

<b>ITEM #: 6.6</b>	<b>COMMITTEE OF ADJUSTMENT REPORT MINOR VARIANCE APPLICATION A090/22 35 Autumn Wind Court, Kleinburg</b>
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**COA REPORT SUMMARY**

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING  
DEPARTMENTS & AGENCIES:**

*\*Please see **Schedule B** of this report for a copy of Staff and Agency correspondence.*

*Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.*

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	X	X		General Comments
Building Standards -Zoning Review <i>*Schedule B</i>	X	X		General Comments
Building Inspection (Septic)	X			No Comments Recieved to Date
Development Planning <i>*Schedule B</i>	X	X		Recommend Approval no Conditions
Development Engineering	X	X	X	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	X	X		General Comments
By-law & Compliance, Licensing & Permits	X			No Comments Recieved to Date
Development Finance	X	X		No Comments or Concerns
Real Estate				
Fire Department	X	X		General Comments
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA <i>*Schedule B</i>	X			No Comments Recieved to Date
Ministry of Transportation (MTO) <i>*Schedule B</i>	X			No Comments Recieved to Date
Region of York <i>*Schedule B</i>	X	X		General Comments
Alectra <i>*Schedule B</i>	X	X		General Comments
Bell Canada <i>*Schedule B</i>	X			No Comments Recieved to Date
YRDSB <i>*Schedule B</i>				
YCDSB <i>*Schedule B</i>				
CN Rail <i>*Schedule B</i>				
CP Rail <i>*Schedule B</i>				
TransCanada Pipeline <i>*Schedule B</i>	X			No Comments Recieved to Date
Metrolinx <i>*Schedule B</i>				
Propane Operator <i>*Schedule B</i>				

PUBLIC & APPLICANT CORRESPONDENCE				
<i>*Please see <b>Schedule C</b> of this report for a copy of the public &amp; applicant correspondence listed below.</i>				
The deadline to submit public comments is <b>noon on the last business day prior to the scheduled hearing date.</b>				
Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.				
All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.				
Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

PREVIOUS COA DECISIONS ON THE SUBJECT LAND		
<i>*Please see <b>Schedule D</b> for a copy of the Decisions listed below</i>		
File Number	Date of Decision MM/DD/YYYY	Decision Outcome
None		

ADJOURNMENT HISTORY	
* Previous hearing dates where this application was adjourned by the Committee and public notice issued.	
None	



**COMMITTEE OF ADJUSTMENT REPORT  
MINOR VARIANCE APPLICATION  
A090/22  
35 Autumn Wind Court, Kleinburg**

**FILE MANAGER:** Adriana Bozzo, Administrative Coordinator - Committee of Adjustment

<b>ITEM NUMBER:</b> 6.6	<b>CITY WARD #:</b> 1
<b>APPLICANT:</b>	Greeta Kay and Wentworth Graham
<b>AGENT:</b>	Nour Elgendy
<b>PROPERTY:</b>	35 Autumn Wind Court, Kleinburg
<b>ZONING DESIGNATION:</b>	See Below
<b>VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:</b>	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
<b>RELATED DEVELOPMENT APPLICATIONS:</b>	None
<b>PURPOSE OF APPLICATION:</b>	Relief from the Zoning By-law is being requested to permit the construction of a proposed one storey sunroom addition.

The following variances have been requested from the City's Zoning By-law:

**The subject lands are zoned R1B – First Density Residential Zone and subject to the provisions of Exception 14.815 under Zoning By-law 001-2021, as amended.**

#	Zoning By-law 001-2021	Variance requested
	No Variances under 001-2021	

**The subject lands are zoned R1 –Residential Zone and subject to the provisions of Exception 9(1162) under Zoning By-law 1-88, as amended.**

	Zoning By-law 1-88	Variance requested
1	The maximum permitted lot coverage is 35% of the lot area. Schedule A	To permit a maximum lot coverage of 39% of the lot area.

### HEARING INFORMATION

**DATE OF MEETING:** Thursday, July 7, 2022

**TIME:** 6:00 p.m.

**MEETING LOCATION:** Vaughan City Hall, Council Chamber, 2141 Major Mackenzie Drive, Vaughan

**LIVE STREAM LINK:** [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil)

#### PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

If you would like to submit written comments, please quote file number above and submit by mail or email to:

**Email:** [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

**Mail:** City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

**THE DEADLINE TO REGISTER TO SPEAK OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.**

### INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

INTRODUCTION	
Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:  That the general intent and purpose of the by-law will be maintained. That the general intent and purpose of the official plan will be maintained. That the requested variance(s) is/are acceptable for the appropriate development of the subject lands. That the requested variance(s) is/are minor in nature.  Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.	

COMMITTEE OF ADJUSTMENT COMMENTS	
Date Public Notice Mailed:	June 23, 2022
Date Applicant Confirmed Posting of Sign:	June 21, 2022
Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small>	Compromised useable living space.
Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	None
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:  <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>  <small>*A revised submission may be required to address staff / agency comments received as part of the application review process.</small>  <small>*Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>	No
<b>Adjournment Fees:</b> In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice.  An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff <b>after</b> the issuance of public notice.	
Committee of Adjustment Comments:	None
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING) COMMENTS	
**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING COMMENTS	
**See Schedule B for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	None

DEVELOPMENT ENGINEERING COMMENTS	
<a href="#">Link to Grading Permit</a> <a href="#">Link to Pool Permit</a> <a href="#">Link to Curb Curt Permit</a> <a href="#">Link Culvert Installation</a>	
As the proposed sunroom in the subject property is 28 m2, the owner/ applicant needs to obtain a lot grading permit from Development Inspection and Lot Grading division of the City's Development Engineering Department. Please note any in ground structure over 10 m2 requires a grading permit. Please contact COA application engineering reviewer after receiving the grading permit to clear the condition.	
Development Engineering Recommended Conditions of Approval:	The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development

DEVELOPMENT ENGINEERING COMMENTS	
<a href="#">Link to Grading Permit</a> <a href="#">Link to Pool Permit</a> <a href="#">Link to Curb Curt Permit</a> <a href="#">Link Culvert Installation</a>	
	Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.

PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS	
Parks: No comments Forestry: Forestry has no comment at this time. Horticulture: No comments	
PFH Recommended Conditions of Approval:	Parks: No comments Forestry: None Horticulture: No Comments

DEVELOPMENT FINANCE COMMENTS	
No comment no concerns	
Development Finance Recommended Conditions of Approval:	None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS	
No Comments	
BCLPS Recommended Conditions of Approval:	None

BUILDING INSPECTION (SEPTIC) COMMENTS	
No comments	
Building Inspection Recommended Conditions of Approval:	None

FIRE DEPARTMENT COMMENTS	
No Comments, no concerns	
Fire Department Recommended Conditions of Approval:	None

SCHEDULES TO STAFF REPORT	
*See Schedule for list of correspondence	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Staff & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL		
All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.		
#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	<a href="#">Development Engineering farzana.khan@vaughan.ca</a>	The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City’s Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL		
		grading permit link provided above to learn how to apply for lot grading and/or servicing approval.
IMPORTANT INFORMATION – PLEASE READ		
<p><b>CONDITIONS:</b> It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (<b>see condition chart above for contact</b>). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.</p>		
<p><b>APPROVALS:</b> Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.</p> <p>An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.</p> <p>A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.</p> <p>Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.</p> <p>Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.</p>		
<p><b>DEVELOPMENT CHARGES:</b> That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment</p> <p>That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.</p>		
<p><b>NOTICE OF DECISION:</b> If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will <b>not</b> receive notice.</p>		

**SCHEDULE A: DRAWINGS & PLANS**

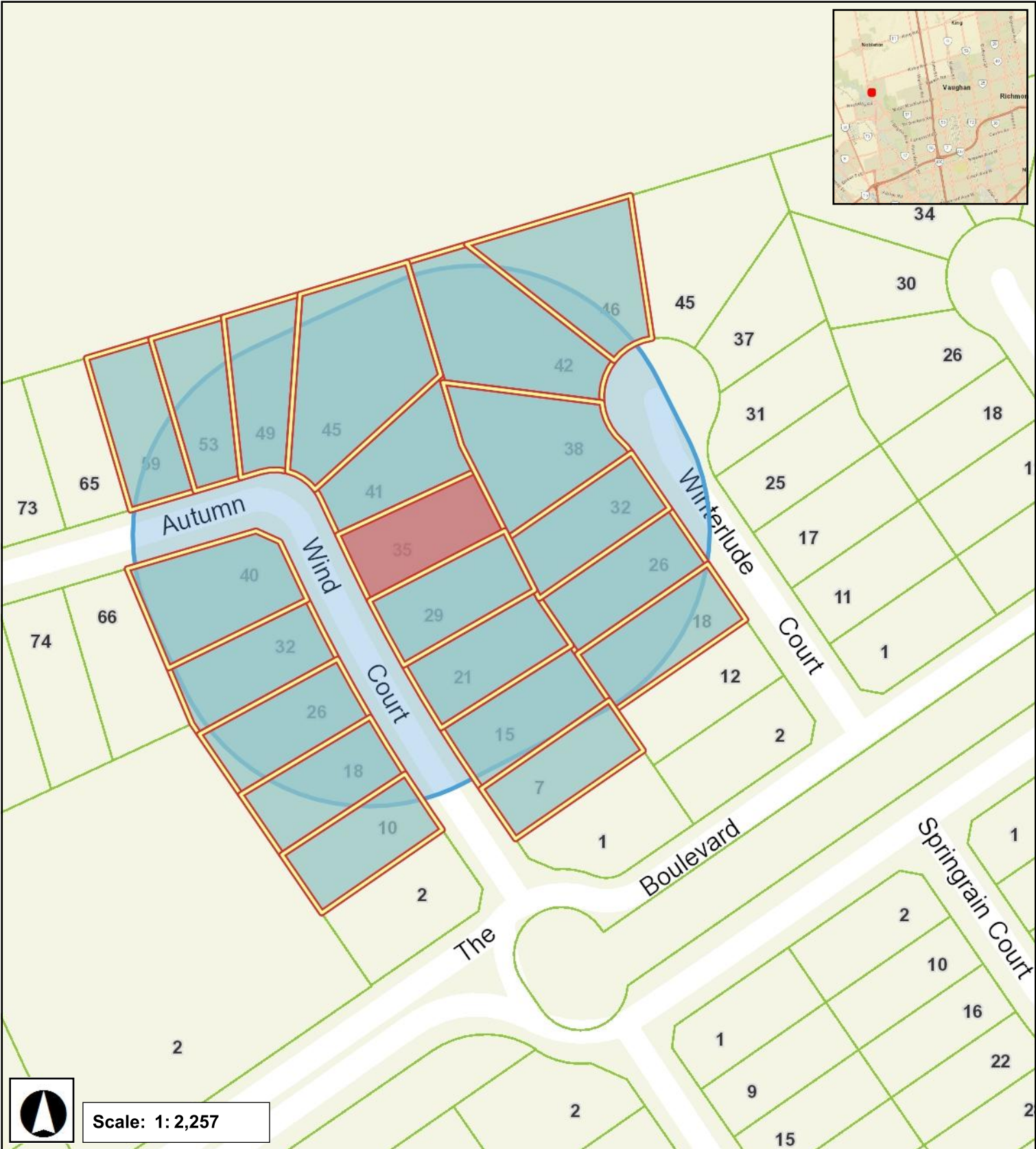




# A090/22 - Notification Map

35 Autumn Wind Court, Kleinburg

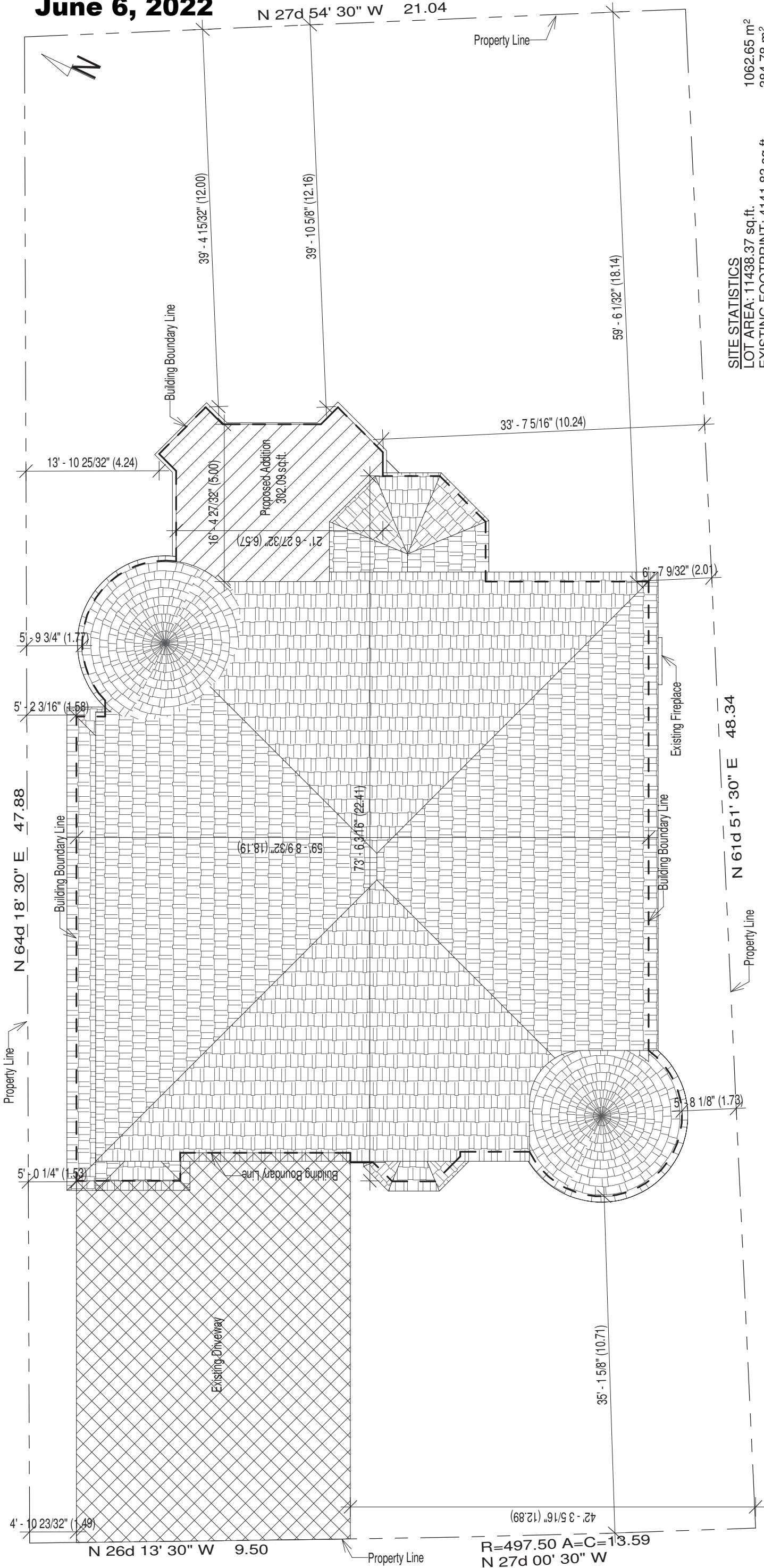
**Kirby Road**





June 6, 2022

A090/22



**SITE STATISTICS**  
LOT AREA: 11438.37 sq.ft. 1062.65 m<sup>2</sup>  
EXISTING FOOTPRINT: 4141.83 sq.ft. 384.78 m<sup>2</sup>  
SUNROOM ADDITION: 0 sq.ft. (ADDITION 0 m<sup>2</sup>  
BUILT UP ON EXISTING CONCRETE SLAB)  
TOTAL FOOTPRINT: 4141.83 sq.ft. 384.78 m<sup>2</sup>  
COVERAGE: 39%

**Corresponding Variance  
Number 1**

**1 SITE PLAN  
3/32" = 1'-0"**



Graham, Key & Wentworth  
35 Autumn Wind Cour Kleinburg  
ON L0J1C0

No.	Description	Date

SITE PLAN		A100
Project number	--	
Date	2022.05.26	
Drawn by	--	
Checked by	--	Scale 3/32" = 1'-0"

NOTES

- 1

FOUNDATION

FLOOR DECK TO BE BUILT ON TOP OF EXISTING CONCRETE SLAB
- 2

FLOOR DECK

SLEEPER JOISTS OVER EXISTING CONCRETE FOUNDATION

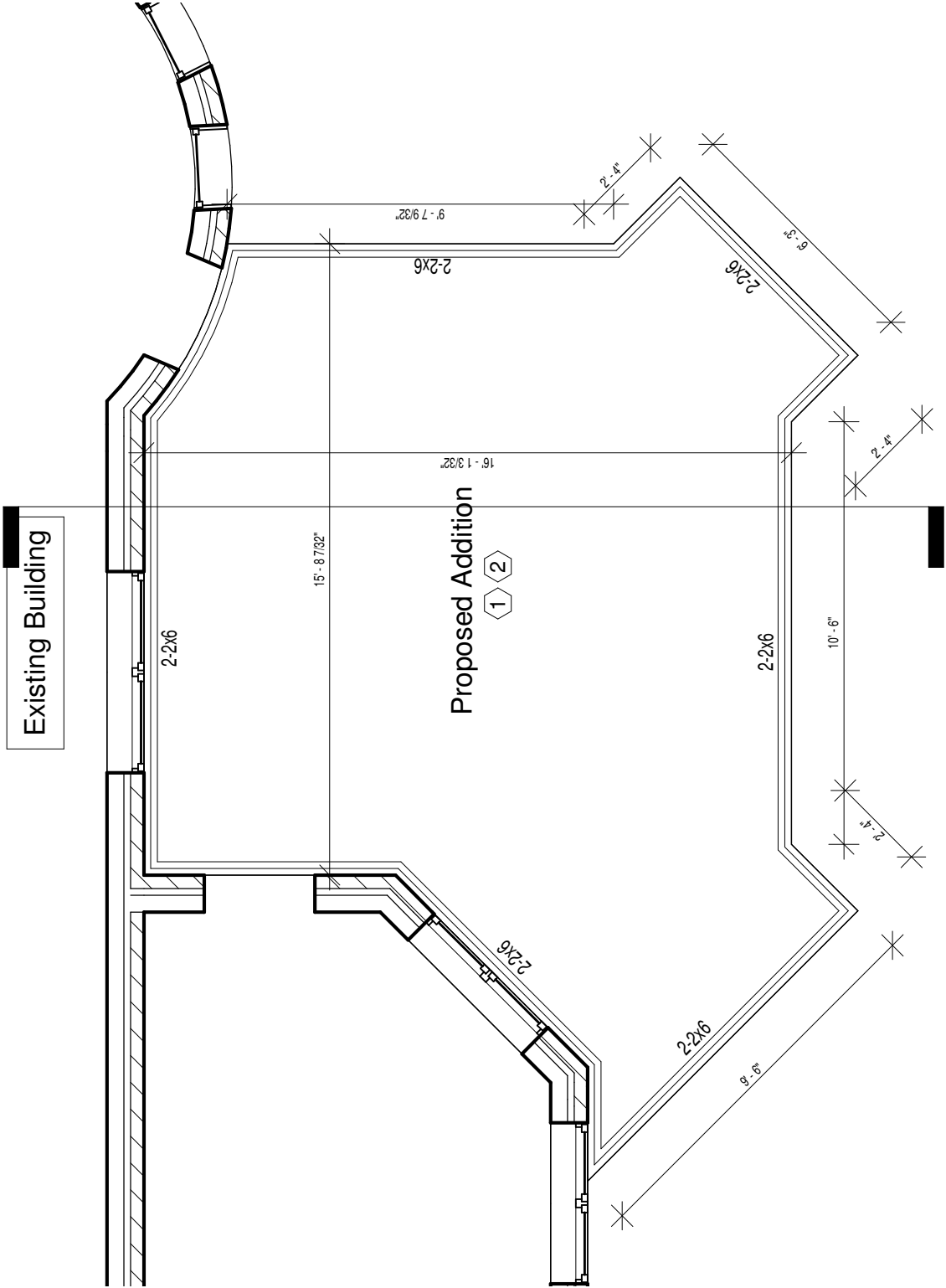
2X6 JOISTS AT 16" O.C.

FINISHED FLOOR TO BE LEVEL WITH EXISTING INTERIOR FLOOR

DOUBLE 2 RING JOIST AROUND PERIMETER

5/8" T&G PLYWOOD, GLUED AND SCREWD DOWN

R-31 SPRAY FOAM INSULATION



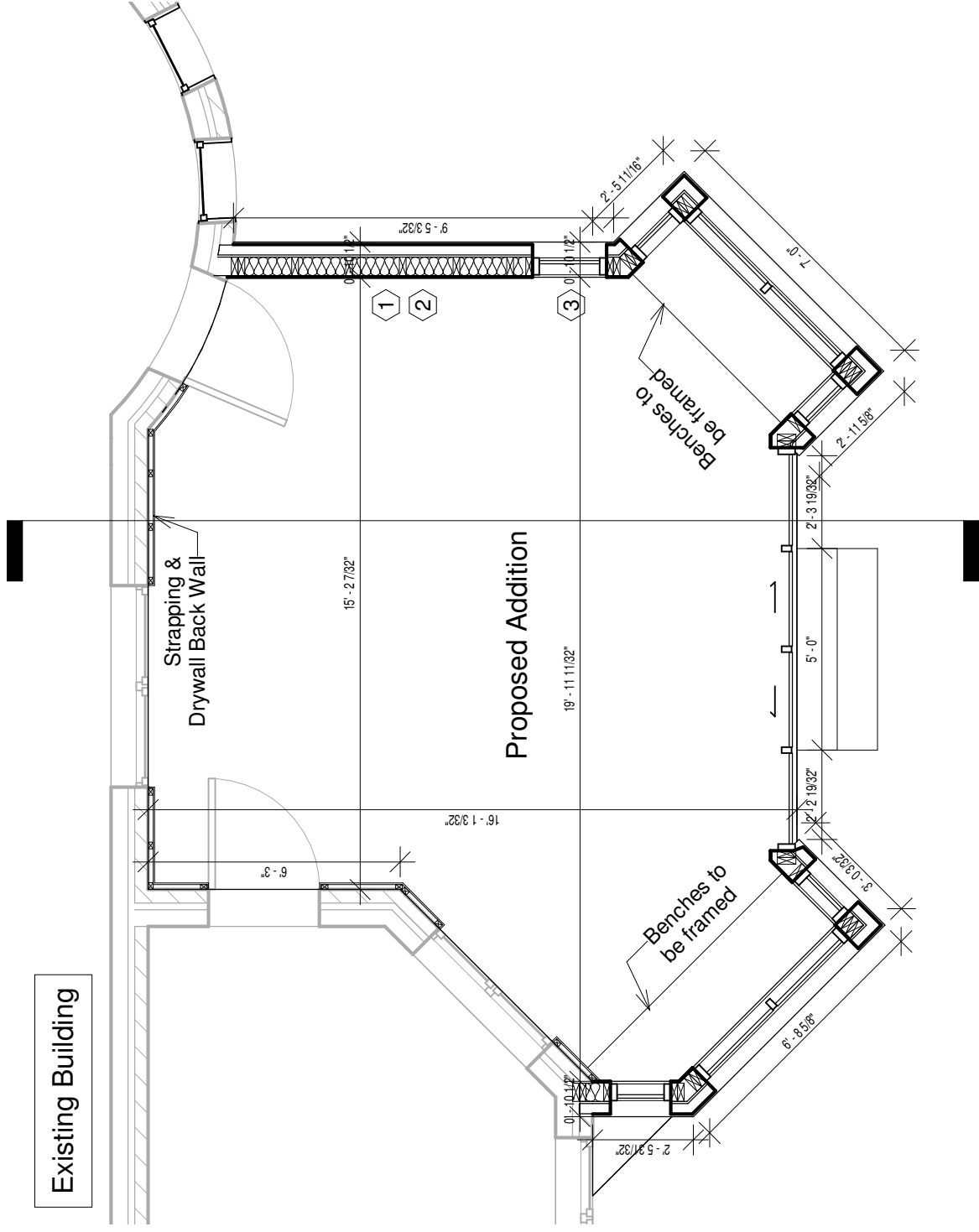
1 FUNDATION PLAN  
1/4" = 1'-0"



Graham, Key & Wentworth  
35 Autumn Wind Cour Kleinburg  
ON L0J1C0

No.	Description	Date

FUNDATION PLAN			
Project number	--	A101	
Date	2022.05.26		
Drawn by	--		
Checked by	--	Scale 1/4" = 1'-0"	



1 TOP OF MAIN FLOOR  
1/4" = 1'-0"

# NOTES

- 1 2 BASEWALL/ SOLID WALLS  
WALL STUDS TO BE 2x6 ON 16" CENTERS  
R24 BATT INSULATION w. R10ci w. 6 MIL VAPOUR BARRIER  
1/2" DRYWALL TAPED, SANDED, PRIMED WHITE READY  
FOR PAINT  
1/2" PLYWOOD EXTERIOR SHEATHING WITH TYVEK  
BUILDING PAPER  
BE ON STONE FINISH TO MATCH EXISTING AS CLOSE AS  
POSSIBLE UNDER WINDOWS  
STUCCO FINISH ABOVE STONE

3 VERTICAL GLAZING  
DOORS & WINDOWS- RESISTANCE TO FORCED ENTRY  
AND AS TO O.B.C. DIV. B, 9.7.2. & 9.7.3. \* 9.7.4. & 9.7.6.  
7E HIGH PERFORMANCE GLAZING  
TO BE CONSERVAGLASS (MC-7E)  
MULTI-COAT GLAZING TECHNOLOGY (CODE 7E)  
EASY-CLEAN II EXTERIOR COATING + STAY-CLEAN  
TECHNOLOGY  
ARGON GAS FILLED FOR BETTER INSULATION  
75% REDUCTION IN TOTAL SOLAR TRANSMITTANCE  
HIGH VISIBLE TRANSMITTANCE  
R 4.0/ U 0.25 CENTER OF GLASS INSULATION VALUE  
STAINLESS STEEL CONTINUOUS BENT SPACERS  
DUAL POLY- ISOBUTYLENE AND SILICONE SEALS  
FULLY TEMPERED INSULATED SAFETY GLASS  
PROTECTIVE GLASS MASKING

No.	Description	Date

FLOOR PLAN

Project number

Date

Drawn by

Checked by

--

2022.05.26

--

--

A102

Scale 1/4" = 1'-0"

NOTES

- 1

ROOF

NEW FLAT ROOF WITH SKYLIGHT

CUT BACK OVERHANG ON EXISTING BUMPOUT

PROVIDE ENGINEERED BEAMS AS REQUIRED TO SUPPORT NEW SKYLIGHT

2x10" JOIST @ 16" O.C.

3/4" PLYWOOD SHEATHING - SLOPE AS REQUIRED

INSULATE TO R-31 USING SPRAY-FOAM INSULATION

CEILING TO BE 1/2" DRYWALL - TAPED SANDED PRIMED WHITE READY FOR PAINT

ICE SHIELDS WITH 25-YEAR ASPHALT SHINGLES

TORCHDOWN WATER PROOF MEMBRANE FOR FLAT ROOF

APPLICATIONS INCLUDES SCUPPER AS REQUIRED
- G

ROOF GLAZING

CODE 78 HIGH PERFORMANCE GLAZING

TO BE CONSERVAGLASS (MC-16)

EASY-CLEAN II EXTERIOR COATING + STAY-CLEAN TECHNOLOGY

ARGON GAS FILLED FOR BETTER INSULATION

90% REDUCTION IN TOTAL SOLAR TRANSMITTANCE

HIGH VISIBLE TRANSMITTANCE

R 4.0/ U 0.25 CENTER OF GLASS INSULATION VALUE

STAINLESS STEEL CONTINUOUS BENT SPACERS

DUAL POLY-ISOBUTYLENE AND SILICONE SEALS

FULLY TEMPERED INSULATED SAFETY GLASS

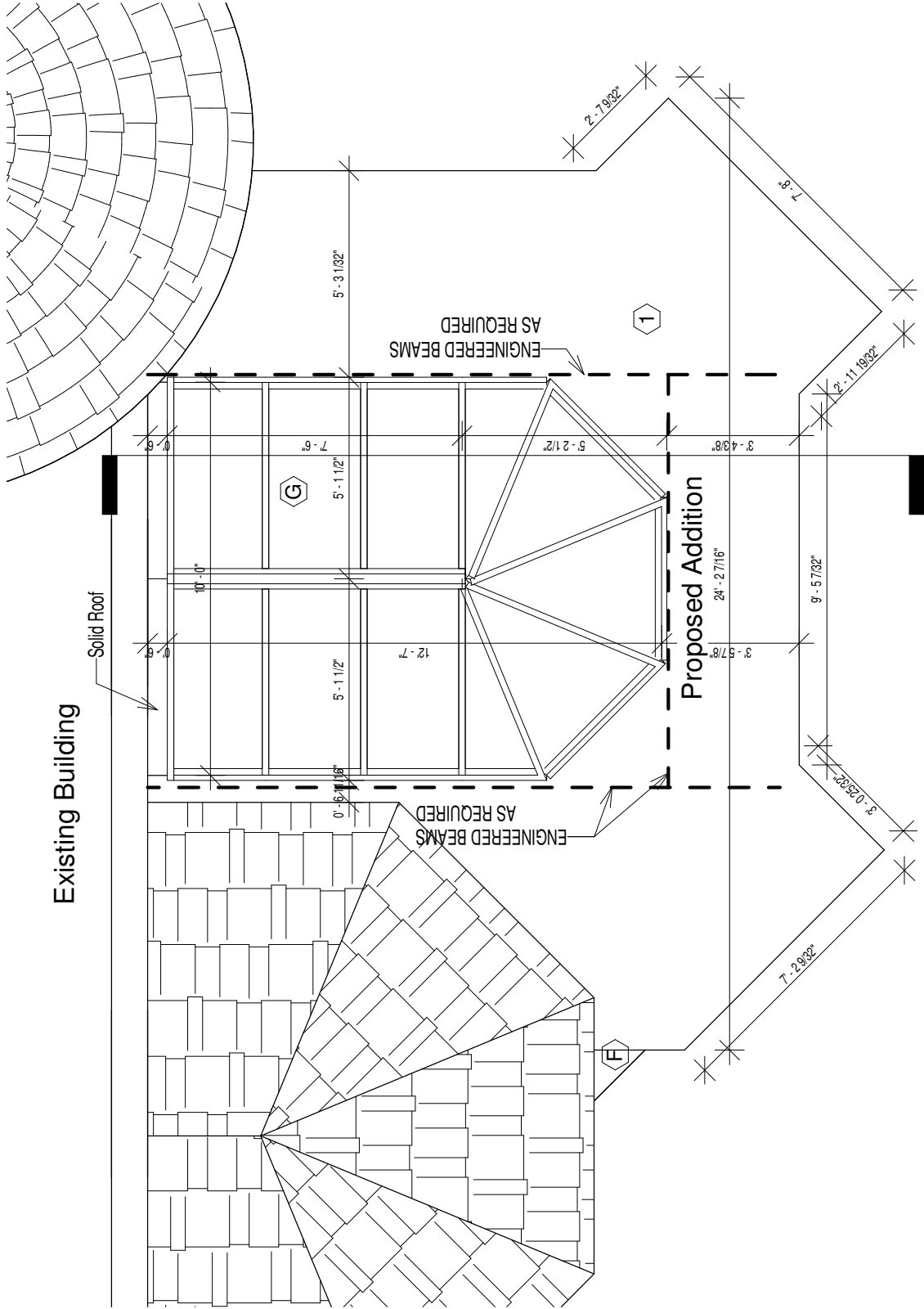
PROTECTIVE GLASS MASKING
- F

FLASHING

ALUM. FLASHINGS @ SILICONE SEALANT AT RIDGE MIN. 0.48mm

THICK ALUM. COATED FLASHING SEAL AT SUNROOM RIDGE
- Snow: -- PSF ( -- kPa)

Wind: -- PSF ( -- kPa)



1 ROOF PLAN  
1/4" = 1'-0"



Graham, Key & Wentworth  
35 Autumn Wind Cour Kleinburg  
ON L0J1C0

No.	Description	Date

ROOF PLAN			
Project number	--	A103	
Date	2022.05.26		
Drawn by	--		
Checked by	--	Scale 1/4" = 1'-0"	

GLAZED OPENING  
CALCULATIONS

PER O.B.C TABLE 9.10.15.4

Front Elevation

#	WIDTH	DEPTH	WINDOW/DOOR FREAME SIZE(S.F)
1	Existing		
2	New		

Spatial Calculations

Exposing Building Face	-	-
Portion Wall Area	-	-
Limiting Distance	-	-
Max. % Openings	-	--%
Openings Allowed	--	S.F.
Openings provided	--	S.F.

U/S SOFFIT

21' - 1"

FIRST FLOOR

11' - 0"

TOP OF MAIN FLOOR

0' - 10"

1

FRONT ELEVATION

3/16" = 1'-0"

Graham, Key & Wentworth

35 Autumn Wind Cour Kleinburg

ON L0J1C0

SD

SERAY DESIGN

FRONT ELEVATION

Project number	--	A104
Date	2022.05.26	
Drawn by	--	
Checked by	--	

Scale 3/16" = 1'-0"



GLAZED OPENING  
CALCULATIONS

PER O.B.C TABLE 9.10.15.4

Right Elevation

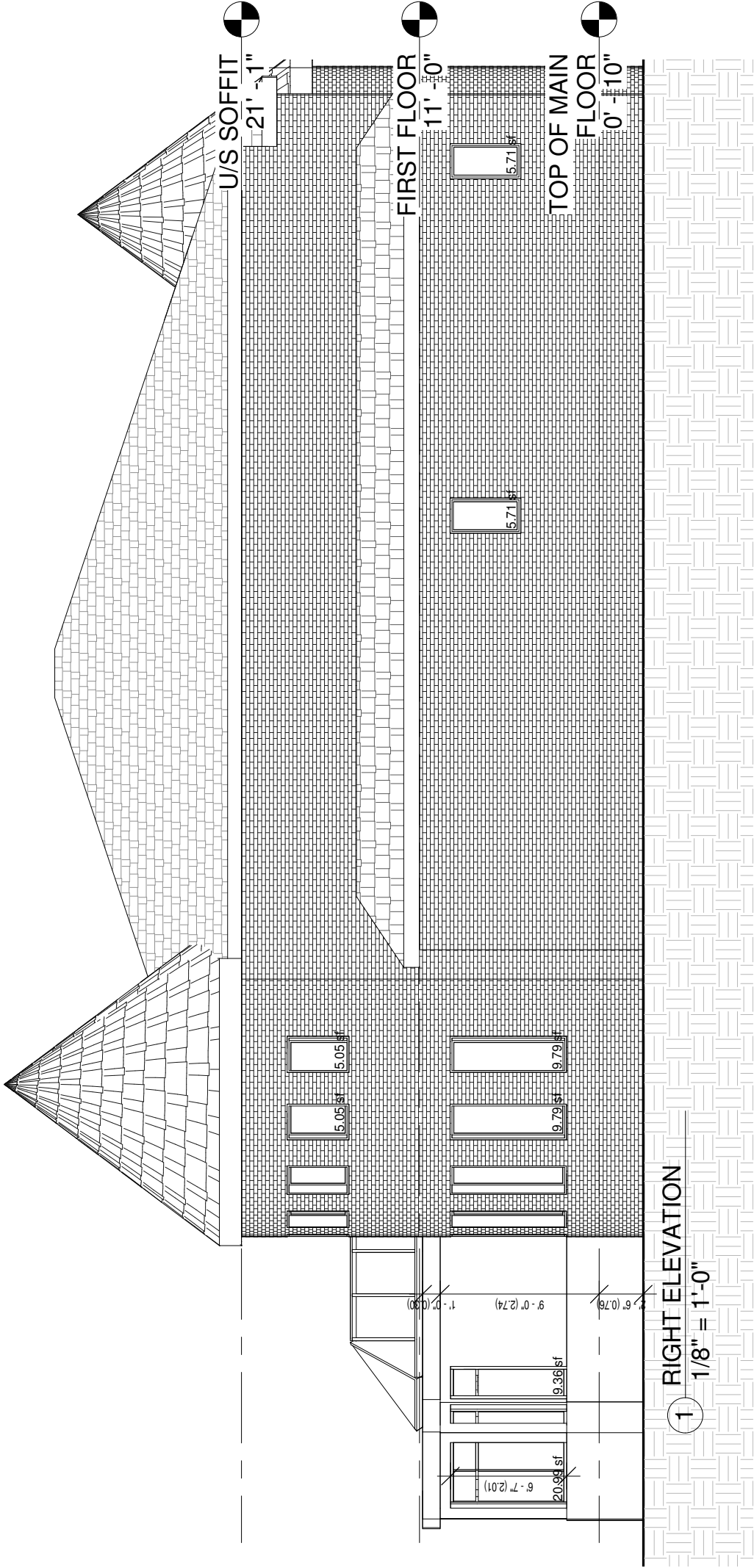
#	WIDTH	DEPTH	WINDOW/DOOR FREAME SIZE(S.F)
1	Existing		41.10 sf
2	New		30.35 sf
3			
4			
5			

Spatial Calculations

Exposing Building Face	1568.32 sf
	145.70 m²

Portion Wall Area

Limiting Distance	13'	10 25/32"
Max. % Openings	12	%
Openings Allowed	188.19	S.F.
Openings provided	71.45	S.F.



Graham, Key & Wentworth  
35 Autumn Wind Cour Kleinburg  
ON L0J1C0

No.	Description	Date

RIGHT ELEVATION

Project number	--	A105
Date	2022.05.26	
Drawn by	--	
Checked by	--	Scale 1/8" = 1'-0"



GLAZED OPENING  
CALCULATIONS

PER O.B.C TABLE 9.10.15.4

Left Elevation

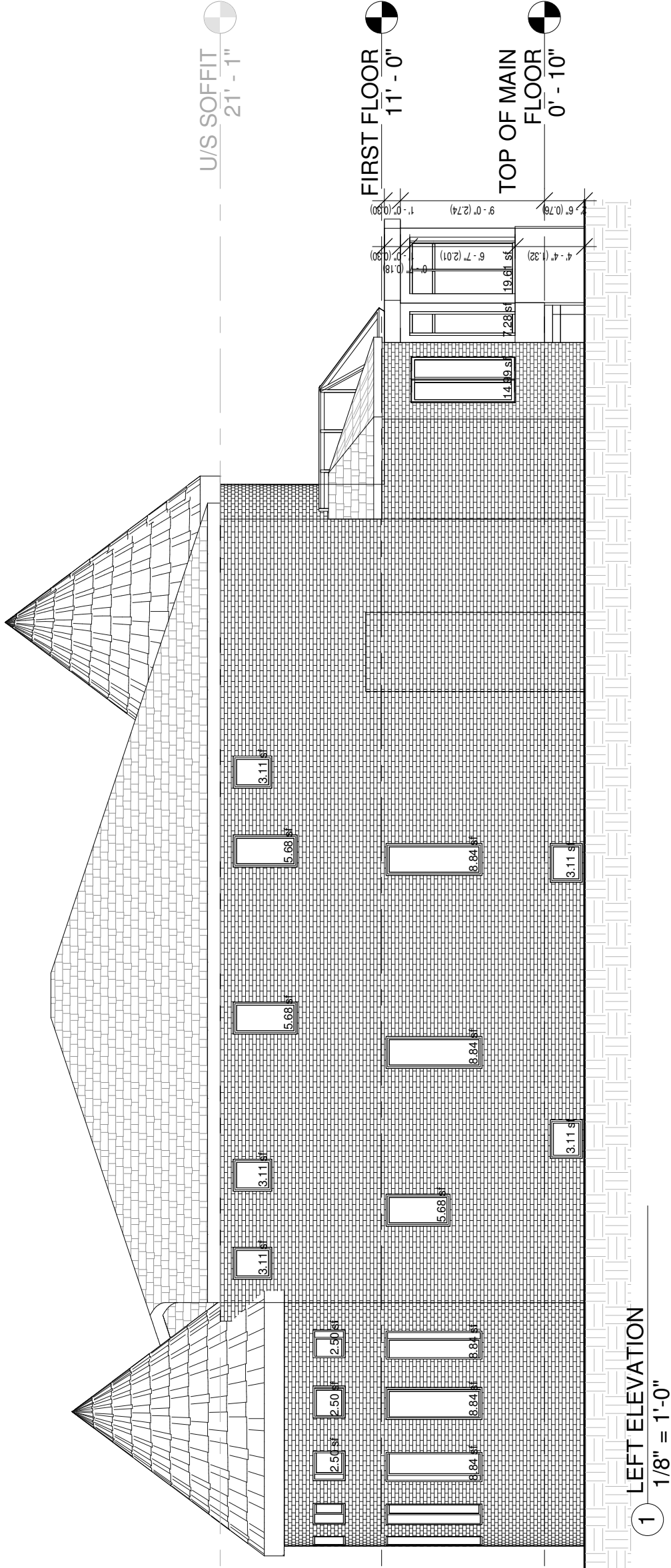
#	WIDTH	DEPTH	WINDOW/DOOR FREAME SIZE(S.F)
1	Existing		99.28 sf
2	New		26.89 sf
3			
4			
5			

Spatial Calculations

Exposing Building Face	1646.50 sf
	152.96 m²

Portion Wall Area

Limiting Distance	33' 7 5/16"	
Max. % Openings	40	%
Openings Allowed	685.60	S.F.
Openings provided	126.17	S.F.



Graham, Key & Wentworth  
35 Autumn Wind Cour Kleinburg  
ON L0J1C0

No.	Description	Date

LEFT ELEVATION

Project number	--	A106
Date	2022.05.26	
Drawn by	--	
Checked by	--	Scale 1/8" = 1'-0"

NOTES

- 1

FOUNDATION  
FLOOR DECK TO BE BUILD ON TOP OF EXISTING CONCRETE SLAB

FLOOR DECK  
SLEEPER JOISTS OVER EXISTING CONCRETE FOUNDATION  
2X6 JOISTS AT 16" O.C.  
FINISHED FLOOR TO BE LEVEL WITH EXISTING INTERIOR FLOOR  
DOUBLE 2 RING JOIST AROUND PERIMETER  
5/8" T&G PLYWOOD, GLUED AND SCREWD DOWN  
R-31 SPRAY FOAM INSULATION
- 2

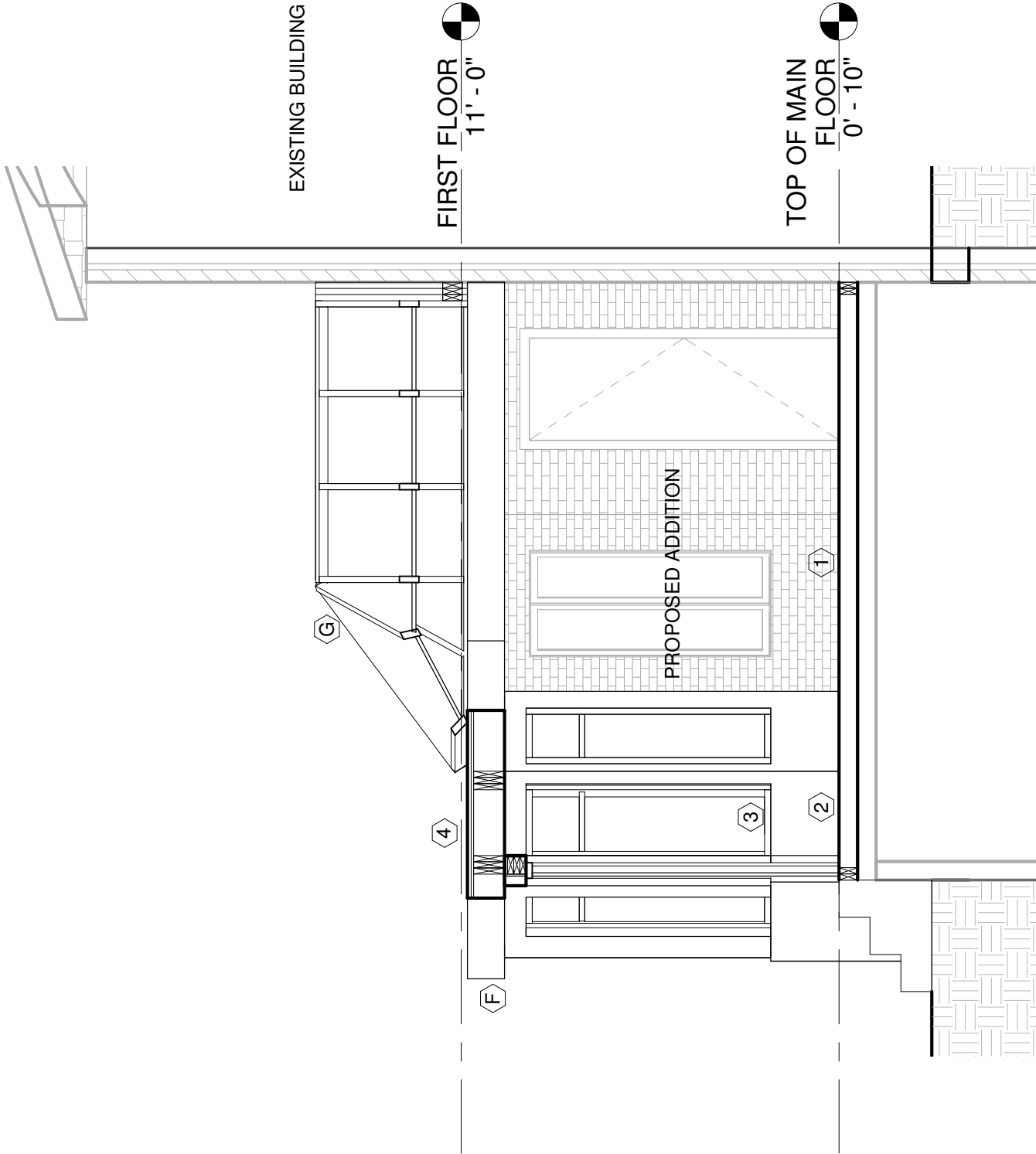
BASEWALL/ SOLID WALLS  
WALL STUDS TO BE 2x6 ON 16" CENTERS  
R24 BATT INSULATION w. R10ci w. 6 MIL VAPOUR BARRIER  
1/2" DRYWALL TAPED, SANDED, PRIMED WHITE READY FOR PAINT  
1/2" PLYWOOD EXTERIOR SHEATHING WITH TYVEK BUILDING PAPER  
BE ON STONE FINISH TO MATCH EXISITNG AS CLOSE AS POSSIBLE UNDER WINDOWS  
STUCCO FINISH ABOVE STONE
- 3

VERTICAL GLAZING  
DOORS & WINDOWS- RESISTANCE TO FORCED ENTRY  
AND AS TO O.B.C. DIV. B, 9.7.2. & 9.7.3. \* 9.7.4. & 9.7.6.  
7E HIGH PERFORMANCE GLAZING  
TO BE CONSERVAGLASS (MC-7E)  
MULTI-COAT GLAZING TECHNOLOGY (CODE 7E)  
EASY-CLEAN II EXTERIOR COATING + STAY-CLEAN  
TECHNOLOGY  
ARGON GAS FILLED FOR BETTER INSULATION  
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DUAL POLY- ISOBUTYLENE AND SILICONE SEALS  
FULLY TEMPERED INSULATED SAFETY GLASS  
PROTECTIVE GLASS MASKING
- 4

ROOF  
NEW FLAT ROOF WITH SKYLIGHT  
CUT BACK OVERHANG ON EXISTING BUMPOUT  
PROVIDE ENGINEERED BEAMS AS REQUIRED TO SUPPORT NEW SKYLIGHT  
2x10" JOIST @ 16" O.C.  
3/4" PLYWOOD SHEATHING - SLOPE AS REQUIRED  
INSULATE TO R-31 USING SPRAY-FOAM INSULATION  
CEILING TO BE 1/2" DRYWALL - TAPED SANDED PRIMED WHITE READY FOR PAINT  
ICE SHIELDS WITH 25-YEAR ASPHALT SHINGLES  
TORCHDOWN WATER PROOF MEMBRANE FOR FLAT ROOF APPLICATIONS INCLUDES SCUPPER  
AS REQUIRED
- G

ROOF GLAZING  
CODE 78 HIGH PERFORMANCE GLAZING  
TO BE CONSERVAGLASS (MC-16)  
EASY-CLEAN II EXTERIOR COATING + STAY-CLEAN TECHNOLOGY  
ARGON GAS FILLED FOR BETTER INSULATION  
90% REDUCTION IN TOTAL SOLAR TRANSMITTANCE  
HIGH VISIBLE TRANSMITTANCE  
R 4.0/ U 0.25 CENTER OF GLASS INSULATION VALUE  
STAINLESS STEEL CONTINUOUS BENT SPACERS  
DUAL POLY-ISOBUTYLENE AND SILICONE SEALS  
FULLY TEMPERED INSULATED SAFETY GLASS  
PROTECTIVE GLASS MASKING
- F

FLASHING  
ALUM. FLASHINGS @ SILICONE SEALANT AT RIDGE MIN. 0.48mm  
THICK ALUM. COATED FLASHING SEAL AT SUNROOM RIDGE



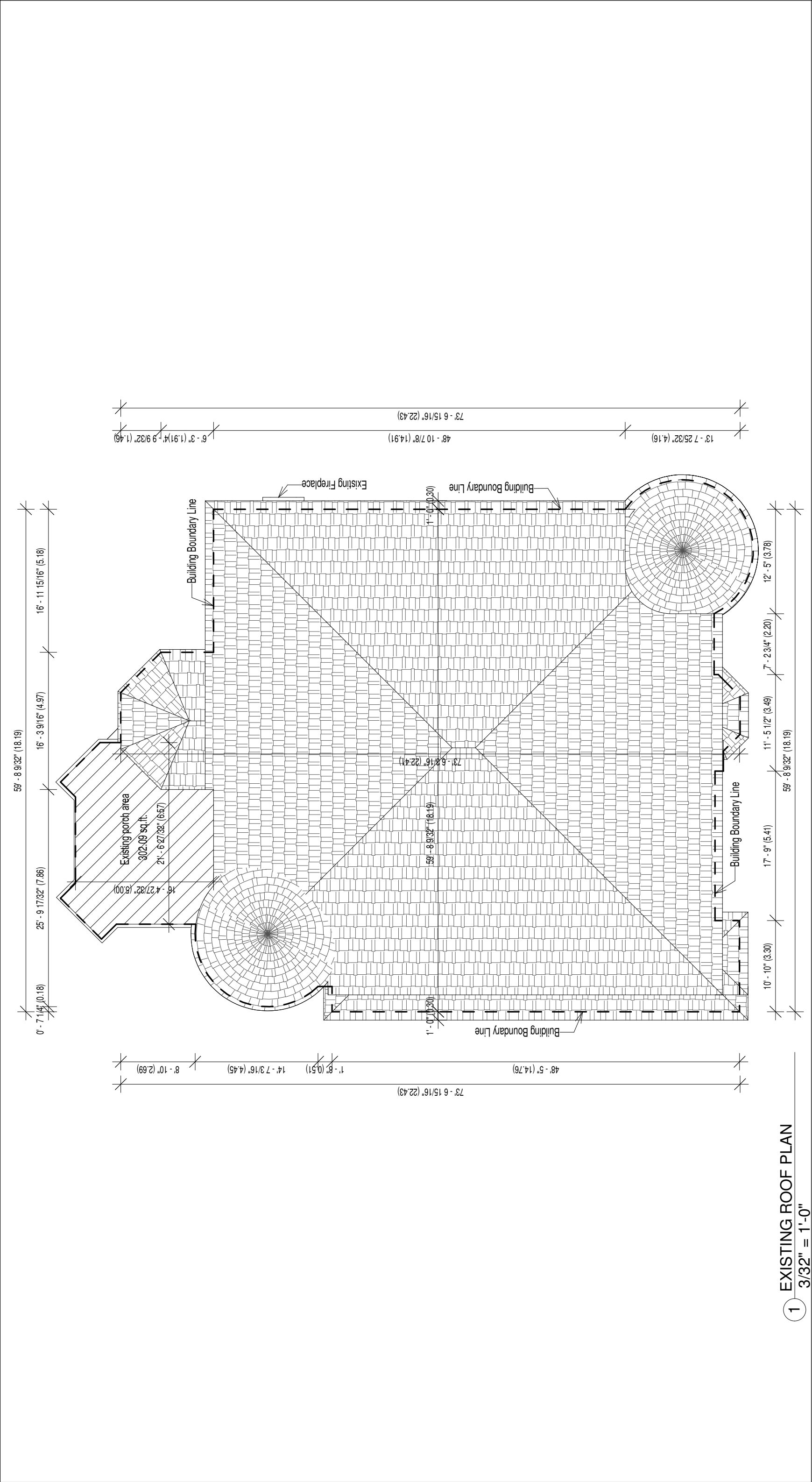
2 Section 1  
1/4" = 1'-0"



Graham, Key & Wentworth  
35 Autumn Wind Cour Kleinburg  
ON L0J1C0

No.	Description	Date

SECTION			
Project number	--	A107	
Date	2022.05.26		
Drawn by	--		
Checked by	--	Scale 1/4" = 1'-0"	

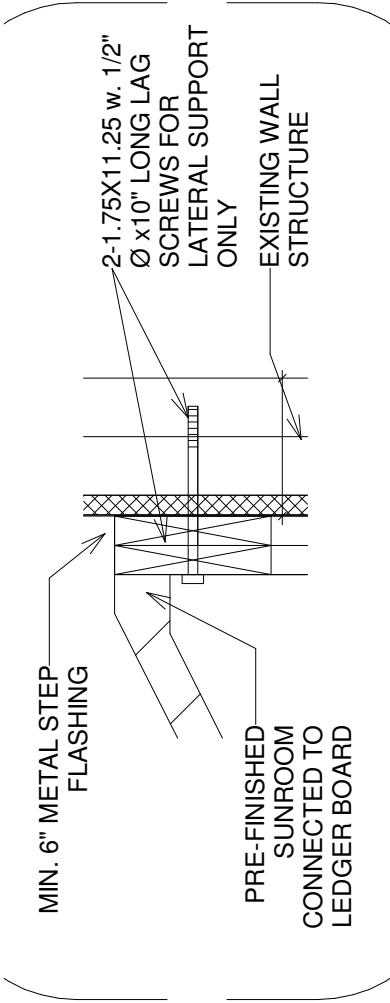


Graham, Key & Wentworth  
35 Autumn Wind Cour Kleinburg  
ON L0J1C0

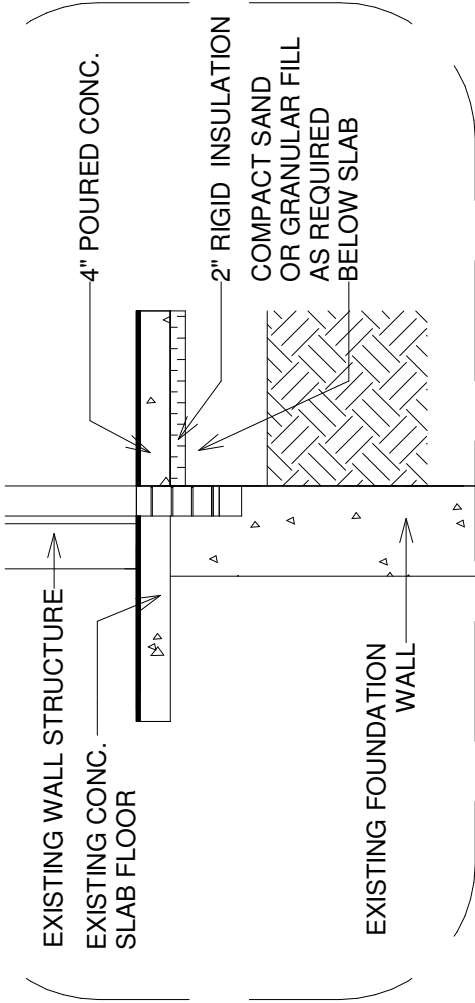
No.	Description	Date

EXISTING ROOF PLAN			
Project number	--	A110	
Date	2022.05.26		
Drawn by	--		
Checked by	--	Scale 3/32" = 1'-0"	

ROOF CONNECTION DETAIL

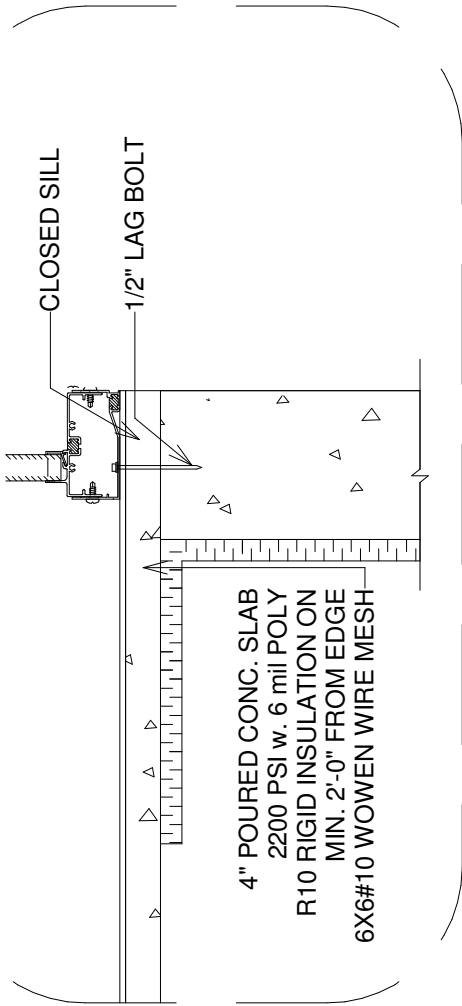


FLOOR CONNECTION DETAIL



1 Details  
1/16" = 1'-0"

BASEWALL DETAIL



Graham, Key & Wentworth  
35 Autumn Wind Cour Kleinburg  
ON L0J1C0

DETAILS

Project number	--	A111
Date	2022.05.26	
Drawn by	--	
Checked by	--	Scale 1/16" = 1'-0"

SCHEDULE B: STAFF & AGENCY COMMENTS				
DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	X			General Comments
Ministry of Transportation (MTO) *Schedule B	X			No Comments Recieved to Date
Region of York *Schedule B	X	X		General Comments
Alectra *Schedule B	X	X		General Comments
Bell Canada *Schedule B	X			No Comments Recieved to Date
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Recieved to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				
Development Planning	X	X		Recommended approval no conditions
Building Standards (Zoning)	X	X		General Comments

**To:** Committee of Adjustment  
**From:** Bernd Paessler, Building Standards Department  
**Date:** May 30, 2022  
**Applicant:** Graham  
**Location:** PLAN 65M3895 Lot 11 municipally known as 35 Autumn Wind Court  
**File No.(s):** A090/22

**Zoning Classification:**

The subject lands are zoned R1B – First Density Residential Zone and subject to the provisions of Exception 14.815 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
	No Variances under 001-2021	

The subject lands are zoned R1 –Residential Zone and subject to the provisions of Exception 9(1162) under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
1	The maximum permitted lot coverage is 35% of the lot area.  Schedule A	To permit a maximum lot coverage of 39% of the lot area.

**Staff Comments:**

**Stop Work Order(s) and Order(s) to Comply:**

There are no outstanding Orders on file

**Building Permit(s) Issued:**

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m2

**Other Comments:**

General Comments		
2	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.	
3	The subject lands may be subject to Wellhead Protection Area Kleinburg.	

**Conditions of Approval:**

If the committee finds merit in the application, the following conditions of approval are recommended.

\* Comments are based on the review of documentation supplied with this application.



**To:** Christine Vigneault, Committee of Adjustment Secretary Treasurer

**From:** Nancy Tuckett, Director of Development Planning

**Date:** June 29, 2022

**Name of Owners:** Greta Kay Graham and Wentworth Graham

**Location:** 35 Autumn Wind Court

**File No.(s):** A090/22

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**Proposed Variance(s) (By-law 1-88):**

1. To permit a maximum lot coverage of 39% of the lot area.

**By-Law Requirement(s) (By-law 1-88):**

1. The maximum permitted lot coverage is 35% of the lot area.

**Official Plan:**

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

**Comments:**

The Owners are requesting relief to permit the construction of a proposed one-storey sunroom addition with the above noted variance.

The existing dwelling has a lot coverage of 36.2% while the proposed addition will have a lot coverage of 2.7%. The proposed addition would be in a relatively central location on the rear wall and complies with all setback requirements, so it will not pose a significant visual impact to the neighbouring properties. The dwelling coverage also complies with Zoning By-law 01-2021, which was enacted by Vaughan Council on October 20, 2021, but has been appealed to the Ontario Land Tribunal and is not in-effect. As such, the Development Planning Department has no objection to the proposed variance for increased lot coverage.

Accordingly, the Development Planning Department can support the requested variance and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

**Recommendation:**

The Development Planning Department recommends approval of the application.

**Conditions of Approval:**

If the Committee finds merit in the application, the following conditions of approval are recommended:

None

**Comments Prepared by:**

Joshua Cipolletta, Planner I  
David Harding, Senior Planner

**COMMENTS:**

- |                                     |  |
|-------------------------------------|--|
| <input type="checkbox"/>            | We have reviewed the proposed Variance Application and have no comments or objections to its approval.   |
| <input checked="" type="checkbox"/> | We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below). |
| <input type="checkbox"/>            | We have reviewed the proposed Variance Application and have the following concerns (attached below).   |

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

**References:**

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T  
Supervisor, Distribution Design, ICI & Layouts (North)  
**Phone:** 1-877-963-6900 ext. 31297

**E-mail:** [stephen.cranley@alecrautilities.com](mailto:stephen.cranley@alecrautilities.com)

Mitchell Penner  
Supervisor, Distribution Design-Subdivisions  
**Phone:** 416-302-6215

**Email:** [Mitchell.Penner@alecrautilities.com](mailto:Mitchell.Penner@alecrautilities.com)

## Adriana Bozzo

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**Subject:** A090/22 - REQUEST FOR COMMENTS, CITY OF VAUGHAN (35 Autumn Wind Court, Vaughan)

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**From:** Hurst, Gabrielle <Gabrielle.Hurst@york.ca>

**Sent:** June-06-22 11:54 AM

**To:** Adriana MacPherson <Adriana.MacPherson@vaughan.ca>

**Cc:** Committee of Adjustment <CofA@vaughan.ca>

**Subject:** [External] RE: A090/22 - REQUEST FOR COMMENTS, CITY OF VAUGHAN (35 Autumn Wind Court, Vaughan)

Good Morning Adriana,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

*Gabrielle*

**Gabrielle Hurst MCIP, RPP** | Programs and Process Improvement | Planning and Economic Development | The Regional Municipality of York | 1-877 464 9675 ext 71538 | [gabrielle.hurst@york.ca](mailto:gabrielle.hurst@york.ca) | [www.york.ca](http://www.york.ca)  
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SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				