

ITEM #: 6.14

**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A162/22
197 Andy Cres, Woodbridge**

COA REPORT SUMMARY

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES:**

*Please see **Schedule B** of this report for a copy of Staff and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	X	X		General Comments
Building Standards -Zoning Review *Schedule B	X	X		General Comments
Building Inspection (Septic)	X			No Comments Recieved to Date
Development Planning *Schedule B	X	X		Recommend Approval/No Conditions
Development Engineering	X	X		Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	X	X		No Comments or Concerns
By-law & Compliance, Licensing & Permits	X			No Comments Recieved to Date
Development Finance	X	X		No Comments or Concerns
Real Estate				
Fire Department	X			No Comments Recieved to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	X			No Comments Recieved to Date
Ministry of Transportation (MTO) *Schedule B	X			No Comments Recieved to Date
Region of York *Schedule B	X			No Comments Recieved to Date
Alectra *Schedule B	X	X		General Comments
Bell Canada *Schedule B	X			No Comments Recieved to Date
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Recieved to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				

PUBLIC & APPLICANT CORRESPONDENCE

*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

File Number	Date of Decision MM/DD/YYYY	Decision Outcome
None		

ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

None	
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**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A162/22
197 Andy Cres, Woodbridge**

FILE MANAGER: Adriana Bozzo, Administrative Coordinator - Committee of Adjustment

ITEM NUMBER: 6.14	CITY WARD #: 2
APPLICANT:	Margaret Paglia
AGENT:	Philip R. Beuglet Custom Design & Drafting
PROPERTY:	197 Andy Cres, Woodbridge
ZONING DESIGNATION:	See below
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit the construction of a proposed gazebo.

The following variances have been requested from the City's Zoning By-law:

The subject property is zoned R3 (EN), Third Density Residential Zone (Established Neighbourhood) subject to the provisions of Exception 14.423 under By-law 001-2021, as amended.

#	Zoning By-law 01-2021	Variance requested
1	In any Residential Zone, the maximum height of an accessory building and residential accessory structure shall be 3.0 m. [Section 4.1.4.1]	To permit maximum height of residential accessory structure of 3.24m.
2	A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line. [Section 4.1.2.a]	To permit a residential accessory structure with a minimum setback of 0.84m from interior lot lines.
3	A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line. [Section 4.1.2.a]	To permit a residential accessory structure with a minimum setback of 0.61m from the rear lot line.
4	A minimum distance of 0.6 m shall be required from any permitted encroachment to the nearest lot line. [Section 4.13.3]	To permit eaves to project to a minimum distance of 0.30m from the rear lot line.
5	A minimum distance of 0.6 m shall be required from any permitted encroachment to the nearest lot line. [Section 4.13.3]	To permit eaves to project to a minimum distance of 0.51m from interior lot lines.

The subject lands are zoned R3, Residential Zone subject to the provisions of Exception 9(693) under By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
6	Minimum required rear yard setback for an accessory building or structure is 7.5m. [Section 4.1.1.c]	To permit a minimum rear yard setback of 0.84m for the accessory structure.
7	Minimum interior yard setback for an accessory building or structure 1.2m. [Section 4.1.1.c]	To permit a minimum interior side yard setback of 1.2m (from the north and south lot lines) for the accessory structure.

HEARING INFORMATION

DATE OF MEETING: Thursday, July 28, 2022
TIME: 6:00 p.m.
MEETING LOCATION: Vaughan City Hall, Council Chamber, 2141 Major Mackenzie Drive, Vaughan
LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

HEARING INFORMATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca
 If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

THE DEADLINE TO REGISTER TO SPEAK OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT COMMENTS

Date Public Notice Mailed:	July 14, 2022
Date Applicant Confirmed Posting of Sign:	July 12, 2022
Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small>	The setback is 7.5m and it is not possible to build the proposed gazebo within that distance as the pool is located there.
Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	None
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice. *A revised submission may be required to address staff / agency comments received as part of the application review process. *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>	No
Adjournment Fees: In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice. An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice.	
Committee of Adjustment Comments:	None
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING) COMMENTS

**See Schedule B for Building Standards (Zoning) Comments

Building Standards Recommended Conditions of Approval:	None
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DEVELOPMENT PLANNING COMMENTS

**See Schedule B for Development Planning Comments.

DEVELOPMENT PLANNING COMMENTS

Development Planning Recommended Conditions of Approval:	None
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DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

As the proposed gazebo in the subject property is 33.2 m², the owner/ applicant needs to obtain a lot grading permit from Development Inspection and Lot Grading division of the City's Development Engineering Department. Please note any in ground structure over 10 m² requires a grading permit. Please contact COA application engineering reviewer after receiving the grading permit to clear the condition.

Development Engineering Recommended Conditions of Approval:	The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading Division of the City's Development Engineering Department to obtain a permit for lot grading and/or servicing prior to any work being undertaken on the property. To apply for a lot grading and/or servicing permit, please contact the Development Engineering Department at DEPermits@vaughan.ca or visit the grading permit link provided above. Once the lot grading and/or servicing permit has been obtained, please contact the COA engineering reviewer to clear this condition.
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PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

Parks: No comment
Forestry: Forestry has no comment at this time.
Horticulture: No comment

PFH Recommended Conditions of Approval:	Parks: None Forestry: None Horticulture: None
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DEVELOPMENT FINANCE COMMENTS

No comment no concerns

Development Finance Recommended Conditions of Approval:	None
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BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

No comment

BCLPS Recommended Conditions of Approval:	None
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BUILDING INSPECTION (SEPTIC) COMMENTS

No comment

Building Inspection Recommended Conditions of Approval:	None
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FIRE DEPARTMENT COMMENTS

No comment

Fire Department Recommended Conditions of Approval:	None
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SCHEDULES TO STAFF REPORT

*See Schedule for list of correspondence

Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Staff & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “**if required**”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Engineering farzana.khan@vaughan.ca	The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading Division of the City’s Development Engineering Department to obtain a permit for lot grading and/or servicing prior to any work being undertaken on the property. To apply for a lot grading and/or servicing permit, please contact the Development Engineering Department at DEPermits@vaughan.ca or visit the grading permit link provided above. Once the lot grading and/or servicing permit has been obtained, please contact the COA engineering reviewer to clear this condition.

IMPORTANT INFORMATION – PLEASE READ

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

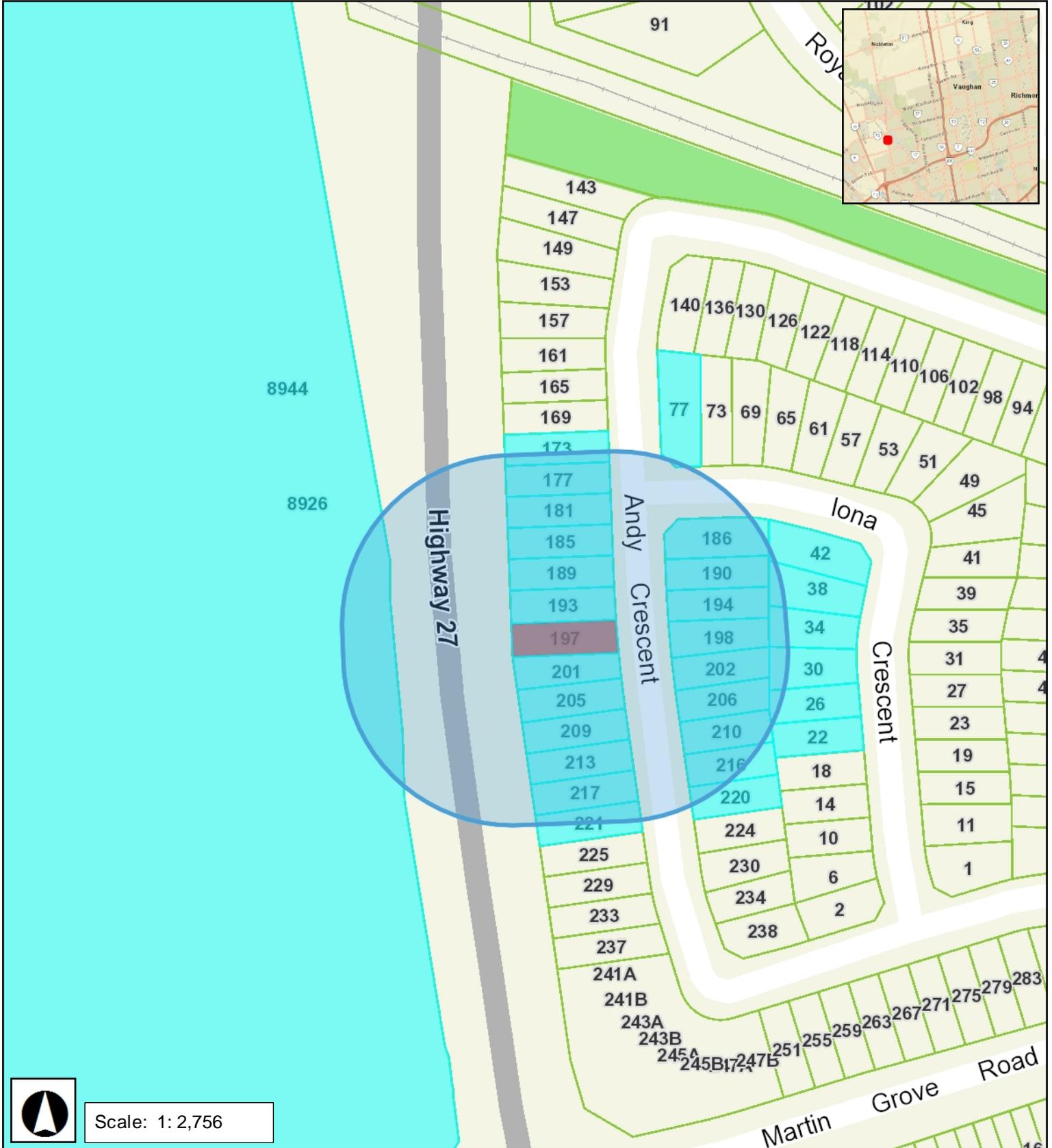
That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City’s Development Charges By-law in effect at the time of payment.

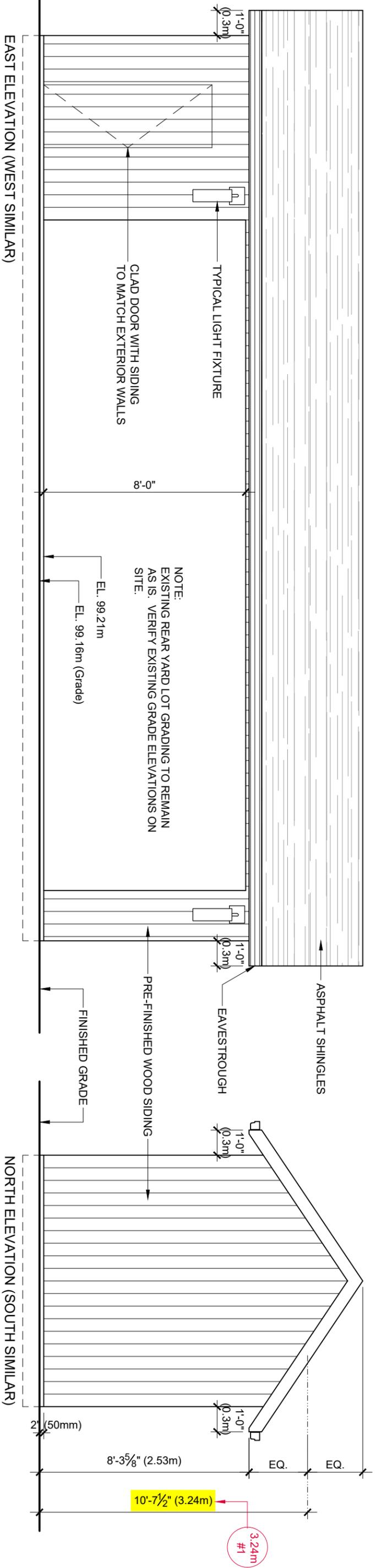
That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City’s Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS





NOTE:
 EXISTING REAR YARD LOT GRADING TO REMAIN
 AS IS. VERIFY EXISTING GRADE ELEVATIONS ON
 SITE.

EL. 99.21m
 EL. 99.16m (Grade)

EAST ELEVATION (WEST SIMILAR)

NORTH ELEVATION (SOUTH SIMILAR)

Philip R. Beuglet Residential Design
 The undersigned has reviewed and
 taken responsibility for this design and is
 registered under OBC Division C, 3.2.4.
 The designer is qualified in the appropriate
 classes/categories.

Signature: *Philip R. Beuglet* Date: JUNE 23, 2022
 Designer: Philip R. Beuglet
 BCIN: 22591 Firm BCIN: 31871



(519) 400-2261
 prbresidentialdesign@gmail.com
 www.prbresidentialdesign.com

SHEET TITLE
ELEVATIONS

PROJECT: POOL GAZEBO FOR:
PAGLIA RESIDENCE
 197 ANDY CRESCENT
 VAUGHAN, ON L4H 1C6

PROJ. NO.	2021-52
DATE	FEB. 2, 2022
DRAWN BY	PRB
CHECKED	PRB
SCALE	1/4" = 1'-0"
DRAWING NO.	

DATE	REVISION	DATE	REVISION
JUNE 4, 2022	REVISED FOR CDA COMMENTS		

A3

SCHEDULE B: STAFF & AGENCY COMMENTS

DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	X			No Comments Recieved to Date
Ministry of Transportation (MTO) *Schedule B	X			No Comments Recieved to Date
Region of York *Schedule B	X			No Comments Recieved to Date
Alectra *Schedule B	X	X		General Comments
Bell Canada *Schedule B	X			No Comments Recieved to Date
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Recieved to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				
Development Planning	X	X		Approval no conditions
Building Standards (Zoning)	X	X		General Comments

To: Committee of Adjustment
From: Punya Marahatta, Building Standards Department
Date: June 20, 2022
Applicant: Margaret Paglia
Location: PLAN 65M2857 Lot 15 municipally known as 197 Andy Crescent, Woodbridge, ON
File No.(s): A162/22

Zoning Classification:

The subject property is zoned R3 (EN), Third Density Residential Zone (Established Neighbourhood) subject to the provisions of Exception 14.423 under By-law 001-2021, as amended.

#	Zoning By-law 01-2021	Variance requested
1	In any Residential Zone, the maximum height of an accessory building and residential accessory structure shall be 3.0 m. [Section 4.1.4.1]	To permit maximum height of residential accessory structure of 3.24m.
2	A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line. [Section 4.1.2.a]	To permit a residential accessory structure with a minimum setback of 0.84m from interior lot lines.
3	A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line. [Section 4.1.2.a]	To permit a residential accessory structure with a minimum setback of 0.61m from the rear lot line.
4	A minimum distance of 0.6 m shall be required from any permitted encroachment to the nearest lot line. [Section 4.13.3]	To permit eaves to project to a minimum distance of 0.30m from the rear lot line.
5	A minimum distance of 0.6 m shall be required from any permitted encroachment to the nearest lot line. [Section 4.13.3]	To permit eaves to project to a minimum distance of 0.51m from interior lot lines.

The subject lands are zoned R3, Residential Zone subject to the provisions of Exception 9(693) under By-law 1-88, as amended.

#	Zoning By-law 1-88	Variance requested
6	Minimum required rear yard setback for an accessory building or structure is 7.5m. [Section 4.1.1.c]	To permit a minimum rear yard setback of 0.84m for the accessory structure.
7	Minimum interior yard setback for an accessory building or structure 1.2m. [Section 4.1.1.c]	To permit a minimum interior side yard setback of 1.2m (from the north and south lot lines) for the accessory structure.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

Building Permit No. 22-111208 for Shed/Gazebo - New, Issue Date: (Not Yet Issued)
 Building Permit No. 22-110032 for Single Detached Dwelling - Alteration, Issue Date: (Not Yet Issued)

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development Planning
Date: July 19, 2022
Name of Owners: Lino and Margaret Paglia
Location: 197 Andy Crescent
File No.(s): A162/22

Proposed Variance(s) (By-law 001-2021):

1. To permit maximum height of residential accessory structure of 3.24 m.
2. To permit a residential accessory structure with a minimum setback of 0.84 m from interior lot lines.
3. To permit a residential accessory structure with a minimum setback of 0.61 m from the rear lot line.
4. To permit eaves to project to a minimum distance of 0.30 m from the rear lot line.
5. To permit eaves to project to a minimum distance of 0.51 m from interior lot lines.

By-Law Requirement(s) (By-law 001-2021):

1. In any Residential Zone, the maximum height of an accessory building and residential accessory structure shall be 3.0 m.
2. A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line.
3. A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line.
4. A minimum distance of 0.6 m shall be required from any permitted encroachment to the nearest lot line.
5. A minimum distance of 0.6 m shall be required from any permitted encroachment to the nearest lot line.

Proposed Variance(s) (By-law 1-88):

6. To permit a minimum rear yard setback of 0.84 m for the accessory structure.
7. To permit a minimum interior side yard setback of 1.2 m (from the north and south lot lines) for the accessory structure.

By-Law Requirement(s) (By-law 1-88):

6. Minimum required rear yard setback for an accessory building or structure is 7.5 m.
7. Minimum interior yard setback for an accessory building or structure 1.2 m.

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Comments:

The Owners are requesting relief to facilitate the construction of a gazebo with the above noted variances.

The Development Planning Department has no objection to Variances 1, 2, 3, 6 and 7 for the proposed gazebo. The proposed increase in height and the reduction to the interior side yard setbacks and rear yard setback are consistent with previous approvals in the neighbourhood and will not have adverse impacts to the neighbouring properties. The gazebo will not have any adverse impacts to Highway 27 located on the other side of the rear lot line, and the proposed setbacks maintain appropriate areas for access and drainage. The gazebo height of 3.24 m also complies with Zoning By-law 01-2021, which was enacted by Vaughan Council on October 20, 2021, but has been appealed to the Ontario Land Tribunal and is not in-effect.

The Development Planning Department has no objection to Variances 4 and 5 for the proposed projection of the eaves. The projection to the interior lot lines is minor in nature and measured at a pinch point, with the south side yard setback expanding to 0.53 m at its greatest extent, and the north side yard setback expanding to 0.66 m at its greatest

extent. The projection to the rear lot line will not pose a significant visual impact to the abutting Highway 27.

Accordingly, the Development Planning Department can support the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-laws, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None

Comments Prepared by:

Joshua Cipolletta, Planner I
David Harding, Senior Planner



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

None