

<b>ITEM #: 6.16</b>	<b>COMMITTEE OF ADJUSTMENT REPORT MINOR VARIANCE APPLICATION A144/22 18 Thornhill Ave Thornhill</b>
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**COA REPORT SUMMARY**

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING  
DEPARTMENTS & AGENCIES:**

*\*Please see **Schedule B** of this report for a copy of Staff and Agency correspondence.*

*Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City’s Website.*

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	X	X		General Comments
Building Standards -Zoning Review <i>*Schedule B</i>	X	X		General Comments
Building Inspection (Septic)	X			No Comments Recieved to Date
Development Planning <i>*Schedule B</i>	X	X		Recommend Approval/No Conditions
Development Engineering	X	X	X	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	X	X		No Comments or Concerns
By-law & Compliance, Licensing & Permits	X	X		No Comments or Concerns
Development Finance	X	X		No Comments or Concerns
Real Estate				
Fire Department	X	X		No Comments or Concerns
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA <i>*Schedule B</i>	X			No Comments Recieved to Date
Ministry of Transportation (MTO) <i>*Schedule B</i>				
Region of York <i>*Schedule B</i>	X	X		General Comments
Alectra <i>*Schedule B</i>	X	X		General Comments
Bell Canada <i>*Schedule B</i>	X	X		General Comments
YRDSB <i>*Schedule B</i>				
YCDSB <i>*Schedule B</i>				
CN Rail <i>*Schedule B</i>				
CP Rail <i>*Schedule B</i>				
TransCanada Pipeline <i>*Schedule B</i>	X			No Comments Recieved to Date
Metrolinx <i>*Schedule B</i>				
Propane Operator <i>*Schedule B</i>				

PUBLIC & APPLICANT CORRESPONDENCE				
<i>*Please see <b>Schedule C</b> of this report for a copy of the public &amp; applicant correspondence listed below.</i>				
The deadline to submit public comments is <b>noon on the last business day prior to the scheduled hearing date.</b>				
Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City’s Website.				
All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.				
Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant Representation	History Hill Group		05/09/2022	Justification Letter

PREVIOUS COA DECISIONS ON THE SUBJECT LAND		
*Please see <b>Schedule D</b> for a copy of the Decisions listed below		
File Number	Date of Decision MM/DD/YYYY	Decision Outcome
None		

ADJOURNMENT HISTORY	
* Previous hearing dates where this application was adjourned by the Committee and public notice issued.	
None	



**COMMITTEE OF ADJUSTMENT REPORT  
MINOR VARIANCE APPLICATION  
A144/22  
18 Thornhill Ave Thornhill**

**FILE MANAGER:** Pravina Attwala, Administrative Coordinator - Committee of Adjustment

<b>ITEM NUMBER:</b> 6.16	<b>CITY WARD #:</b> 5
<b>APPLICANT:</b>	Anna Baldassarra
<b>AGENT:</b>	Fairmill Holdings Inc
<b>PROPERTY:</b>	18 Thornhill Ave Thornhill
<b>ZONING DESIGNATION:</b>	See Below
<b>VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:</b>	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
<b>RELATED DEVELOPMENT APPLICATIONS:</b>	None
<b>PURPOSE OF APPLICATION:</b>	Relief from the Zoning By-law is being requested to permit the construction of a proposed single family dwelling.

The following variances have been requested from the City's Zoning By-law:

**The subject lands are zoned R1E(EN) – First Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.403 under Zoning By-law 001-2021.**

#	Zoning By-law 001-2021	Variance requested
1	The total of both side yards shall be not less than 6.0 metres. [Exception 14.403]	To permit the total of both side yards to be not less than 5.52 metres.
2	A maximum lot coverage of 23% is permitted provided the maximum height is 9.5 m. [7.2.2 and Table 7-3]	To permit a maximum lot coverage of 33.5%. (26% dwelling; 3.7 covered porch; 3.8% eaves/soffit)

**The subject lands are zoned R1V, Single Family Detached Dwelling and subject to the provisions of Exception 9(662) under Zoning By-law 1-88, as amended.**

	Zoning By-law 1-88	Variance requested
1	A maximum lot coverage of 20% is permitted.	To permit a maximum lot coverage of 29.74%. (26% dwelling; 3.7% covered porch)
2	The total of both side yards shall be not less than 6.0 metres. [Exception 9(662)]	To permit the total of both side yards to be not less than 5.52 metres.

### HEARING INFORMATION

**DATE OF MEETING:** Thursday, July 7, 2022

**TIME:** 6:00 p.m.

**MEETING LOCATION:** Vaughan City Hall, Council Chamber, 2141 Major Mackenzie Drive, Vaughan

**LIVE STREAM LINK:** [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil)

#### PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

If you would like to submit written comments, please quote file number above and submit by mail or email to:

**Email:** [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

**Mail:** City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

**THE DEADLINE TO REGISTER TO SPEAK OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.**

INTRODUCTION	
<p>Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.</p> <p>Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application may consider the following:</p> <p>That the general intent and purpose of the by-law will be maintained. That the general intent and purpose of the official plan will be maintained. That the requested variance(s) is/are acceptable for the appropriate development of the subject lands. That the requested variance(s) is/are minor in nature.</p> <p>Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.</p>	

COMMITTEE OF ADJUSTMENT COMMENTS	
<b>Date Public Notice Mailed:</b>	June 21, 2022
<b>Date Applicant Confirmed Posting of Sign:</b>	June 21, 2022
<b>Applicant Justification for Variances:</b> <small>*As provided by Applicant in Application Form</small>	The proposed dwelling exceeds the permitted maximum lot coverage of 20% under by-law 1-88 and the permitted maximum lot coverage of 23% under By-law 01-2021
<b>Adjournment Requests (from staff):</b> <small>*Adjournment requests provided to applicant <b>prior</b> to issuance of public notice</small>	None
<b>Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:</b>  <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>  <small>*A revised submission may be required to address staff / agency comments received as part of the application review process.</small>  <small>*Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>	No
<b>Adjournment Fees:</b> In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice.  An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff <b>after</b> the issuance of public notice.	
<b>Committee of Adjustment Comments:</b>	None
<b>Committee of Adjustment Recommended Conditions of Approval:</b>	None

BUILDING STANDARDS (ZONING) COMMENTS	
<b>**See Schedule B for Building Standards (Zoning) Comments</b>	
<b>Building Standards Recommended Conditions of Approval:</b>	None

DEVELOPMENT PLANNING COMMENTS	
<b>**See Schedule B for Development Planning Comments.</b>	
<b>Development Planning Recommended Conditions of Approval:</b>	None

DEVELOPMENT ENGINEERING COMMENTS	
<a href="#">Link to Grading Permit</a> <a href="#">Link to Pool Permit</a> <a href="#">Link to Curb Curt Permit</a> <a href="#">Link Culvert Installation</a>	
<p>The owner/applicant shall contact Transportation and Fleet Management Services (Joint Operations Centre) if there is any work required related to the driveway culvert. Please visit the culvert work link provided above for more information.</p> <p>As the proposed dwelling in the subject property is 396.23m2, the owner/ applicant needs to obtain a lot grading permit from Development Inspection and Lot Grading division of the City’s Development Engineering Department. Please note any in ground structure over 10 m2 requires a grading permit.</p>	

DEVELOPMENT ENGINEERING COMMENTS	
<a href="#">Link to Grading Permit</a> <a href="#">Link to Pool Permit</a> <a href="#">Link to Curb Curt Permit</a> <a href="#">Link Culvert Installation</a>	
Please contact COA application engineering reviewer after receiving the grading permit to clear the condition. (Condition attached)	
The Development Engineering (DE) Department does not object to variance application A144/22 subject to the following condition:	
<b>Development Engineering Recommended Conditions of Approval:</b>	The Owner/applicant shall submit a revised Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.

PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS	
Forestry: Forestry issued a tree removal permit on April 21/2022 for the removal of trees on the subject site. Forestry has no additional comments at this time.	
<b>PFH Recommended Conditions of Approval:</b>	None

DEVELOPMENT FINANCE COMMENTS	
That the payment of the City Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and City-wide Development Charge By-law in effect at time of payment.	
That the payment of Region of York Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Regional Development Charges By-laws in effect at time of payment.	
That the payment of Education Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Education Act and York Region District School Board and York Catholic District School Board Development Charges By-laws in effect at time of payment.	
That the payment of applicable Area Specific Development Charges are payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Area Specific Development Charge By-laws in effect at time of payment.	
Demolition development charge credit will expire on Nov 8, 2025. Demolition development charge credits valid for a period of 48 months from date of demolition permit issuance. After 48 months, full development charges apply as per by-laws.	
<b>Development Finance Recommended Conditions of Approval:</b>	None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS	
No comments no concerns	
<b>BCLPS Recommended Conditions of Approval:</b>	None

BUILDING INSPECTION (SEPTIC) COMMENTS	
No comments received to date	
<b>Building Inspection Recommended Conditions of Approval:</b>	None

FIRE DEPARTMENT COMMENTS	
No comments no concerns	
<b>Fire Department Recommended Conditions of Approval:</b>	None

SCHEDULES TO STAFF REPORT	
*See Schedule for list of correspondence	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Staff & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL		
All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.		
#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Engineering <a href="mailto:farzana.khan@vaughan.ca">farzana.khan@vaughan.ca</a>	The Owner/applicant shall submit a revised Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City’s Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.

IMPORTANT INFORMATION – PLEASE READ
<p><b>CONDITIONS:</b> It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (<b>see condition chart above for contact</b>). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.</p>
<p><b>APPROVALS:</b> Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.</p> <p>An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.</p> <p>A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.</p> <p>Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.</p> <p>Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.</p>
<p><b>DEVELOPMENT CHARGES:</b> That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment</p> <p>That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.</p>

**IMPORTANT INFORMATION – PLEASE READ**

**NOTICE OF DECISION:** If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will **not** receive notice.

**SCHEDULE A: DRAWINGS & PLANS**

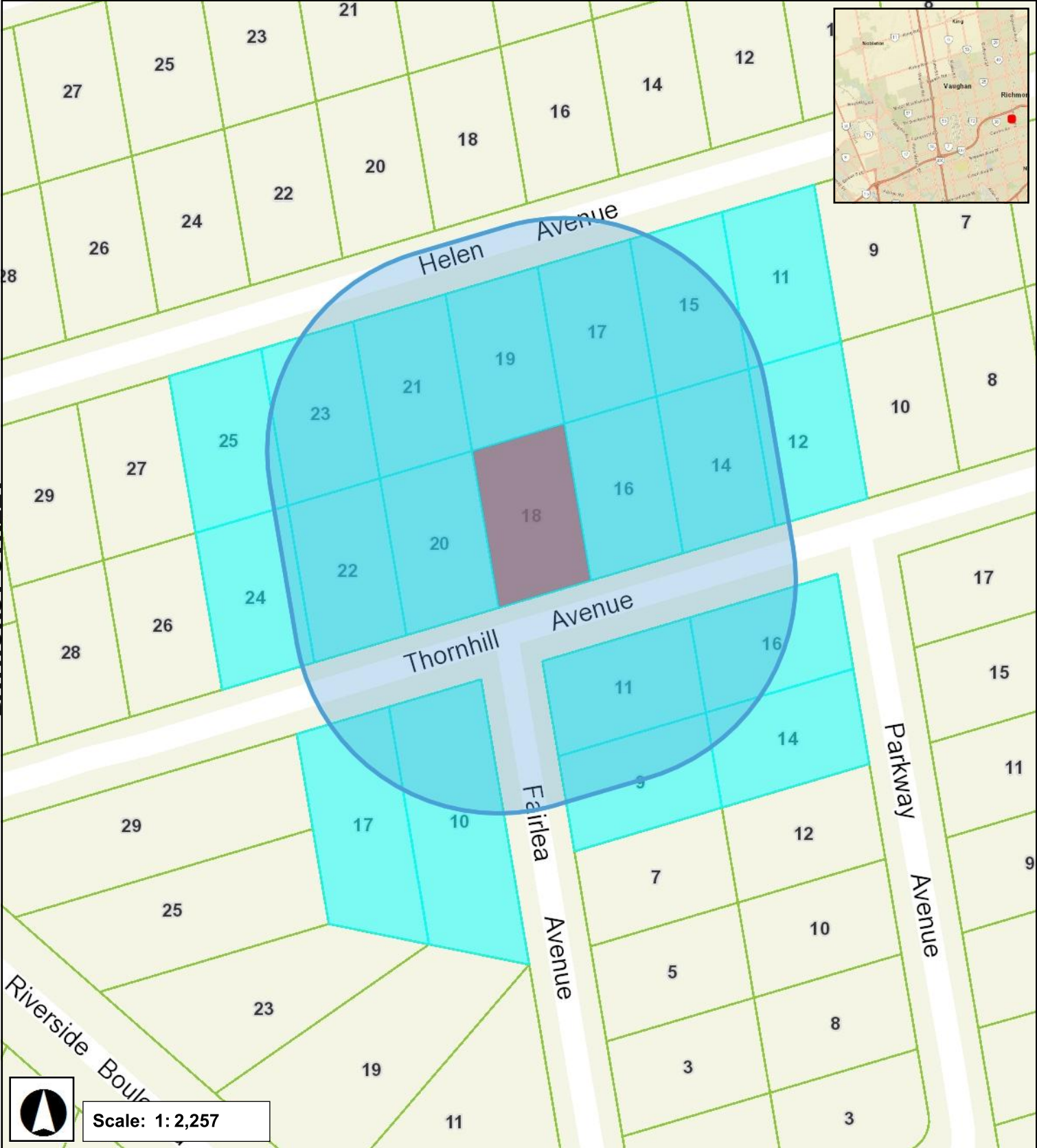




LOCATION MAP - A144/22

18 THORNHILL AVENUE, THORNHILL

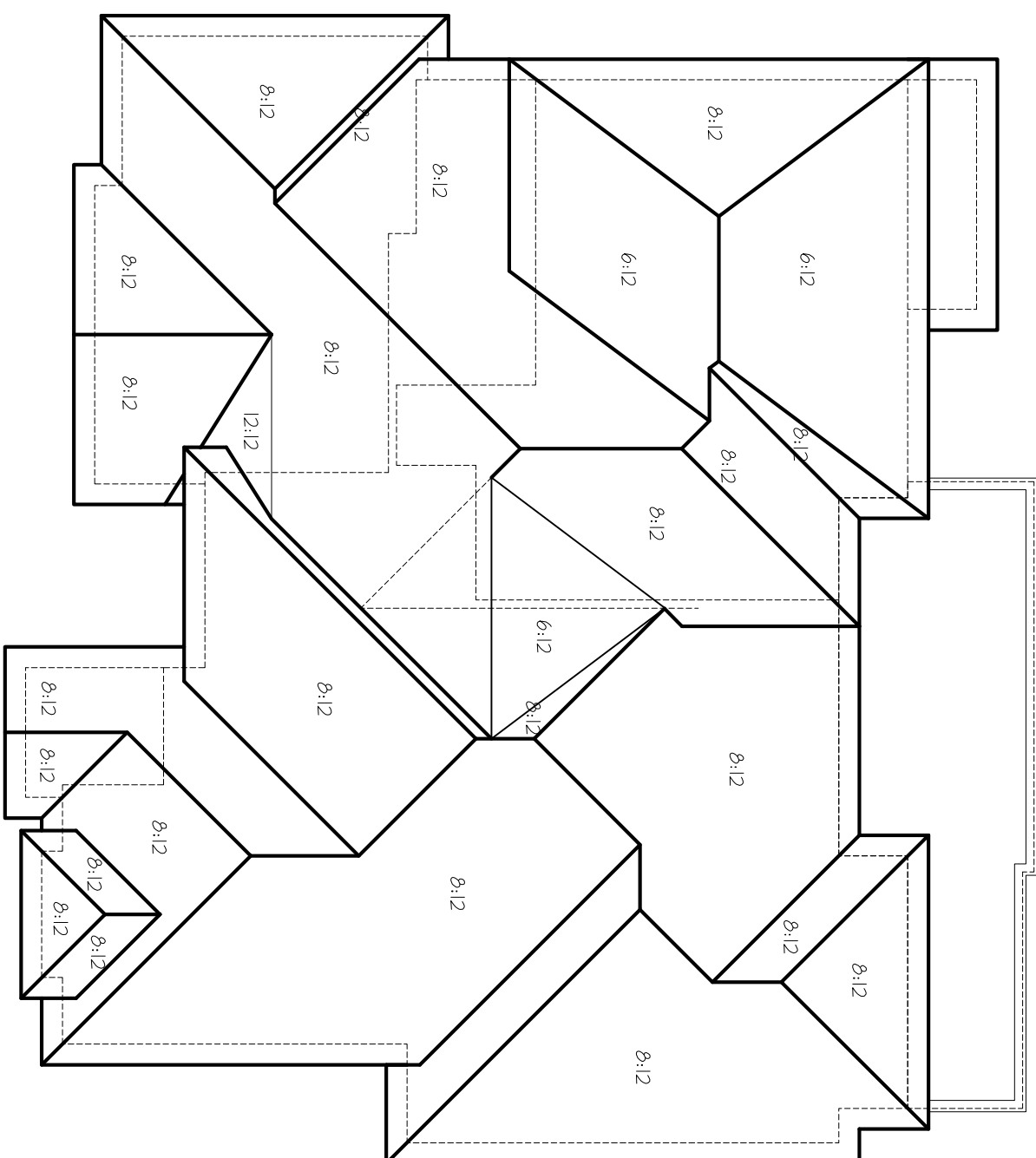
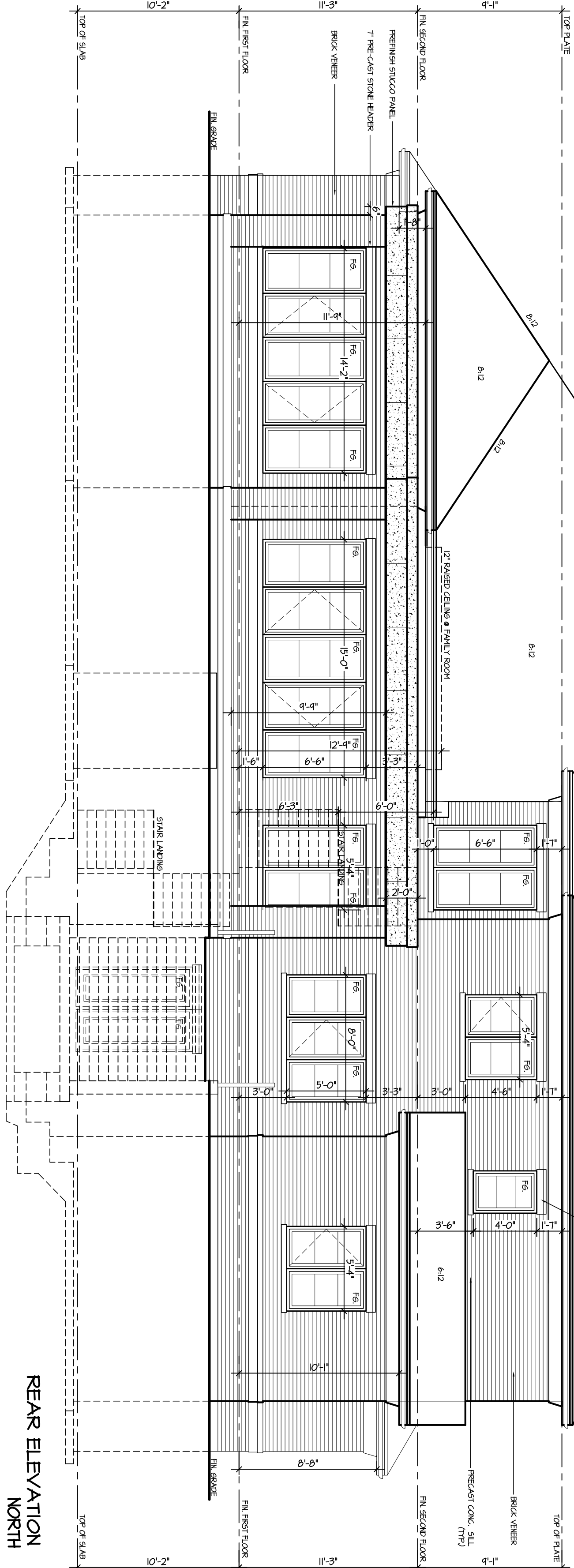
HIGHWAY 7





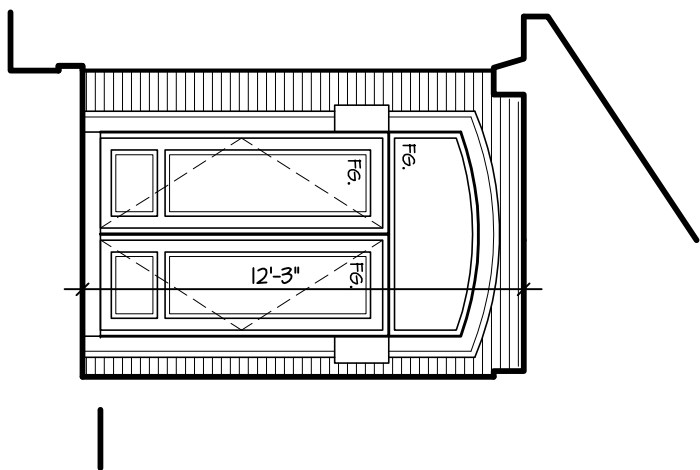
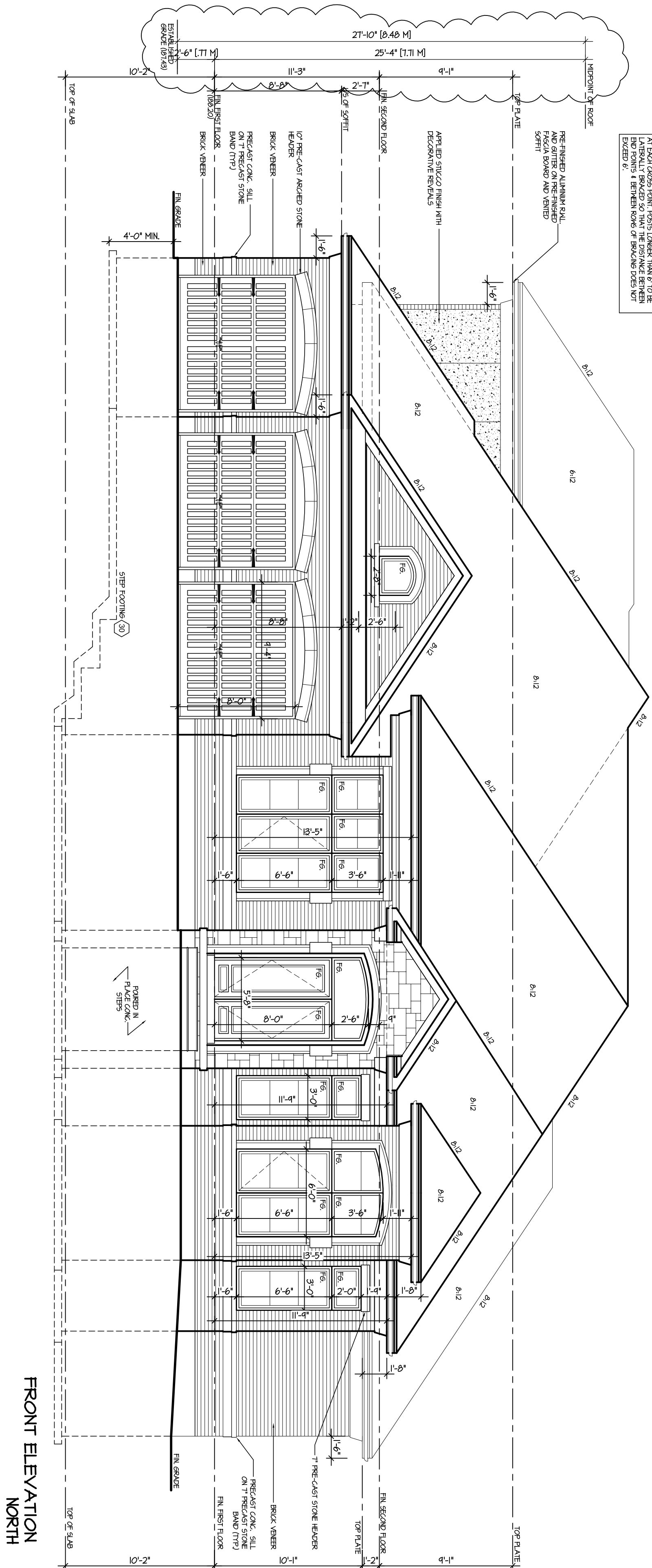




REAR ELEVATION  
NORTH

ALL CONVENTIONAL ROOF FRAMING TO CONFORM TO PART 4 OF THE OCC. ROOF RATES THAT MEET OR EXCEED OVER TRUSSES ARE TO BE 2'x4' 9" @ 24" o.c. WITH A 2'x4' 9" VERTICAL POST TO THE TRUSS UNDER AT EACH CROSS POINT. POSTS LONGER THAN 6' TO BE LATERALLY BRACED SO THAT THE DISTANCE BETWEEN END POINTS & BETWEEN ROWS OF BRACING DOES NOT EXCEED 6'.

FRONT ELEVATION  
NORTH



5.		
4.		
3.		
2.		
1.	ISSUED FOR REVIEW	JUN 2022

## REVISIONS

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

**QUALIFICATION INFORMATION**  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR  28770

NAME	SIGNATURE	BCIN

\_\_\_\_\_

FRONT ELEVATION

PROJECT NAME

LOT	AREA
61	4.687

	9	10
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NAME	PAGE NO

OCT 2021

SCALE  
3/16"=1'-0"

57	V.G.
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PROJECT NO.	
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[illegible]

Region Design Inc.

8700 Dufferin St.  
**REGION**

Concord, Ontario

DESIGN LK 456

(416) 736-4096

(fax (905) 660-0746)

Contractor shall check all dimensions and elevations

before commencing with work and report only

discrepancies to the designer. Prints are not to be scaled.

[illegible]

# Greenpark

# Top Secret

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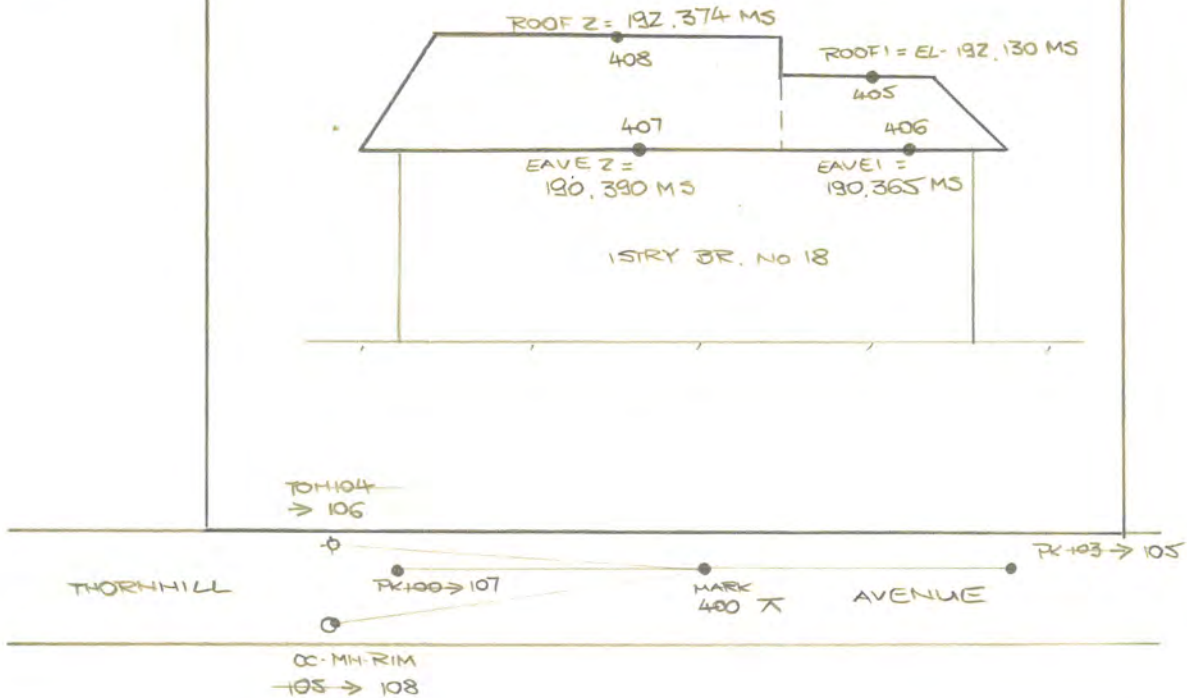
NORTH

NORTH

LOT 60

LOT 61

LOT 62



JOB X: FIELD/21/21-354/21 354-0524

MEASURE ROOF HEIGHT, X 400 RS,  
105, 107, C, 105, 106, 107, 108, TORO,

POINT RANGE: 400-403

SUNNY + 12°C

This page shows MEASURE ROOF 18, THORNHILL AVE, VAUGHAN  
BALDASSATERA, LOT 61, PLAN RP-3765, MAY 24 22 AP/J METRIC Z1-354

Office Page

SURVEYOR'S REAL PROPERTY REPORT  
AND TOPOGRAPHY

PART 1

PLAN OF LOT 61  
REGISTERED PLAN 3765  
CITY OF VAUGHAN  
REGIONAL MUNICIPALITY OF YORK

SCALE 1:200



R-PE SURVEYING LTD., O.L.S.

METRIC

DISTANCES SHOWN ON THIS SKETCH ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

NOTES

- DENOTES MONUMENT SET
- DENOTES MONUMENT FOUND
- IB DENOTES IRON BAR
- IP DENOTES IRON PIPE
- SIB DENOTES STANDARD IRON BAR
- P.I.N. DENOTES PROPERTY IDENTIFIER NUMBER
- PL1 DENOTES REGISTERED PLAN 3765
- PL2 DENOTES SKETCH OF SURVEY BY C. REUBEN
- PL3 O.L.S. DATED AUGUST 30, 1954
- (N) DENOTES BUILDING LOCATION SURVEY BY R. SALNA, O.L.S. DATED AUGUST 7, 1989
- (NI) DENOTES NOT IDENTIFIED
- UP DENOTES UTILITY POLE
- F.F. DENOTES FINISHED FLOOR ELEVATION
- W- DENOTES OVERHEAD WIRE
- INV. DENOTES INVERT ELEVATION
- WV DENOTES WATER VALVE
- Ø DENOTES DIAMETER
- ⊙ DENOTES DECIDUOUS TREE
- ⊗ DENOTES CONIFEROUS TREE
- MH DENOTES MANHOLE
- MHW DENOTES MANHOLE WATER
- ⊕ DENOTES FIRE HYDRANT
- G.S. DENOTES GARAGE SILL ELEVATION
- DENOTES DIRECTION OF FLOW

BENCHMARK NOTE

ELEVATIONS ARE GEODETIC AND ARE REFERRED TO THE CITY OF VAUGHAN BENCHMARK NO. 483-S HAVING AN ORTHOMETRIC ELEVATION OF 190.53 METRES REFERRED TO THE CANADIAN VERTICAL DATUM OF 1928, 1978 ADJUSTMENT (CGVD-1928:1978ADJ).

BENCHMARK LOCATED AT PUBLIC SCHOOL WEST SIDE OF YONGE STREET, APPROXIMATELY 805 METRES SOUTH OF HWY 7. TABLE IS SET HORIZONTALLY IN THE EAST FACE OF THE EAST CONCRETE FOUNDATION WALL, 9.8 METRES FROM THE NORTHEAST CORNER AND 15 CM BELOW BRICKWORK.

SURVEYOR'S CERTIFICATE  
I CERTIFY THAT:

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY ACT, SURVEYOR'S ACT AND THE REGULATIONS MADE UNDER THEM.
  2. THE SURVEY WAS COMPLETED ON THE 1<sup>st</sup> DAY OF DECEMBER, 2021.
- DATE DECEMBER 8<sup>th</sup>, 2021

BEARING NOTE

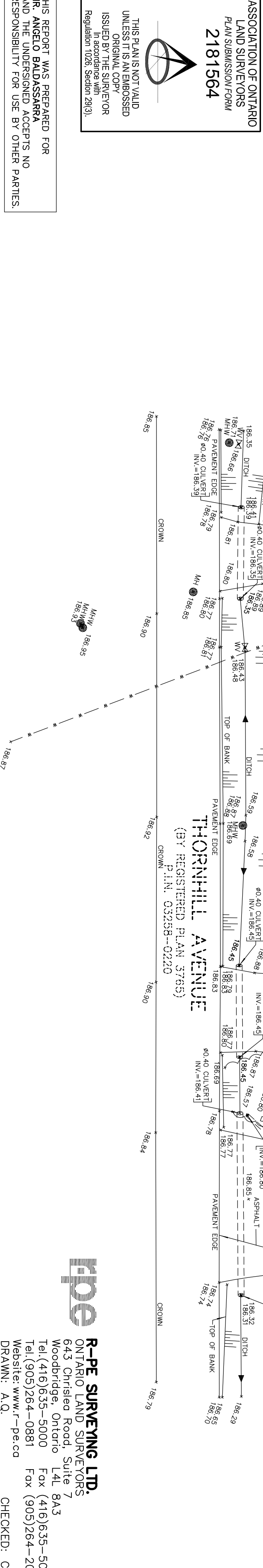
BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE NORTH LIMIT OF THORNHILL AVENUE AS SHOWN ON REGISTERED PLAN 3765 HAVING A BEARING OF N73°32'00"E.

G. P. EDWARD  
ONTARIO LAND SURVEYOR

PART 2 (SURVEY REPORT)

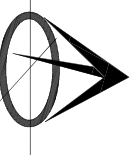
REGISTERED EASEMENTS AND/OR RIGHT-OF-WAYS: NONE  
ADDITIONAL COMMENTS:  
1) PLEASE NOTE THE LOCATION OF THE CHAIN LINK FENCE ALONG THE NORTH LIMIT OF THE SUBJECT PROPERTY.  
2) PLEASE NOTE THE LOCATION OF THE IRON FENCE ALONG THE EAST LIMIT OF THE SUBJECT PROPERTY.  
3) PLEASE NOTE SOME OF THE TREES ILLUSTRATED ON THIS PLAN ARE BOUNDARY TREES SINCE THE TRUNK STRADDLES THE PROPERTY LINE. UNDER THE ONTARIO FORESTRY ACT THE CONSENT OF THE NEIGHBOUR IS REQUIRED TO REMOVE BOUNDARY TREES.

THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING BY-LAWS.



THIS REPORT WAS PREPARED FOR  
MR. ANGELO BALDASSARRA  
AND THE UNDERSIGNED ACCEPTS NO  
RESPONSIBILITY FOR USE BY OTHER PARTIES.

ASSOCIATION OF ONTARIO  
LAND SURVEYORS  
PLAN SUBMISSION FORM  
2181564



THIS PLAN IS NOT VALID  
UNLESS IT HAS BEEN  
ISSUED BY THE SURVEYOR  
In accordance with  
Regulation 1026, Section 29(3).

R-PE SURVEYING LTD.  
ONTARIO LAND SURVEYORS  
643 Christie Road, Suite 7  
Woodbridge, Ontario L4L 8A3  
Tel (416) 635-5000  
Tel (905) 264-0881  
Website: www.r-pe.co  
FAX (905) 264-2099  
CHECKED: C.P.E.  
DRAWN: A.Q.  
JOB NO. 21-354  
CAD FILE No.21354SRPRO1

SCHEDULE B: STAFF & AGENCY COMMENTS				
DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	X			No Comments Recieved to Date
Ministry of Transportation (MTO) *Schedule B				
Region of York *Schedule B	X	X		General Comments
Alectra *Schedule B	X	X		General Comments
Bell Canada *Schedule B	X	X		General Comments
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Recieved to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				
Development Planning	X	X		Recommend Approval/no conditions
Building Standards (Zoning)	X	X		General Comments



**To:** Christine Vigneault, Committee of Adjustment Secretary Treasurer

**From:** Nancy Tuckett, Director of Development Planning

**Date:** June 22, 2022

**Name of Owner:** Anna Baldassara

**Location:** 18 Thornhill Avenue

**File No.(s):** A144/22

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**Proposed Variance(s) (By-law 001-2021):**

1. To permit the total of both side yards to be not less than 5.52 metres.
2. To permit a maximum lot coverage of 33.5%.

**By-Law Requirement(s) (By-law 001-2021):**

1. The total of both side yards shall be not less than 6.0 metres.
2. A maximum lot coverage of 23% is permitted provided the maximum height is 9.5 m.

**Proposed Variance(s) (By-law 1-88):**

3. To permit a maximum lot coverage of 29.74%.
4. To permit the total of both side yards to be not less than 5.52 metres.

**By-Law Requirement(s) (By-law 1-88):**

3. A maximum lot coverage of 20% is permitted.
4. The total of both side yards shall be not less than 6.0 metres.

**Official Plan:**

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

**Comments:**

The Owner is requesting permission to construct a new 1.5-storey single detached dwelling with the above noted variances.

The Development Planning Department has no objection to Variances 1 and 4 as the reduction in total side yards (5.52 m) only applies to the small building projections along the east and west walls, while the remaining portions of the dwelling comply with Zoning By-law 1-88 and 001-2021.

In 2004 Council endorsed a comprehensive study conducted by Development Planning that identified acceptable variance parameters within established communities zoned R1V (By-law 1-88) and R1E (By-law 01-2021). The study determined that one-storey dwellings (bungalows) may have opportunity to increase their maximum lot coverage from 20% to 26% without adverse impacts. The Development Planning Department has no objection to Variance 2 and 3 for the increase in lot coverage of 33.5%, as the proposed enclosed area of the dwelling has a lot coverage of 26% and it appears as a single storey dwelling from the road. The second floor is confined to the northwest portion of the building footprint and is not anticipated to generate any adverse massing impacts. The additional lot coverage is for unenclosed features: the eaves and gutters (3.8%), covered porch, and loggia (3.7%). The proposed lot coverage is consistent with previous approvals in other R1V zones throughout the City and will not pose a significant visual impact to the adjacent properties or streetscape.

Accordingly, the Development Planning Department can support the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-laws, and is desirable for the appropriate development of the land.

**Recommendation:**

The Development Planning Department recommends approval of the application.

**Conditions of Approval:**

If the Committee finds merit in the application, the following conditions of approval are recommended:

None

**Comments Prepared by:**

Michelle Perrone, Planner 1  
David Harding, Senior Planner



**To:** Committee of Adjustment

**From:** Catherine Saluri, Building Standards Department

**Date:** May 31, 2022

**Applicant:** Anna Baldassara

**Location:** 18 Thornhill Avenue  
65M-2928, Lot 14

**File No.(s):** A144/22

**Zoning Classification:**

The subject lands are zoned R1E(EN) – First Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.403 under Zoning By-law 001-2021.

#	Zoning By-law 001-2021	Variance requested
1	The total of both side yards shall be not less than 6.0 metres. [Exception 14.403]	To permit the total of both side yards to be not less than 5.52 metres.
2	A maximum lot coverage of 23% is permitted provided the maximum height is 9.5 m. [7.2.2 and Table 7-3]	To permit a maximum lot coverage of 33.5%.

The subject lands are zoned R1V, Single Family Detached Dwelling and subject to the provisions of Exception 9(662) under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
1	A maximum lot coverage of 20% is permitted.	To permit a maximum lot coverage of 29.74%.
2	The total of both side yards shall be not less than 6.0 metres. [Exception 9(662)]	To permit the total of both side yards to be not less than 5.52 metres.

**Staff Comments:**

**Stop Work Order(s) and Order(s) to Comply:**

There are no outstanding Orders on file.

**Building Permit(s) Issued:**

A building permit is required for the construction of the proposed dwelling.

**Other Comments:**

Zoning By-law 001-2021	
	None.

Zoning By-law 1-88	
	None.

General Comments	
1	The Applicant has confirmed that the proposed retaining wall in the westerly interior side yard will be 0.5 m in height and setback 0.65 m from the interior side lot line.
2	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit approval.

**Conditions of Approval:**

If the committee finds merit in the application, the following conditions of approval are recommended.

None

\* Comments are based on the review of documentation supplied with this application.

**Date:** June 3<sup>rd</sup> , 2022

**Attention:** **Christine Vigneault**

**RE:** Request for Comments

**File No.:** **A144-22**

**Related Files:**

**Applicant** Anna Baldassarra

**Location** 18 Thornhill Ave

**COMMENTS:**

- |                                     |  |
|-------------------------------------|--|
| <input type="checkbox"/>            | We have reviewed the proposed Variance Application and have no comments or objections to its approval.   |
| <input checked="" type="checkbox"/> | We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below). |
| <input type="checkbox"/>            | We have reviewed the proposed Variance Application and have the following concerns (attached below).   |

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

**References:**

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T  
Supervisor, Distribution Design, ICI & Layouts (North)  
**Phone:** 1-877-963-6900 ext. 31297

**E-mail:** [stephen.cranley@alectrautilities.com](mailto:stephen.cranley@alectrautilities.com)

Mitchell Penner  
Supervisor, Distribution Design-Subdivisions  
**Phone:** 416-302-6215

**Email:** [Mitchell.Penner@alectrautilities.com](mailto:Mitchell.Penner@alectrautilities.com)

## Pravina Attwala

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**Subject:** FW: [External] RE: A144/22 (18 THORNHILL AVENUE) REQUEST FOR COMMENTS

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**From:** Gordon, Carrie <carrie.gordon@bell.ca>  
**Sent:** June-01-22 2:05 PM  
**To:** Pravina Attwala <Pravina.Attwala@vaughan.ca>  
**Cc:** Committee of Adjustment <CofA@vaughan.ca>  
**Subject:** [External] RE: A144/22 (18 THORNHILL AVENUE) REQUEST FOR COMMENTS

Hello Pravina,

Bell Canada has no comments for this minor variance.

Kind regards,

Carrie Gordon

*Carrie Gordon*



Associate, External Liaison  
Right of Way Control Centre  
140 Bayfield St, Fl 2  
Barrie ON, L4M 3B1  
T: 705-722-2244/844-857-7942  
F :705-726-4600

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**From:** Pravina Attwala <[Pravina.Attwala@vaughan.ca](mailto:Pravina.Attwala@vaughan.ca)>

**Pravina Attwala**

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**Subject:** FW: [External] RE: A144/22 (18 THORNHILL AVENUE) REQUEST FOR COMMENTS

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**From:** Development Services <developmentservices@york.ca>  
**Sent:** June-16-22 9:43 AM  
**To:** Pravina Attwala <Pravina.Attwala@vaughan.ca>  
**Cc:** Committee of Adjustment <CofA@vaughan.ca>  
**Subject:** [External] RE: A144/22 (18 THORNHILL AVENUE) REQUEST FOR COMMENTS

Good Morning Pravina,

The Regional Municipality of York has completed its review of the above application. TRCA will be providing technical comments on behalf of York Region.

Many thanks,

**Christine Meehan, B.U.R.PL.** | Associate Planner, Programs and Process Improvement, Planning and Economic Development, Corporate Services

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The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1  
1-877-464-9675 x73012 | [christine.meehan@york.ca](mailto:christine.meehan@york.ca) | [www.york.ca](http://www.york.ca)  
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**SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE**

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant Representation	History Hill Group		05/09/2022	Justification Letter



May 9, 2022

City of Vaughan  
Clerk's Department  
Committee of Adjustments  
2141 Major Mackenzie Drive  
Vaughan ON, L6A 1T1

To Whom It May Concern:

**RE; NEW MINOR VARIANCE APPLICATION  
18 THORNHILL AVE-NEW 1 STOREY BUNGALOW WITH A LOFT**

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On behalf of Anna Baldassarra, the owner of 18 Thornhill Ave, a minor variance application is being submitted to facilitate the construction of a new 1 storey Bungalow with a loft. The subject site is zoned as R1V subject to exception 9(662) under by-law 1-88 and R1E (EN)-403 under by-law 01-2021.

**NOTE ON SPECIFIC BY-LAW**

Given that By-law 01-2021 is under appeal, relieve is required from both By-Law 1-88 and by 01-2021

The minor variance being requested includes the following:

1. To permit a maximum lot coverage of 29.8%. (Relief From By-Law 1-88 and 01-2021)

**PLANNING ACT-FOUR TESTS**

**Variance #1: To permit a maximum lot coverage of 29.8%.**

An increase to the maximum lot coverage to permit 29.8% is being requested; 26.1% allocated to the dwelling and 3.7% for the covered unenclosed porch. Under By-law 1-88 the maximum lot coverage permitted is 20%. An increase of 9.8% to the permitted lot coverage is being sought. Zoning By-Law 01-2021 permits a maximum lot coverage of 20%. Up to an additional 3% of coverage is allowed, subject to the dwelling height being less than 9.5m. This amounts to a total of 23%. As the intended dwelling height is 8.71m, the permitted lot coverage under zoning by-law 1-2021 is 23%, resulting in an increase of 6.8% to permitted lot coverage.

This increase is considered minor to what is permitted and is consistent with previously passed variances. Throughout the City of Vaughan variances have been granted to allow greater lot coverage in order to account for covered unenclosed porches. Previous committee of adjustments decisions within



the geographical area have supported a similar increase in lot coverage, also taking into consideration covered unenclosed porches. One example being variance A118/12. An increase to the permitted lot coverage would allow the site to be maximized to its full potential and provide the required living space.

The proposed development is consistent with the character and scale of the low-density neighbourhood. Furthermore, the community would be enhanced by the addition of the proposed 1 storey bungalow with a loft.

The Variance meets the four tests for a minor Variance under section 45 of the planning Act as it:

- Is minor in nature as it is consistent with the general character of the area
- Is desirable for the appropriate development of the 1 storey Bungalow with a loft, as it will facilitate the proposed bungalow layout and allow the owner to meet their living space needs.
- Maintains the general intent and purpose of the Official Plan and Zoning By-Laws
- Has no adverse effect on adjacent landowners.

#### **Conclusion:**

The proposed variance is minor in nature and will support the efficient development of the new 1 storey bungalow with a loft, located at 18 Thornhill Ave. The variance meets the four tests of the Planning Act and is desirable for the development.

#### **Supporting Materials:**

In Support of this minor variance application, find enclosed the following;

- Site Plan for New Dwelling; dated May 4<sup>th</sup> 2022, prepared by Jardin Design Group Inc.
- Tree Inventory and Preservation Plan(V100): dated February 11, 2022, prepared by SBK
- Arborist Report; dated March 11, 2022, prepared by SBK
- Tree Removal Permit: Issued April 21, 2022, Permit # 2022-65
- Building Elevations: dated January 2022, prepared by Region design Inc.

Regards,

Steven De Santis  
[stevend@historyhillgroup.com](mailto:stevend@historyhillgroup.com)  
416-736-9978