

<b>ITEM: 6.12</b>	<b>COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A282/22 293 CASTLEHILL ROAD, MAPLE</b>
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**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING  
DEPARTMENTS & AGENCIES:**

\*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	General Comments w/ condition
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Planning	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Application under Review
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

**PUBLIC & APPLICANT CORRESPONDENCE**

\*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Public	See Petition	See Petition	09/11/2023	Petition in Support of Application
Applicant			09/30/2023	Justification Letters & Photos

**PREVIOUS COA DECISIONS ON THE SUBJECT LAND**

\*Please see **Schedule D** for a copy of the Decisions listed below

<b>File Number</b>	<b>Date of Decision</b> MM/DD/YYYY	<b>Decision Outcome</b>
A056/06	02/26/2006	Approved

**ADJOURNMENT HISTORY**

\* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

August 31, 2023	Minor Variance Application A282/22 was adjourned by the Committee of Adjustment to September 21, 2023, to accommodate zoning review of revised proposal.
September 21, 2023	Minor Variance Application A282/22 was adjourned by the Committee of Adjustment to October 19, 2023, Committee of Adjustment hearing to permit time for applicant to make revisions to the application and submit additional photos to the Committee.
November 16, 2023	Minor Variance Application A282/22 was adjourned by the Committee of Adjustment to January 11, 2024, to permit time for applicant to make revisions to proposal.





**COMMITTEE OF ADJUSTMENT REPORT  
MINOR VARIANCE APPLICATION  
A282/22  
293 CASTLEHILL ROAD, MAPLE**

<b>ITEM NUMBER: 6.12</b>	<b>CITY WARD #: 1</b>
<b>APPLICANT:</b>	Claudio & Marisa Schioppo
<b>AGENT:</b>	None
<b>PROPERTY:</b>	293 Castlehill Road, Maple
<b>ZONING DESIGNATION:</b>	See below.
<b>VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:</b>	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
<b>RELATED DEVELOPMENT APPLICATIONS:</b>	None
<b>PURPOSE OF APPLICATION:</b>	Relief from the Zoning By-law is being requested to permit an existing shed, canopy and decorative roof located over back yard gate.

The following variances have been requested from the City's Zoning By-law:

**The subject lands are zoned R3(EN) – Estate Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.339 under Zoning By-law 001-2021, as amended.**

#	Zoning By-law 001-2021	Variance requested
1	An accessory building or residential accessory structure shall not be located closer to a front lot line or an exterior side lot line than the principal building on the lot, except where explicitly permitted by this By-law. Section 4.1.2 c.	To permit a residential accessory structures (gate roof) to be located closer to the exterior lot line than the principal building.
2	An accessory building or residential accessory structure shall not be located closer to a front lot line or an exterior side lot line than the principal building on the lot, except where explicitly permitted by this By-law. Section 4.1.2 c.	To permit a residential accessory building(shed) to be located closer to the exterior lot line than the principal building.
3	An accessory building or residential accessory structure shall not be located closer to a front lot line or an exterior side lot line than the principal building on the lot, except where explicitly permitted by this By-law. Section 4.1.2 c.	To permit a residential accessory structures (canopy roof) to be located closer to the exterior lot line than the principal building.
4	The minimum required rear yard setback for the residential accessory building (shed) is 2.4m. Section 4.1.2b.	To permit a minimum rear yard setback for the residential accessory building(Shed) of 0.43m.
5	The minimum required exterior yard setback for the residential accessory building (shed) is 2.4m. Section 4.1.2 b.	To permit a minimum exterior yard setback for the residential accessory building(shed) of 0.74m.
6	The minimum required exterior yard setback for the residential accessory structure(canopy roof) is 2.4m. Section 4.1.2b.	To permit a minimum exterior yard setback for the residential accessory structure(canopy roof ) of 0.16m.
7	The minimum required exterior yard setback for the residential accessory structure(Gate roof) is 4.5m. Exception14(339) T-36	To permit a minimum exterior yard setback for the residential accessory structure(gate roof ) of 0.60m.
8	The minimum required interior side yard setback is 1.2m. Exception14(339) T-36	To permit a minimum interior side yard setback of 0.95m.
9	The maximum permitted lot coverage is 40%. Exception14(339) T-36	To permit a maximum lot coverage of 40.7%.

**HEARING INFORMATION**

**DATE OF MEETING:** Thursday, January 11, 2024  
**TIME:** 6:00 p.m.  
**MEETING LOCATION:** Vaughan City Hall, Woodbridge Room (2<sup>nd</sup> Floor), 2141 Major Mackenzie Drive  
**LIVE STREAM LINK:** [Vaughan.ca/LiveCouncil](http://Vaughan.ca/LiveCouncil)

## HEARING INFORMATION

### PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

If you would like to submit written comments, please quote file number above and submit by mail or email to:

**Email:** [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

**Mail:** City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to [cofa@vaughan.ca](mailto:cofa@vaughan.ca) no later than NOON on the last business day before the meeting.

**THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.**

## INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

That the general intent and purpose of the by-law will be maintained.

That the general intent and purpose of the official plan will be maintained.

That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.

That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

## COMMITTEE OF ADJUSTMENT COMMENTS

<b>Date Public Notice Mailed:</b>	December 21, 2023
<b>Date Applicant Confirmed Posting of Sign:</b>	December 5, 2023
<b>Applicant Justification for Variances:</b> <small>*As provided by Applicant in Application Form</small>	In 2013 an Inspector from the Building Department show up on my property informing me that the was a complaint regarding the canopy and to contact the City Building Department, I did and I was told that because the structure doesn't have footings(sitting on a floating concrete slab)and walls a permit wasn't required At the beginning of 2021 I realize that I still had an open permit regarding the addition of a window, I booked a final inspection with the City to close that permit, when the inspector show up make me aware that the was an open complaint regarding the canopy and I have to deal with I did apply for a permit and that's when I was informed to get a relief from the Committee of Adjustment In this request I am adding a shed that was built in 2009 even if isn't part of the complaint Whit the requirements from the Zoning By-Law regarding the minimum distance from the property line it's impossible to built anything,
<b>Adjournment Requests (from staff):</b> <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	On August 10, 2023, Development Planning advised:  Development Planning has now carried out our review of the above noted Minor Variance application and has concerns with the application as proposed. Our Urban Design division has also provided the attached comments. After thorough discussion, Development Planning is not in position to support the canopy as it does not meet the general intent and purpose of By-law 001-2021 and presents a massing implication onto the exterior lot line. This extension of this accessory structure (canopy) along with the shed gives a linear perspective of one continuous

**COMMITTEE OF ADJUSTMENT COMMENTS**

structure which leads up to the rear addition of the dwelling. In addition, Development Planning and Urban Design are concerned with the safety of the canopy structure as it is missing a post at the corner, which might cause issues with the stability of the structure, particularly during the winter when there is heavy snow. Development Planning kindly asks that you remove the canopy structure in order to gain Development Planning's support.

On August 14, 2023, the applicant advised they would like to proceed as is.

On August 23, 2023, Development Planning advised:

Please be advised that the elevations provided for the above noted file are incorrect. The plans depict the sunroom door being located on the east elevation. During my site visit, I observed the sunroom door being located on the north elevation. While this will not impact Development Plannings position on the file, I kindly ask that you please have the elevations revised at your earliest convenience to avoid potential confusion at the Committee of Adjustment Meeting.

On September 21, 2023, the Committee adjourned the application to October 19, 2023 hearing to permit time for applicant to make revisions to the application and submit additional photos to the Committee.

On September 30, 2023, the Applicant submitted photographs and emails in response to Development Planning recommendations.

On November 22, 2023, the applicant submitted revised plans, removing parts of the roof of the pergola.

On November 28, 2023, Development Planning provided:

Based on the drawing provided, it is our office's understanding that the intermittent removal of some of the planks cladding the roof is proposed for the canopy structure. The removal of some of the planks does not alter the canopy's physical structure and in our opinion does not significantly alter the appearance or mass of the structure. The canopy along with the shed provides continuous massing between the rear of the dwelling and the rear lot line. As such, Development Planning's comments remain unchanged.

**Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:**

No

\*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.

\*A revised submission may be required to address staff / agency comments received as part of the application review process.

\*Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.

**Adjournment Fees:**

In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice.

An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff **after** the issuance of public notice.

**Committee of Adjustment Comments:**

None

### COMMITTEE OF ADJUSTMENT COMMENTS

<b>Committee of Adjustment Recommended Conditions of Approval:</b>	That the applicant submits required adjournment fee to accommodate rescheduling from the August 31, 2023 hearing.
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### BUILDING STANDARDS (ZONING) COMMENTS

\*\*See Schedule B for Building Standards (Zoning) Comments

<b>Building Standards Recommended Conditions of Approval:</b>	None
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### DEVELOPMENT PLANNING COMMENTS

\*\*See Schedule B for Development Planning Comments. Application under Review.

<b>Development Planning Recommended Conditions of Approval:</b>	TBD
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### DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

As the existing cabana in the subject property is 16.03m<sup>2</sup>, the owner/ applicant needs to obtain a lot grading permit from Development Inspection and Lot Grading division of the City's Development Engineering Department. Please note any in ground structure over 10 m<sup>2</sup> requires a grading permit. Please contact COA application engineering reviewer after receiving the grading permit to clear the condition. (Condition attached)

The Development Engineering (DE) Department does not object to the variance application A282/22 subject to the following condition:

<b>Development Engineering Recommended Conditions of Approval:</b>	The Owner/applicant shall submit a Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.
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### PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

Forestry has no comment at this time.

<b>PFH Recommended Conditions of Approval:</b>	None
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### DEVELOPMENT FINANCE COMMENTS

No comment no concerns.

<b>Development Finance Recommended Conditions of Approval:</b>	None
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### BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

No comments received to date.

<b>BCLPS Recommended Conditions of Approval:</b>	None
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### BUILDING INSPECTION (SEPTIC) COMMENTS

No comments received to date.

<b>Building Inspection Recommended Conditions of Approval:</b>	None
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### FIRE DEPARTMENT COMMENTS

No comments received to date.

<b>Fire Department Recommended Conditions of Approval:</b>	None
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## SCHEDULES TO STAFF REPORT

\*See Schedule for list of correspondence

<b>Schedule A</b>	Drawings & Plans Submitted with the Application
<b>Schedule B</b>	Staff & Agency Comments
<b>Schedule C</b> (if required)	Correspondence (Received from Public & Applicant)
<b>Schedule D</b> (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

### SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Committee of Adjustment <a href="mailto:cofa@vaughan.ca">cofa@vaughan.ca</a>	That the applicant submits required adjournment fee to accommodate rescheduling from the August 31, 2023 hearing.
2	Development Engineering <a href="mailto:Rex.bondad@vaughan.ca">Rex.bondad@vaughan.ca</a>	The Owner/applicant shall submit a Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City’s Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at <a href="mailto:DEPermits@vaughan.ca">DEPermits@vaughan.ca</a> or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.

### IMPORTANT INFORMATION – PLEASE READ

**CONDITIONS:** It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

**APPROVALS:** Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.

**DEVELOPMENT CHARGES:** That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City’s Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

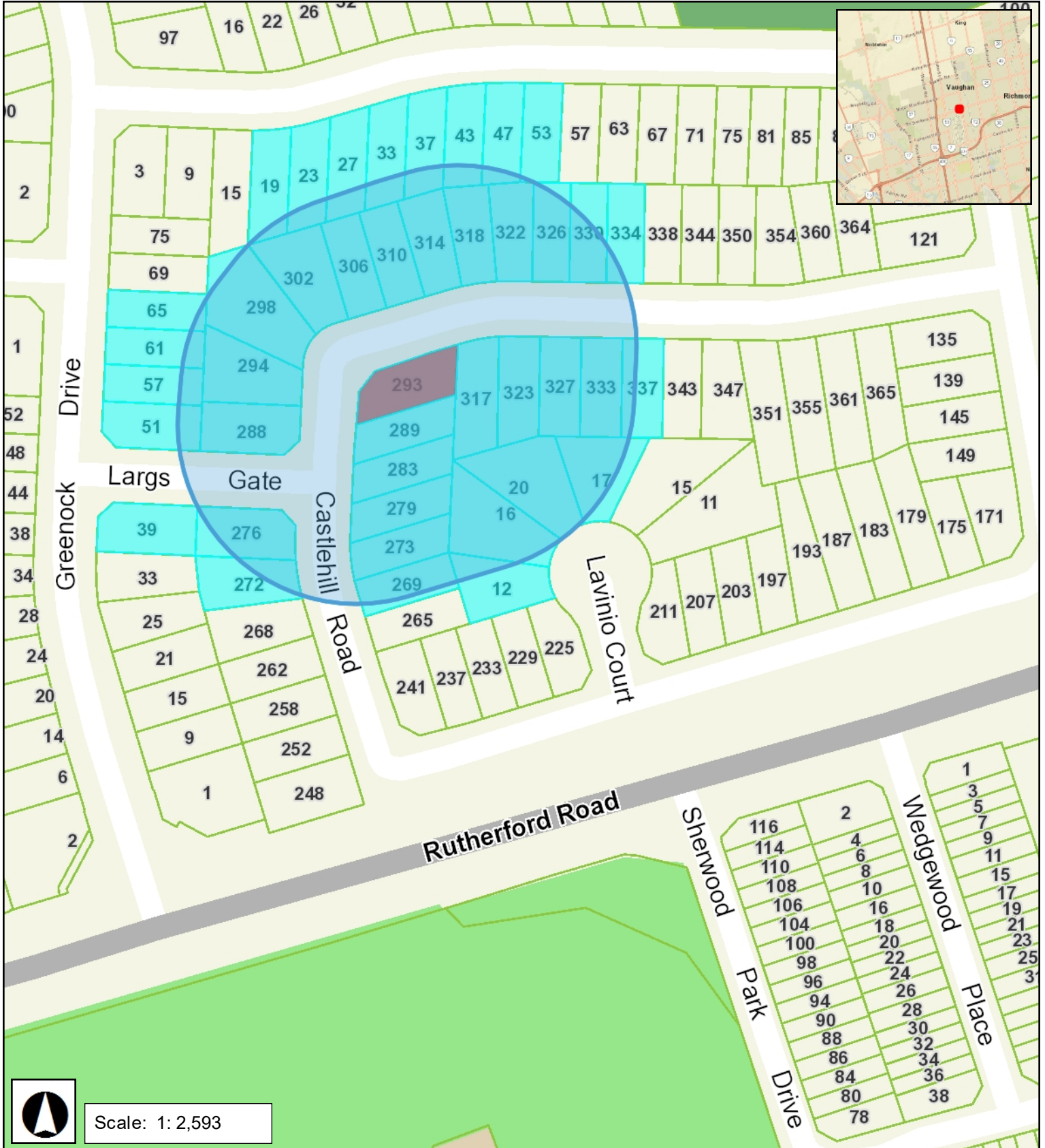
### IMPORTANT INFORMATION – PLEASE READ

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

**NOTICE OF DECISION:** If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

**SCHEDULE A: DRAWINGS & PLANS**





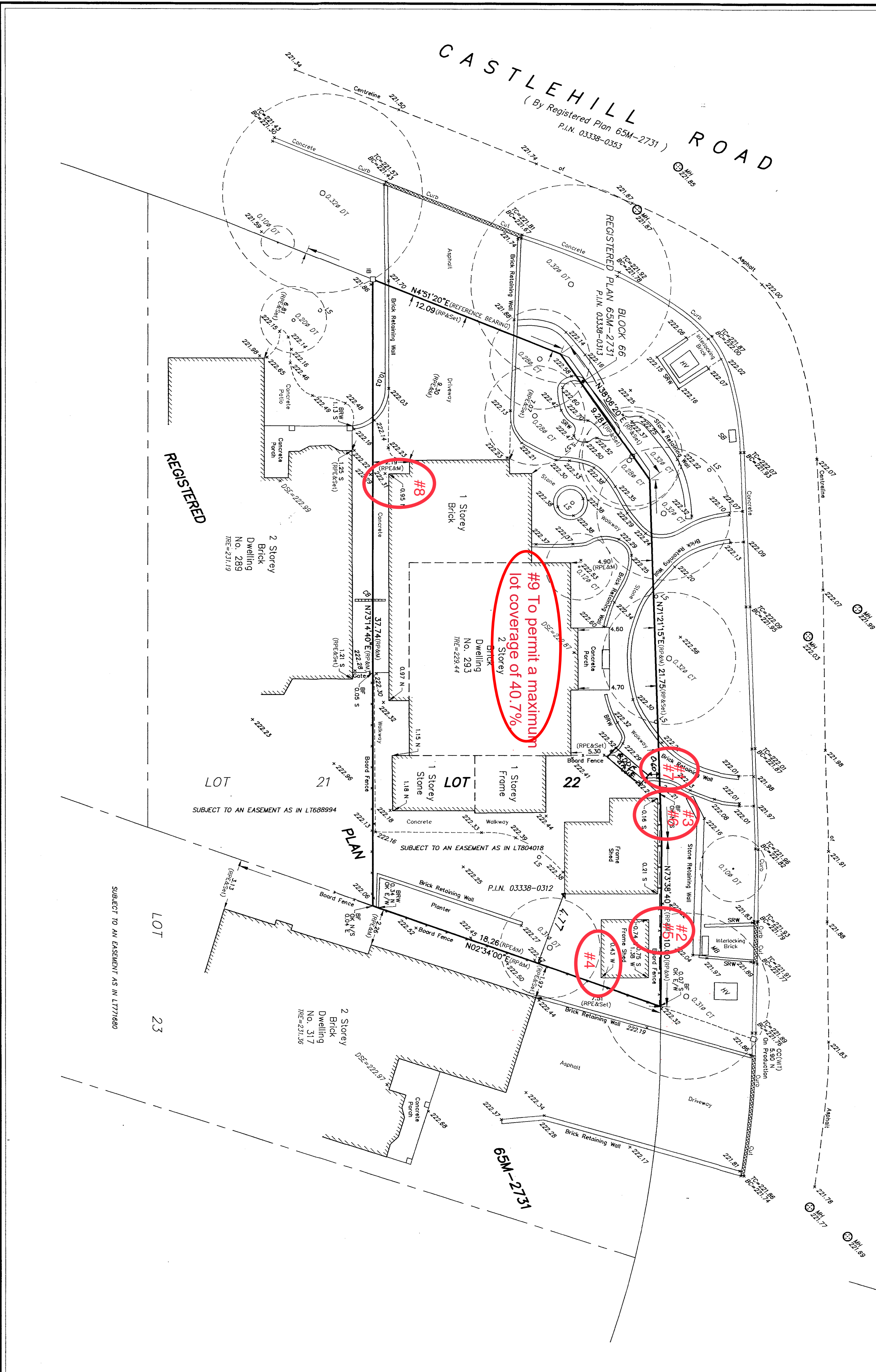


**RECEIVED**  
By Christine Vigneault at 12:13 pm, Jul 25, 2023

**PLANS PREPARED AND VARIANCES IDENTIFIED BY APPLICANT**

**C A S T L E H I L L R O A D**  
( By Registered Plan 65M-2731 )  
P.L.N. 03338-0353

**A282/22**



SURVEYOR'S REAL PROPERTY REPORT - PART 1  
PLAN OF  
**LOT 22**  
**REGISTERED PLAN 65M-2731**  
CITY OF VAUGHAN  
Regional Municipality of York  
SCALE 1 : 150  
AVANTI SURVEYING INC.  
© COPYRIGHT 2023

**METRIC**  
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

**BEARING NOTE**  
BEARINGS ARE ASTROLOGIC AND ARE REFERRED TO THE EAST LIMIT OF CASTLEHILL ROAD, HAVING A BEARING OF N45°12'00"E ACCORDING TO REGISTERED PLAN 65M-2731.

**ELEVATION NOTE**  
ELEVATIONS ARE GEODETIC AND ARE REFERRED TO THE CITY OF VAUGHAN BENCHMARK NO. 25-4 HAVING A PUBLISHED ELEVATION OF 221.71 METRES.

- LEGEND**
- DENOTES SURVEY MONUMENT SET
  - SP, F.M., S.E.W., M, N, CC, IB, WIT, P.L.N., BRW, SBR, MB, TC, BC, DSE, THE, DT, W, LV, PPE
  - MEASURED
  - CUTT GROSS
  - IRON BAR
  - WITNESS
  - PROPERTY IDENTIFIER NUMBER
  - BOARD FENCE
  - BRICK RETAINING WALL
  - SANDSTONE
  - MASONRY
  - SERVICE BOX
  - MAIL BOX
  - TOP OF CURB
  - BOTTOM OF CURB
  - DOORSEIL ELEVATION
  - TOP OF ROOF ELEVATION
  - DECIDUOUS TREE
  - CONIFEROUS TREE
  - UTILITY
  - PLANTER
  - LIGHT STANDARD
  - PLAN BY RADY-BENTEX & EDWARD SURVEYING LTD. O.L.S. DATED JUNE 28, 1991

ASSOCIATION OF ONTARIO LAND SURVEYORS  
PLAN SUBMISSION FORM  
V-49417

THIS PLAN IS NOT VALID UNLESS IT IS AN EXPRESSED ISSUED BY THE SURVEYOR in accordance with Regulation 1026, Section 28(3)

**SURVEYOR'S CERTIFICATE**

I CERTIFY THAT:  
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYORS ACT, THE SURVEYORS REGULATION AND THE REGULATIONS MADE UNDER THEM.  
2. THE SURVEY WAS COMPLETED ON THE 21ST DAY OF APRIL, 2023.

COLE RAKES  
ONTRIO LAND SURVEYOR

THIS PLAN WAS PREPARED FOR CLAUDIO AND MARISA SCHIOPPO

**PART 2 - SURVEY REPORT**

1) PLEASE NOTE LOCATION OF FENCES AND RETAINING WALLS  
2) REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY:  
SUBJECT TO AN EASEMENT AS IN LT804018  
SUBJECT TO AN EASEMENT AS IN LT771680

3) THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING BY-LAWS

**AVANTI SURVEYING INC.**

310 North Queen St., Unit 102, Toronto ON M5C5R4  
Tel: (416) 221-1174, Fax: (416) 221-5580  
EMAIL: info@avantisurveying.com

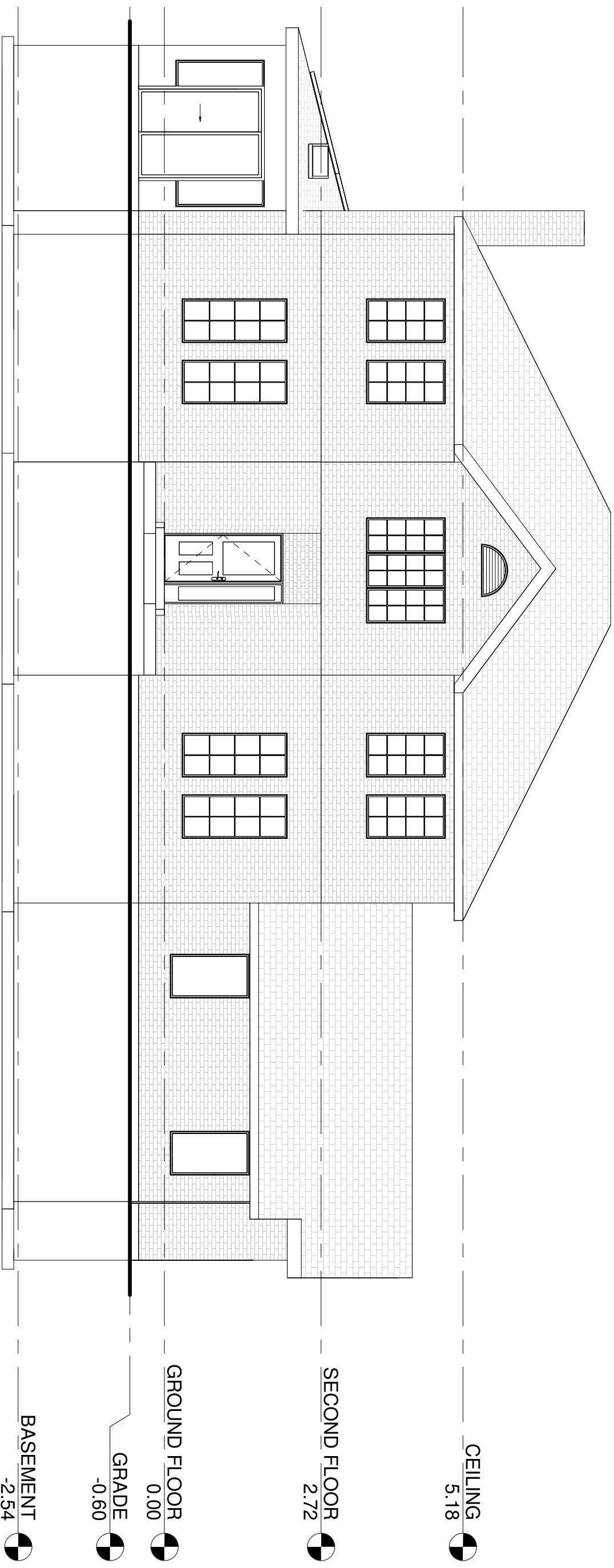
DRAWN: J.C. CHECKED: C.R. PROJECT: 23-070

# NEW

August 24, 2022

Plan not reviewed by Zoning

# A282/22



**1** NORTH ELEVATION  
1 : 75

**GENERAL NOTES:**

1. DO NOT SCALE DRAWINGS.
2. THIS DRAWING IS NOT TO BE REPRODUCED UNLESS PROPER WRITTEN CONSENT IS OBTAINED FROM GTA PERMITS INC.
3. ALL DIMENSIONS TO BE VERIFIED PRIOR TO CONSTRUCTION.
4. ALL WORK SHOULD BE IN STRICT ACCORDANCE WITH THE 2012 ONTARIO BUILDING CODE & LOCAL MUNICIPAL BY-LAWS.
5. THESE DRAWINGS MAY BE ALTERED DUE TO ON SITE CONDITIONS NOT FORESEEN PRIOR TO CONSTRUCTION.
6. AFTER PERMIT IS OBTAINED ANY CHANGES MADE BY OWNER OR CONTRACTOR WILL BE THEIR RESPONSIBILITY AND GTA PERMITS INC. WILL NOT BE RESPONSIBLE.
7. BEFORE BEGINNING ANY WORK, IF CONTRACTOR FINDS ANY DISCREPANCIES NOTIFY GTA PERMITS INC. TO RECTIFY A SOLUTION.
8. THESE PLANS FORM THE BASES FOR PERMIT ISSUANCE AND ANY DEVIATIONS FROM THESE PLANS AND DETAILS, INCLUDING THE VENTILATION SYSTEM, HEATING SYSTEM, WOODSTOVE, FIREPLACE, DECKS, BALCONIES, AND FINISHED BASEMENTS, WILL REQUIRE REVISED DRAWINGS AND CLEARANCE BY THE BUILDING DEPARTMENT.

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be designer.

QUALIFICATION INFORMATION - Required unless design is exempt under 3.2.5.1 of Division "C" of the Ontario Building Code.

Grigori Davidovich 125678

Name BCIN

Signature BCIN

QUALIFICATION INFORMATION - Required unless design is exempt under 3.2.5.1 of Division "C" of the Ontario Building Code.

Name BCIN

**PROJECT ADDRESS:**

293 CASTLEHILL RD.  
VAUGHAN, ON L6A 1V9

**DRAWING:**

NORTH ELEVATION

DESIGNER: Grigori Davidovitch

VERSION: 1

DATE: Aug. 24, 2023

SCALE: 1 : 75

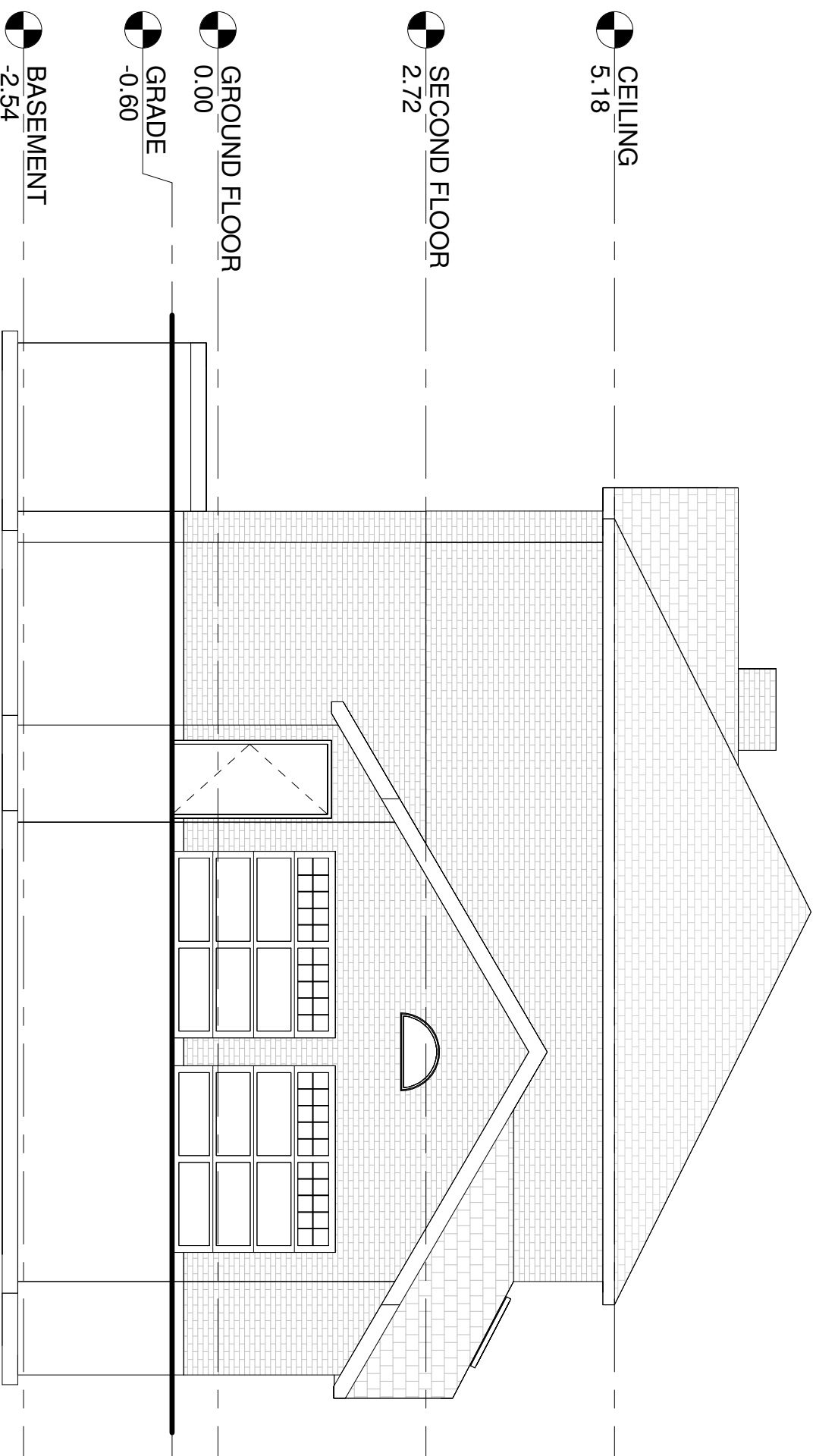
**P-4**

**NEW**

August 24, 2022

Plan not reviewed by zoning

**A282/22**



**1 WEST ELEVATION**

1 : 75

**GENERAL NOTES:**

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7. BEFORE BEGINNING ANY WORK, IF CONTRACTOR FINDS ANY DISCREPANCIES NOTIFY GTA PERMITS INC. TO RECTIFY A SOLUTION.
8. THESE PLANS FORM THE BASES FOR PERMIT ISSUANCE AND ANY DEVIATIONS FROM THESE PLANS AND DETAILS, INCLUDING THE VENTILATION SYSTEM, HEATING SYSTEM, WOODSTOVE, FIREPLACE, DECKS, BALCONIES, AND FINISHED BASEMENTS, WILL REQUIRE REVISED DRAWINGS AND CLEARANCE BY THE BUILDING DEPARTMENT.

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be designer.

QUALIFICATION INFORMATION - Required unless design is exempt under 3.2.5.1 of Division "C" of the Ontario Building Code.

Grigori Davidovich 125678

Name Signature BCIN

QUALIFICATION INFORMATION - Required unless design is exempt under 3.2.5.1 of Division "C" of the Ontario Building Code.

Name BCIN

**PROJECT ADDRESS:**

293 CASTLEHILL RD.  
VAUGHAN, ON L6A 1V9

**DRAWING:**

WEST ELEVATION

DESIGNER: Grigori Davidovich

VERSION: 1

DATE: Aug. 24, 2023

SCALE: 1 : 75

**P-5**

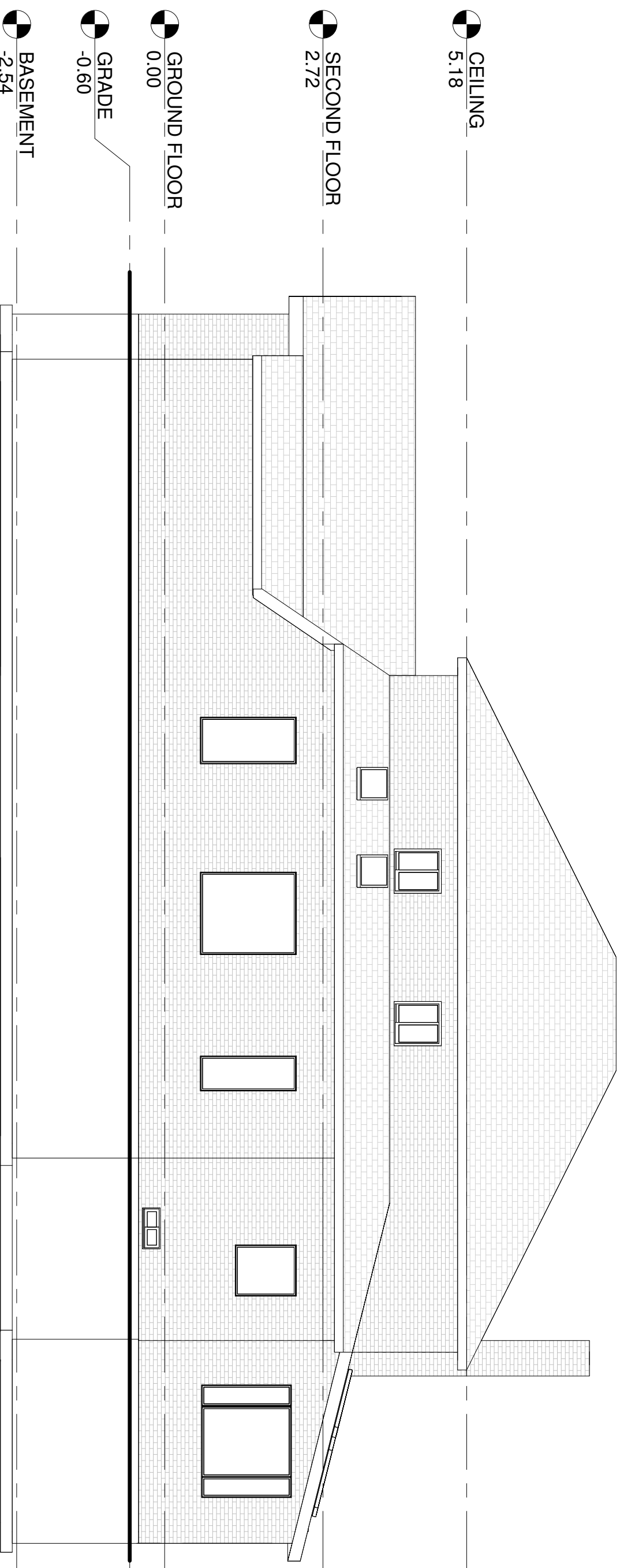


**NEW**

August 24, 2022

Plan not reviewed by zoning

**A282/22**



**1 SOUTH ELEVATION**  
1 : 75

**GENERAL NOTES:**

1. DO NOT SCALE DRAWINGS.
2. THIS DRAWING IS NOT TO BE REPRODUCED UNLESS PROPER WRITTEN CONSENT IS OBTAINED FROM GTA PERMITS INC.
3. ALL DIMENSIONS TO BE VERIFIED PRIOR TO CONSTRUCTION.
4. ALL WORK SHOULD BE IN STRICT ACCORDANCE WITH THE 2012 ONTARIO BUILDING CODE & LOCAL MUNICIPAL BY-LAWS.
5. THESE DRAWINGS MAY BE ALTERED DUE TO ON SITE CONDITIONS NOT FORESEEN PRIOR TO CONSTRUCTION.
6. AFTER PERMIT IS OBTAINED ANY CHANGES MADE BY OWNER OR CONTRACTOR WILL BE THEIR RESPONSIBILITY AND GTA PERMITS INC. WILL NOT BE RESPONSIBLE.
7. BEFORE BEGINNING ANY WORK, IF CONTRACTOR FINDS ANY DISCREPANCIES NOTIFY GTA PERMITS INC. TO RECTIFY A SOLUTION.
8. THESE PLANS FORM THE BASES FOR PERMIT ISSUANCE AND ANY DEVIATIONS FROM THESE PLANS AND DETAILS, INCLUDING THE VENTILATION SYSTEM, HEATING SYSTEM, WOODSTOVE, FIREPLACE, DECKS, BALCONIES, AND FINISHED BASEMENTS, WILL REQUIRE REVISED DRAWINGS AND CLEARANCE BY THE BUILDING DEPARTMENT.

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QUALIFICATION INFORMATION - Required unless design is exempt under 3.2.5.1 of Division "C" of the Ontario Building Code.

Grigori Davidovich 125678

Name \_\_\_\_\_ Signature \_\_\_\_\_ BCIN \_\_\_\_\_

QUALIFICATION INFORMATION - Required unless design is exempt under 3.2.5.1 of Division "C" of the Ontario Building Code.

Name \_\_\_\_\_ BCIN \_\_\_\_\_

**PROJECT ADDRESS:**  
293 CASTLEHILL RD.  
VAUGHAN, ON L6A 1V9

**DRAWING:**  
SOUTH ELEVATION

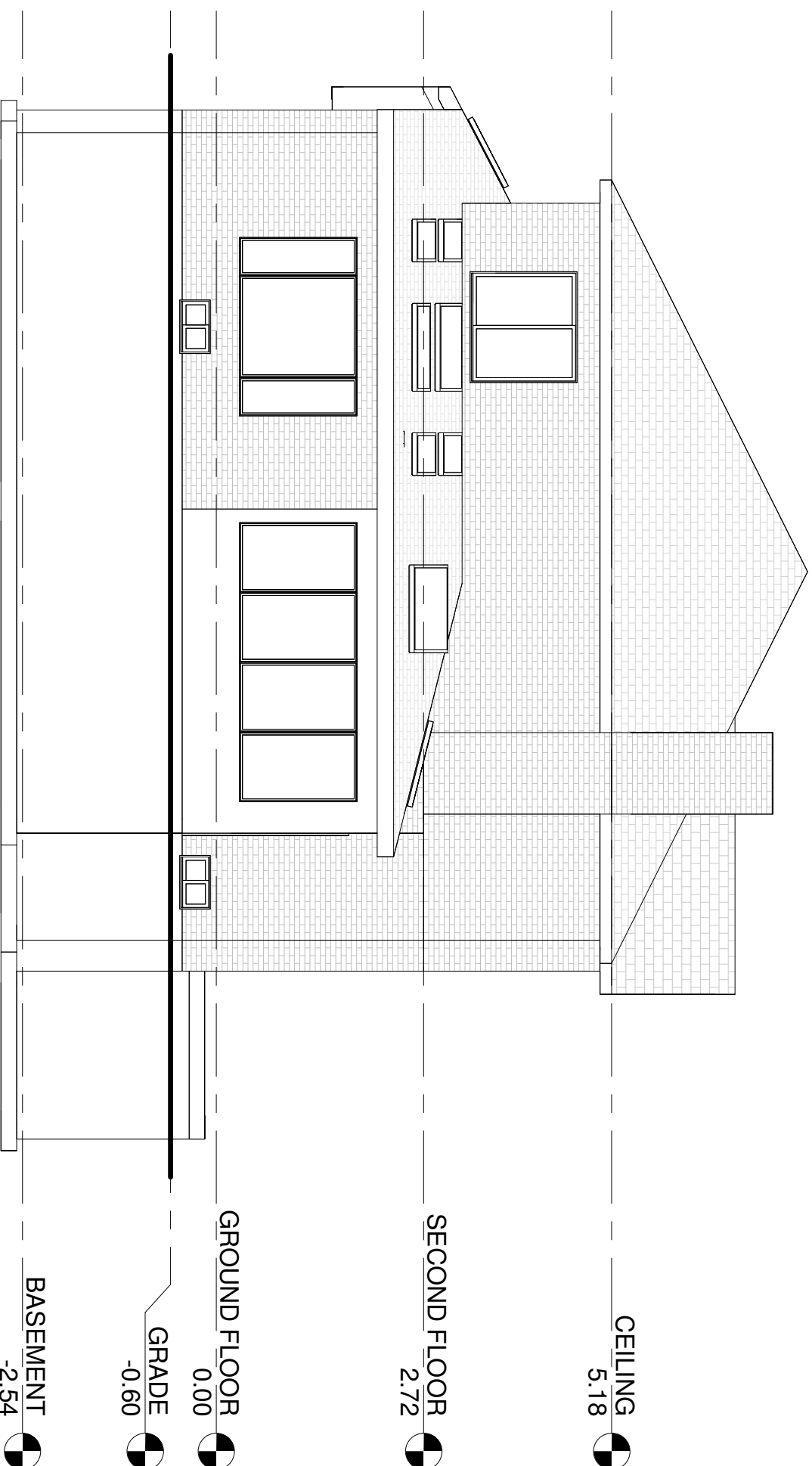
<b>DESIGNER:</b> Grigori Davidovitch	<b>P-6</b>
<b>VERSION:</b> 1	
<b>DATE:</b> Aug. 24, 2023	
<b>SCALE:</b> 1 : 75	

# NEW

August 24, 2022

Plan not reviewed by zoning

# A282/22



## 1 EAST ELEVATION

1 : 75

### GENERAL NOTES:

1. DO NOT SCALE DRAWINGS.
2. THIS DRAWING IS NOT TO BE REPRODUCED UNLESS PROPER WRITTEN CONSENT IS OBTAINED FROM GTA PERMITS INC.
3. ALL DIMENSIONS TO BE VERIFIED PRIOR TO CONSTRUCTION.
4. ALL WORK SHOULD BE IN STRICT ACCORDANCE WITH THE 2012 ONTARIO BUILDING CODE & LOCAL MUNICIPAL BY-LAWS.
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The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be designer.

QUALIFICATION INFORMATION - Required unless design is exempt under 3.2.5.1 of Division "C" of the Ontario Building Code.

Grigori Davidovich

125678

Name

Signature

BCIN

QUALIFICATION INFORMATION - Required unless design is exempt under 3.2.5.1 of Division "C" of the Ontario Building Code.

BCIN

Name

BCIN

### PROJECT ADDRESS:

293 CASTLEHILL RD.  
VAUGHAN, ON L6A 1V9

### DRAWING:

EAST ELEVATION

DESIGNER: Grigori Davidovich

VERSION: 1

DATE: Aug. 24, 2023

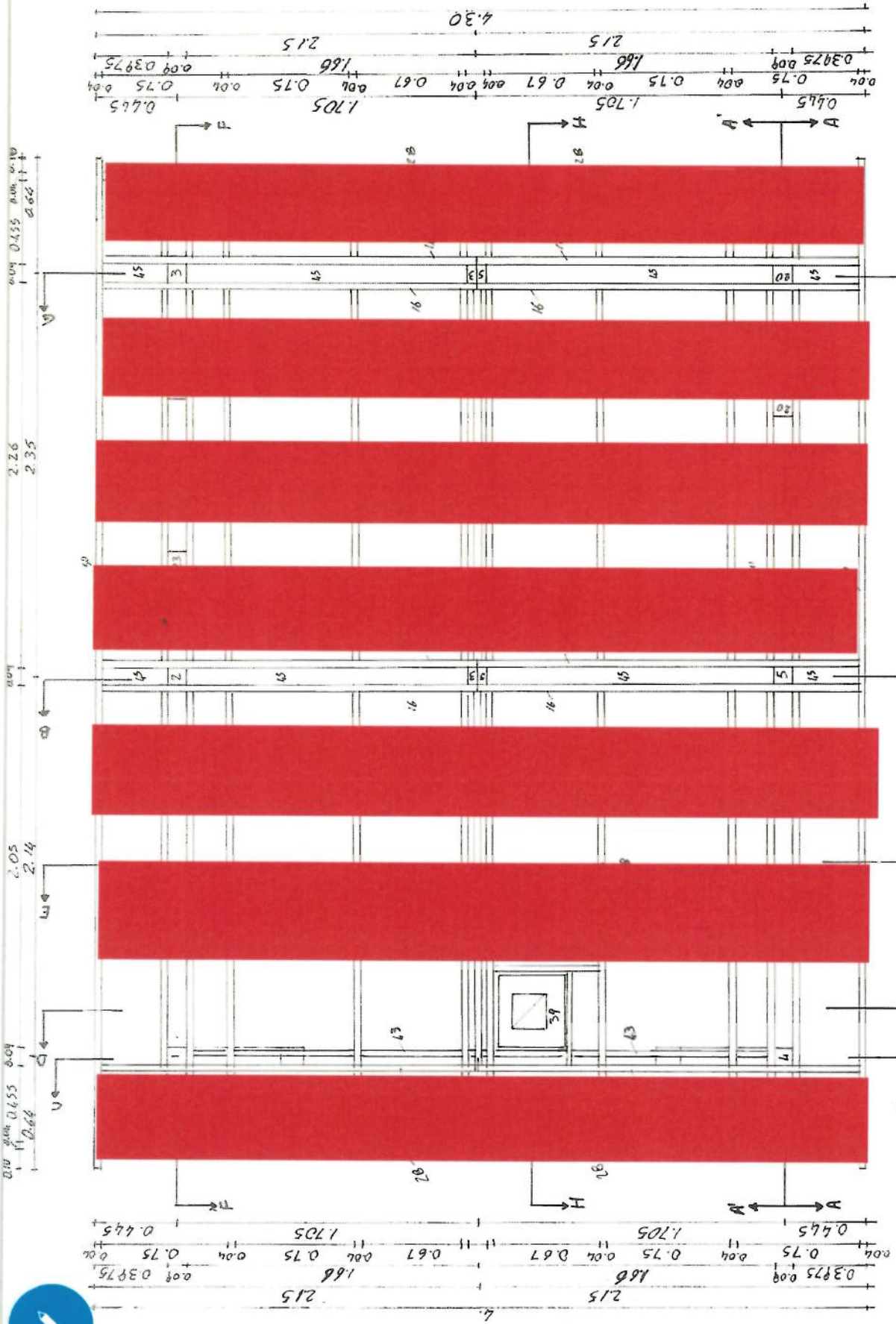
SCALE: 1 : 75

P-7

# Part in red to be removed to create a pergola



North Roof Framing Plan Scale 1:20



**RECEIVED**

By Christine Vigneault at 3:48 pm, Nov 22, 2023



**SCHEDULE B: STAFF & AGENCY COMMENTS**

<b>DEPT/AGENCY</b>	<b>Circulated</b>	<b>Comments Received</b>	<b>Conditions</b>	<b>Nature of Comments</b>
TRCA *Schedule B	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Ministry of Transportation (MTO) *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York *Schedule B	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra *Schedule B	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada *Schedule B	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline *Schedule B	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
MetroInx *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Development Planning	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Application under Review
Building Standards (Zoning)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments

**Date:** November 30<sup>th</sup> 2022

**Attention:** **Christine Vigneault**

**RE:** Request for Comments

**File No.:** **A282-22**

**Related Files:**

**Applicant** Claudio & Marisa Schioppo

**Location** 293 Castlehill Road



**COMMENTS:**

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

**References:**

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream(Construction Standard 03-1, 03-4, 03-9), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Stephen Cranley, C.E.T

Mitchell Penner

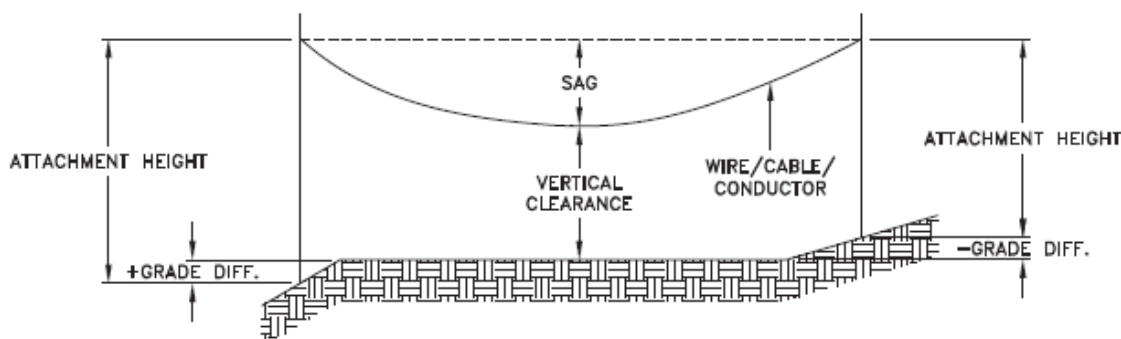
Supervisor, Distribution Design, ICI & Layouts (North)  
**Phone:** 1-877-963-6900 ext. 31297

Supervisor, Distribution Design-Subdivisions  
**Phone:** 416-302-6215

**E-mail:** [stephen.cranley@alecrautilities.com](mailto:stephen.cranley@alecrautilities.com)

**Email:** [Mitchell.Penner@alecrautilities.com](mailto:Mitchell.Penner@alecrautilities.com)

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
	MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)			
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO VEHICLES	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO PEDESTRIANS AND BICYCLES ONLY	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT RAILWAY CROSSINGS	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG  
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)  
 ± GRADE DIFFERENCE  
 + 0.3m (VEHICLE OR RAILWAY LOCATION)  
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

**NOTES:**

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

**CONVERSION TABLE**

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

**REFERENCES**

SAGS AND TENSIONS | SECTION 02

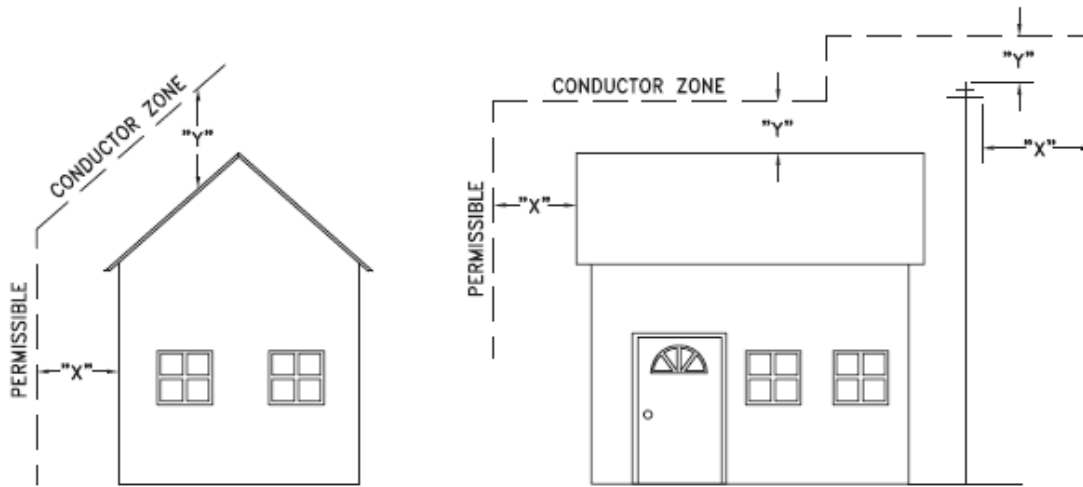
**Certificate of Approval**

This construction Standard meets the safety requirements of Section 4 of Regulation 22/04

Joe Crozier, P.Eng.                      2012-JAN-09  
 Name    Date  
 P.Eng. Approval By:                      Joe Crozier

**MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS**

ORIGINAL ISSUE DATE: 2010-DEC-24    REVISION NO: R1    REVISION DATE: 2012-JAN-09



VOLTAGE	MINIMUM HORIZONTAL CLEARNACE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

**NOTES**

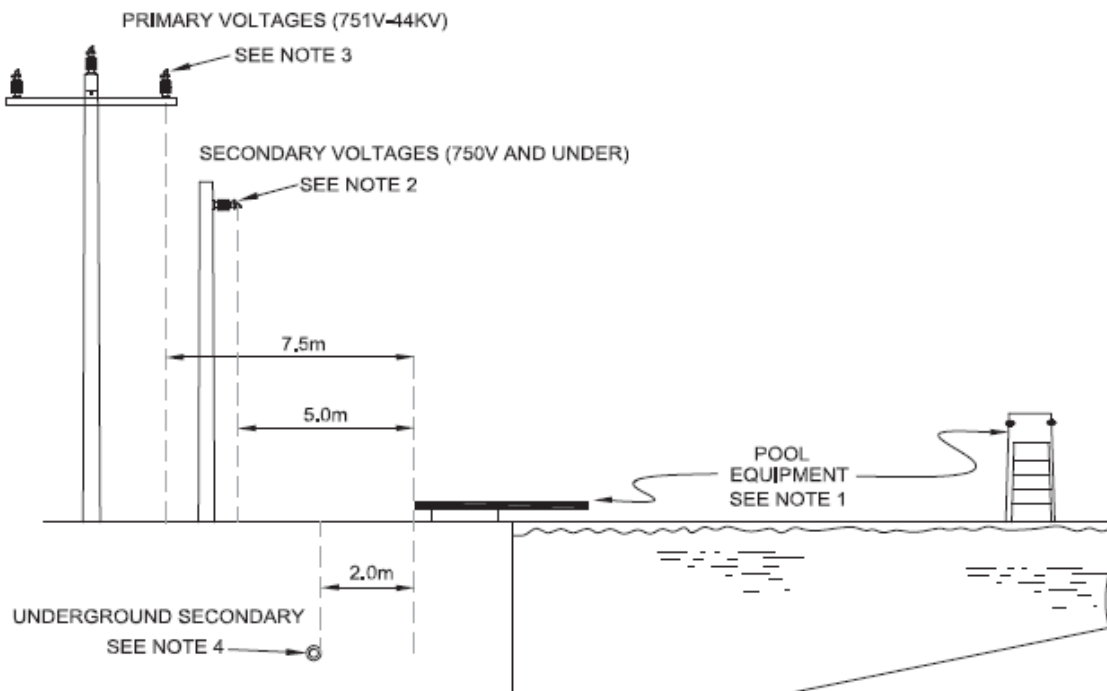
1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

**MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)**

**Certificate of Approval**  
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04  
Debbie Dadwani, P.Eng. 2010-MAY-05  
Name Date  
P.Eng. Approval By: D. Dadwani

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:  
PS\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working folder\Section 23-4\DWG 03-4 R0 May 5, 2010.dwg, 5/5/2010 9:22:02 AM, Adobe PDF



**NOTES:**

1. ANY STRUCTURE WITHIN 5.0 METRES OF POOL EDGE SHALL BE CONSIDERED PART OF THE POOL.
2. THERE SHALL NOT BE ANY OVERHEAD SECONDARY OR COMMUNICATION WIRING (750V OR LESS) ABOVE THE POOL, AND ABOVE OTHER ELEVATED SURFACES ASSOCIATED WITH THE POOL, INCLUDING BUT NOT RESTRICTED TO A DIVING STRUCTURE, SLIDE, SWINGS, OBSERVATION STAND, TOWER OR PLATFORM, OR ABOVE THE ADJACENT AREA EXTENDING 5.0M HORIZONTALLY FROM THE POOL EDGE.
3. THERE SHALL NOT BE ANY OVERHEAD PRIMARY WIRING (751V - 44KV) ABOVE THE POOL AND OTHER ELEVATED SURFACES ASSOCIATED WITH THE POOL, OR ABOVE THE ADJACENT AREA EXTENDING 7.5M HORIZONTALLY FROM THE POOL EDGE.
4. ANY UNDERGROUND CONDUCTORS SHALL BE 2.0M AWAY FROM POOL EDGE IN DUCT WITH NON-CONDUCTING JACKET. FOR DEPTH AND DUCT DETAILS REFER TO FIGURE 3 IN 25-100 FOR 200A SERVICE AND 25-101 FOR 400A SERVICE RESPECTIVELY, AS PER POWERSTREAM SERVICE DESIGN SPECIFICATIONS.
5. THESE DIMENSIONS APPLY TO ALL SIDES OF THE POOL.

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX.)
7.5m	24'-6"
5.0m	16'-3"
2.0m	6'-6"

**REFERENCES**

FIGURE 3, 25-100	SECTION 25
FIGURE 3, 25-101	SECTION 25

**Certificate of Approval**

This construction Standard meets the safety requirements of Section 4 of Regulation 22/04

Joe Crozier, P.Eng.	2013-JUN-12
Name	Date
P.Eng. Approval By:	Joe Crozier

**MINIMUM CLEARANCES FOR CONDUCTORS ADJACENT TO SWIMMING POOLS**

ORIGINAL ISSUE DATE: 2013-JUNE-12 REVISION NO: R0 REVISION DATE:

**To:** Committee of Adjustment  
**From:** Bernd Paessler, Building Standards Department  
**Date:** November 29, 2023  
**Applicant:** Claudio & Marisa Schioppo  
**Location:** 293 Castlehill Road  
 PLAN 65M2731 Lot 22  
**File No.(s):** A282/22

**Zoning Classification:**

The subject lands are zoned R3(EN) – Estate Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.339 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	An accessory building or residential accessory structure shall not be located closer to a front lot line or an exterior side lot line than the principal building on the lot, except where explicitly permitted by this By-law.  Section 4.1.2 c.	To permit a residential accessory structures(gate roof) to be located closer to the exterior lot line than the principal building.
2	An accessory building or residential accessory structure shall not be located closer to a front lot line or an exterior side lot line than the principal building on the lot, except where explicitly permitted by this By-law.  Section 4.1.2 c.	To permit a residential accessory building(shed) to be located closer to the exterior lot line than the principal building.
3	An accessory building or residential accessory structure shall not be located closer to a front lot line or an exterior side lot line than the principal building on the lot, except where explicitly permitted by this By-law.  Section 4.1.2 c.	To permit a residential accessory structures(canopy roof) to be located closer to the exterior lot line than the principal building.
4	The minimum required rear yard setback for the residential accessory building (shed) is 2.4m.  Section 4.1.2 b	To permit a minimum rear yard setback for the residential accessory building(Shed) of 0.43m.
5	The minimum required exterior yard setback for the residential accessory building (shed) is 4.5m.  Exception14(339) T-36	To permit a minimum exterior yard setback for the residential accessory building(shed) of 0.74m.
6	The minimum required exterior yard setback for the residential accessory structure(canopy roof) is 4.5m.  Exception14(339) T-36	To permit a minimum exterior yard setback for the residential accessory structure(canopy roof ) of 0.16m.

7	The minimum required exterior yard setback for the residential accessory structure(Gate roof) is 4.5m.  Exception14(339) T-36	To permit a minimum exterior yard setback for the residential accessory structure(gate roof ) of 0.60m.
8	The minimum required interior side yard setback is 1.2m for the house addition.  Exception14(339) T-36	To permit a minimum interior side yard setback of .95m.
9	The maximum permitted lot coverage is 40%.  Exception14(339) T-36	To permit a maximum lot coverage of 40.7%.

**Staff Comments:**

**Stop Work Order(s) and Order(s) to Comply:**

Order No. 21-116107, Order to Comply for , Issue Date: Jun 17, 2021

**Building Permit(s) Issued:**

Building Permit No. 21-128359 for Shed/Gazebo - New, Issue Date: (Not Yet Issued)

**Other Comments:**

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

**Conditions of Approval:**

If the committee finds merit in the application, the following conditions of approval are recommended.

\* Comments are based on the review of documentation supplied with this application.

Site Visit Photos:  
Development Planning



**Received from Planning Dept.**

July 24, 2023





**Received** from Planning Dept.

July 24, 2023



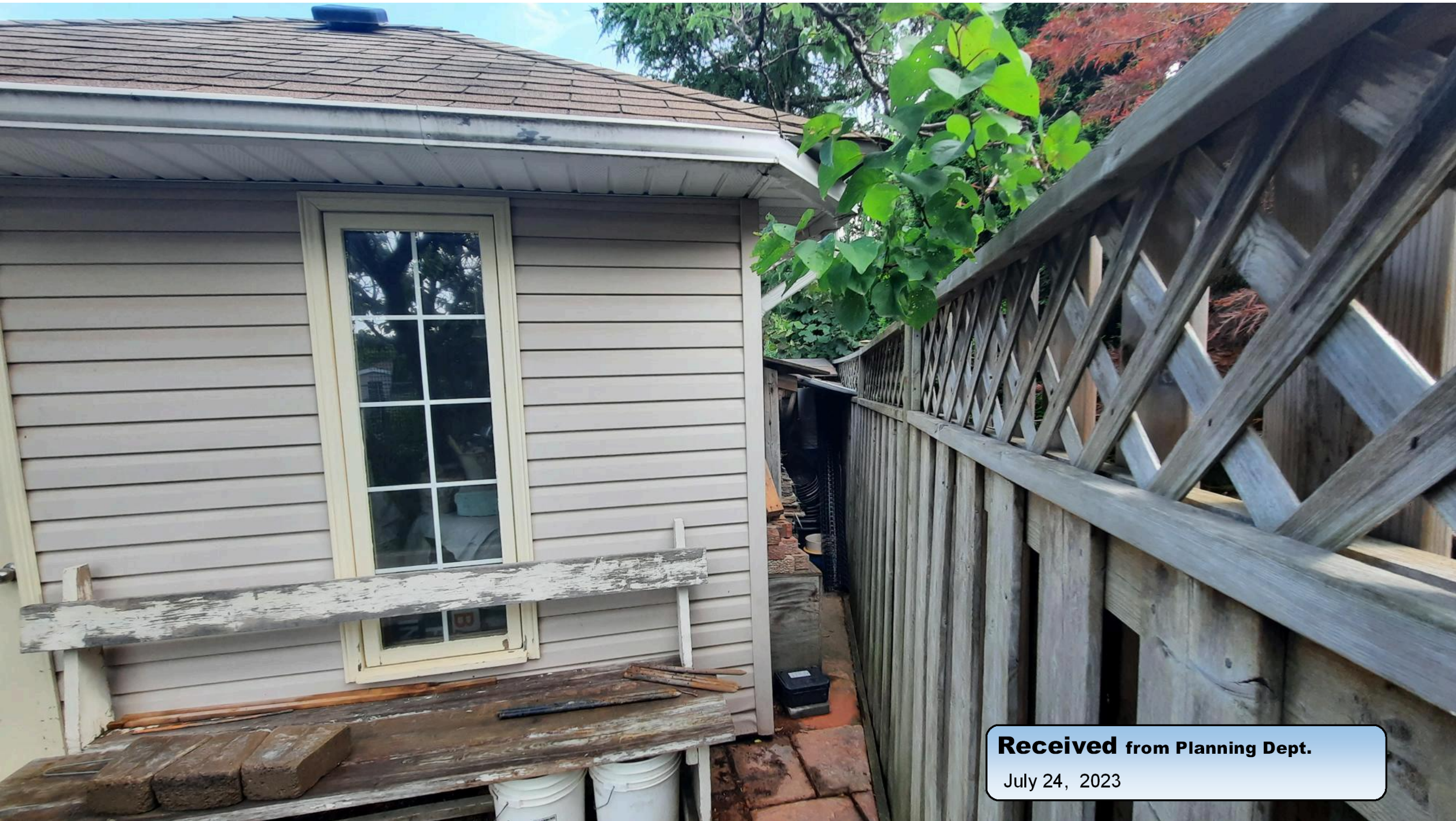


**Received** from Planning Dept.

July 24, 2023







**Received** from Planning Dept.  
July 24, 2023





**Received** from Planning Dept.  
July 24, 2023



**Received** from Planning Dept.

July 24, 2023





**Received** from Planning Dept.

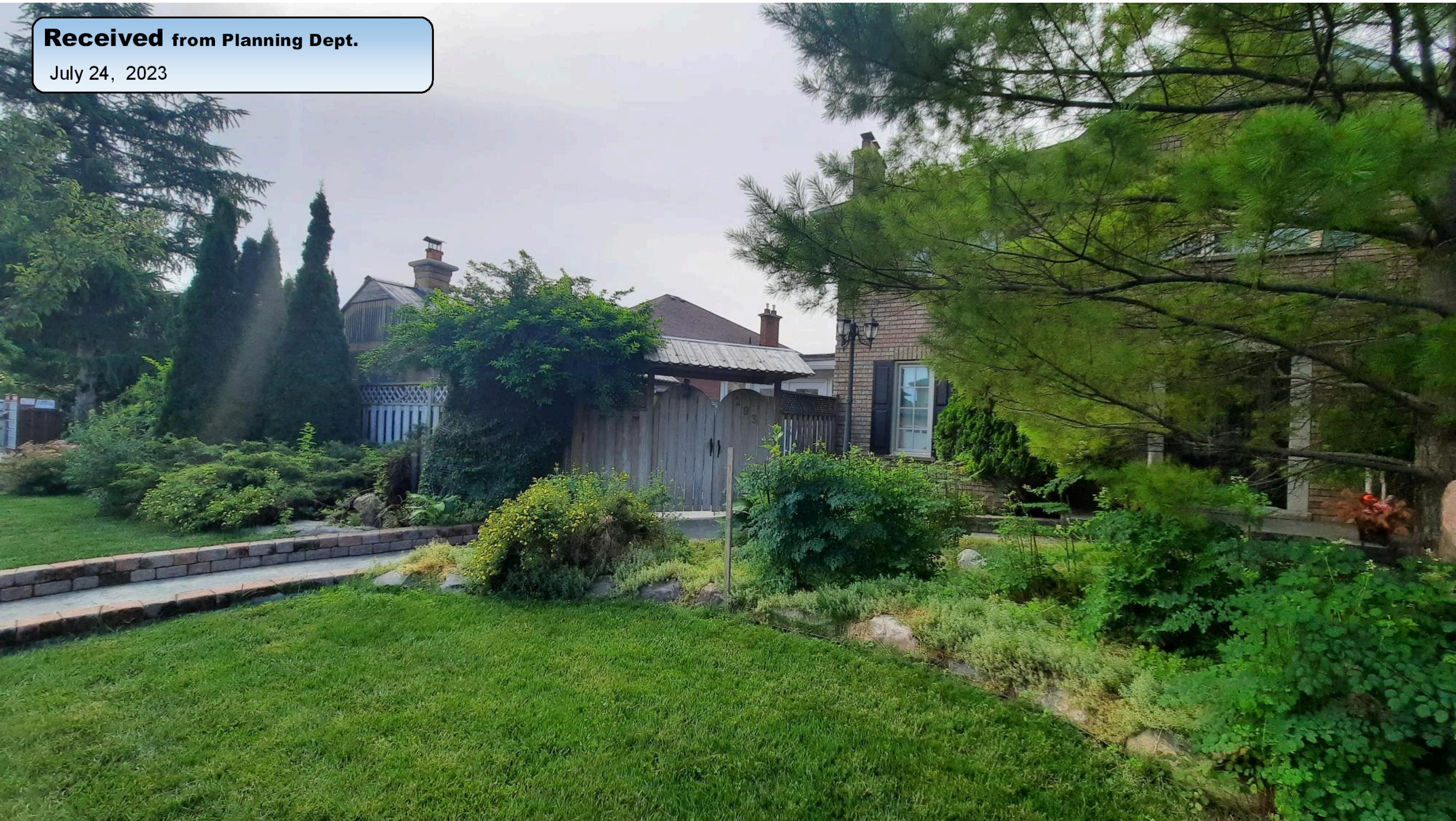
July 24, 2023





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July 24, 2023





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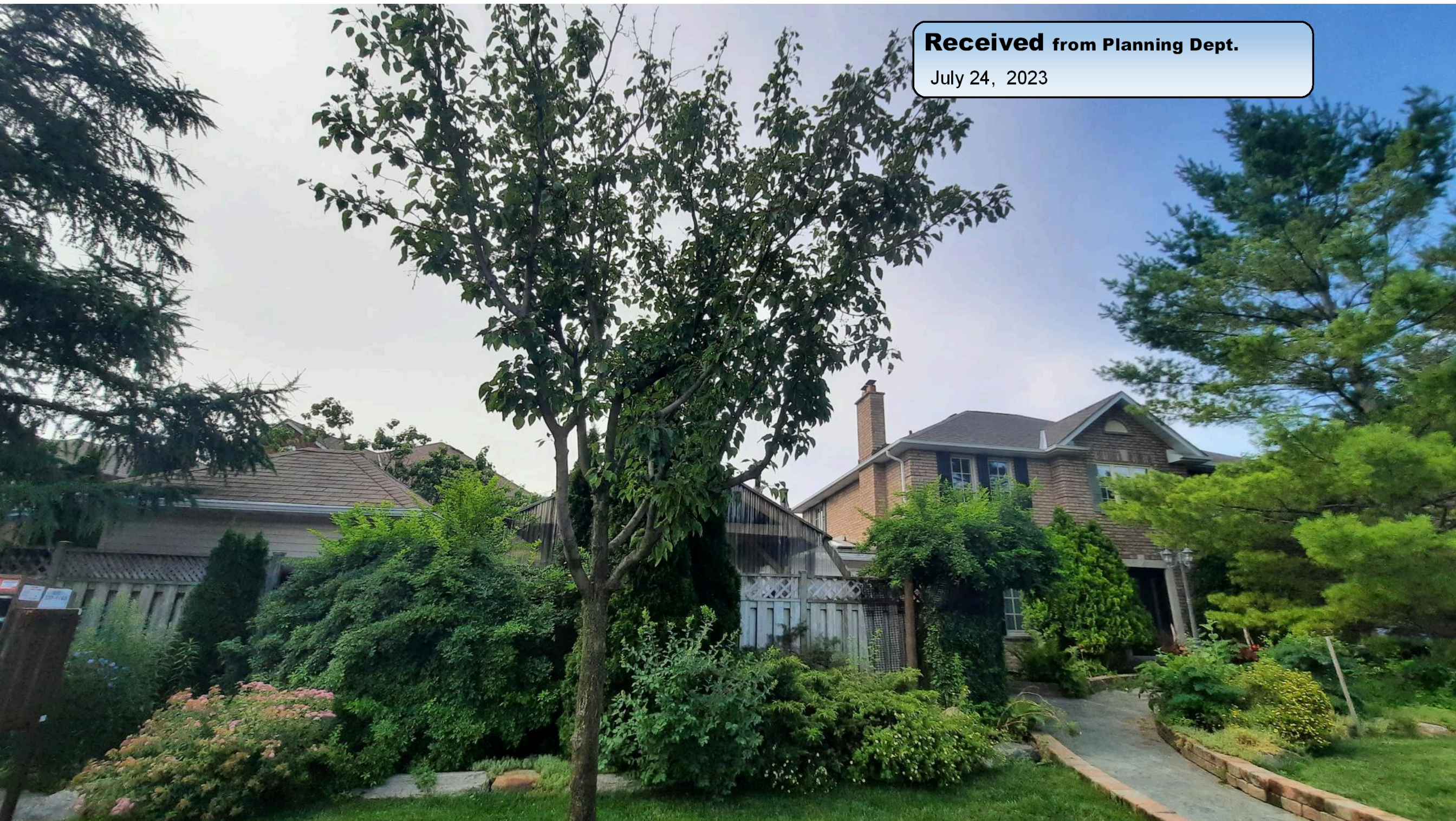
July 24, 2023





**Received** from Planning Dept.

July 24, 2023





**Received** from Planning Dept.

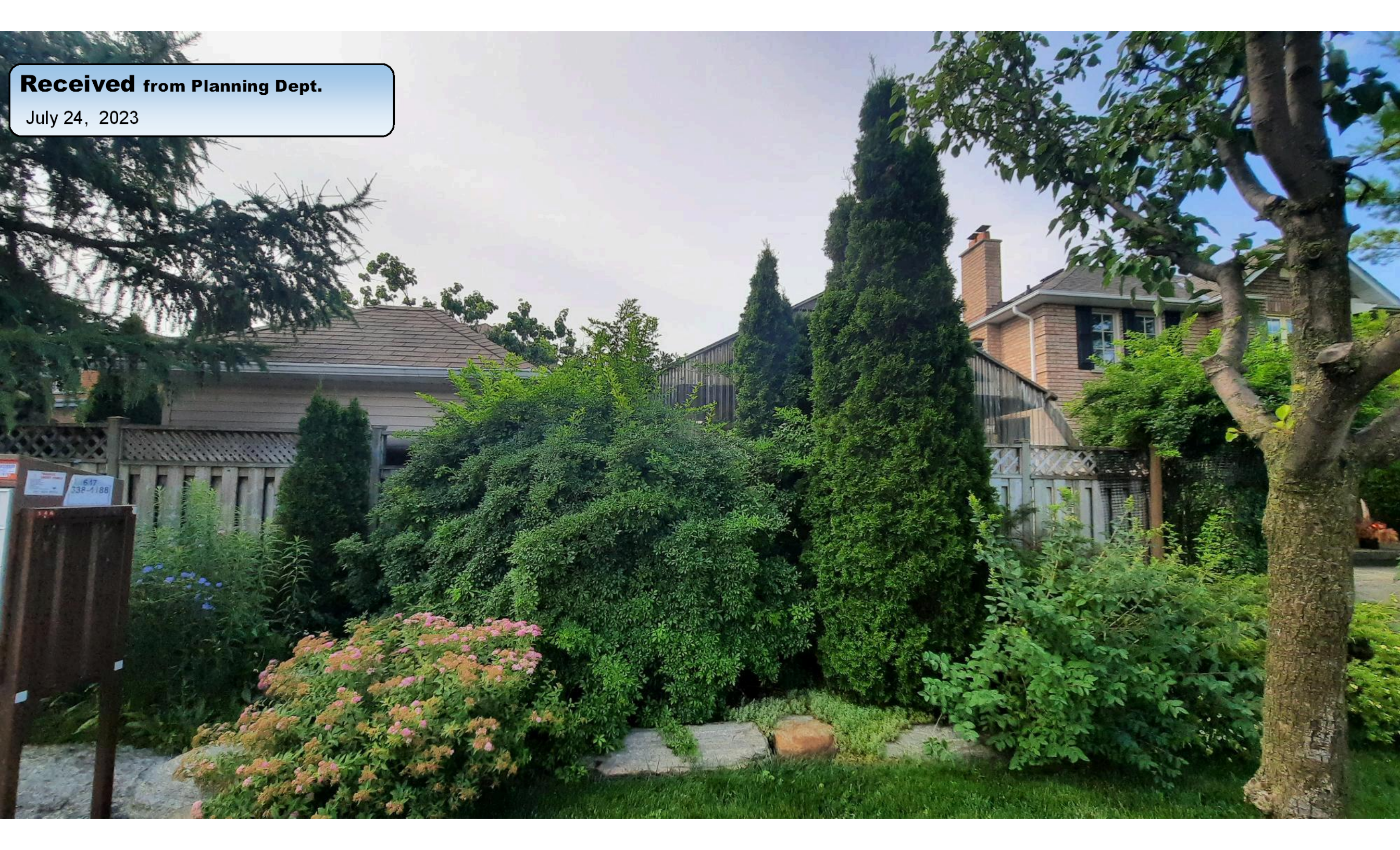
July 24, 2023





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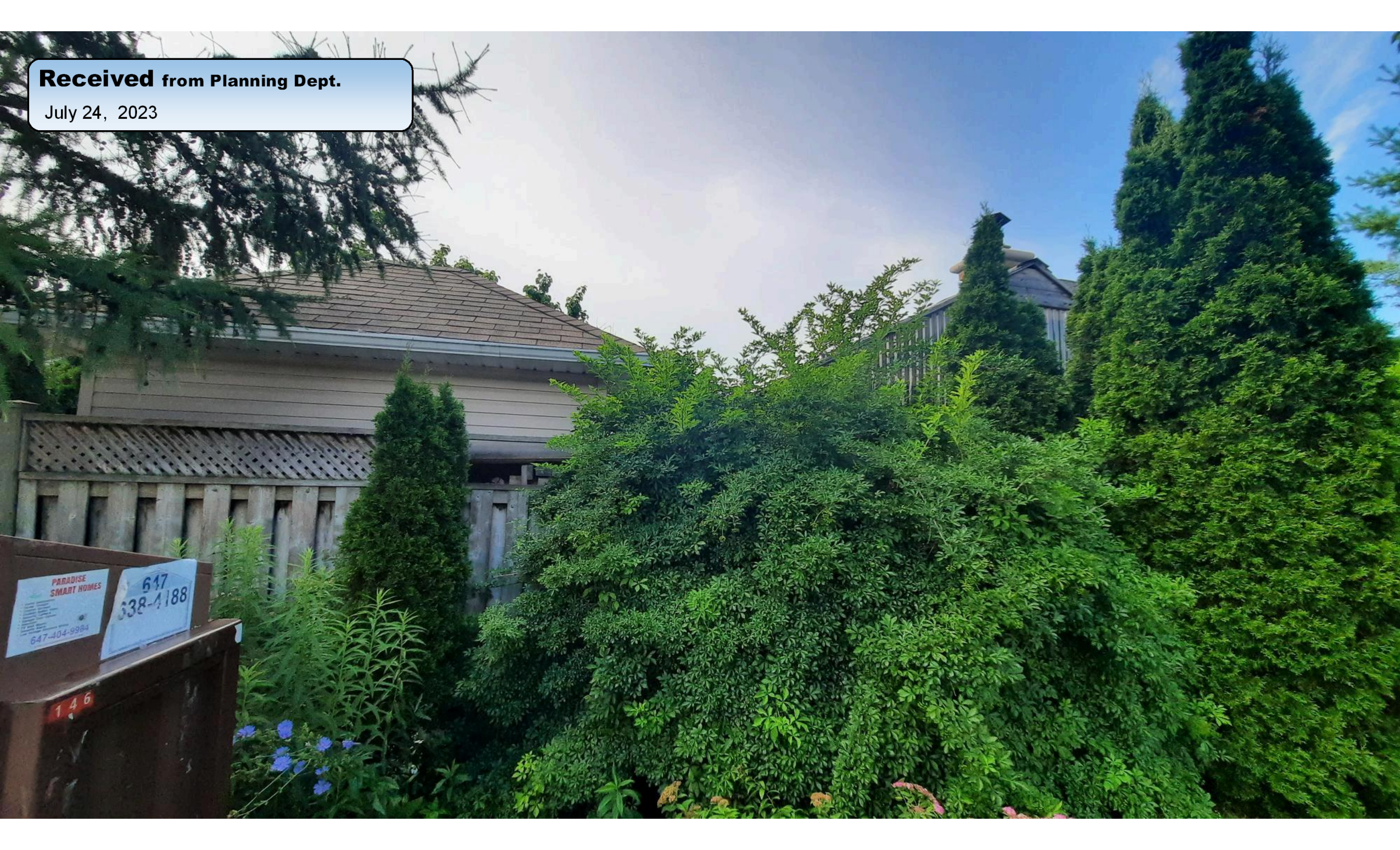
July 24, 2023





**Received from Planning Dept.**

July 24, 2023





**Received from Planning Dept.**

July 24, 2023





**From:** [Kristen Regier](#)  
**To:** [Committee of Adjustment](#)  
**Cc:** [Christine Vigneault](#); [Lenore Providence](#)  
**Subject:** [External] RE: A282/22 (293 Castlehill Road) - REQUEST FOR COMMENTS, CITY OF VAUGHAN  
**Date:** Thursday, August 3, 2023 10:48:24 AM  
**Attachments:** [image001.png](#)

---

Hello,

The subject property at 293 Castlehill Road, Vaughan is not located within TRCA's Regulated Area. TRCA's Planning and Regulatory policy interests are not impacted.

As such, TRCA has no comments on the application.

Best,

**Kristen Regier, MA (she / her)**

Planner I

Development Planning and Permits | Development and Engineering Services

Toronto and Region Conservation Authority (TRCA)

T: [437-880-2129](tel:437-880-2129)

E: [kristen.regier@trca.ca](mailto:kristen.regier@trca.ca)

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](#) | [trca.ca](http://trca.ca)



**From:** [Development Services](#)  
**To:** [Christine Vigneault](#)  
**Cc:** [Committee of Adjustment](#)  
**Subject:** [External] RE: A282/22 (293 Castlehill Road) - REQUEST FOR COMMENTS, CITY OF VAUGHAN  
**Date:** Wednesday, August 2, 2023 5:55:32 PM  
**Attachments:** [image001.png](#)  
[image003.png](#)

---

Hi Christine,

The Regional Municipality of York has completed its review of the minor variance application – A282/22 (293 Castlehill Road) and has no comment.

Many thanks,

*Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.*

**Niranjan Rajevan, M.Pl.** | Associate Planner, Development Services, Planning and Economic Development, Corporate Services

-----  
The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1  
1-877-464-9675 ext. 71521 | [niranjan.rajevan@york.ca](mailto:niranjan.rajevan@york.ca) | [www.york.ca](http://www.york.ca)

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Our Mission: **Working together to serve our thriving communities – today and tomorrow**

Please consider the environment before printing this email.

**SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE**

<b>Correspondence Type</b>	<b>Name</b>	<b>Address</b>	<b>Date Received</b> <small>(mm/dd/yyyy)</small>	<b>Summary</b>
Public	See Petition	See Petition	09/11/2023	Petition in Support of Application
Applicant			09/30/2023	Justification Letters & Photos

**Received**

September 11, 2023

Aug. 28, 2023

Committee of Adjustment

Re: A282/22  
293 Castlehill Rd

We have no objection to the proposed minor variances.

[REDACTED] Pia Basilone - 39 GREENOCK DR

[REDACTED] Jose' Basilone - 39 GREENOCK DR.



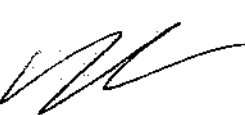









Mario Panno 220 - 44 GREENOCK DR.

JOE PERZIA - 33 GREENOCK DR.

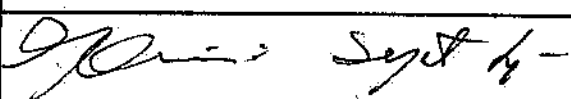


[REDACTED] MARIA MAZZUCA 61 GREENOCK DR  
[REDACTED]



File # A282/22-293 Castlehill rd (Marisa & Claudio Schioppa)

Name and address	Do you support Marisa & Claudio Schioppa to the proposed minor variance?	Does the canopy and steel have a visual impact on you while you are driving or walking?	Sign & Date
Frank Conforti 210 Castlehill Rd.	Yes	No	 Sep 3, 23
Stella Tiffoti 302 Castlehill Rd	Yes	No	 Sept 4/23.
MICHAEL BURRER 298 CASTLEHILL RD	YES	NO	 SEPT 4/23
VAN LE 288 castlehill Rd.	yes	NO	 Sep 4/23.
276 Castlehill Rd JOHN & OLYMPIA ORSI	YES	NO	 Sept 4/23
279 Castlehill Rd	YES	NO	 Sep 4/23.
314 CASTLEHILL RD.	YES	NO	 SEPT. 4/23. JOHN COSTA
322 CASTLEHILL RD BRUNO MANARUA	YES	NO	Lucia Paoletta 9/4/23
330 CASTLEHILL RD	YES	NO	BRUNO Manella SEP 4/23 Anna Maria Del Rosario
Anna Maria Del Rosario 326 Castlehill Rd	yes	NO	 SEPT. 4, 2023
ROBERTO BONURA 334 CASTLEHILL R.	YES	NO	 SEPT. 4, 2023
MOOSA MOORI 338 CASTLEHILL RD	YES	NO	 SEP 4, 2023
Teresa Petronzi 354 Castlehill Rd	YES	NO	 9/4/23
Franca Venuto 360 castlehill RD	YES	NO	Franca Venuto 9/4-23
Jing Min 364 Castlehill Rd	Yes	NO.	Jing Min 9/4-23
DONATO PARETE 361 CASTLEHILL RD	YES	NO	 9/4/23

# File # A282/22-293 Castlehill rd (Marisa & Claudio Schioppa)

Name and address	Do you support Marisa & Claudio Schioppa to file proposed minor variance?	Does the canopy and shed have a visual impact on you while you are driving or walking?	Sign & Date
FERNANDO ARDUINI 355 CASTLEHILL RD	YES	NO	 Sept 4-
Enrico Bruno 351 Castlehill Rd.	yes	No	Enrico Bruno
Raffaella Bruno 351 Castlehill Rd.	yes	NO	Raffaella BRUNO
Raffaello Bruno 351 CASTLEHILL ROAD	YES	NO	Raffaello Bruno
Patricia P. Hylis 347 Castlehill Rd.	Yes	NO	 Sept 4/23
ARMANDO PITTIGLIO 347 CASTLEHILL RD	YES	NO	 Sept 4/23
Sabrina Ortepi 343 Castlehill Rd	yes	NO	Ortepi Sept 4 2023
Jely Nguyen 337 Castlehill Rd	Yes	NO	Jelye Sept 4/23
327 CASTLEHILL RD ANTONIA ROMANO 323 CASTLEHILL	YES YES	NO NO	Emilio Cascio 04 9 -23 Antonietta Romano 4-9-23
MARIA GUIDO 283 CASTLEHILL RD	YES	NO	Maria Guido SEP. 04 - 2023
Giuseppe Guido 283 CASTLEHILL RD	YES	NO	Giuseppe Guido SEP 04. 2023

File # A282/22-293 Castlehill rd (Marisa & Claudio Schiopp)

Name and address	Do you support Marisa & Claudio Schioppo to the proposed minor variance?	Does the canopy and shed have a visual impact on you while you are driving or walking?	Sign & Date
Gabriel Koussimo 279 Castle Rock Maple Ont, L6A-1P2	Yes	No	Gabriel Koussimo
268 Castlehill Rd	Yes	No	
CLAUDIO FAIBLCA 262 CASTLEHILL RD L6A 1G8	YES	NO	
PAT SENNIXO 266 Castlehill Rd	YES	NO	P Sennix
258- Castlehill RD MOHAMAD ALI	YES	NO	
252 CASTLE HILL RD ROBERT MUNTAND	YES	NO	
Tom Porro 144 CASTLEHILL RD	YES	NO	
Giovanni Rufino & Irma Rufino 306 Castlehill Road.	yes yes	NO NO	
 248 Castlehill Rd	yes	no	

**From:** [REDACTED]  
**To:** [Michelle Perrone](#); [Lenore Providence](#); [Committee of Adjustment](#)  
**Subject:** [External] Re: FOLLOW UP: A282/22 - 293 Castlehill Road - REMINDER to submit photos  
**Date:** September-30-23 12:42:53 AM  
**Attachments:** [image002.png](#)  
[image003.png](#)  
[attachment 1.pdf](#)  
[ATT00001.htm](#)  
[ATT00002.htm](#)  
[ATT00003.htm](#)  
[ATT00004.htm](#)  
[ATT00005.htm](#)

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Sent from my iPad

I have been trying to send some comments since Thursday night but my internet keeps crashing, I might have to send in a series of emails

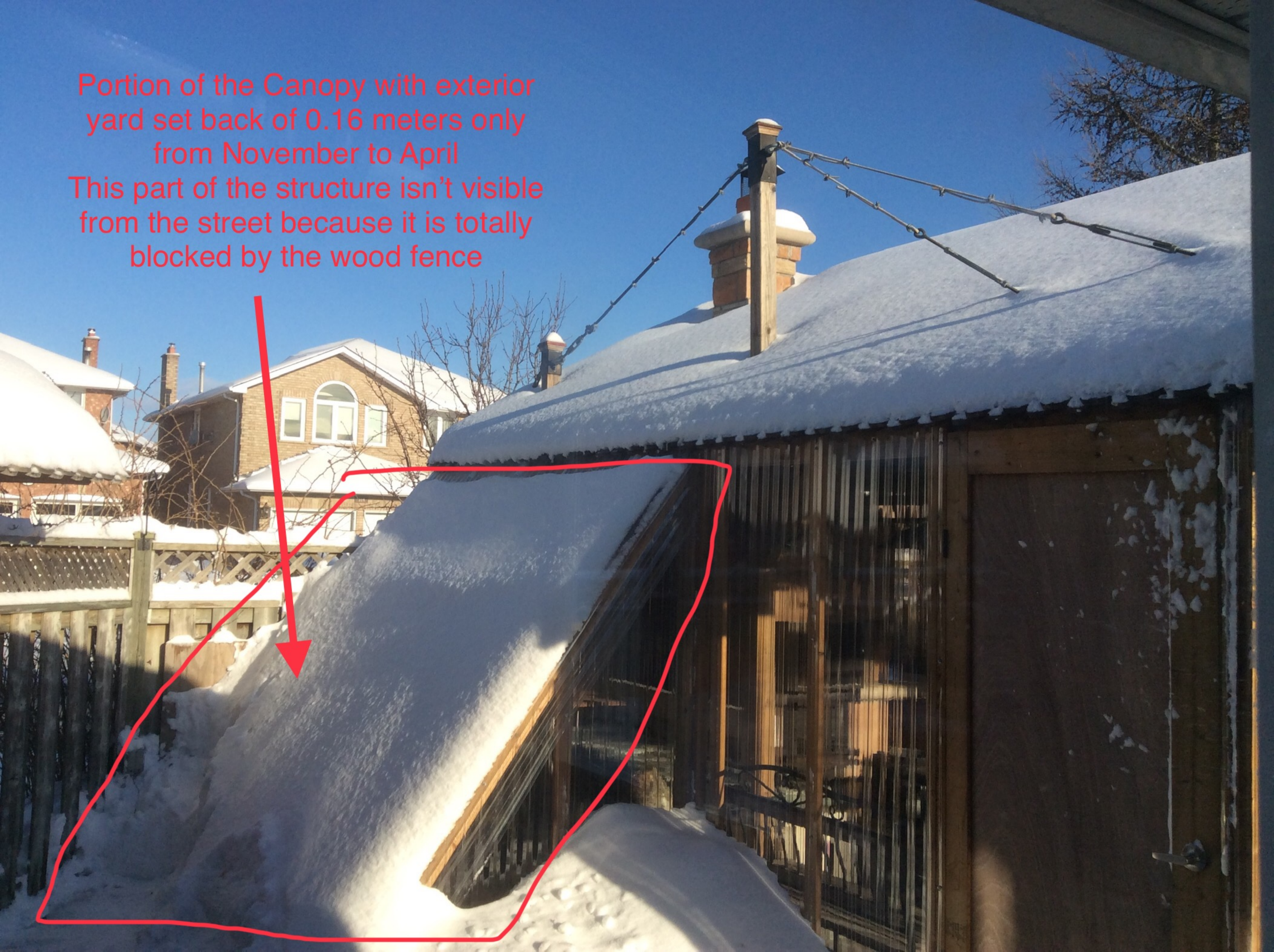
I would like to have the opportunity to thank The Development Planning Department for support me most of the variance

Michelle I noticed that Development Planning Department it's using an outdated Zoning Review Submission, the most update was issued on July 19-2023 by Bernd Paessler from Building Standard Department, see attached:



Portion of the Canopy with exterior yard set back of 0.16 meters only from November to April

This part of the structure isn't visible from the street because it is totally blocked by the wood fence





## Lenore Providence

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**From:** [REDACTED]  
**Sent:** September-30-23 1:55 PM  
**To:** Michelle Perrone; Lenore Providence; Committee of Adjustment  
**Subject:** [External] Re: FOLLOW UP: A282/22 - 293 Castlehill Road - REMINDER to submit photos  
**Attachments:** image1.heic; ATT00001.htm; image2.heic; ATT00002.htm; image3.heic; ATT00003.htm; image4.heic; ATT00004.htm; image5.heic; ATT00005.htm; image002.png; ATT00006.htm; image003.png; ATT00007.htm

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

I noticed that The Development Planning Department isn't supporting the requesting variances for the canopy roof.

- 1) To respond to the comment: "when viewed from the street to the North, the dwelling, canopy roof and the shed present a near-continuous stretch of the built form spanning the majority of the exterior side lot line.
- A) The view of those structure, dwelling, canopy roof and shed, are obstructed by the presence of trees and shrubs, see attached photos:













**PUBLIC NOTICE**  
The following information is provided for your information.  
If you have any questions, please contact the following person.  
Name: [illegible]  
Address: [illegible]  
Phone: [illegible]  
Email: [illegible]







## Lenore Providence

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**From:** [REDACTED]  
**Sent:** September-30-23 2:33 PM  
**To:** Michelle Perrone; Committee of Adjustment; Lenore Providence  
**Subject:** [External] Re: FOLLOW UP: A282/22 - 293 Castlehill Road - REMINDER to submit photos  
**Attachments:** image1.jpeg; ATT00001.htm; image2.jpeg; ATT00002.htm; image3.heic; ATT00003.htm; image4.heic; ATT00004.htm; image001.jpg; ATT00005.htm; image002.png; ATT00006.htm; image001.jpg; ATT00007.htm; image003.png; ATT00008.htm

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

- 2) To respond to the comment: "Do to the footprint of the canopy roof structure and the modest distance between the shed where it's proposed to be maintained."
- A) There's plenty of room between those structures, the distance between the canopy roof and shed roof it's 0.95 meters, the distance between the canopy supports and the shed wall it's 1,80 meters. See attached photos:









35  
37  
3  
2  
1  
0  
1  
2  
3  
4  
5

3-1

3F



## Lenore Providence

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**From:** [REDACTED]  
**Sent:** September-30-23 4:21 PM  
**To:** Michelle Perrone; Lenore Providence; Committee of Adjustment  
**Subject:** [External] Re: FOLLOW UP: A282/22 - 293 Castlehill Road - REMINDER to submit photos  
**Attachments:** image1.heic; ATT00001.htm; image2.heic; ATT00002.htm; image3.heic; ATT00003.htm; image4.heic; ATT00004.htm

**Follow Up Flag:** Follow up

**Flag Status:** Flagged

3) To respond to the comment: "The canopy roof along with the shed present a mass of continuous built form spanning the entire depth of the rear yard when viewed from the street."

A) The view from the street of those structures are mostly obstruct by the trees and shrubs from the streetscape that I built along the North property line.

See attached photos:





















25 159















**PUBLIC NOTICE**  
MINOR VARIANCE APPLICATION  
CITY FILE # 2022-22  
293 CASTLEHILL ROAD

**DATE & TIME OF HEARING:**  
CITY HALL, MONDAY 7:00 P.M.

**PURPOSE OF APPLICATION:**  
REQUEST FROM THE ZONING BY-LAW TO BEING  
REQUESTED TO PERMIT AN EXISTING SWEEP,  
LANDSCAPE AND DECORATIVE SIGN LOCATED OVER  
BACKYARD SET.

**ADDITIONAL INFORMATION:**  
FOR MORE INFORMATION ABOUT THIS MATTER,  
PLEASE CONTACT:  
CITY ENGINEER OF DEVELOPMENT  
CITY OF VANDERBILT  
200 WASHINGTON STREET, VANDERBILT, BC  
V8B 6Y7A, 250-627-2222  
WWW.VANDERBILT.CA





25 159

Loyal Landings Services  
Bins Rental  
Call Us Today  
727-251-5115



## Lenore Providence

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**From:** [REDACTED]  
**Sent:** September-30-23 5:21 PM  
**To:** Michelle Perrone; Lenore Providence; Committee of Adjustment  
**Subject:** [External] Re: FOLLOW UP: A282/22 - 293 Castlehill Road - REMINDER to submit photos

4) To respond to the comment: "that an appropriate distance isn't provided between the lot line and the existing canopy roof and that adequate spatial separation of mass between the canopy roof and exterior side yard setback has not been maintained and that the reduced exterior side yard setback isn't adequate to providing sufficient landscape amenity space to assist with providing privacy screening between the canopy roof and the exterior lot line."

A) I have two suggestions:

1- the wood fence built along the exterior side yard lot line it's placed, from the North face of it, 0.15 meters inside the private property and there is enough room to plant some kind of screening plants suitable for narrow places or vines or, because I was the one that already planted the existing trees along the North face of the fence, plant some more cedar trees to screen the the visible part of the canopy roof. Roberto Simbana from Development Planning Department has already suggested that for the shed see attached:



This unobstructed portion of the canopy I am able to hide  
planting more cedar trees or some kind of vines plants  
The wood fence is set 0.15 meters inside the lot line





**From:** Roberto Simbana <[Roberto.Simbana@vaughan.ca](mailto:Roberto.Simbana@vaughan.ca)>  
**Sent:** March-13-23 10:43 AM  
**To:** Claudio Schioppo [REDACTED]  
**Cc:** Christine Vigneault <[Christine.Vigneault@vaughan.ca](mailto:Christine.Vigneault@vaughan.ca)>; Committee of Adjustment <[CofA@vaughan.ca](mailto:CofA@vaughan.ca)>; Ian Reynolds <[Ian.Reynolds@vaughan.ca](mailto:Ian.Reynolds@vaughan.ca)>; David Harding <[David.Harding@vaughan.ca](mailto:David.Harding@vaughan.ca)>  
**Subject:** Planning Updated Comments for A282/22 - 293 Castlehill Road

Good Morning,

Development Planning staff have discussed your minor variance application with senior management and provide you with the following comments:

1. Development Planning would like to reiterate the importance of supplying zoning with information pertaining to the side addition along the southerly lot line. This may proc an additional variance related to maximum lot coverage.
2. After thorough discussion, Development Planning is not in position to support the enclosed canopy as it does not meet the general intent and purpose of By-law 001-2021 and presents a massing implication onto the exterior lot line. This extension of this accessory structure (enclosed canopy) along with the shed gives a linear perspective of one continuous structure which leads up to the rear addition of the dwelling.
3. Development Planning requires a hedge row be planted along the northerly wall of the shed which is of appropriate height (2.5 m or more in height) to adequately screen the accessory structure from the public right-of-way.

Note that all revised documentation and new information should be forwarded to [cofa@vaughan.ca](mailto:cofa@vaughan.ca).

Regards,

**Roberto Simbana, BURPI**  
**Planner 1**  
905-832-8585 ext. 8810 | [roberto.simbana@vaughan.ca](mailto:roberto.simbana@vaughan.ca)







## Lenore Providence

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**Subject:** FW: [External] Re: FOLLOW UP: A282/22 - 293 Castlehill Road - REMINDER to submit photos

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**From:** Claudio Schioppo [REDACTED] >

**Sent:** September-30-23 5:45 PM

**To:** Michelle Perrone <Michelle.Perrone@vaughan.ca>; Lenore Providence <Lenore.Providence@vaughan.ca>;  
Committee of Adjustment <CofA@vaughan.ca>

**Subject:** [External] Re: FOLLOW UP: A282/22 - 293 Castlehill Road - REMINDER to submit photos

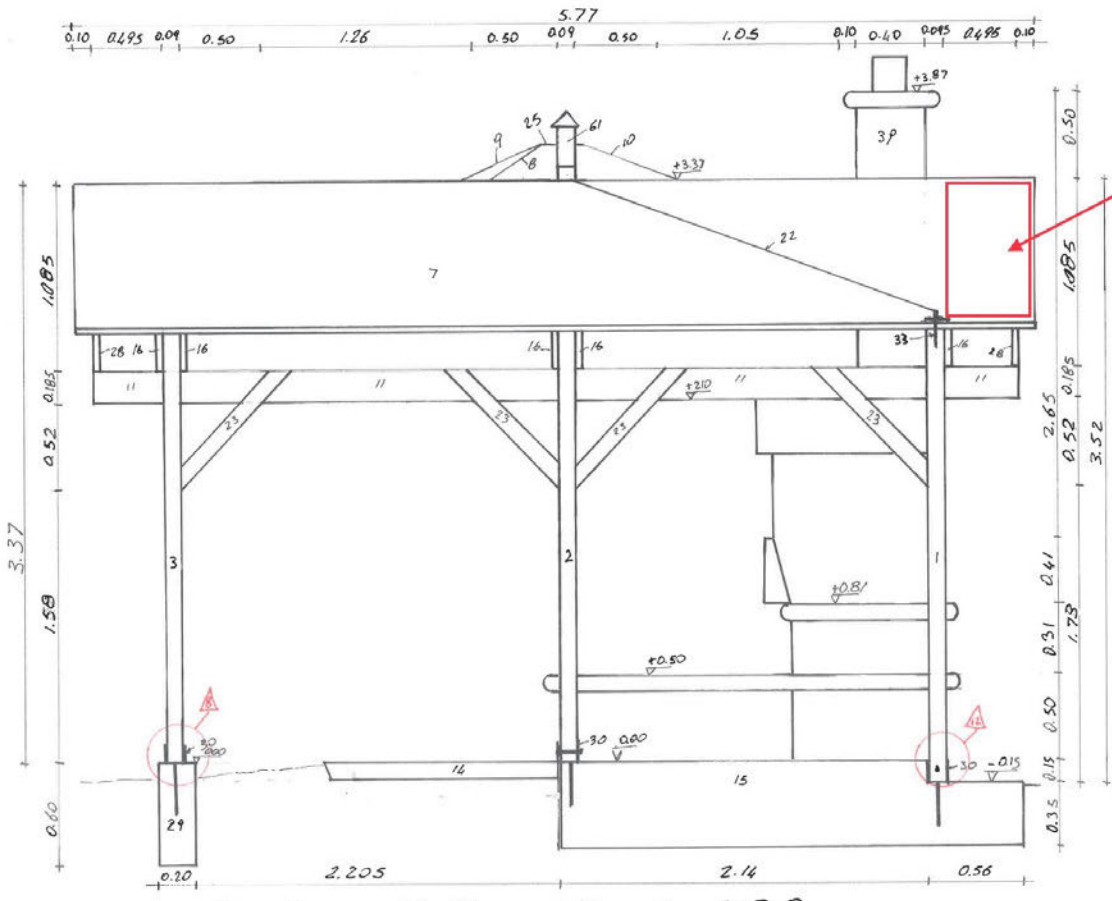
Continuation of item #4

2- The other suggestions it's to remove a portion of the canopy roof closer to the lot  
line(approximately 0.40 meters).

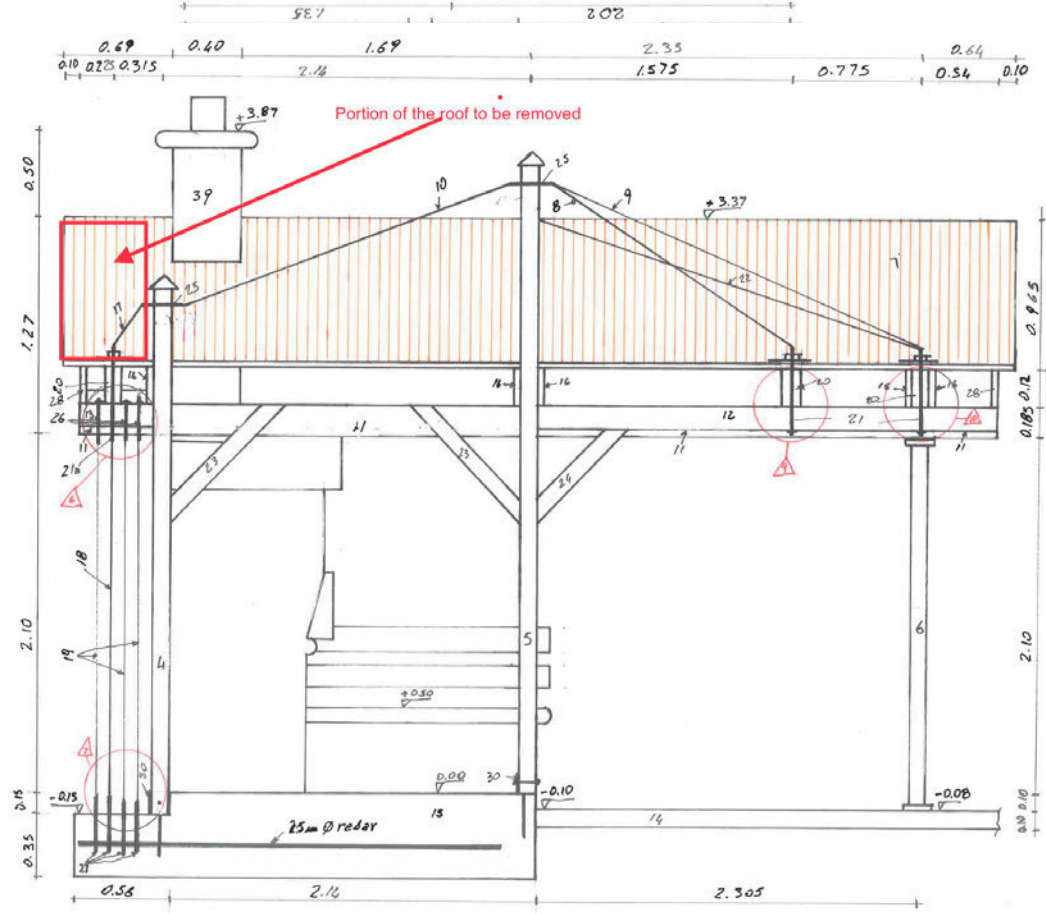
See attached sketch:



Portion of the canopy roof to be removed



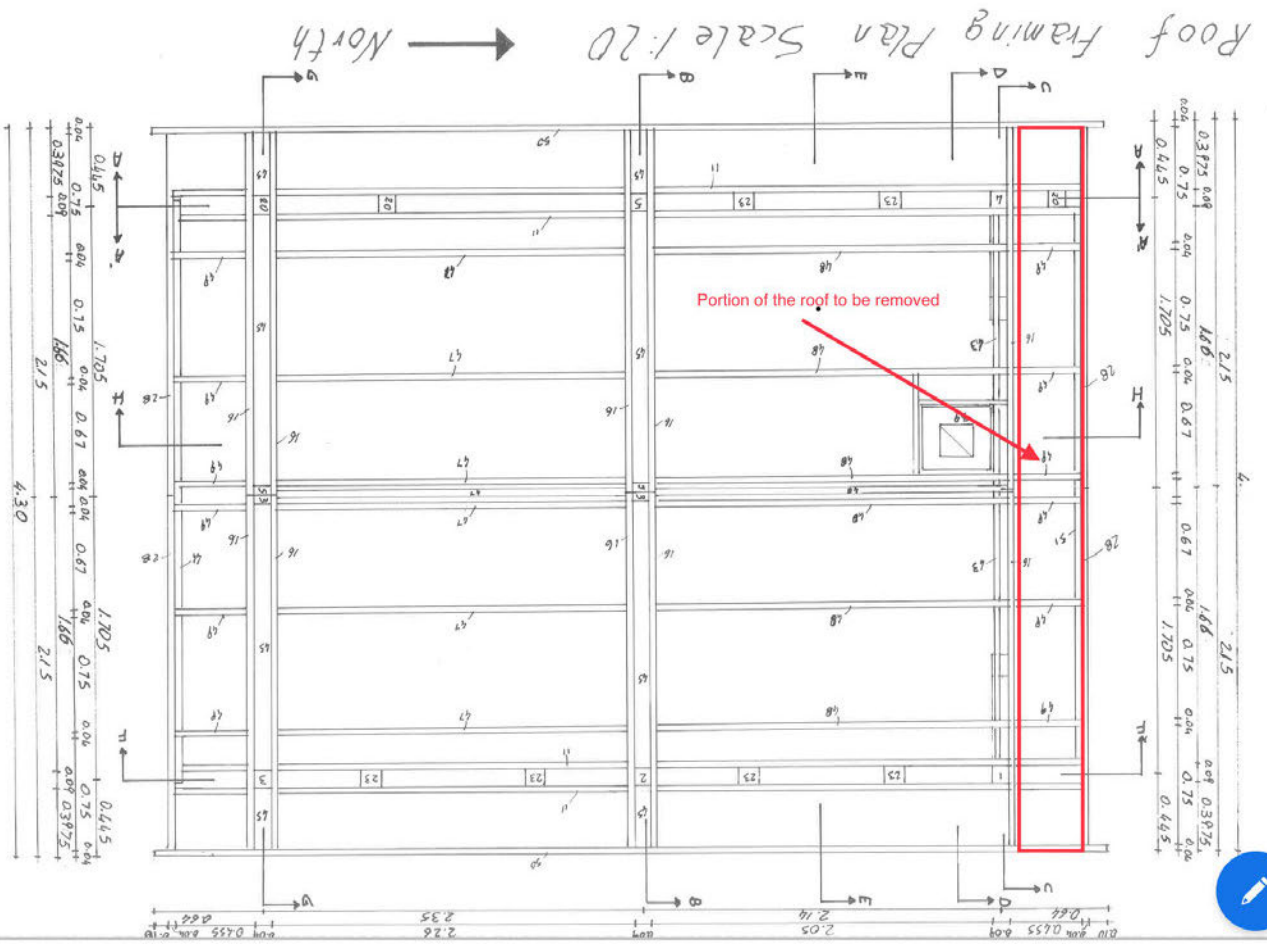
Section F-F Scale 1:20



Section A-A Scale 1:20

Suspended roof design (from post 5 to 6)





If I had to choose I am more for choice #1  
 Sent from my iPad



## Lenore Providence

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**From:** Claudio Schioppo [REDACTED]  
**Sent:** September-30-23 8:56 PM  
**To:** Michelle Perrone; Committee of Adjustment; Lenore Providence  
**Subject:** [External] Re: FOLLOW UP: A282/22 - 293 Castlehill Road - REMINDER to submit photos  
**Attachments:** attachment 1.pdf; ATT00001.htm; image001.jpg; ATT00002.htm; image001.jpg; ATT00003.htm; image003.png; ATT00004.htm

I noticed that The Development Engineering has no concern with the reduced rear and exterior side yard setback for the canopy roof for a lot grading and drainage perspective.

It will be greatly appreciate if you review my case and come up with a different solution

How I said in the past this canopy makes a great deal for my family and myself the way we use true out there entire year, in the Summer and Fall months it's a shelter for the hot sunny day and from the raining days as well, my BBQ and my outdoor table are underneath it, in the Fall and Winter time I use it to store my outdoor furniture and my garden plants, in a sunny wintery day we go seating inside sunbathing the temperature inside it reach 10 to 15 degrees Celsius, in the Spring time I use it to grow my vegetables plants out of seeds.

I have a support from all the Neighbors, that they were home when I was) canvassing for my petition( see attached









WE  
RECYCLE

GAIN









WE  
RECYCLE







































## Lenore Providence

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**Subject:** FW: [External] Re: FOLLOW UP: A282/22 - 293 Castlehill Road - REMINDER to submit photos

---

**From:** Claudio Schioppo

**Sent:** September-30-23 11:28 PM

**To:** Michelle Perrone <Michelle.Perrone@vaughan.ca>; Lenore Providence <Lenore.Providence@vaughan.ca>; Committee of Adjustment <CofA@vaughan.ca>

**Subject:** [External] Re: FOLLOW UP: A282/22 - 293 Castlehill Road - REMINDER to submit photos

I have a degree in Civil Engineering and I would not build something that endangers the life of my family or of anyone else.

I have been working in the Construction Industry for the past 40 years in the Residential, Commercial, Industrial, Institutional and Heavy Civil sector as a General Supervisor.

I am conducting myself a load test of the canopy structure hanging a concentrate load of 400 kg where the missing post should be, I started this test on Monday September 25 and I will finish it this coming Monday October 2, every day I am taking pictures of the two drum full of water for a total of 400 litres hanging at the extremity of the suspended roof structure and two levels to check for any deflection and to see if the structure goes back to its original status

I will attached some pics now and the rest when the test it's completed

See attached [https://share.icloud.com/photos/03c\\_ZgMG5gZ44K7QU2omBPj3Q#Maple, ON](https://share.icloud.com/photos/03c_ZgMG5gZ44K7QU2omBPj3Q#Maple, ON)

Sent from my iPad



<b>SCHEDULE D: PREVIOUS COA DECISIONS ON THE SUBJECT LAND</b>		
<b>File Number</b>	<b>Date of Decision MM/DD/YYYY</b>	<b>Decision Outcome</b>
A056/06	02/26/2006	Approved



COMMITTEE OF ADJUSTMENT  
(VARIANCES)

# NOTICE OF DECISION

**FILE NO: A056/06**

IN THE MATTER OF Subsection 45 of the Planning Act.

IN THE MATTER OF an application by **CLAUDIO & MARISA SCHIOPPO**, with respect to Part of Lot 16, Concession 4, (Part of Lot 22, Registered Plan No. 65M-2731, municipally known as 293 Castlehill Road, Maple.)

The subject lands are zoned R3, Residential, under By-law 1-88 subject to Exception 9(566) as amended.

The applicants are requesting a variance to permit the construction of a sunroom with a basement underneath and a covered concrete patio with a cold cellar underneath, to a two storey single family detached dwelling with attached garage, as follows:

**Proposal:**

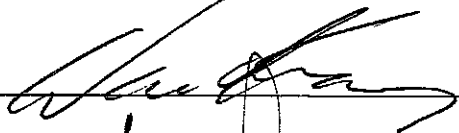
Minimum Rear Yard Setback = 5.95m.

**By-Law Requirements:**


Minimum Rear Yard Setback = 9m

Sketches are attached illustrating the request.

Moved by:

  
\_\_\_\_\_

Seconded by:

  
\_\_\_\_\_

THAT the Committee is of the opinion that the variances sought can be considered minor and are desirable for the appropriate development and use of the land. The general intent and purpose of the By-law and the Official Plan will be maintained.

AND THAT Application No. **A056/06 – CLAUDIO & MARISA SCHIOPPO**, be **APPROVED** in accordance with the sketch attached



**THIS MINOR VARIANCE DECISION IS NOT A BUILDING PERMIT AUTHORIZING CONSTRUCTION UNDER THE BUILDING CODE ACT, R.S.O. 1990, AS AMENDED. A BUILDING PERMIT MAY BE REQUIRED. PLEASE CONTACT THE BUILDING STANDARDS DEPARTMENT IN THE EVENT THAT YOU REQUIRE FURTHER CLARIFICATION.**

CARRIED.

CHAIR: Mary Mauti

Signed by all members present who concur in this decision:

Mary Mauti  
M. Mauti,  
Chair,

T. DeCicco  
T. DeCicco  
Vice Chair,

L. Fluxgold  
L. Fluxgold,  
Member,

D. H. Kang  
D. H. Kang,  
Member,

~~M. S. Parnali~~  
~~M. S. Parnali,  
Member,~~

**CERTIFICATION**

I hereby certify this to be a true copy of the decision of the Committee of Adjustment, and this decision was concurred in by a majority of the members who heard this application.

Dianne E. L. Grout  
Dianne E. L. Grout, A.M.C.T.,  
Manager of Development Services and  
Secretary-Treasurer to Committee of  
Adjustment  
City of Vaughan

**DATE OF HEARING: FEBRUARY 23, 2006**  
**LAST DATE OF APPEAL: MARCH 15, 2006**

**APPEALS MUST BE RECEIVED BY THIS OFFICE NO LATER THAN 4:30P.M . ON MARCH 15, 2006**  
**NOTE:**The Planning Act provides for appeals to be filed by "persons". As groups or associations, such as residents or ratepayers groups which do not have incorporated status, may not be considered "persons" for the purposes of the Act, groups wishing to appeal this decision should do so in the name of individual group members, and not in the name of the group.

**NOTE: IF ANY CONDITIONS ARE IMPOSED ON THIS APPLICATION, THE FINAL DATE FOR FULFILLING THEM IS: \*\*\* MARCH 15, 2007 \*\*\***



SURVEYOR'S REAL PROPERTY REPORT  
 PART 1  
 PLAN OF  
 LOT 22  
 PLAN 65M - 2731  
 CITY OF VAUGHAN  
 REGIONAL MUNICIPALITY OF YORK

METRIC  
 DISTANCES SHOWN ON THIS PLAN ARE  
 IN METRES AND CAN BE CONVERTED TO  
 FEET BY DIVIDING BY 0.3048.

A056/06

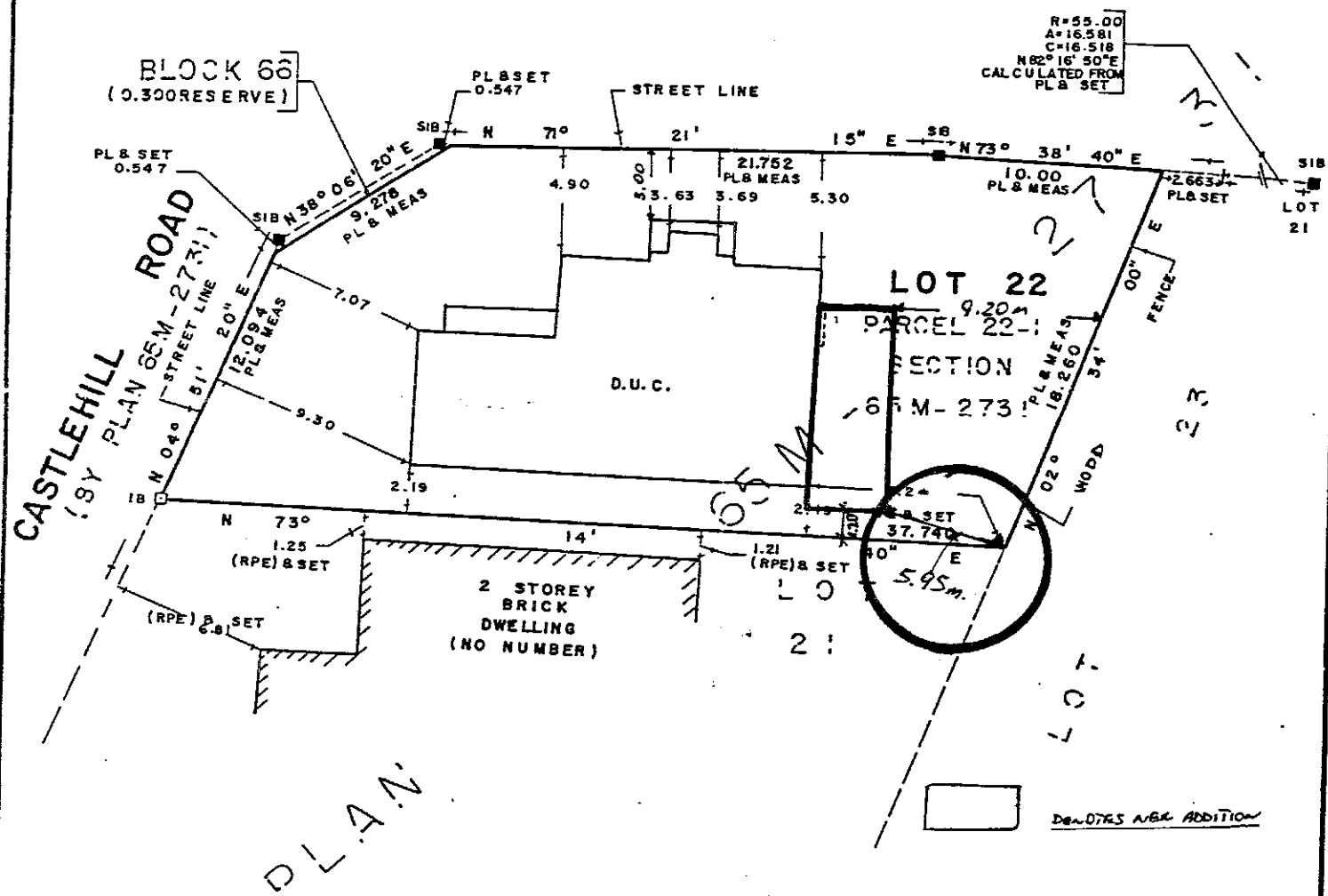
SCALE 1:300



RADY-PENTEK & EDWARD SURVEYING LTD., O.L.S., 1991



CASTLEHILL ROAD  
 (BY PLAN 65M-2731)



NOTES

- SIB DENOTES STANDARD IRON BAR
- IB DENOTES IRON BAR
- DENOTES MONUMENT FOUND
- DENOTES MONUMENT SET
- PL DENOTES PLAN 65M - 2731
- D.U.C. DENOTES DWELLING UNDER CONSTRUCTION
- (RPE) DENOTES RADY-PENTEK & EDWARD SURVEYING LTD., O.L.S.

ALL FOUND MONUMENTS BY SCHAEFFER & REINTHALER LTD., O.L.S.

ALL TIES TO CONCRETE FOUNDATIONS  
 BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE EAST  
 LIMIT OF CASTLEHILL ROAD AS SHOWN ON PLAN 65M-2731  
 HAVING A BEARING OF N 04° 51' 20" E

THIS REPORT WAS PREPARED FOR  
 GREENPARK HOMES  
 AND THE UNDERSIGNED ACCEPTS  
 NO RESPONSIBILITY FOR USE  
 BY OTHER PARTIES.

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:  
 THE FIELD SURVEY REPRESENTED ON THIS PLAN WAS  
 COMPLETED ON THE 11 DAY OF JUNE, 1991.

DATE JUNE 28, 1991

*C. P. Edward*  
 C. P. EDWARD  
 ONTARIO LAND SURVEYOR

PART 2  
 THIS PLAN MUST BE READ IN  
 CONJUNCTION WITH SURVEY REPORT  
 DATED JUNE 28, 1991.



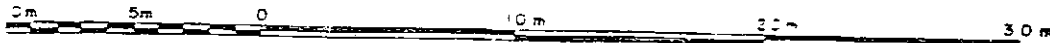
RADY-PENTEK & EDWARD SURVEYING LTD.  
 ONTARIO LAND SURVEYORS  
 485 WILSON AVENUE, DOWNSVIEW, ONTARIO  
 635-5000  
 DRAWN: Y. W. CHECKED: C. P. E. / C. L.



LOTS 23 AND 24  
 PLAN 65M-2731  
 CITY OF VAUGHAN  
 REGIONAL MUNICIPALITY OF YORK

*A056/06*

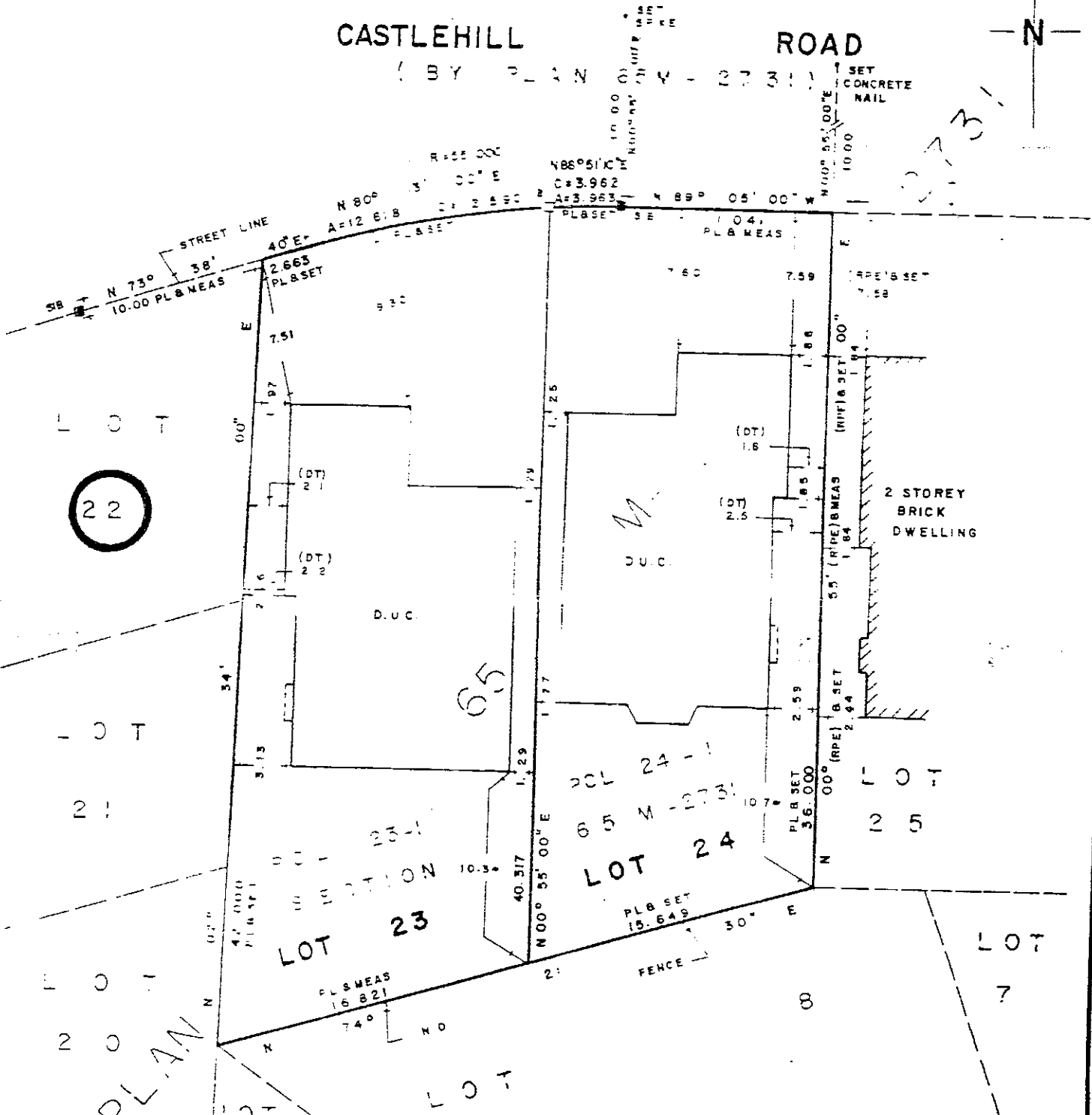
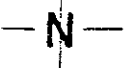
SCALE 1 : 300



RADY-PENTEK & EDWARD SURVEYING LTD., O.L.S., 591

CASTLEHILL ROAD

(BY PLAN 65M-2731)



- NOTES
- SIB DENOTES STANDARD IRON BAR
  - IB DENOTES IRON BAR
  - DENOTES MONUMENT FOUND
  - DENOTES MONUMENT SET
  - PL DENOTES PLAN 65M-2731
  - D.U.C. DENOTES DWELLING UNDER CONSTRUCTION
  - PCL DENOTES PARCEL
  - (RPE) DENOTES RADY-PENTEK & EDWARD SURVEYING LTD., O.L.S.
  - (DT) DENOTES DOOR TIE
  - ALL FOUND MONUMENTS BY SCHAEFER & REINTHALER LTD. O.L.S.

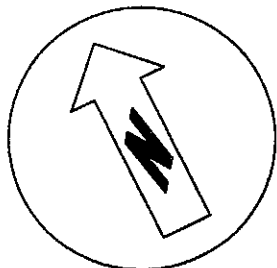
SURVEYOR'S CERTIFICATE


I CERTIFY THAT:  
 THE FIELD SURVEY REPRESENTED ON THIS PLAN WAS  
 COMPLETED ON THE 11 DAY OF MAY, 1991.

DATE JUNE 28, 1991

*C.P. Edward*  
 C. P. EDWARD





<b>COMMITTEE OF ADJUSTMENT</b>	
<b>File No.:</b>	<b>A056/06</b>
<b>Applicant</b>	<b>CLAUDIO &amp; MARISA SCHIOPPO</b>
	<b>Subject Area</b> Municipally known as <b>293 CASTLEHILL RD., MAPLE</b>



## PLANNING ACT GUIDELINES FOR APPEALING VARIANCES

### Subsection 45 - 20 inclusive

- (12) The applicant, the Minister or any other person who has an interest in the matter may within twenty days of the making of the decision appeal to the Municipal Board against the decision of the Committee by serving personally on or sending by registered mail to the Secretary-Treasurer of the Committee a notice of appeal setting out the objection to the decision and the reasons in support of the objection accompanied by payment to the Secretary-Treasurer of the fee prescribed by the Municipal Board\* under the Ontario Municipal Board Act as payable on an appeal from a Committee of Adjustment to the Board.
- (13) The Secretary-Treasurer of a Committee, upon receipt of a notice of appeal served or sent to him/her under subsection (12) shall forthwith forward the notice of appeal and the amount of the fee mentioned in Subsection (12) to the Municipal Board by registered mail, together with all papers and documents filed with the Committee of Adjustment relating to the matter appealed from and such other documents and papers as may be required by the Board.
- (14) If within such twenty days no notice of appeal is given, the decision of the Committee is final and binding, and the Secretary-Treasurer shall notify the applicant and shall file a certified copy of the decision with the Clerk of the Municipality.
- (15) Where all appeals to the Municipal Board are withdrawn by the persons who gave notice of appeal, the decision of the Committee is final and Binding and the Secretary of the Board shall notify the Secretary-Treasurer of the Committee who in turn shall notify the applicant and file a certified copy of the decision with the Clerk of the Municipality.
- (16) On an appeal to the Municipal Board, the Board shall except as provided in Subsections (15) and (17), hold a hearing of which notice shall be given to the applicant, the appellant, and Secretary-Treasurer of the Committee and to such other persons and in such manner as the Board may determine.
- (17) Despite the *Statutory Powers Procedure Act* and subsection (16), the Municipal Board may dismiss all or part of an appeal without holding a hearing, on its own motion or on the motion of any party if,
- (a) it is of the opinion that,
    - (i) the reasons set out in the notice of appeal do not disclose any apparent land use planning ground upon which the Board could allow all or part of the appeal,
    - (ii) the appeal is not made in good faith or is frivolous or vexatious, or
    - (iii) the appeal is made only for the purpose of delay;
  - (b) the appellant has not provided written reasons for the appeal;
  - (c) the appellant has not paid the fee prescribed under the *Ontario Municipal Board Act*; or
  - (d) the appellant has not responded to a request by the Municipal Board for further information within the time specified by the Board.
- (17.1) Before dismissing an appeal, the Municipal Board shall notify the appellant and give the appellant an opportunity to make representation in respect of the appeal and the Board may dismiss an appeal after holding a hearing or without holding a hearing on the motion, as it considers appropriate.
- (18) The Municipal Board may dismiss the appeal and may make any decision that the Committee could have made on the original application.
- (18.1) On an appeal, the Municipal Board may make a decision on an application which has been amended from the original application if, before issuing its order, written notice is given to the persons and public bodies who received notice of the original application under subsection (5) and to other persons and agencies prescribed under that subsection. (18.1.1) The Municipal Board is not required to give notice under subsection (18.1) if in its opinion, the amendment to the original application is minor.
- (18.2) Any person or public body who receives notice under subsection (18.1) may, not later than thirty days after the day that written notice was given, notify the Board of an intention to appear at the hearing or the resumption of the hearing, as the case may be.
- (18.3) If, after the expiry of the time period in subsection (18.2), no notice of intent has been received, the Board may issue its order.
- (18.4) If a notice of intent under subsection (18.2) is received, the Board may hold a hearing or resume the hearing on the amended application, or it may issue its order without holding a hearing or resuming the hearing.
- (19) When the Municipal Board makes an order on an appeal, the secretary of the Board shall send a copy thereof to the applicant, the appellant and the Secretary-Treasurer of the Committee.
- (20) The Secretary-Treasurer shall file a copy of the order of the Municipal Board with the Clerk of the Municipality.

**\$150.00 processing fee, payable to the TREASURER CITY OF VAUGHAN.**

**AND**

**\$125.00, by separate cheque, payable to the MINISTER OF FINANCE, for the primary variance appeal and \$25.00 for each related variance appeal.**