, Licensing & Permits	X			No Comments Recieved to Date
Development Finance	X	X		No Comments or Concerns
Real Estate				
Fire Department	X			No Comments Recieved to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	X			No Comments Recieved to Date
Ministry of Transportation (MTO) *Schedule B	X			No Comments Recieved to Date
Region of York *Schedule B	X	X		General Comments
Alectra *Schedule B	X	X		General Comments
Bell Canada *Schedule B	X			No Comments Recieved to Date
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X	X		General Comments
Metrolinx *Schedule B				
Propane Operator *Schedule B				

PUBLIC & APPLICANT CORRESPONDENCE				
*Please see <b>Schedule C</b> of this report for a copy of the public & applicant correspondence listed below.				
<p>The deadline to submit public comments is <b>noon on the last business day prior to the scheduled hearing date.</b></p> <p>Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City’s Website.</p> <p>All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.</p>				
Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant	Weston Consulting		5/24/2022	Planning Justification Letter

PREVIOUS COA DECISIONS ON THE SUBJECT LAND		
*Please see <b>Schedule D</b> for a copy of the Decisions listed below		
File Number	Date of Decision MM/DD/YYYY	Decision Outcome
A080/21	06/10/21	APPROVED

ADJOURNMENT HISTORY	
* Previous hearing dates where this application was adjourned by the Committee and public notice issued.	
None	



**COMMITTEE OF ADJUSTMENT REPORT  
MINOR VARIANCE APPLICATION  
A174/22  
10356 HUNTINGTON RD VAUGHAN**

**FILE MANAGER:** Lenore Providence, Administrative Coordinator - Committee of Adjustment

<b>ITEM NUMBER: 6.17</b>	<b>CITY WARD #: 1</b>
<b>APPLICANT:</b>	Franca Zeppa
<b>AGENT:</b>	John Zipay & Associates
<b>PROPERTY:</b>	10356 Huntington Rd Vaughan
<b>ZONING DESIGNATION:</b>	See Below
<b>VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:</b>	Vaughan Official Plan 2010 ('VOP 2010'): "Agricultural"
<b>RELATED DEVELOPMENT APPLICATIONS:</b>	DA.20.032 Minor Variance Application A080/21
<b>PURPOSE OF APPLICATION:</b>	Relief from the Zoning By-law is being requested to permit the construction of a proposed Day Care Centre and Vet Clinic. Relief is also required to facilitate related Site Plan Application DA20.032.

The following variances have been requested from the City's Zoning By-law:

**The subject lands are zoned A – Agricultural Zone and subject to the provisions of Exception 14.94 under Zoning By-law 001-2021, as amended.**

#	Zoning By-law 01-2021	Variance requested
1	n/a Transitioned under 1.6	n/a

**The subject lands are zoned A – Agricultural Zone under Zoning By-law 1-88, as amended.**

	Zoning By-law 1-88	Variance requested
1	A minimum front yard setback of 15.0m is required. [Schedule A]	To permit a minimum front yard setback of 3.07m.
2	A minimum side yard setback of 15.0m is required. [Schedule A]	To permit a minimum side yard setback of 1.65m at north side.
3	A minimum side yard setback of 15.0m is required. [Schedule A]	To permit a minimum side yard setback of 10.95m at south side.
4	A strip of landscaping not less than 6.0m in width shall be provided along a lot line which abuts a street line.[3.13]	To permit a landscaping strip of 0.0m along the lot line which abuts the street.
5	A minimum of 38 parking spaces is required. [3.8]	To permit a minimum of 30 parking spaces.
6	A maximum lot coverage of 20% is permitted. [Schedule A]	To permit a maximum lot coverage of 30.4%.

### HEARING INFORMATION

**DATE OF MEETING:** Thursday, July 28, 2022

**TIME:** 6:00 p.m.

**MEETING LOCATION:** Vaughan City Hall, Council Chamber, 2141 Major Mackenzie Drive, Vaughan

**LIVE STREAM LINK:** [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil)

### PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

If you would like to submit written comments, please quote file number above and submit by mail or email to:

**Email:** [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

HEARING INFORMATION
<b>Mail:</b> City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1
<b>THE DEADLINE TO REGISTER TO SPEAK OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS <u>NOON</u> ON THE LAST BUSINESS DAY BEFORE THE MEETING.</b>

INTRODUCTION
Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.
Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application may consider the following:
That the general intent and purpose of the by-law will be maintained. That the general intent and purpose of the official plan will be maintained. That the requested variance(s) is/are acceptable for the appropriate development of the subject lands. That the requested variance(s) is/are minor in nature.
Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT COMMENTS	
<b>Date Public Notice Mailed:</b>	July 14, 2022
<b>Date Applicant Confirmed Posting of Sign:</b>	July 11, 2022
<b>Applicant Justification for Variances:</b> <small>*As provided by Applicant in Application Form</small>	The lot is a rural residential lot located across Huntington Road from a new residential development. The current coverage is associated with rural residential uses which does not relate to a more urban form of development appropriate in this location. Additionally, the parking rates contained in By-law 1-88 are outdated. We have worked with the Planning and Transportation Engineering departments to develop a site plan which is satisfactory.
<b>Adjournment Requests (from staff):</b> <small>*Adjournment requests provided to applicant <b>prior</b> to issuance of public notice</small>	None
<b>Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:</b>  <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>  <small>*A revised submission may be required to address staff / agency comments received as part of the application review process.</small>  <small>*Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>	No
<b>Adjournment Fees:</b> In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice.  An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff <b>after</b> the issuance of public notice.	
<b>Committee of Adjustment Comments:</b>	None
<b>Committee of Adjustment Recommended Conditions of Approval:</b>	None

BUILDING STANDARDS (ZONING) COMMENTS	
<b>**See Schedule B for Building Standards (Zoning) Comments</b>	
<b>Building Standards Recommended Conditions of Approval:</b>	None

DEVELOPMENT PLANNING COMMENTS
<b>**See Schedule B for Development Planning Comments. Application Under Review</b>



DEVELOPMENT PLANNING COMMENTS	
Development Planning Recommended Conditions of Approval:	Under Review

DEVELOPMENT ENGINEERING COMMENTS	
<a href="#">Link to Grading Permit</a> <a href="#">Link to Pool Permit</a> <a href="#">Link to Curb Curt Permit</a> <a href="#">Link Culvert Installation</a>	
The Development Engineering (DE) Department does not object to variance application A174/22.	
Development Engineering Recommended Conditions of Approval:	None

PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS	
Forestry: The applicant will be entering into a Tree Protection Agreement with the Development Planning Department.	
PFH Recommended Conditions of Approval:	None

DEVELOPMENT FINANCE COMMENTS	
<p>That the payment of the City Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and City-wide Development Charge By-law in effect at time of payment.</p> <p>That the payment of Region of York Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Regional Development Charges By-laws in effect at time of payment.</p> <p>That the payment of Education Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Education Act and York Region District School Board and York Catholic District School Board Development Charges By-laws in effect at time of payment.</p> <p>That the payment of applicable Area Specific Development Charges are payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Area Specific Development Charge By-laws in effect at time of payment.</p>	
Development Finance Recommended Conditions of Approval:	None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS	
No comments received to date.	
BCLPS Recommended Conditions of Approval:	N/A

BUILDING INSPECTION (SEPTIC) COMMENTS	
No comments received to date.	
Building Inspection Recommended Conditions of Approval:	N/A

FIRE DEPARTMENT COMMENTS	
All proposed construction for the noted land is to go through the proper permitting process and adhere to OBC (Ontario Building Code). Requirements for approval prior to construction.	
Fire Department Recommended Conditions of Approval:	None

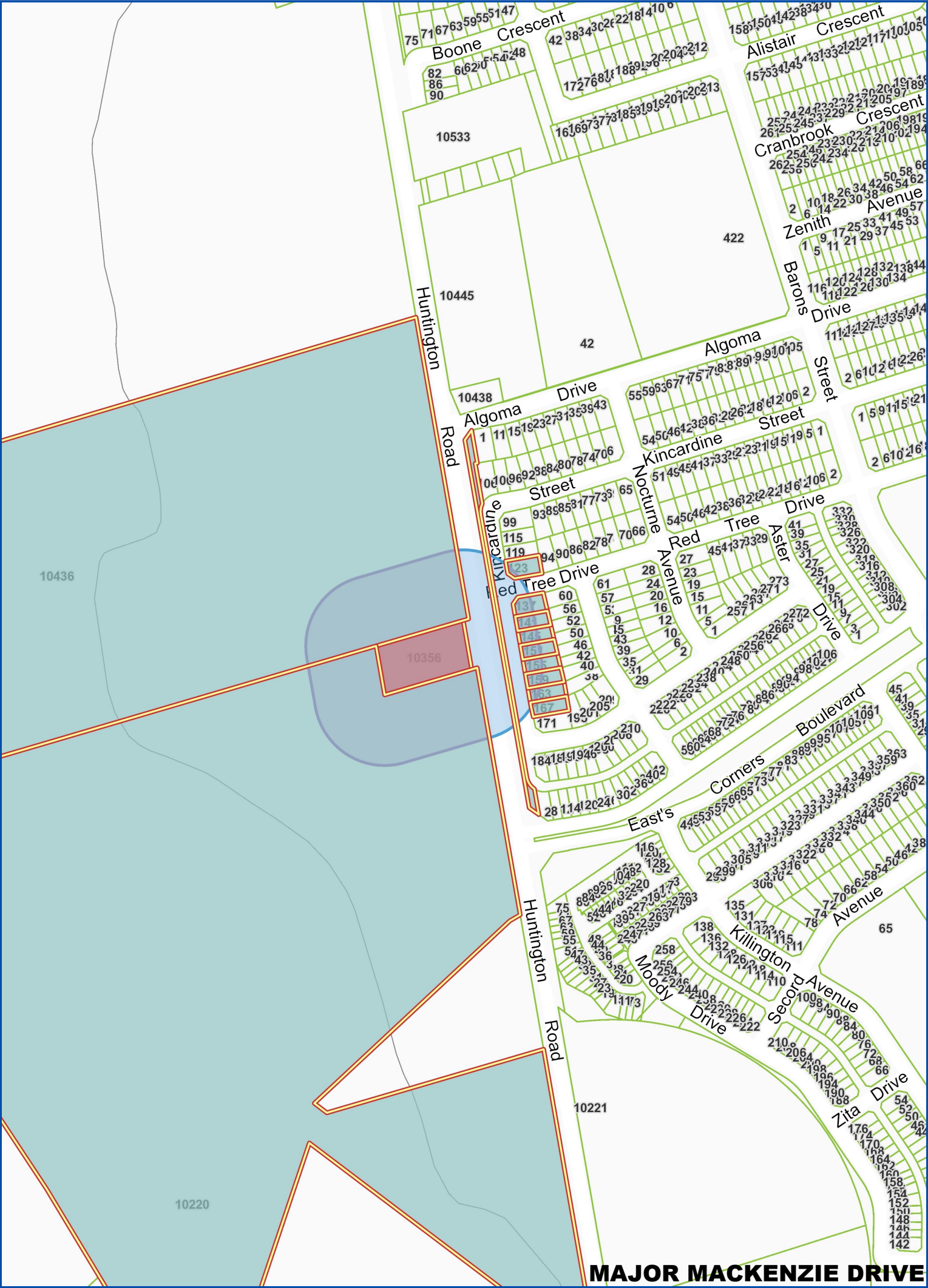
SCHEDULES TO STAFF REPORT	
*See Schedule for list of correspondence	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Staff & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

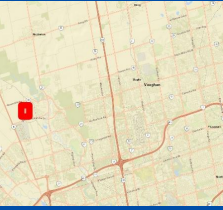
SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL		
All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.		
#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Planning <a href="mailto:joshua.cipolletta@vaughan.ca">joshua.cipolletta@vaughan.ca</a>	Application under review.

IMPORTANT INFORMATION – PLEASE READ
<b>CONDITIONS:</b> It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency ( <b>see condition chart above for contact</b> ). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.
<b>APPROVALS:</b> Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.
An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.
A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.
Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.
Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.
<b>DEVELOPMENT CHARGES:</b> That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.
That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.
That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment
That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.
<b>NOTICE OF DECISION:</b> If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will <b>not</b> receive notice.

**SCHEDULE A: DRAWINGS & PLANS**



Map Information:



Title  
10356 HUNTINGTON ROAD, KLEINBURG

NOTIFICATION MAP - A174/22

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1:4,514

0 0.07 km



Created By:  
Infrastructure Delivery  
Department  
July 4, 2022 1:04 AM

Projection:  
NAD 83  
UTM Zone  
17N

Legend

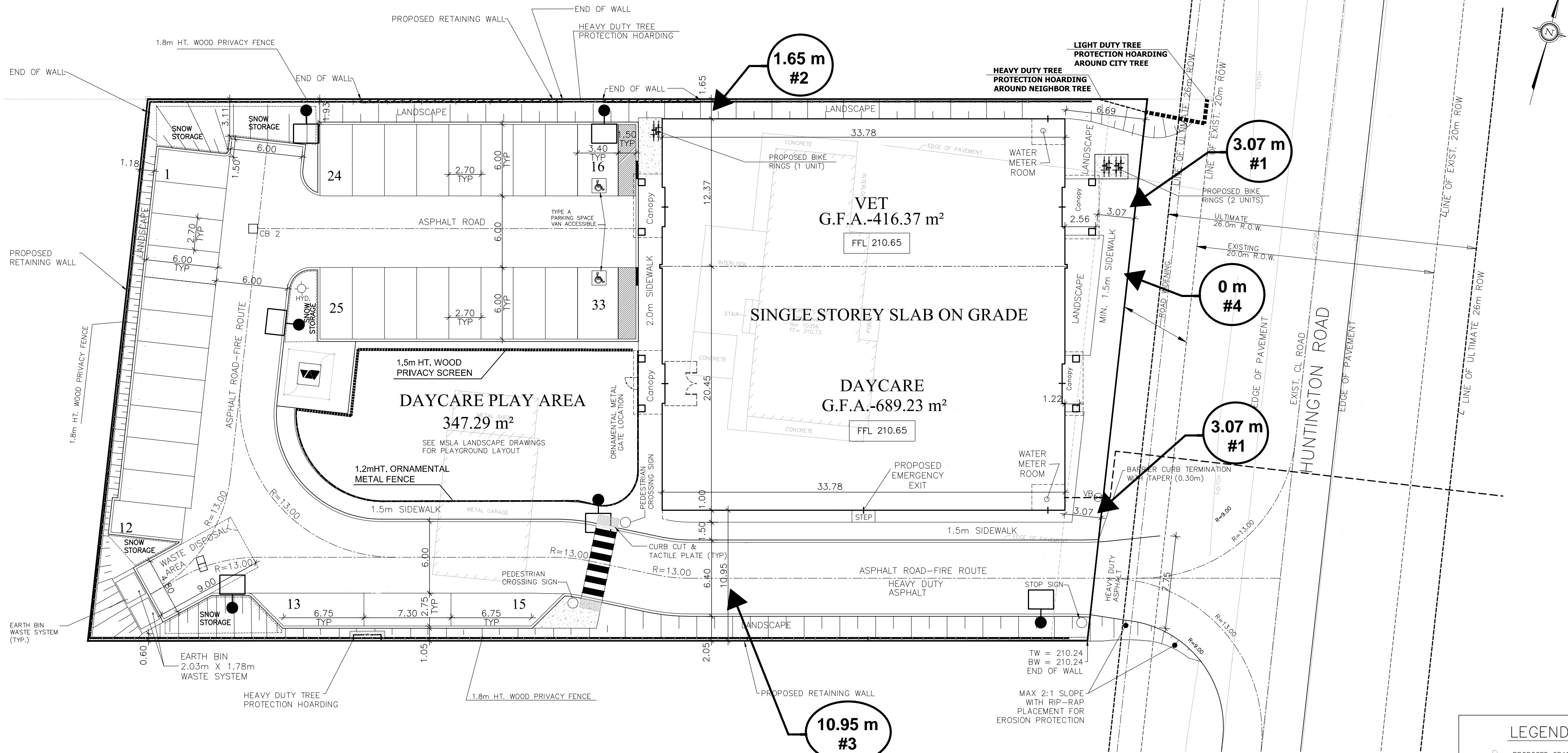
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-  MUNICIPAL OFFICES
-  COMMUNITY CENTRES
- SCHOOLS
-  Public

 Catholic

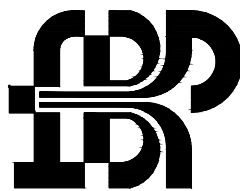
 Private
-  EMERGENCY SERVICES
-  LIBRARIES
-  SHOPPING CENTRES
-  ENTERTAINMENT & CULTURE
-  Parcels





### GENERAL NOTES

- Builder and Surveyor to confirm difference between FFL and USF before proceeding with excavation. Report discrepancies to the Architect.
- Surveyor is to comply with current subdivision zoning regarding setbacks in laying out the work. Any discrepancies are to be reported to the Architect and the builder immediately.
- The builder shall comply with all current standards for Local Municipal Subdivision Lot Drainage and Grading as they relate to max. & min. slopes for yards, swales & drives and clearances to street furniture and services for driveways.
- The builder shall check and verify all given grade elevations and drainage prior to commencement of construction. Builder shall verify location of existing and proposed utilities prior to commencement of construction.
- Footings to bear on natural undisturbed soil and be a min. of 1.22m below finished grade. Underside of footings shown are taken from architectural plans and may not represent actual footing level.
- All dimensions and grade elevations are shown in metres.
- Unless otherwise indicated, finished floor level is 0.40m above Specified House Grade at entry points to house and provision of 2 risers at entries must be made to gain entry into house. Maintain top of foundation wall min. 0.15m above finished grade.
- Unprotected openings (windows, doors) must be min 1.2m from lot lines. Builder to verify location of all windows relative to lot line to maintain min. setback for unprotected openings.
- These General Notes apply to all drawings for Siting & Grading including siting on individual sheets.
- All front and rear yards shall be graded at a 2% - 5% grade within 6.0m of the dwelling unit.
- Base curb elevation to be checked vs garage slab elevation to ensure adequate driveway grade before constructing garage.
- Downspouts to discharge onto ground via splash pad.
- For details of the laneway & privacy fence refer to the landscape drawings.



70 Sifton Road, Unit #01,  
Woodbridge, Ontario, L4L 8B9  
(905) 265-2688

## CITY PARK HOMES DEVELOPMENTS

### PROPOSED DAYCARE/VETERINARIAN DEVELOPMENT

#### HUNTINGTON RD. VAUGHAN

SITE STATISTICS	
GROSS SITE AREA	3807.96 m <sup>2</sup> / 0.940 Ac / 0.380 Ha
LOT FRONTAGE	345.44 m.
LOT DEPTH	83.85 m
LOT COVERAGE (including canopy)	1157.72 m <sup>2</sup> 30.4%
ROADS, WALKWAY, D/W	1776.44 m <sup>2</sup> 46.6%
LANDSCAPE	873.8 m <sup>2</sup> 23.0%
BUILDING HEIGHT	9.77 m
AMENITY AREA	347.29 sq.m.
GROSS FLOOR AREA:	
DAYCARE	689.23 m <sup>2</sup>
VETERINARIAN	416.37 m <sup>2</sup>
PARKING REQUIRED	
AS PER EXISTING BYLAW 1-88	
Daycare (1.5 space/employee) (1.5x16=24)	24
AS PER EXISTING BYLAW 1-88	
Veterinarian (3.3 spaces/100sq.m. x 416.37sq.m.=13.74)	14
TOTAL REQUIRED UNDER BY-LAW 1-88:	38
TOTAL PROVIDED ON THE SITE PLAN	33
TOTAL PROVIDED ON THE SITE PLAN	includes 2 Accessible Parking space (Type A)
SNOW STORAGE AREA PROVIDED	83.0 m <sup>2</sup>
(MIN. REQ.-2% LOT AREA=76.15m <sup>2</sup> )	

### LEGEND

- PROPOSED GRADES
- LOT CORNER
- PROPOSED GRADE
- DIRECTION OF FLOW
- FFL FINISHED FLOOR LEVEL
- FGF FINISHED GROUND FLOOR
- FLH FINISHED LANDING HEIGHT
- TFW TOP OF FOUNDATION WALL
- FFER/F FINISHED FLOOR ENTRY REAR/FRONT
- USF UNDERSIDE OF FOOTINGS
- FBS FINISHED BASEMENT SLAB
- AMENITY SPACE
- STREET LIGHT
- LANEWAY STREET LIGHT
- HYDRANT
- TRANSFORMER
- VALVE CHAMBER
- WATER SERVICE
- STORM & SANITARY CONNECTION
- CABLE TV PEDESTAL
- BELL PEDESTAL
- CATCH BASIN
- EXTERIOR DOOR LOCATION
- SWALE DIRECTION
- W.O.D WALK OUT DECK
- W.O.B WALK OUT BASEMENT
- 'R' REVERSE PLAN
- DOWNSPOUT
- ENGINEERED FILL
- STREET SIGN
- HYDRO TAIL

30.4 %  
#6

06/22/22	FP	Updated statistics per city	09/13/21	CZ	New option
03/07/22	FP	Updated building footprint	03/01/21	FP	ADDED 1 NEW ACCESSIBLE PARKING SPACE
02/01/22	CZ/FP	Issued for SPA submission	02/08/21	FP	ADJUSTED PER CITY COMMENTS FOR SPA RE-SUBMISSION
01/17/22	CZ/FP	Relocated Moak bins	11/19/20	FP	ADJUSTED PER CITY COMMENTS
01/12/22	CZ/FP	Rev. parking areas & stats	07/24/20	FP	ADJUSTED PARKING DIMENSIONS
12/24/21	CZ	Updated site stats	07/23/20	FP	ISSUED FOR SPA SUBMISSION
12/24/21	CZ	Recalculated coverage	04/14/20	FP	UPDATED BUILDING FOOTPRINT
12/21/21	CZ	Updated building footprint	02/19/20	FP	ADDED GARBAGE COLLECTION AREA
11/18/21	CZ	Updated as per client	02/13/20	FP	REVISED SITE PLAN PER CLIENT
11/17/21	CZ	Updated room areas as per client	01/29/20	CZ	UPDATED SITE PLAN
10/20/21	CZ	Updated site plan	01/28/20	CZ	UPDATED SITE PLAN
DATE	REF.	DESCRIPTION	DATE	REF.	DESCRIPTION
DO NOT SCALE DRAWING					

Date	Checked By
JAN. 28, 2020	
Job Number	Drawn By
19-1467	CZ
Scale	
1:250	
Call Dwg.	Sheet Number
191467SP18	01

SCHEDULE B: STAFF & AGENCY COMMENTS				
DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	X			No Comments Recieved to Date
Ministry of Transportation (MTO) *Schedule B	X			No Comments Recieved to Date
Region of York *Schedule B	X	X		General Comments
Alectra *Schedule B	X	X		General Comments
Bell Canada *Schedule B	X			No Comments Recieved to Date
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X	X		General Comments
Metrolinx *Schedule B				
Propane Operator *Schedule B				
Development Planning	X			Application under review
Building Standards (Zoning)	X	X		General Comments



**Date:** July 4<sup>th</sup> , 2022

**Attention:** **Christine Vigneault**

**RE:** Request for Comments

**File No.:** **A174-22**

**Related Files:**

**Applicant** Franca Zeppa

**Location** 10356 Huntington Road

**COMMENTS:**

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

**References:**

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

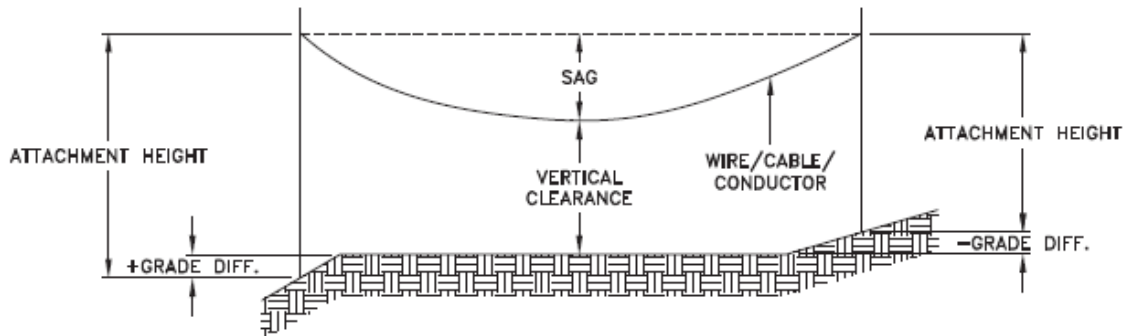
Mr. Stephen Cranley, C.E.T  
Supervisor, Distribution Design, ICI & Layouts (North)  
**Phone:** 1-877-963-6900 ext. 31297

**E-mail:** [stephen.cranley@alectrautilities.com](mailto:stephen.cranley@alectrautilities.com)

Mitchell Penner  
Supervisor, Distribution Design-Subdivisions  
**Phone:** 416-302-6215

**Email:** [Mitchell.Penner@alectrautilities.com](mailto:Mitchell.Penner@alectrautilities.com)

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
	MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)			
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG  
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)  
 + GRADE DIFFERENCE  
 + 0.3m (VEHICLE OR RAILWAY LOCATION)  
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

**NOTES:**

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

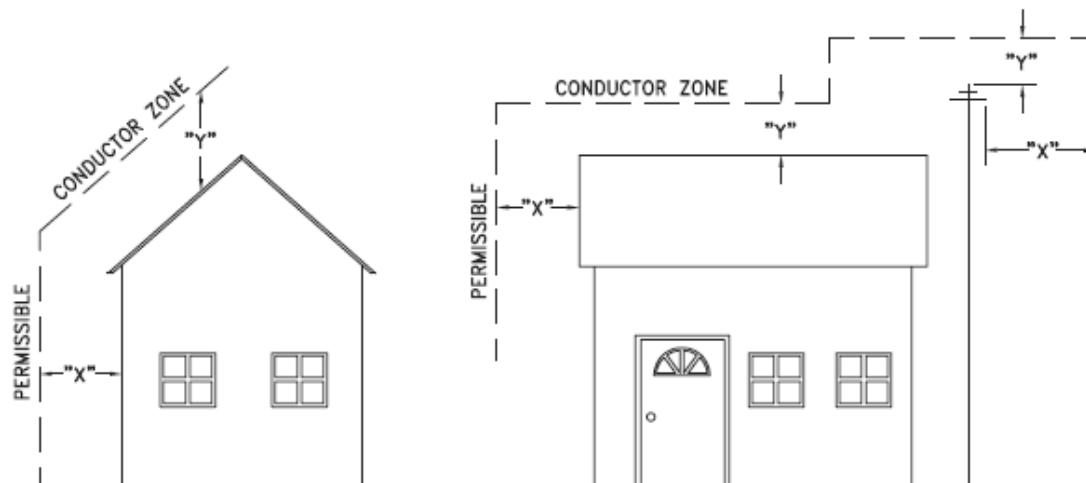
**REFERENCES**

SAGS AND TENSIONS | SECTION 02

**MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS**

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARNACE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

### NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

### MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:

PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working folder\Section 3\3-4\DWG 03-4 R0 May 5, 2010.dwg, 5/5/2010 8:22:02 AM, Adobe PDF

**Certificate of Approval**  
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04  
Debbie Dadwani, P.Eng. 2010-MAY-05  
Name Date  
P.Eng. Approval By: D. Dadwani

**To:** Committee of Adjustment  
**From:** Faegheh Gholami, Building Standards Department  
**Date:** June 30, 2022  
**Applicant:** Franca Zeppa  
**Location:** CONC 10 Part of Lot 23 municipally known as 10356 Huntington Road  
**File No.(s):** A174/22

**Zoning Classification:**

The subject lands are zoned A – Agricultural Zone and subject to the provisions of Exception 14.94 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 01-2021	Variance requested
1	n/a Transitioned under 1.6	n/a

The subject lands are zoned A – Agricultural Zone under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
1	A minimum front yard setback of 15.0m is required. [Schedule A]	To permit a minimum front yard setback of 3.07m.
2	A minimum side yard setback of 15.0m is required. [Schedule A]	To permit a minimum side yard setback of 1.65m at north side.
3	A minimum side yard setback of 15.0m is required. [Schedule A]	To permit a minimum side yard setback of 10.95m at south side.
4	A strip of landscaping not less than 6.0m in width shall be provided along a lot line which abuts a street line. [3.13]	To permit a landscaping strip of 0.0m along the lot line which abuts the street.
5	A minimum of 38 parking spaces is required. [3.8]	To permit a minimum of 30 parking spaces.
6	A maximum lot coverage of 20% is permitted. [Schedule A]	To permit a maximum lot coverage of 30.4%.

**Staff Comments:**

**Stop Work Order(s) and Order(s) to Comply:**

There are no outstanding Orders on file

**Building Permit(s) Issued:**

Building Permit No. 22-106658 for Single Detached Dwelling - Residential Demolition, Issue Date:  
Mar 09, 2022

**Other Comments:**

General Comments	
A	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

**Conditions of Approval:**

If the committee finds merit in the application, the following conditions of approval are recommended.

\* Comments are based on the review of documentation supplied with this application.

**From:** [Development Services](#)  
**To:** [Committee of Adjustment](#)  
**Subject:** [External] FW: A174/22 (10356 Huntington Road - REQUEST FOR COMMENTS, CITY OF VAUGHAN)  
**Date:** Wednesday, July 6, 2022 4:09:51 PM  
**Attachments:** [image001.png](#)  
[image003.png](#)  
[CIRC\\_A174\\_22.pdf](#)  
**Importance:** High

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Hello,

The Regional Municipality of York has completed its review of the minor variance and has no comment.

Water Resources does not have any objections/concerns subject to the following comments with respect to the Minor Variance application to change setbacks as it relates to Source Protection policy. Should the proposal change and/or the application be amended, Water Resources will require recirculation for comment and/or approval. However, Water Resources has the following comments for **future Site Plan approval**:

#### **Wellhead Protection Area D**

Prior to future Site Plan approval, the Owner shall conduct and submit a Source Water Impact and Assessment Mitigation Plan (SWIAMP), to the satisfaction of the Region, to identify and address any potential water quality and water quantity threats to the municipal groundwater supplies. The SWIAMP shall be prepared by a qualified professional, to the satisfaction of Regional Environmental Services staff in the Water Resources group. The SWIAMP must follow the York Region document Guidance for Proposed Developments in Wellhead Protection Areas in York Region (October 2014). A SWIAMP is required for any of the activities listed below if they will occur on the site for the **storage or manufacture** of:

- (a) petroleum-based fuels and or solvents;
- (b) pesticides, herbicides, fungicides or fertilizers;
- (c) construction equipment;
- (d) inorganic chemicals;
- (e) road salt and contaminants as identified by the Province;
- (f) the generation and storage of hazardous waste or liquid industrial waste, and a waste disposal sites and facilities;
- (g) organic soil conditioning sites and the storage and application of agricultural and non-agricultural source organic materials; and,
- (h) snow storage and disposal facilities.

If a SWIAMP is not required, a letter prepared by a qualified professional will be required in its place stating that the above noted activities will not be occurring.

#### **Recharge Management Area**

Please note the property is within the WHPA-Q (Recharge Management Area) and partially within a Significant Groundwater Recharge Area (SGRA). As such the CTC Source Protection Plan water



quantity recharge maintenance policy will apply. The proponent will be required to maintain recharge as demonstrated through a hydrogeological study that shows the existing (i.e. pre proposed development) water balance can be maintained in the future (i.e. post proposed development). The CTC Source Protection Plan Water Balance Requirements document and TRSPA Water Balance Tool (<https://trca.ca/conservation/drinking-water-source-protection/trspa-water-balance-tool/>) should be consulted. The contact person for the scoping and review of the water balance for Source Protection Plan conformity is Don Ford at TRCA. The approving body for compliance with the policy will be the local municipality.

### **Area of Concern (AOC)**

Water Resources would like to note the site is in an identified area of concern ***due to known high water table conditions and confined artesian aquifer conditions***, which could have geotechnical implications with respect to construction activities including, but not limited to, dewatering (short-term or long-term), foundation construction, and building stability.

As such, Water Resources recommends that any geotechnical and hydrogeological investigations undertaken by the owner take into account the fact that groundwater levels may currently be artificially depressed at the site due to third party permanent dewatering systems in the area. ***Also, please note that the Environmental Monitoring and Enforcement group of the Environmental Services department should be contacted at [sewerusebylaw@york.ca](mailto:sewerusebylaw@york.ca) for a dewatering permit, if required.***

### **Geotechnical and Hydrogeological Support**

For your reference the Oak Ridges Moraine (YPDT-CAMC) Groundwater Management Tool: <https://oakridgeswater.ca/> can be accessed for geological data in support of geotechnical and hydrogeological analysis.

### **Construction Best Management Practices**

As the site is within a wellhead protection area, Water Resources does encourage the use of best management practices during construction and post construction with respect to the handling and storage of chemicals (such as used oil, degreasers and salt) on site. It is strongly recommended that Risk Management Measures are put in place with respect to chemical use and storage including spill kits, secondary containment, a spill response plan and training.

### **Salt Management**

As the site is within a vulnerable area, Water Resources recommends the use of a contractor who is certified by Smart About Salt, and use of best management practices identified in the TAC Synthesis of Best Management Practices for Salt and Snow are followed: <https://www.tac-atc.ca/sites/tac-atc.ca/files/site/doc/resources/roadsalt-1.pdf>.

If the proposed development includes a parking lot, Water Resources recommends following the Parking Lot Design Guidelines: <https://www.lsrca.on.ca/Shared%20Documents/reports/Parking-Lot-Design-Guidelines-Salt-Reduction.pdf>

Thank you,

**Maryam Ahmed, B.U.R.PL.** | Associate Planner, Programs and Process Improvement, Planning and Economic Development, Corporate Services

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The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1  
1-877-464-9675 x74528 | [maryam.ahmed@york.ca](mailto:maryam.ahmed@york.ca) | [www.york.ca](http://www.york.ca)

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Our Mission: **Working together to serve our thriving communities – today and tomorrow**

Please consider the environment before printing this email.

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**From:** Christine Vigneault <Christine.Vigneault@vaughan.ca>

**Sent:** Monday, July 4, 2022 9:32 AM

**To:** rowcentre@bell.ca; carrie.gordon@bell.ca; Development Services <developmentservices@york.ca>; yorkplan@trca.ca; Hamedeh.Razavi@trca.ca; engineeringadmin@powerstream.ca; TCEnergy@mhbcplan.com; colin.mulrenin@ontario.ca

**Cc:** Lenore Providence <Lenore.Providence@vaughan.ca>

**Subject:** A174/22 (10356 Huntington Road - REQUEST FOR COMMENTS, CITY OF VAUGHAN

**Importance:** High

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Hello,

Please email comments and recommendations on the above noted application to [cofa@vaughan.ca](mailto:cofa@vaughan.ca). If you wish to be notified of the decision, please confirm in writing.

The deadline to submit comments on this application is **July 11, 2022**.

Should you have any questions or require additional information please contact the undersigned.

Best Regards,

**Christine Vigneault, AMP, ACST**

**Manager, Development Services & Secretary Treasurer to the Committee of Adjustment**

905-832-2281, ext. 8332 | [christine.vigneault@vaughan.ca](mailto:christine.vigneault@vaughan.ca)

**City of Vaughan | Office of the City Clerk**

2141 Major Mackenzie Dr., Vaughan ON L6A 1T1

[vaughan.ca](http://vaughan.ca)

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# Work safely.

## Development near our pipelines and facilities

These guidelines are intended to provide useful and timely safety information. TC Energy endeavors to ensure the information is as current and accurate as possible.

[TCEnergy.com](https://www.tcenenergy.com)



## About us

For over 65 years, TC Energy has proudly delivered the energy millions of North Americans rely on to power their lives and fuel industry.

Guided by our values of safety, responsibility, collaboration and integrity, our more than 7,000+ employees are deeply rooted in their communities and ensure that we develop and operate our facilities safely, reliably and with minimal impact on the environment. We are committed to listening to our neighbours and working with all our stakeholders to develop better project plans and create long-term opportunities and economic benefits in the communities where we operate across Canada, the U.S. and Mexico.

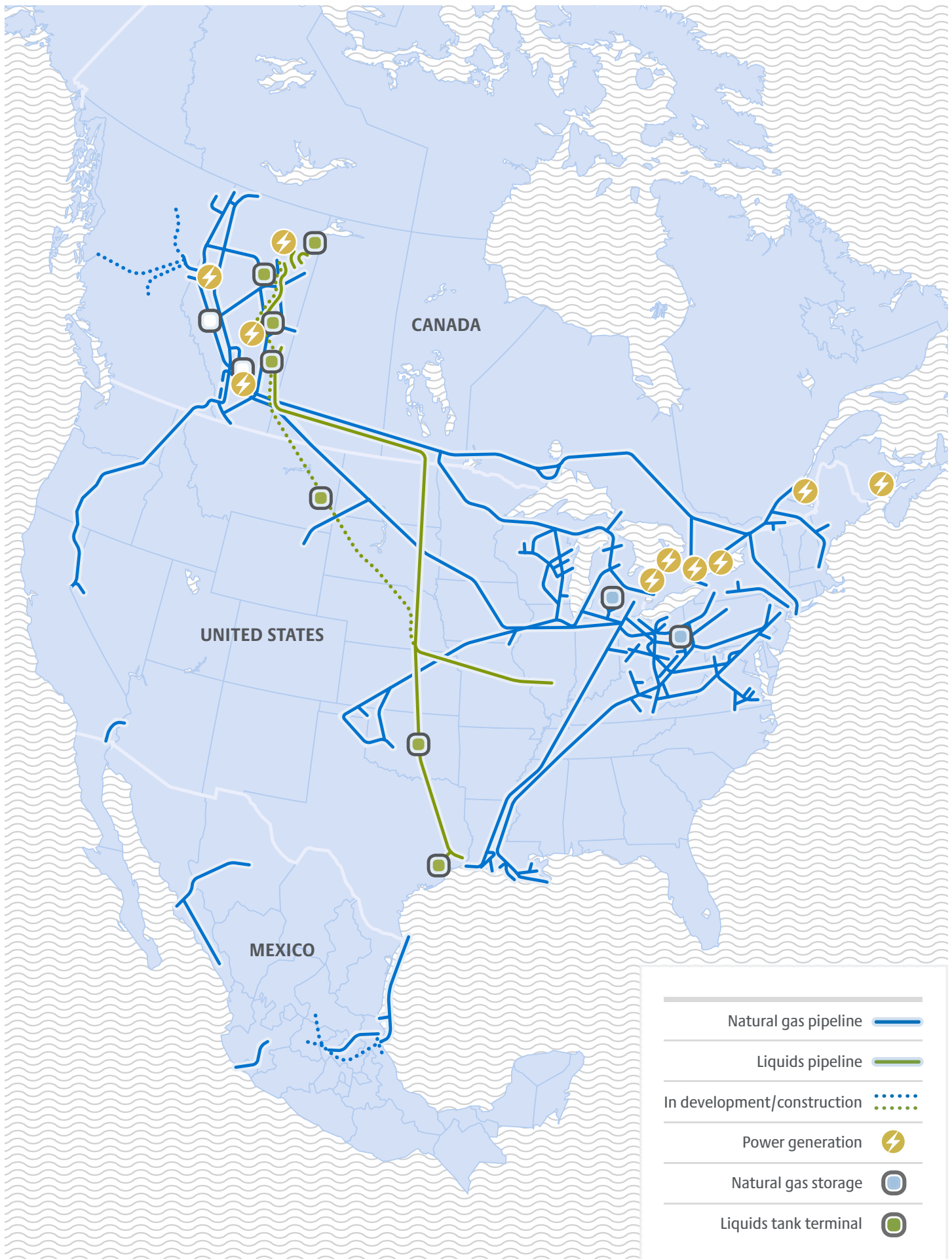
In May 2019, we changed our name from TransCanada to TC Energy to better reflect the scope of our operations and to reinforce our position as a leading North American energy infrastructure company. Whether our stakeholders know us as TC Energy in English, TC Énergie in French, or TC Energía in Spanish, our neighbours, partners and investors can continue to count on us to follow through on our commitments and live up to our values in everything we do.

## Our pipelines

Pipelines are the safest and most efficient method to transport natural gas and oil to market. Natural gas is odourless, colourless and will dissipate quickly when released because it is lighter than air. However, the gas is flammable and can be explosive if ignited. Crude oil is a liquid mixture of naturally occurring petroleum hydrocarbons and can possess a rotten egg, gasoline, tar or “skunk-like” odour. Crude oil vapours are volatile, and can be flammable and explosive.

Typically, TC Energy does not own the land where our pipelines are located, but instead acquires the right prior to construction to install and operate the pipeline and related facilities within a pipeline right-of-way through an easement or right-of-way agreement with the landowner. The terms of the right-of-way agreements vary but generally provide TC Energy with the right to access, construct, operate, maintain and abandon the pipeline within the right-of-way.

The width of the right-of-way is based on the size and type of the pipeline and related facilities. By contrast, TC Energy does typically own the land where both compressor stations, which re-pressurize gas along the pipeline to ensure the gas flows continuously at a desired flow rate, and pump stations, which pump oil through the pipeline from one point to the next, are located. The lands required for meter stations, which measure product volume, are either leased directly from landowners or owned by TC Energy.





## Regulatory requirements

TC Energy's pipeline design, construction and maintenance programs meet or exceed industry and government standards. In Canada, our operations are regulated by provincial and federal authorities including the Canada Energy Regulator (CER). Legislation and regulations set out the requirements governing activities in proximity and on pipeline rights-of-way, including vehicle and equipment crossings, construction of facilities on or near a right-of-way, and other activities that could cause ground disturbances, which might impact the pipeline. Such legislation and regulations aim to ensure the safety and protection of the public, our employees, the environment as well as our pipeline facilities and other property.

## Safety

At TC Energy, we seek to anticipate and minimize hazards of every description. From design and construction to operation and maintenance, safety is an integral part of everything we do. TC Energy regularly communicates pipeline safety information to stakeholders through our public awareness program.

Our safety practices include monitoring changes in land use near our pipeline facilities. This can involve meetings with landowners, municipal decision makers, administrative staff and land use planners.

TC Energy also has an extensive pipeline maintenance program that ensures our pipeline facilities are regularly monitored, inspected and repaired in order to meet or exceed best industry practices and regulatory requirements. Our entire pipeline transmission system is monitored from our control centres 24 hours a day, 7 days a week. In addition, TC Energy carries out the following activities as part of our pipeline maintenance program:

**Aerial patrols** – TC Energy carries out aerial patrols of the pipeline route to identify hazards from outside sources, including unauthorized construction and ground disturbances near the pipeline. Sensitive detection equipment may be used during these patrols to identify gas leaks.

**In-line pipeline inspections** – TC Energy conducts in-line pipeline inspections using tools that travel through the pipeline collecting data and looking for locations where corrosion, metal loss or dents may have occurred.

**Hydrostatic testing** – TC Energy uses hydrostatic testing, typically at the completion of pipeline construction, but to verify the safety of existing pipelines. Sections of the pipeline are filled with water and the pressure is increased beyond normal operating pressure to test pipeline strength and identify any pipeline leaks.

**Cathodic protection** – TC Energy uses cathodic protection, which involves applying a low-voltage electrical current to the metal pipe to protect the pipeline against corrosion. The cathodic protection system is monitored regularly to ensure proper protection against pipeline corrosion.

**Pipeline signage** – TC Energy installs pipeline signs at all road, rail, and waterbody crossings and at other strategic points along the pipeline route to identify the approximate location of our pipelines. Pipeline signs contain important information such as:

- The owner of the pipeline
- The product shipped in the pipeline
- Emergency contact numbers

**BE AWARE:** Pipeline signs will not designate the exact location, depth or number of pipelines in the area. Contact your local one-call centre and TC Energy will send a representative to the proposed excavation site to mark the pipeline.





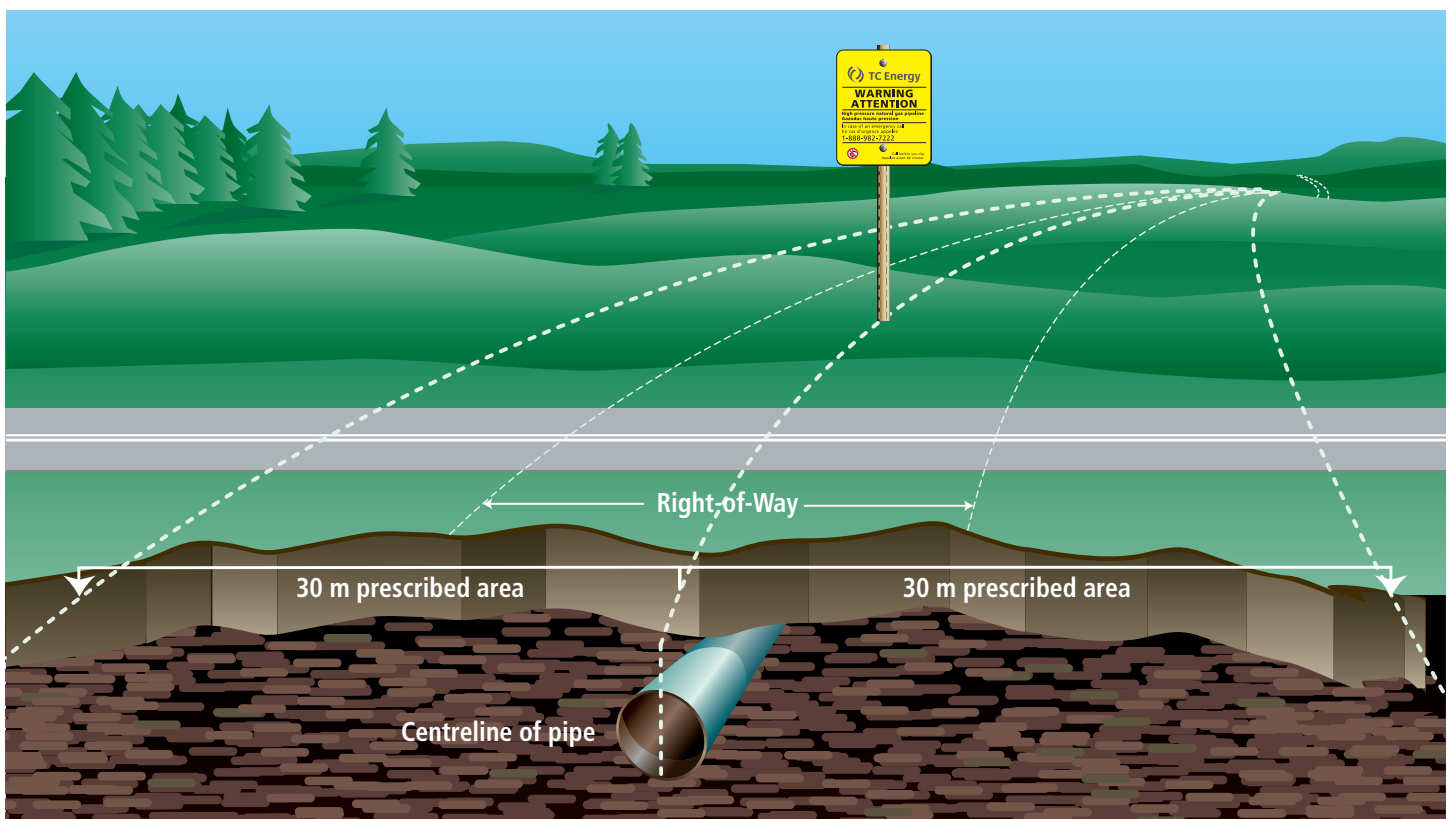
## Approvals for working around TC Energy's facilities

To ensure our pipelines and facilities operate safely, written consent from TC Energy must be obtained in Canada before any of the following:

- Constructing or installing a facility across, on, along or under a TC Energy pipeline right-of-way
- Conducting ground disturbance (excavation or digging) on or within the prescribed area (30 metres or 100 feet from the centreline of the pipeline)
- Driving a vehicle, mobile equipment or machinery across a TC Energy pipeline right-of-way outside the travelled portion of a highway or public road
- Using any explosives within 300 metres or 1,000 feet of TC Energy's pipeline right-of-way
- Use of the prescribed area for storage purposes

### The following are examples of ground disturbances:

- Digging
- Excavation
- Trenching
- Tunneling
- Boring/drilling/pushing
- Augering
- Topsoil stripping
- Land leveling/grading
- Plowing to install underground infrastructure
- Tree or shrub planting
- Cleaning and stump removal
- Subsoiling
- Blasting/using explosives
- Quarrying
- Grinding and milling of asphalt/concrete
- Seismic exploration
- Driving fence posts, bar, rods, pins, anchors or pilings
- In-ground swimming pools



## Locate request

Any person planning to construct a facility across, on, along or under a pipeline (including the right-of-way), conduct a ground disturbance activity within 30 metres of the centreline of a pipe, or operate a vehicle or mobile equipment across a right-of-way, must request a locate service.

Locate requests can be made online ([www.clickbeforeyoudig.com](http://www.clickbeforeyoudig.com)), via mobile apps (Saskatchewan and Quebec) or via phone (see the back of this booklet for more details). The locate request must be made at least three working days in advance of the ground disturbance, construction activity, or vehicle or mobile equipment crossing.

The One-Call Centre will notify TC Energy to send a representative to mark the facilities with flags, paint or other markings in order to help you avoid damaging them. The TC Energy representative will explain the significance of the markings and provide you with a copy of the locate report. The service is free and could prevent accidents, injuries or deaths.

## Written consent

After you apply for written consent, TC Energy will assess the planned work to ensure it does not pose a risk of damage to the pipeline and to ensure that access to the pipeline for maintenance or emergency purposes is not impeded.

Obstacles on a right-of-way, such as sheds, trailers, boats, garbage and vegetation can interfere with TC Energy's pipeline maintenance program (detailed in safety section above). In some cases, TC Energy may require additional time to assess the situation prior to providing consent.

### In review, prior to commencing any activities in proximity to the pipeline, you must:

- Make a locate request
- Obtain TC Energy's written consent (apply online at [writtenconsent.transcanada.com](http://writtenconsent.transcanada.com) or call 1-877-872-5177). Often written consent for minor activities can be obtained directly from regional TC Energy representative through a locate request.
- Obtain TC Energy's safety practices to be followed while working in the vicinity of its pipes or prescribed area and information that clearly explains the significance of the locate markings.

## Mobile equipment and vehicle crossings

The operation of a vehicle or mobile equipment across a TC Energy right-of-way requires TC Energy's written consent, except in the following circumstances:

- Vehicle or mobile equipment is operating within the travelled portion of a highway or public road across the right-of-way
- Vehicle and mobile equipment is being used to perform an agricultural activity and the following conditions are being met:
  1. The loaded axle weight and tire pressures of the vehicle is being operated within the manufacturer's approved limits and operating guidelines; and
  2. The point of crossing has not been identified by TC Energy as a location where a crossing could impair the pipeline's safety or security

## Agricultural activities

Agricultural activity involves the work of producing crops and raising livestock and includes tillage, plowing, disking, harrowing, and pasturing but does not include the construction of new buildings or the placement of footings, foundations, pilings or posts.

The following agricultural activities do not require written consent from TC Energy:

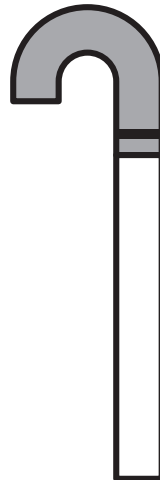
- Cultivation activities (e.g. tillage, plowing, disking and harrowing) to a depth of less than 45 centimetres, as these activities are exempt from the applicable statutory definitions of a ground disturbance (See the Approvals for Working Around TC Energy's Facilities section).
- Agricultural vehicle and mobile equipment crossings as described in the mobile equipment and vehicle crossings section above.



Warning sign



Warning sign



Vent marker



Aerial marker

## Development on or near the pipeline right-of-way

It is important for municipal authorities, developers and landowners to consult with TC Energy early in the planning stage of a development project on or near a right-of-way to ensure that TC Energy's pipelines and facilities are appropriately incorporated into the plan and that any new development near our facilities meets regulatory and TC Energy requirements.

Contact TC Energy before developing within 750 metres of TC Energy compressor stations and pump stations so that we can analyze potential impacts and recommend measures to protect adjacent lands from industrial impacts.

TC Energy requires significant advance notice for any development which increases the population density within approximately 200 metres of a pipeline. Population growth means potential changes to the operating requirements of the pipeline, and could result in a revision to operating pressure, a pipeline replacement, and/or other mitigation actions as necessary. Failure to consult with TC Energy in advance may result in significant delays and costs to the development. during these patrols to identify gas leaks.

Municipalities often prescribe minimum setback distances to restrict the building of a structure within a prescribed distance from a curb, property line, right-of-way or structure. These setbacks can help to minimize the risk of damage to buried infrastructure. As municipal setback requirements vary, contact the local authority and TC Energy to determine the requirements in your area.

**Any ground disturbance within 30 metres of the centerline of the pipe, construction of a facility across, on, along or under a pipeline (including the right-of-way), or vehicle or mobile equipment crossing the pipeline right-of-way may not occur without TC Energy's written consent.**

For detailed guidelines about applying for written consent from TC Energy, visit [writtenconsent.transcanada.com](https://www.transcanada.com/writtenconsent) or call **1-877-872-5177**. A copy of the guidelines can also be provided upon request.

The following must be taken into consideration when planning a development project.

**Subdivisions** – Contact TC Energy early in the design process so that we can comment on the proposed subdivision plans. TC Energy's practice is that our right-of-way be used as a passive green space or as part of a linear park system. Permanent structures on the right-of-way are not permissible.

**Roads and Utilities** – Contact TC Energy when designing roads and utilities. Roads may be permitted to cross and/or run parallel to the right-of-way, but no portion of a road allowance can be located on the right-of-way (apart from approved road crossings). TC Energy will also review the location of utilities, which are often proposed to be installed within road allowances.

**Blasting** – Contact TC Energy before conducting any blasting activities within 300 metres of the pipeline right-of-way so TC Energy can review your plans for potential impacts to its facilities. Blasting activities related to prospecting for mines and minerals within 40 metres of a federally regulated pipeline right-of-way require permission from the CER.

**Landscaping** – Contact TC Energy for written consent before landscaping. Projects such as pedestrian pathways and the planting of trees and shrubs may be permitted as long as they do not impede TC Energy's access along its right-of-way for operational or maintenance activities. Our written consent will specify the permitted landscaping requirements.

## Important contact information

### Canadian One-Call centres

British Columbia . . . . . 1-800-474-6886  
Alberta . . . . . 1-800-242-3447  
Saskatchewan. . . . . 1-866-828-4888  
Manitoba . . . . . 1-800-940-3447  
Ontario . . . . . 1-800-400-2255  
Quebec . . . . . 1-800-663-9228  
[www.clickbeforeyoudig.com](http://www.clickbeforeyoudig.com)

### Mobile phone apps

Saskatchewan. . . . . Sask1st Call  
Quebec . . . . . Info-Excavation  
Emergency . . . . . 1-888-982-7222

### General inquiries

Phone . . . . . 1-855-458-6715  
Email . . . . . [public\\_awareness@tcenergy.com](mailto:public_awareness@tcenergy.com)

### Landowner inquiries

Phone . . . . . 1-866-372-1601  
Email . . . . . [cdn\\_landowner\\_help@tcenergy.com](mailto:cdn_landowner_help@tcenergy.com)

### Applying for written consent

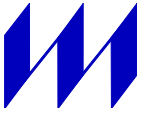
Online. . . . . [writtenconsent.transcanada.com](http://writtenconsent.transcanada.com)  
Phone . . . . . 1-877-872-5177

### Crossings inquiries

Email . . . . . [crossings@tcenergy.com](mailto:crossings@tcenergy.com)  
Quebec email. . . . . [quebec\\_crossings@tcenergy.com](mailto:quebec_crossings@tcenergy.com)

The majority of TC Energy's pipelines are regulated by the Canada Energy Regulator in Canada, with some pipelines regulated provincially. For more information on CER-regulated pipelines, visit [www.cer-rec.gc.ca](http://www.cer-rec.gc.ca).

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE				
Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant	Weston Consulting		5/24/2022	Planning Justification Letter



# WESTON CONSULTING

planning + urban design

Committee of Adjustment  
Office of the City Clerk  
City of Vaughan  
2141 Major Mackenzie Drive  
Vaughan, Ontario L6A 1T1

May 24, 2022  
File 9883

**RE: Minor Variance Application  
10356 Huntington Road  
City of Vaughan**

John Zipay and Associates, in partnership with Weston Consulting, is the planning consultant for Franca Zeppa, the registered owner of the property municipally known as 10356 Huntington Road in the City of Vaughan (herein referred to as the 'subject property'). On behalf of the landowner, we are pleased to file this application for Minor Variance for the subject property as it relates to the active Site Development application DA.20.032. Further to Council's draft approval of the DA.20.32 on April 20, 2021, which permitted the development of a private community centre and daycare facility, the proposed Site Plan has been revised to permit the development of a new vet clinic and daycare facility on the subject property.

The subject property is located on the east side of Huntington Road within the Kleinburg Planning Area. The site has a total area of approximately 0.38 hectares (0.94 acres) and is currently occupied by an existing single detached residential dwelling and ancillary garage. The property has approximately 46 metres of frontage along Huntington Road. Currently, vehicular access is achieved from two points along Huntington Road.

The subject property is designated *Agricultural* in accordance with Schedule 13 – Land Use of the Vaughan Official Plan. Vaughan Zoning By-law 1-88 zones the property A – Agricultural. The proposed uses are permitted under the current Official Plan and Zoning designations. In accordance with correspondence with City Legal, Site Development application DA.20.032 has been to be transitioned under the transition provisions of By-law 001-2021. As such, this minor variance application seeks relief from Zoning By-law 1-88 only.

A previous minor variance application (A080/21) was approved by the Committee of Adjustment (the 'Committee') on June 10, 2021, for a 2-storey structure, reduced front and side yard setbacks, reduced parking, a reduced landscaping strip along Huntington Road, and an increased canopy projection into the front yard. Table 1 below summarizes the approved variances, and the Notice of Decision for Application A080/21 is included with this submission.

**Table 1: Approved Variances**

Provision	1-88 Requirement	Approved (A080/21)
Front Yard Setback	15.0 m	3.07 m
Interior Side Yard Setback (North)	15.0 m	1.57 m
Interior Side Yard Setback (South)	15.0 m	10.93 m
Minimum Landscape Strip abutting a streetline	6.0 m	0.88 m
Maximum Canopy Projection	0.5 m	1.23 m
Minimum Parking Spaces	136 spaces	50 spaces

The revised development has been designed generally in accordance with the approved variances; however, one new additional variance related to lot coverage and a revised parking variance are required to facilitate the revised development proposal as summarized in Table 2 below. The lot coverage of 29.1% is required in order to accommodate a 1-storey building as opposed to a 2-storey building, which would have had a smaller footprint. The daycare operator has indicated a preference for a 1-storey structure, which better accommodates daycare programming for small children. With respect to the parking variance, please note that the approved variance for the community centre and daycare facility was a reduction of 86 spaces, whereas the new variance for parking related to the combination of a daycare and vet clinic is a reduction of only 5 spaces. Both requested variances maintain the general purpose and intent of the Official Plan and Zoning By-law, are minor in nature, are desirable for the development of the land, and represent good planning.

**Table 2: Proposed Variances**

Provision	1-88 Requirement	Proposed (May 2022)
Maximum Lot Coverage	20%	29.1%
Minimum Parking Spaces	24 spaces for daycare, 14 spaces for vet clinic. <b>Total: 38 spaces</b>	19 spaces for daycare*, 14 spaces for vet clinic, <b>Total: 33 spaces</b>

\*Please note that Zoning By-law 001-2021 requires only 16 parking spaces for the daycare use at a rate of 1 space per employee.

We are pleased to submit the following revised materials in support of the proposed Minor Variance application for the subject property:

1. Cover Letter, prepared by Weston Consulting & John Zipay and Associates, dated May 24, 2022;
2. Application Form, prepared by Weston Consulting & John Zipay and Associates, dated May 24, 2022;
3. Site Plan, prepared by FBP Architects, dated February 1, 2022;
4. Arborist Report, prepared by DA White Tree Care, dated January 19, 2022;
5. Notice of Decision (A080/21), dated June 10, 2021; and
6. Correspondence from City Legal re: Transition of Application, dated May 5, 2022.



We trust that the above is in order. Please contact the undersigned at 416-305-7989 should there be any questions related to the enclosed submission.

Yours truly,

A handwritten signature in black ink, appearing to read 'John Zipay', with a stylized, flowing script.

John Zipay, MCIP, RPP

c. City Park Homes

SCHEDULE D: PREVIOUS COA DECISIONS ON THE SUBJECT LAND		
File Number	Date of Decision MM/DD/YYYY	Decision Outcome
A080/21	06/10/21	APPROVED

**NOTICE OF DECISION**  
**Minor Variance Application A080/21**  
 Section 45 of the Planning Act, R.S.O, 1990, c.P.13

**Date of Hearing:** Thursday, June 10, 2021  
**Applicant:** Franca Zeppa  
**Agent** John Zipay - John Zipay & Associates  
**Property:** **10356 Huntington Road, Woodbridge**  
**Zoning:** The subject lands are zoned and subject to the provisions of Exception under By-law 1-88 as amended.  
**OP Designation:** Vaughan Official Plan 2010 ('VOP 2010'): "Agricultural"  
**Related Files:** DA.20.032  
**Purpose:** Relief from By-law 1-88, as amended, is being requested to permit the construction of a proposed Community Centre and Daycare Centre and to facilitate related Site Plan Application DA20.032.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
1. A minimum front yard setback of 15.0m is required. (Schedule A)	1. To permit a minimum front yard setback of 3.07m.
2. A minimum side yard setback of 15.0m is required. (Schedule A).	2. To permit a minimum side yard setback of 1.57m at north side.
3. A minimum side yard setback of 15.0m is required. (Schedule A)	3. To permit a minimum side yard setback of 10.93m at south side.
4. A strip of landscaping not less than 6.0m in width shall be provided along a lot line which abuts a street line. (3.13)	4. To permit a landscaping strip of 0.88m along the lot line which abuts the street.
5. Canopies shall not project more than 0.5m into a required yard. (3.14)	5. To permit a maximum projection of 1.23m for the canopy into the front yard.
6. A minimum of 136 parking spaces is required.	6. To permit a minimum of 50 parking spaces.

**Sketch:** A sketch illustrating the request has been attached to the decision.

**Having regard to the requirements of Section 45 of the *Planning Act*, R.S.O. 1990, c. P. 13, as amended, including the written and oral submissions related to the application, it is the decision of the Committee:**

THAT Application No. A080/21 on behalf of Franca Zeppa, be **APPROVED**, in accordance with the sketch submitted with the application (as required by Ontario Regulation 200/96) and subject to the following conditions:

	Department/Agency	Condition
1	Development Engineering Farzana Khan  905-832-8585 x 3608 <a href="mailto:Farzana.Khan@Vaughan.ca">Farzana.Khan@Vaughan.ca</a>	The Owner/applicant shall obtain approval for the related Site Development Application (DA.20.032) from the Development Engineering (DE) Department.

**For the following reasons:**

1. The general intent and purpose of the by-law will be maintained.
2. The general intent and purpose of the official plan will be maintained.
3. The requested variance(s) is/are acceptable for the appropriate development of the subject lands.
4. The requested variance(s) is/are minor in nature.

**Please Note:**

It is the responsibility of the owner/applicant and/or authorized agent to address any condition(s) of approval noted in this decision to the satisfaction of the commenting department or agency. Once conditions have been satisfied, the Secretary Treasurer will be in a position to issue a clearance letter which is required prior to the issuance of a Building Permit.

Relief granted from the City’s Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City’s Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.






**Written & oral submissions considered in the making of this decision were received from the following:**

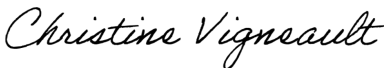
Public Written Submissions	Public Oral Submissions
* Public Correspondence received and considered by the Committee in making this decision	*Please refer to the approved Minutes of the Thursday , June 10, 2021 meeting for submission details.
None	None

**Late Written Public Submissions: N/A**

Public written submissions on an Application shall only be received by the Secretary Treasurer until **noon** on the last business day prior to the day of the scheduled Meeting.

**MEMBERS PRESENT WHO CONCUR IN THIS DECISION:**

		
H. Zheng Member	A. Perrella Chair	R. Buckler Member
		
S. Kerwin Vice Chair		A. Antinucci Member

<b>DATE OF HEARING:</b>	<b>June 10, 2021</b>
<b>DATE OF NOTICE:</b>	<b>June 18, 2021</b>
<b>LAST DAY FOR *APPEAL:</b> *Please note that appeals must be received by this office no later than 4:30 p.m. on the last day of appeal.	<b>June 30, 2021 4:30 p.m.</b>
<b>CERTIFICATION:</b> I hereby certify that this is a true copy of the decision of the City of Vaughan's Committee of Adjustment and this decision was concurred in by a majority of the members who heard the application.    Christine Vigneault, AMP, ACST Manager Development Services & Secretary Treasurer to the Committee of Adjustment	

\*Electronic signatures have been used to process this decision as approved by the Committee of Adjustment at the May 28, 2020 hearing.

**Appealing to The Local Planning Appeal Tribunal**  
The *Planning Act*, R.S.O. 1990, as amended, Section 45

The applicant, the Minister or any other person or public body who has an interest in the matter may within 20 days of the making of the decision appeal to the Local Planning Appeal Tribunal (LPAT) against the decision of the Committee by filing with the Secretary-Treasurer of the Committee a notice of appeal (A1 Appeal Form) setting out the objection to the decision and the reasons in support of the objection accompanied by payment to the Secretary-Treasurer of the fee prescribed by the Tribunal under the *Local Planning Appeal Tribunal Act*.

A notice of appeal may not be filed by an unincorporated association or group. However, a notice of appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

When **no appeal is lodged** within twenty days of the date of the making of the decision, the decision becomes final and binding and notice to that effect will be issued by the Secretary-Treasurer.

**PLEASE NOTE:** As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time. Please mail or courier appeals and prescribed fees to:

Office of the City Clerk - Committee of Adjustment  
2141 Major Mackenzie Drive  
Vaughan Ontario, L6A 1T1

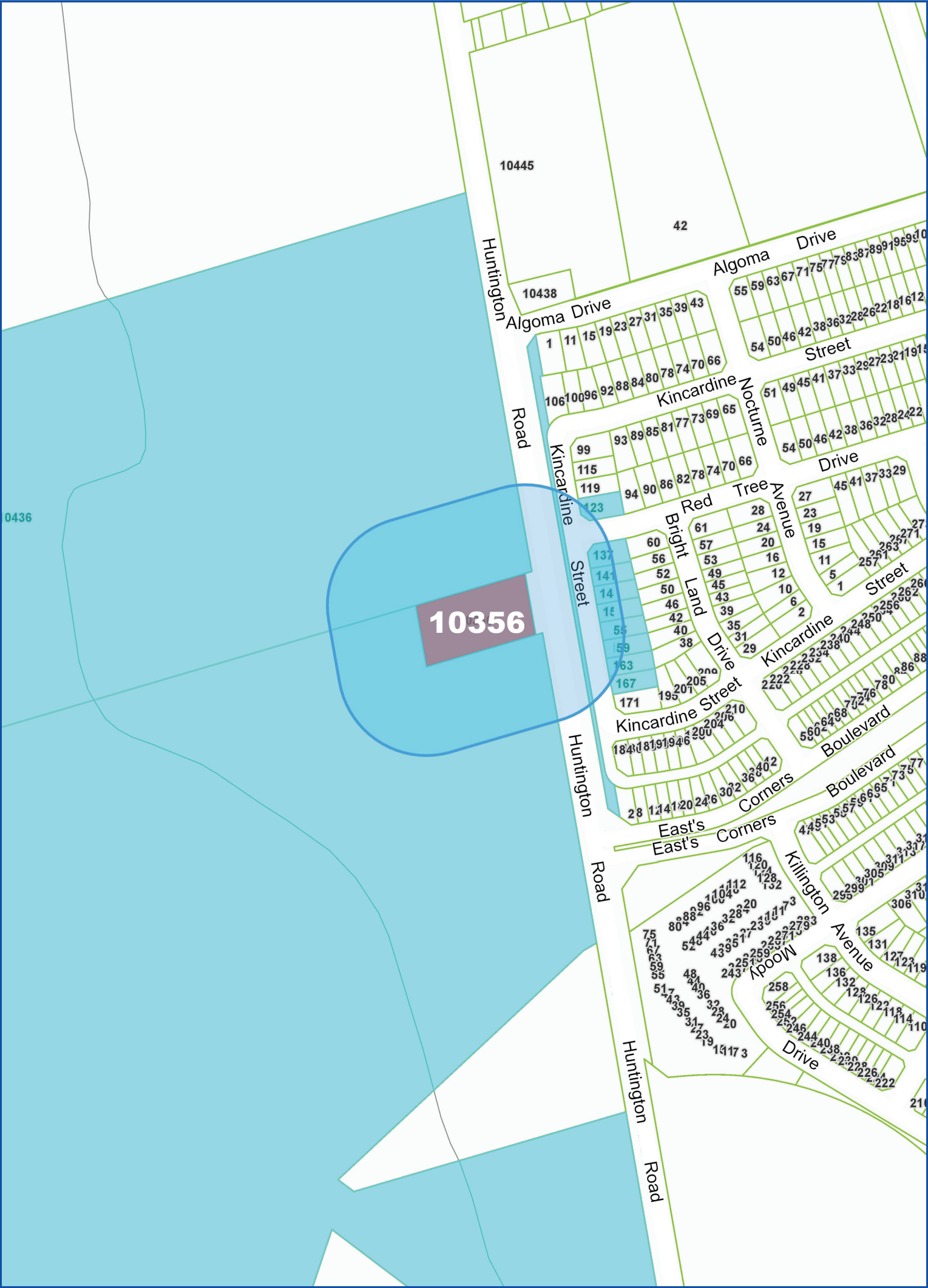
If you have questions regarding the appeal process, please email [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

**Appeal Fees & Forms**

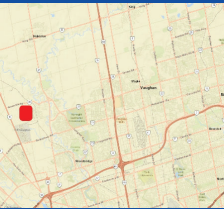
**Local Planning Appeal Tribunal:** The LPAT appeal fee is \$400 plus \$25 for each additional consent/variance appeal filed by the same appellant against connected applications. The LPAT Appeal Fee must be paid by certified cheque or money order payable to the "Minister of Finance". Appeal forms (A1 Appeal Form – Minor Variance) can be obtained at [www.elto.gov.on.ca](http://www.elto.gov.on.ca) or by contacting our office at 905-832-8585 Ext. 8332 or [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

**City of Vaughan LPAT Processing Fee:** \$866.00 per application

\*Please note that all fees are subject to change.



Map Information:



Title:

10356 HUNTINGTON ROAD, KLEINBURG

NOTIFICATION MAP - A080/21

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1:3,596

0 0.06 km



Created By:

Infrastructure Delivery  
Department  
May 17, 2021 3:43 PM

Projection:  
NAD 83  
UTM Zone  
17N



architects inc.  
70 Siltan Road, Unit #01,  
Woodbridge, Ontario, L4L 8B9  
(905) 265-2688

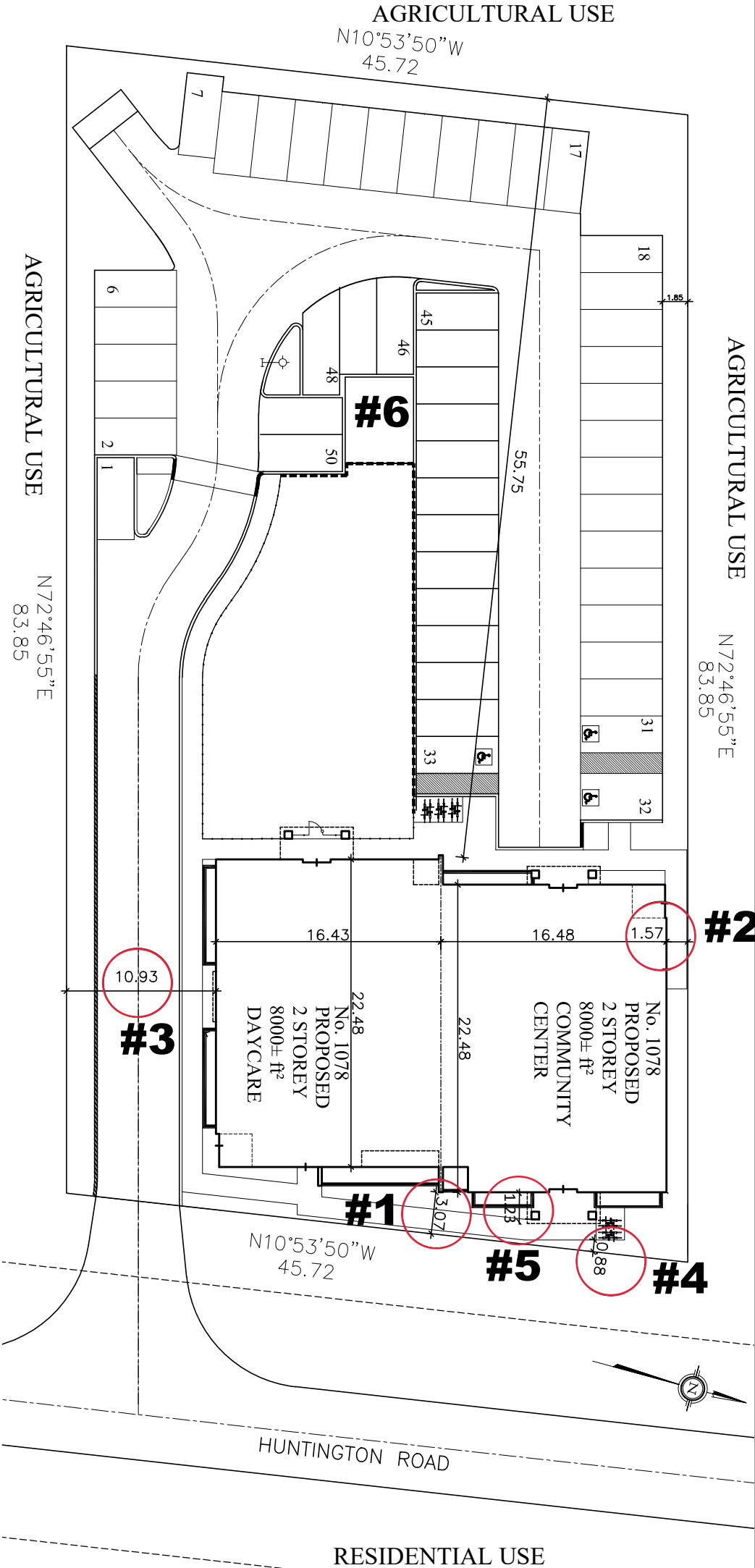
CITY PARK HOMES DEVELOPMENTS

PROPOSED DAYCARE/COMMENTY CENTER

10356 HUNTINGTON RD. VAUGHAN

APRIL 22, 2021

1:400 SCALE



PARKING STATISTICS	
PARKING REQUIRED UNDER EXISTING BY-LAW 1-88:	
Daycare (1.5 space/employee)	36
Community Center (1 space/ 3 persons x 298 persons)	100
(occupancy load/capacity=298 persons)	
Accessible Parking space (Type A & Type B)	6
TOTAL PARKING REQUIRED UNDER EXISTING BY-LAW 1-88:	136
PARKING REQUIRED UNDER NEW PROPOSED THIRD DRAFT BY-LAW:	
Daycare (1.0 space/employee)	24
Community Center (2 spaces/ 100sq.m x 745sq.m)	15
Accessible Parking space (Type A & 2xType B)	3
TOTAL REQUIRED UNDER NEW PROPOSED BY-LAW:	39
TOTAL PROVIDED UNDER NEW PROPOSED BY-LAW:	50