

<b>ITEM #: 6.15</b>	<b>COMMITTEE OF ADJUSTMENT REPORT MINOR VARIANCE APPLICATION A164/22 327 CASTLEHILL RD MAPLE</b>
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**COA REPORT SUMMARY**

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING  
DEPARTMENTS & AGENCIES:**

*\*Please see **Schedule B** of this report for a copy of Staff and Agency correspondence.*

*Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City’s Website.*

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	X	X		General Comments
Building Standards -Zoning Review <i>*Schedule B</i>	X	X		General Comments
Building Inspection (Septic)	X			No Comments Recieved to Date
Development Planning <i>*Schedule B</i>	X	X		Recommend Approval/No Conditions
Development Engineering	X	X	X	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	X			No Comments or Concerns
By-law & Compliance, Licensing & Permits	X			No Comments Recieved to Date
Development Finance	X			No Comments or Concerns
Real Estate				
Fire Department	X			No Comments Recieved to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA <i>*Schedule B</i>	X			No Comments Recieved to Date
Ministry of Transportation (MTO) <i>*Schedule B</i>	X			No Comments Recieved to Date
Region of York <i>*Schedule B</i>	X	X		General Comments
Alectra <i>*Schedule B</i>	X	X		General Comments
Bell Canada <i>*Schedule B</i>	X	X		General Comments
YRDSB <i>*Schedule B</i>				
YCDSB <i>*Schedule B</i>				
CN Rail <i>*Schedule B</i>				
CP Rail <i>*Schedule B</i>				
TransCanada Pipeline <i>*Schedule B</i>	X			No Comments Recieved to Date
Metrolinx <i>*Schedule B</i>				
Propane Operator <i>*Schedule B</i>				

PUBLIC & APPLICANT CORRESPONDENCE				
<i>*Please see <b>Schedule C</b> of this report for a copy of the public &amp; applicant correspondence listed below.</i>				
The deadline to submit public comments is <b>noon on the last business day prior to the scheduled hearing date.</b>				
Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City’s Website.				
All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.				
Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

PREVIOUS COA DECISIONS ON THE SUBJECT LAND		
<i>*Please see <b>Schedule D</b> for a copy of the Decisions listed below</i>		
File Number	Date of Decision MM/DD/YYYY	Decision Outcome
None		

ADJOURNMENT HISTORY	
* Previous hearing dates where this application was adjourned by the Committee and public notice issued.	
None	



**COMMITTEE OF ADJUSTMENT REPORT  
MINOR VARIANCE APPLICATION  
A164/22  
327 CASTLEHILL RD MAPLE**

**FILE MANAGER:** Lenore Providence, Administrative Coordinator - Committee of Adjustment

<b>ITEM NUMBER: 6.15</b>	<b>CITY WARD #: 1</b>
<b>APPLICANT:</b>	Emilio and Elisa Casciato
<b>AGENT:</b>	Saverio (Sam) and Tiziana Catricala
<b>PROPERTY:</b>	327 Castlehill Rd Maple
<b>ZONING DESIGNATION:</b>	See Below
<b>VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:</b>	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
<b>RELATED DEVELOPMENT APPLICATIONS:</b>	None
<b>PURPOSE OF APPLICATION:</b>	Relief from the Zoning By-law is being requested to permit the existing covered deck.

The following variances have been requested from the City's Zoning By-law:

**The subject lands are zoned R3(EN) Third Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.339 under Zoning By-law 001-2021.**

#	Zoning By-law 001-2021	Variance requested
1	A maximum lot coverage of 40 % is permitted. [T-36]	To permit a maximum lot coverage of 42.68 %.
2	A minimum rear yard of 9 metres is required from the rear lot line to the covered porch with basement walkup below. [T-36]	To permit a minimum rear yard of 6.26 m from the rear lot line to the covered porch with basement walkup below.

**The subject lands are zoned R3, Residential Zone and subject to the provisions of Exception 9(566) under Zoning By-law 1-88, as amended.**

	Zoning By-law 1-88	Variance requested
3	A maximum lot coverage of 40 % is permitted. [T-36]	To permit a maximum lot coverage of 41.98%. (Dwelling 36.9%, Existing Deck 5.08%)
4	A minimum rear yard setback of 9 metres is required from the rear lot line to the covered porch with basement walkup below. [T-36]	To permit a minimum rear yard setback of 6.26 m from the rear lot line to the covered porch with basement walkup below.

### HEARING INFORMATION

**DATE OF MEETING:** Thursday, July 28, 2022

**TIME:** 6:00 p.m.

**MEETING LOCATION:** Vaughan City Hall, Council Chamber, 2141 Major Mackenzie Drive, Vaughan

**LIVE STREAM LINK:** [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil)

#### PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

If you would like to submit written comments, please quote file number above and submit by mail or email to:

**Email:** [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

**Mail:** City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

**THE DEADLINE TO REGISTER TO SPEAK OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.**

INTRODUCTION	
<p>Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.</p> <p>Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application may consider the following:</p> <p>That the general intent and purpose of the by-law will be maintained. That the general intent and purpose of the official plan will be maintained. That the requested variance(s) is/are acceptable for the appropriate development of the subject lands. That the requested variance(s) is/are minor in nature.</p> <p>Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.</p>	

COMMITTEE OF ADJUSTMENT COMMENTS	
<b>Date Public Notice Mailed:</b>	July 14, 2022
<b>Date Applicant Confirmed Posting of Sign:</b>	July 12, 2022
<b>Applicant Justification for Variances:</b> <small>*As provided by Applicant in Application Form</small>	Given it is an existing structure built in 2012 without going through the permit application process.
<b>Adjournment Requests (from staff):</b> <small>*Adjournment requests provided to applicant <b>prior</b> to issuance of public notice</small>	None
<b>Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:</b>  <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>  <small>*A revised submission may be required to address staff / agency comments received as part of the application review process.</small>  <small>*Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>	No
<b>Adjournment Fees:</b> In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice.  An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff <b>after</b> the issuance of public notice.	
<b>Committee of Adjustment Comments:</b>	None
<b>Committee of Adjustment Recommended Conditions of Approval:</b>	None

BUILDING STANDARDS (ZONING) COMMENTS	
<b>**See Schedule B for Building Standards (Zoning) Comments</b>	
<b>Building Standards Recommended Conditions of Approval:</b>	None

DEVELOPMENT PLANNING COMMENTS	
<b>**See Schedule B for Development Planning Comments.</b>	
<b>Development Planning Recommended Conditions of Approval:</b>	None

DEVELOPMENT ENGINEERING COMMENTS	
<a href="#">Link to Grading Permit</a> <a href="#">Link to Pool Permit</a> <a href="#">Link to Curb Curt Permit</a> <a href="#">Link Culvert Installation</a>	
<p>As the proposed covered porch in the subject property is 27m2, the owner/ applicant needs to obtain a lot grading permit from Development Inspection and Lot Grading division of the City’s Development Engineering Department. Please note any in ground structure over 10 m2 requires a grading permit. Please contact COA application engineering reviewer after receiving the grading permit to clear the condition. (Condition attached)</p> <p>The Development Engineering (DE) Department does not object to variance application A164/22 subject to the following condition:</p>	



DEVELOPMENT ENGINEERING COMMENTS	
<a href="#">Link to Grading Permit</a> <a href="#">Link to Pool Permit</a> <a href="#">Link to Curb Curt Permit</a> <a href="#">Link Culvert Installation</a>	
Development Engineering Recommended Conditions of Approval:	The Owner/applicant shall submit a revised Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.

PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS	
Forestry has no comment at this time.	
PFH Recommended Conditions of Approval:	None

DEVELOPMENT FINANCE COMMENTS	
No comment no concerns.	
Development Finance Recommended Conditions of Approval:	None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS	
No comments received to date.	
BCLPS Recommended Conditions of Approval:	N/A

BUILDING INSPECTION (SEPTIC) COMMENTS	
No comments received to date.	
Building Inspection Recommended Conditions of Approval:	N/A

FIRE DEPARTMENT COMMENTS	
No comments received to date.	
Fire Department Recommended Conditions of Approval:	N/A

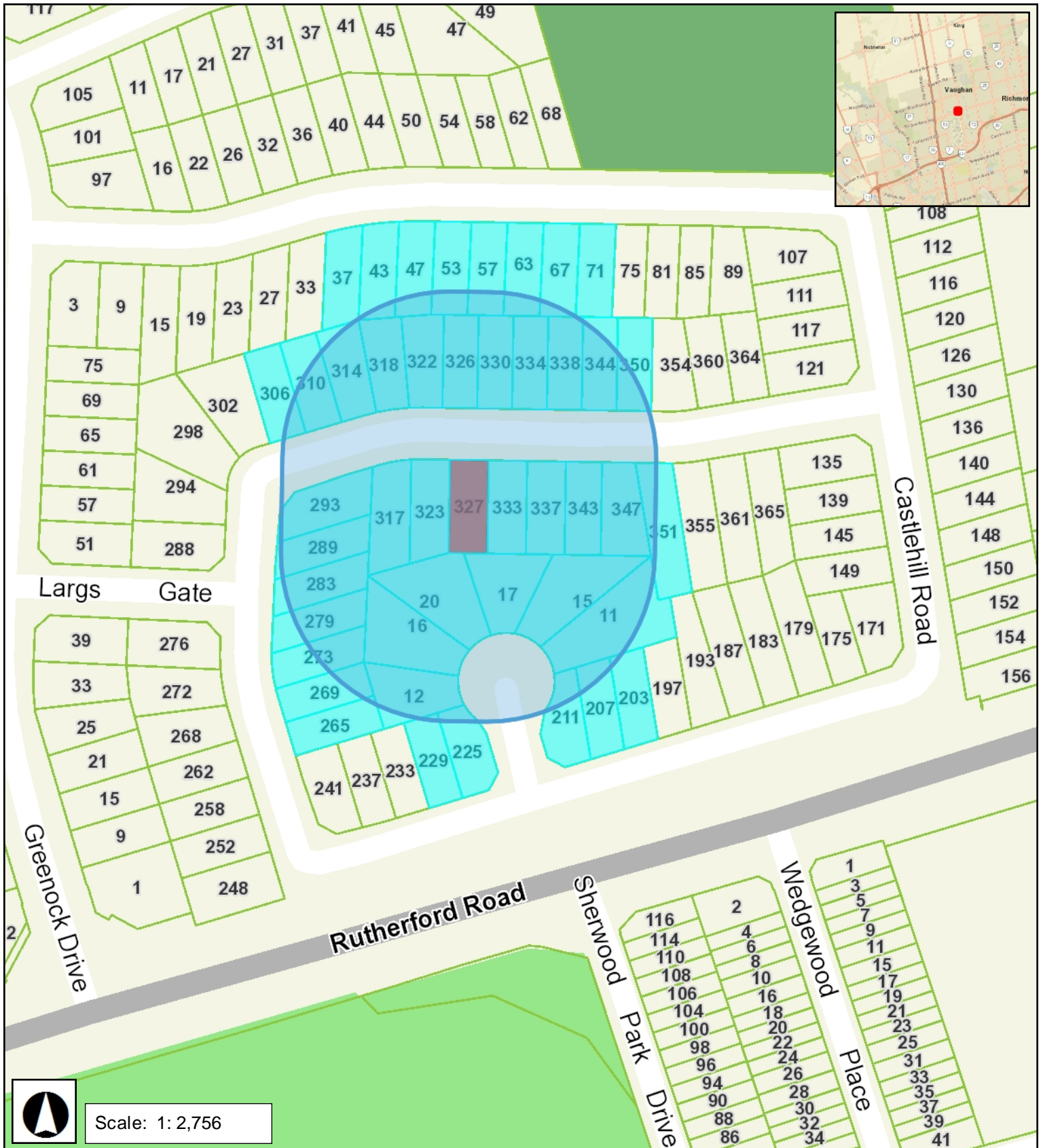
SCHEDULES TO STAFF REPORT	
*See Schedule for list of correspondence	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Staff & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL		
All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.		
#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Engineering <a href="mailto:ian.reynolds@vaughan.ca">ian.reynolds@vaughan.ca</a>	The Owner/applicant shall submit a revised Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL		
		email at <a href="mailto:DEPermits@vaughan.ca">DEPermits@vaughan.ca</a> or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.
IMPORTANT INFORMATION – PLEASE READ		
<p><b>CONDITIONS:</b> It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (<b>see condition chart above for contact</b>). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.</p>		
<p><b>APPROVALS:</b> Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.</p> <p>An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.</p> <p>A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.</p> <p>Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.</p> <p>Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.</p>		
<p><b>DEVELOPMENT CHARGES:</b> That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City’s Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment</p> <p>That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City’s Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.</p>		
<p><b>NOTICE OF DECISION:</b> If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will <b>not</b> receive notice.</p>		

**SCHEDULE A: DRAWINGS & PLANS**



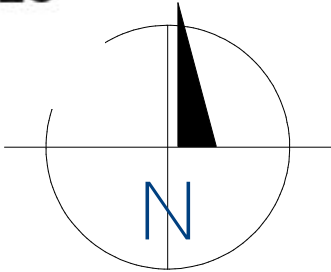
KEELE STREET

Received

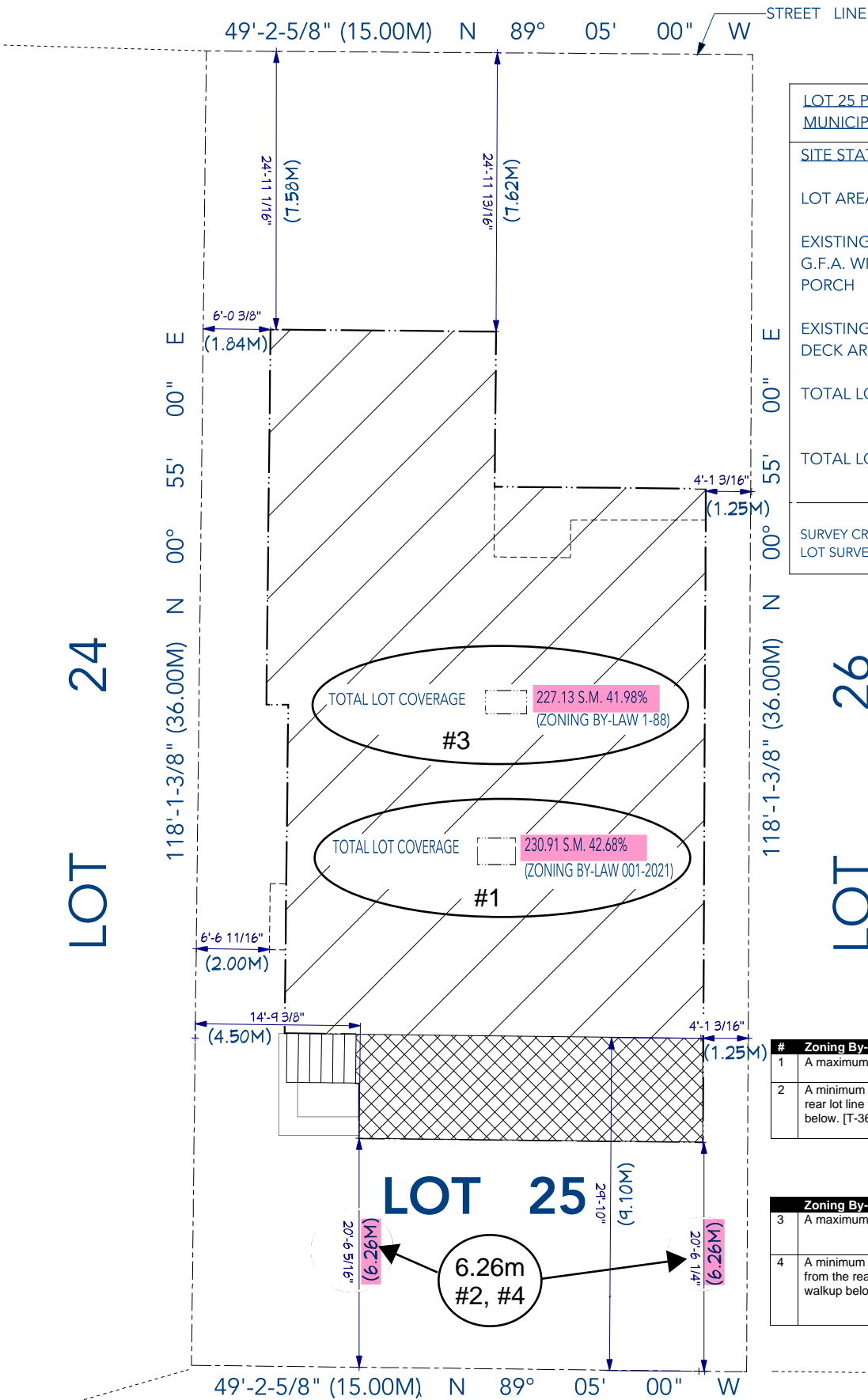
June 20, 2022

A164/22

PLANS PREPARED AND VARIANCES IDENTIFIED BY APPLICANT



CASTLEHILL ROAD



LOT 25 PLAN 65M-2731 REGIONAL MUNICIPALITY OF YORK	
SITE STATISTICS / LEGEND	
LOT AREA LOT 25	541.03 S.M.
EXISTING DWELLING G.F.A. WITH GARAGE & PORCH	200.18 S.M. 36.9%
EXISTING COVERED DECK AREA	27 S.M. 5.08%
TOTAL LOT COVERAGE	227.13 S.M. 41.98% (ZONING BY-LAW 1-88)
TOTAL LOT COVERAGE	230.91 S.M. 42.68% (ZONING BY-LAW 001-2021)
SURVEY CREDITS: SURVEY INFORMATION TAKEN FROM, LOT SURVEYS BY: RADY-PENTEK & EDWARD SURVEYING LTD.	

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CATRICALA DESIGNS

Project North

No.

Issued For

Date

PROJECT

DRAWN BY: SC

SHEET TITLE

DATE:

SHEET

1

MINOR VARIANCE APP.

22/04/05

CASCIATO COVERED DECK ADDITION

PROJECT NO: 2022- 001

SITE PLAN

2022-04-05

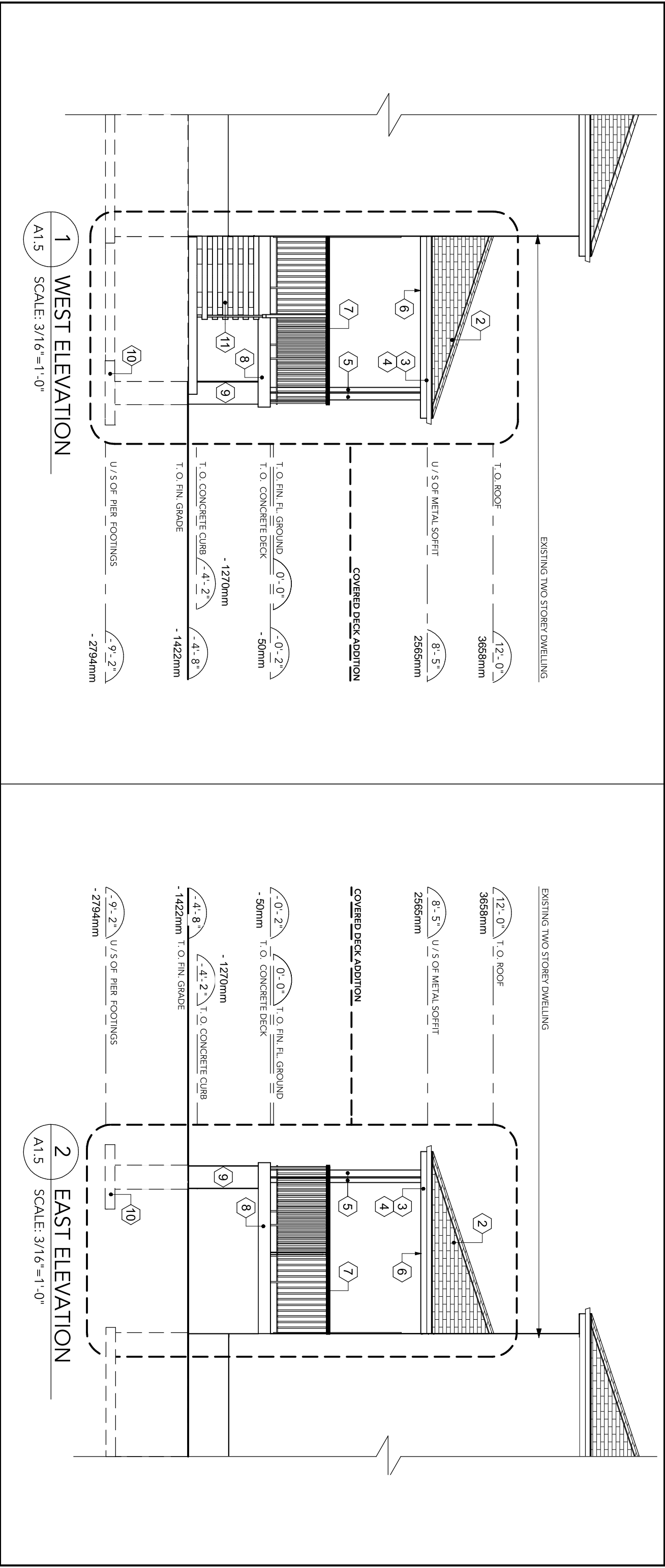
SCALE:

5/32" = 1'-0"

327 Castlehill Rd.  
Maple Ontario L6A 1V9

SAM CATRICALA

A1.1



CONSTRUCTION NOTES

- 1

**PREFINISHED METAL FLASHING.**  
PROVIDE STEPPED WALL FLASHING AT SLOPING INTERFACE(S) AND CAPPING AS REQUIRED.  
SEAL AT ALL EXISTING MASONRY WALL CONDITIONS.
- 2

**SLOPED ROOF CONSTRUCTION.**  
ASPHALT SHINGLES ON #15 ROOF FELT ON 5/8" PLYWOOD SHEATING, ON WOOD TRUSSES 16" O.C.
- 3

**EAVESTROUGH**  
4" OR 5" PRE - FIN. METAL EAVESTROUGH ON PRE - FIN. METAL SIDING FASCIA ON WOOD SUB. FRAME.
- 4

**RAINWATERLEADER.**  
PREFIN. METAL RAIN WATER LEADERS (RWL) TO MATCH EAVESTROUGH.
- 5

**STEEL HSS COLUMN**  
3" OR 4" ROUND GALV.HSS COL. W/ SADDLE CONNECTOR AT ROOF BEAMS. W/ 1/4"D X 10"X10" BASE PLATE (AT BOTTOM), SLEEVE ANCHORED TO TOP OF CONC. PIERS WITH 4 -1/2"X 6" BOLTS. ALL HSS COL. FILLED WITH NON-SHRINK GROUT.
- 6

**SOFFIT**  
1/2" PRE-FINISHED MEATAL SIDING. W/ CONTINUOUS STRIP VENTING . ON 2"X4" SUB-FRAME. 16" O.C.
- 7

**GUARD RAILS**  
36" HIGH LANDS UNDER 5'-9". 42" HIGH LANDS ABOVE 5'-9". 4" MAX SPACE BETWEEN PICKETS. GUARDS TO RESIST LOADS AS PER O.B.C. SEC. 4.1.10.1
- 8

**FLOATING CONC. DECK SLAB**  
8" D - 32 MPA AIR ENTRAINED CONCRETE REINFORCED FLOATING SLAB, W/ 15M REBAR EACH WAY 12" O.C. TOP AND BOTTOM OF SLAB HORIZ. POCKETED AND DOWELED INTO BRICK VENEER 12" O.C.
- 9

**RIENFORCED CONC. PIER**  
14" X 14" 25 MPA AIR ENTRAINED CONCRETE PIER, W/ 4-15M REBAR VERTICAL, W/ 10M REBAR TIES 12" O.C. W/ 4 -15M 36" X 36" REBAR DOWELS INTO CONC. DECK ABOVE.
- 10

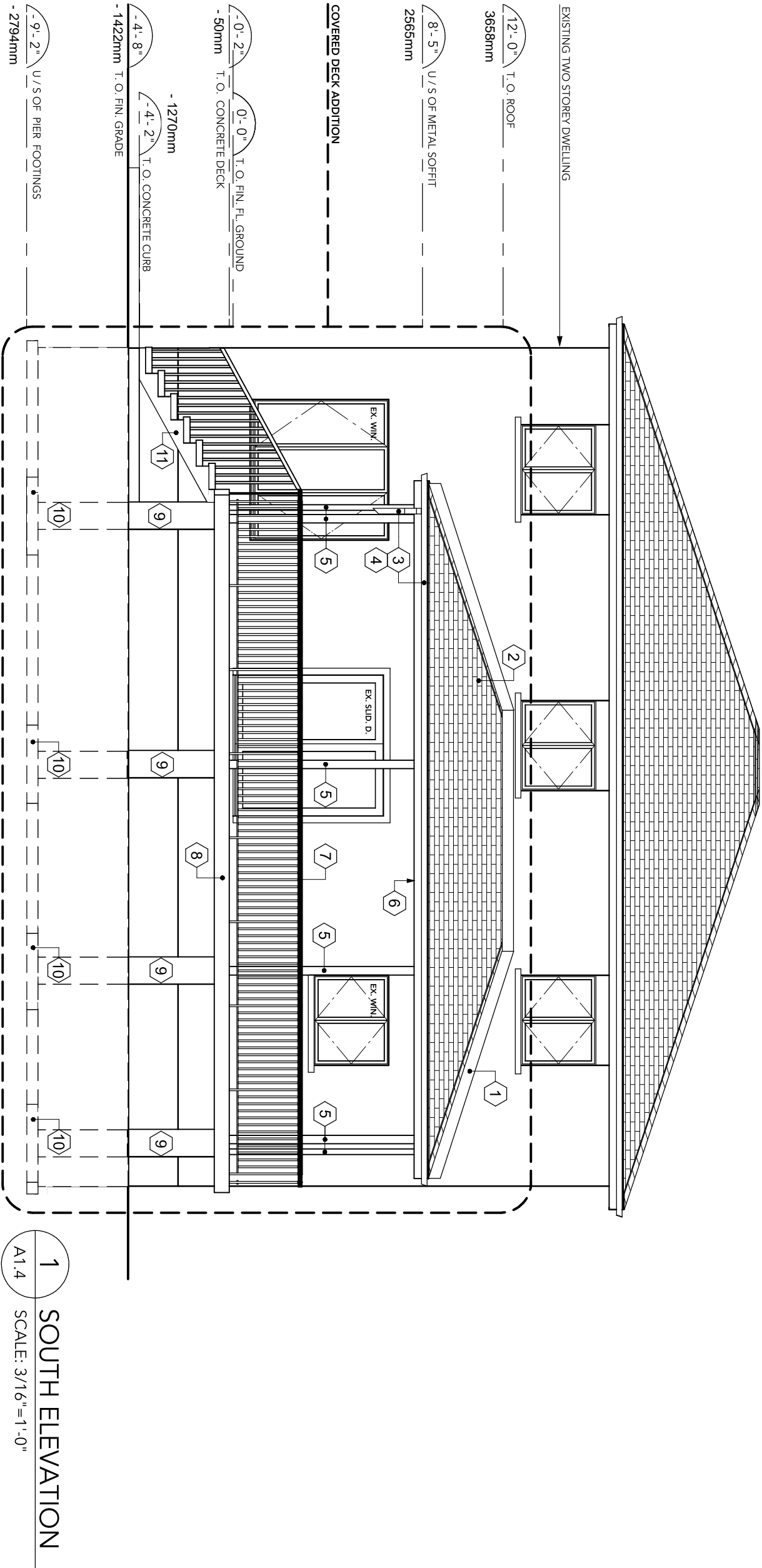
**PIER FOOTINGS**  
6"D X 28" X 28". 25 MPA AIR ENTRAINED CONCRETE FOOTINGS, W/ 4-15M REBAR EACH WAY HORIZONTAL, W/ 4- 15M 36" VERTICAL REBAR DOWELS. ALL FOOTINGS MIN. 4'-0" BELOW GRADE
- 11

**EXTERIOR STAIRS**  
25 MPA REINFORCED AIR ENTRAINED CONC. MAX. RISE = 7 1/2" MIN. TREAD=11" NOSING = 1" RAILINGS AT STAIRS = 3'-0" ABOVE NOSING OF TREAD (RAILING REQUIRED WHERE TOTAL ELEV. EXCEEDS 24") MIN. HEAD ROOM = 7'-0" MIN.

Project North		No.	Issued For	Date	PROJECT		DRAWN BY: SC		SHEET TITLE		DATE:	SHEET	
CATRICALA DESIGNS		1	FOR PERMIT	22/01/04	CASCATO COVERED DECK ADDITION 327 Castlehill Rd. Maple Ontario L6A 1V9		PROJECT No: 2022- 001 (416) 678-8443 SAM CATRICALA		WEST & EAST ELEVATIONS		2022-01-04	SCALE:  3/16" = 1'-0"	

A1.5





CONSTRUCTION NOTES

- 1

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Project North		No.	Issued For	Date	PROJECT		DRAWN BY: SC		SHEET TITLE	DATE:	SHEET
CATRICALA DESIGNS		1	FOR PERMIT	22/01/04	CASCIATO COVERED DECK ADDITION 327 Castlehill Rd. Maple Ontario L6A 1V9		PROJECT No: 2022- 001 (416) 678-8443 SAM CATRICALA		SOUTH ELEVATION	2022-01-04	A1.4
										SCALE: 3/16" = 1'-0"	



SCHEDULE B: STAFF & AGENCY COMMENTS				
DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	X			No Comments Recieved to Date
Ministry of Transportation (MTO) *Schedule B	X			No Comments Recieved to Date
Region of York *Schedule B	X	X		General Comments
Alectra *Schedule B	X	X		General Comments
Bell Canada *Schedule B	X	X		General Comments
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Recieved to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				
Development Planning	X	X		Recommend Approval/no conditions
Building Standards (Zoning)	X	X		General Comments

**Date:** July 6<sup>th</sup> , 2022

**Attention:** **Christine Vigneault**

**RE:** Request for Comments

**File No.:** **A164-22**

**Related Files:**

**Applicant** Emilio Casciato & Elisa Casciato

**Location** 327 Castlehill Road

**COMMENTS:**

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

**References:**

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

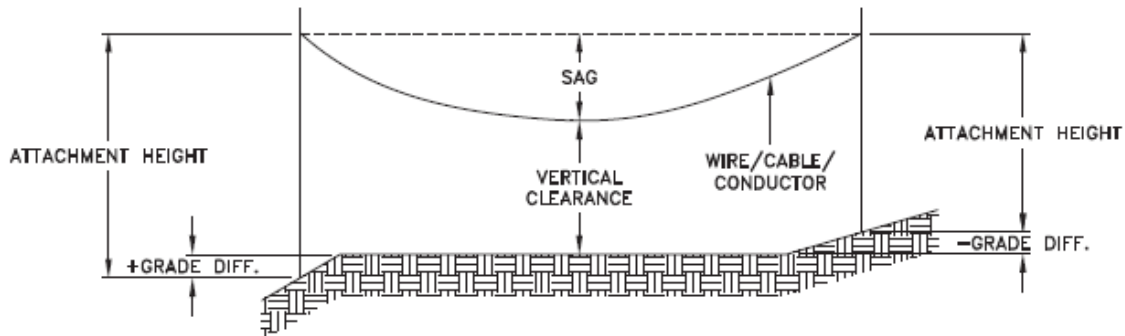
Mr. Stephen Cranley, C.E.T  
Supervisor, Distribution Design, ICI & Layouts (North)  
**Phone:** 1-877-963-6900 ext. 31297

**E-mail:** [stephen.cranley@alectrautilities.com](mailto:stephen.cranley@alectrautilities.com)

Mitchell Penner  
Supervisor, Distribution Design-Subdivisions  
**Phone:** 416-302-6215

**Email:** [Mitchell.Penner@alectrautilities.com](mailto:Mitchell.Penner@alectrautilities.com)

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
	MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)			
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG  
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)  
 + GRADE DIFFERENCE  
 + 0.3m (VEHICLE OR RAILWAY LOCATION)  
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

**NOTES:**

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

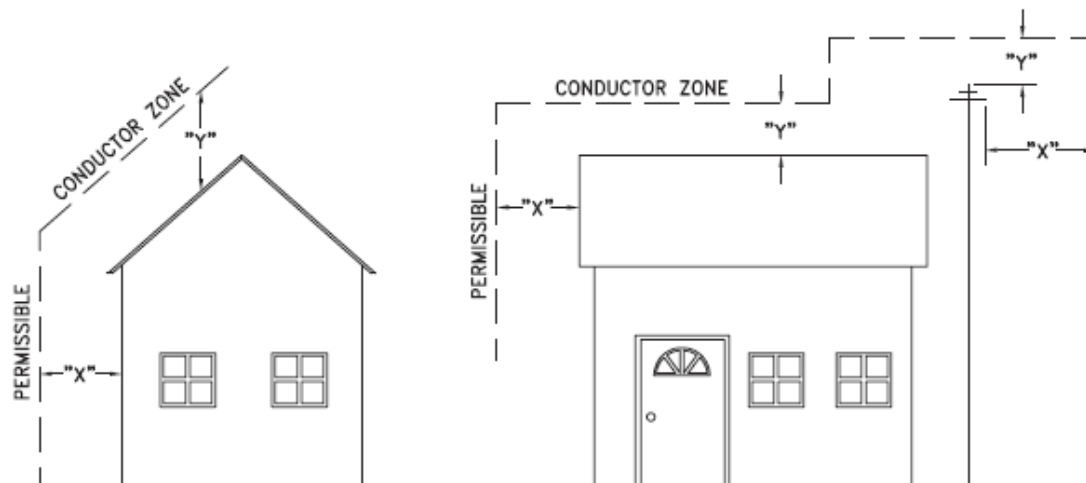
**REFERENCES**

SAGS AND TENSIONS | SECTION 02

**MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS**

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

### NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

### MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:

PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working folder\Section 3\3-4\DWG 03-4 R0 May 5, 2010.dwg, 5/5/2010 8:22:02 AM, Adobe PDF

**Certificate of Approval**  
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04  
Debbie Dadwani, P.Eng. 2010-MAY-05  
Name Date  
P.Eng. Approval By: D. Dadwani

**From:** [Gordon, Carrie](#)  
**To:** [Lenore Providence](#)  
**Cc:** [Committee of Adjustment](#)  
**Subject:** [External] RE: A164/22 - - REQUEST FOR COMMENTS, CITY OF VAUGHAN  
**Date:** Monday, July 4, 2022 11:33:13 AM

---

Hello,

Bell Canada has no comments for this minor variance.

Kind regards,

Carrie Gordon

*Carrie Gordon*



Associate, External Liaison  
Right of Way Control Centre  
140 Bayfield St, Fl 2  
Barrie ON, L4M 3B1  
T: 705-722-2244/844-857-7942  
F :705-726-4600

---

**From:** Lenore Providence <Lenore.Providence@vaughan.ca>  
**Sent:** Monday, July 4, 2022 11:31 AM  
**To:** ROWCC <rowcentre@bell.ca>; Gordon, Carrie <carrie.gordon@bell.ca>;  
developmentservices@york.ca; yorkplan@trca.ca; Hamedeh.Razavi@trca.ca;  
engineeringadmin@powerstream.ca; TCenergy@mhbcpplan.com  
**Subject:** [EXT]A164/22 - - REQUEST FOR COMMENTS, CITY OF VAUGHAN

Hello,

Please email comments and recommendations on the above noted application to [cofa@vaughan.ca](mailto:cofa@vaughan.ca). If you wish to be notified of the decision, please confirm in writing.

The deadline to submit comments on this application is **July 18, 2022**.

Should you have any questions or require additional information please contact the undersigned.

Regards

**Lenore Providence**  
**Administrative Coordinator - Committee of Adjustment**  
905-832-8585, ext. 8394 [Lenore.providence@vaughan.ca](mailto:Lenore.providence@vaughan.ca)

**To:** Committee of Adjustment  
**From:** Catherine Saluri, Building Standards Department  
**Date:** June 27, 2022  
**Applicant:** Emilio and Elisa Casciato  
**Location:** 327 Castlehill Rd  
Plan 65M2731 Lot 25  
**File No.(s):** A164/22

**Zoning Classification:**

The subject lands are zoned R3(EN) Third Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.339 under Zoning By-law 001-2021.

#	Zoning By-law 001-2021	Variance requested
1	A maximum lot coverage of 40 % is permitted. [T-36]	To permit a maximum lot coverage of 42.68 %.
2	A minimum rear yard of 9 metres is required from the rear lot line to the covered porch with basement walkup below. [T-36]	To permit a minimum rear yard of 6.26 m from the rear lot line to the covered porch with basement walkup below.

The subject lands are zoned R3, Residential Zone and subject to the provisions of Exception 9(566) under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
3	A maximum lot coverage of 40 % is permitted. [T-36]	To permit a maximum lot coverage of 41.98%.
4	A minimum rear yard setback of 9 metres is required from the rear lot line to the covered porch with basement walkup below. [T-36]	To permit a minimum rear yard setback of 6.26 m from the rear lot line to the covered porch with basement walkup below.

**Staff Comments:**

**Stop Work Order(s) and Order(s) to Comply:**

Order to Comply No. 21-130889 has been issued for the construction of a covered concrete deck located in the rear yard.

**Building Permit(s) Issued:**

Building Permit Application No. 2022-100558 has been submitted for an existing covered concrete deck/porch in the rear yard.

**Other Comments:**

General Comments	
5	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit.
6	The Applicant shall be advised that a separate/alternate entrance shall not be used to facilitate a second dwelling unit/Secondary Suite.

**Conditions of Approval:**

If the committee finds merit in the application, the following conditions of approval are recommended.

None

\* Comments are based on the review of documentation supplied with this application.



**kTo:** Christine Vigneault, Committee of Adjustment Secretary Treasurer

**From:** Nancy Tuckett, Director of Development Planning

**Date:** July 12, 2022

**Name of Owner:** Emilio and Elisa Casciato

**Location:** 327 Castlehill Road

**File No.(s):** A164/22

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**Proposed Variance(s) (By-law 001-2021):**

1. To permit a maximum lot coverage of 42.68 %.
2. To permit a minimum rear yard of 6.26 m from the rear lot line to the covered porch with basement walkup below.

**By-Law Requirement(s) (By-law 001-2021):**

1. A maximum lot coverage of 40 % is permitted.
2. A minimum rear yard of 9 metres is required from the rear lot line to the covered porch with basement walkup below.

**Proposed Variance(s) (By-law 1-88):**

3. To permit a maximum lot coverage of 41.98%.
4. To permit a minimum rear yard setback of 6.26 m from the rear lot line to the covered porch with basement walkup below.

**By-Law Requirement(s) (By-law 1-88):**

3. A maximum lot coverage of 40% is permitted.
4. A minimum rear yard setback of 9 metres is required from the rear lot line to the covered porch with basement walkup below.

**Official Plan:**

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential".

**Comments:**

The Owner is requesting permission to permit the existing covered deck in the rear yard.

The existing dwelling and eaves have a lot coverage of 37.6%, while the existing rear deck and its eaves have a lot coverage of 5.08%. There are no proposed changes to the existing single detached dwelling. The maximum lot coverage is increasing to include the covered deck and the area underneath the eaves of all buildings as defined in By-law 001-2021. The deck coverage is consistent with previous approvals in the neighbourhood and will not pose a significant visual impact to the adjacent properties or streetscape. The increase in total lot coverage is minor in nature, and as such, the Development Planning Department has no objection to Variance 1 and 3.

The Development Planning Department has no objection to Variance 2 and 4, as the reduction to the rear yard setback will not pose a significant visual impact to nor impact the function of the abutting uses. The rear yard setback of 6.26 m also maintains an appropriate area for landscaped rear yard amenity space, access, and drainage, and will not impact the abutting properties.

Accordingly, the Development Planning Department can support the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-laws, and is desirable for the appropriate development of the land.

**Recommendation:**

The Development Planning Department recommends approval of the application.

**Conditions of Approval:**

If the Committee finds merit in the application, the following conditions of approval are recommended:

None

**Comments Prepared by:**

Michelle Perrone, Planner 1  
David Harding, Senior Planner

**From:** [Development Services](#)  
**To:** [Committee of Adjustment](#)  
**Subject:** [External] FW: A164/22 - - REQUEST FOR COMMENTS, CITY OF VAUGHAN  
**Date:** Monday, July 4, 2022 3:55:09 PM  
**Attachments:** [image002.png](#)  
[image004.png](#)  
[APPCIRC A164 22.pdf](#)

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Hello,

The Regional Municipality of York has completed its review of the minor variance application - A164/22 and has no comment.

Thank you,

**Maryam Ahmed, B.U.R.PL.** | Associate Planner, Programs and Process Improvement, Planning and Economic Development, Corporate Services

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The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1  
1-877-464-9675 x74528 | [maryam.ahmed@york.ca](mailto:maryam.ahmed@york.ca) | [www.york.ca](http://www.york.ca)

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**From:** Lenore Providence <Lenore.Providence@vaughan.ca>  
**Sent:** Monday, July 4, 2022 11:31 AM  
**To:** rowcentre@bell.ca; carrie.gordon@bell.ca; Development Services <developmentservices@york.ca>; yorkplan@trca.ca; Hamedeh.Razavi@trca.ca; engineeringadmin@powerstream.ca; TCEnergy@mhbcplan.com  
**Subject:** A164/22 - - REQUEST FOR COMMENTS, CITY OF VAUGHAN

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Hello,

Please email comments and recommendations on the above noted application to [cofa@vaughan.ca](mailto:cofa@vaughan.ca). If you wish to be notified of the decision, please confirm in writing.

The deadline to submit comments on this application is **July 18, 2022**.

Should you have any questions or require additional information please contact the undersigned.

Regards

**Lenore Providence**

**Administrative Coordinator - Committee of Adjustment**

905-832-8585, ext. 8394 [Lenore.providence@vaughan.ca](mailto:Lenore.providence@vaughan.ca)

**City of Vaughan | Office of the City Clerk**

2141 Major Mackenzie Dr., Vaughan, ON L6A 1T1

[vaughan.ca](http://vaughan.ca)

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<b>SCHEDULE C: PUBLIC &amp; APPLICANT CORRESPONDENCE</b>
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None