

| | |
|------------------|-----------------------------------------------------------------------------------------------------------------------------------|
| ITEM: 6.6 | COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A175/23 31 QUAIL RUN BLVD, MAPLE |
|------------------|-----------------------------------------------------------------------------------------------------------------------------------|

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES:**

*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

| DEPARTMENTS | Circulated | Comments Received | Conditions | Nature of Comments |
|---------------------------------------------|-------------------------------------|-------------------------------------|-------------------------------------|---------------------------------|
| Committee of Adjustment | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | General Comments |
| Building Standards (Zoning Review) | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | General Comments |
| Building Inspection (Septic) | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | No Comments Received to Date |
| Development Planning | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | Recommend Approval w/Conditions |
| Development Engineering | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | Recommend Approval w/Conditions |
| Parks, Forestry and Horticulture Operations | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | General Comments |
| By-law & Compliance, Licensing & Permits | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | No Comments Received to Date |
| Development Finance | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | General Comments |
| Real Estate | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Fire Department | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | No Comments Received to Date |
| AGENCIES | Circulated | Comments Received | Conditions | Nature of Comments |
| TRCA | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | General Comments |
| Ministry of Transportation (MTO) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Region of York | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | General Comments |
| Alectra | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | General Comments |
| Bell Canada | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | No Comments Received to Date |
| YRDSB | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| YCDSB | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| CN Rail | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| CP Rail | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| TransCanada Pipeline | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | No Comments Received to Date |
| Metrolinx | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Propane Operator | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| | | | | |

PUBLIC & APPLICANT CORRESPONDENCE

*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

| Correspondence Type | Name | Address | Date Received (mm/dd/yyyy) | Summary |
|---------------------|------|---------|-------------------------------|---------|
| None | | | | |

PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

| File Number | Date of Decision | Decision Outcome |
|-------------|------------------|------------------|
| | | |

PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

| | MM/DD/YYYY | |
|------|------------|--|
| None | | |

ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

| | |
|------|--|
| None | |
|------|--|



**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A175/23
31 QUAIL RUN BLVD, MAPLE**

| | |
|--------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| ITEM NUMBER: 6.6 | CITY WARD #: 1 |
| APPLICANT: | Kamyar Aghai |
| AGENT: | Anthony Zambri, Land Design Canada |
| PROPERTY: | 31 Quail Run Blvd, Maple |
| ZONING DESIGNATION: | See below. |
| VAUGHAN OFFICIAL PLAN (2010) DESIGNATION: | City of Vaughan Official Plan 2010 ('VOP 2010'): "Oak Ridges Moraine Countryside" by Schedule 4 – Oak Ridges Moraine Conservation Plan & Greenbelt Plan Areas and "Countryside" by Schedule 13 – Land Use |
| RELATED DEVELOPMENT APPLICATIONS: | None |
| PURPOSE OF APPLICATION: | Relief from the Zoning By-law is being requested to permit a proposed cabana. |

The following variances are being requested from the City's Zoning By-law to accommodate the above proposal:

The subject lands are zoned RE(EN) – Estate Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.231 under Zoning By-law 001-2021, as amended.

| # | Zoning By-law 001-2021 | Variance requested |
|---|--------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------|
| 1 | The minimum required interior side yard for the residential accessory structure is 4.5m. Section 4.1.2 1a and 7.2.2 Table 7-3 | To permit a minimum required interior side yard setback for the residential accessory structure of 2.20 m. |
| 2 | The maximum permitted height of a residential accessory structure is 3.0m. Section 4.1.4 1 | To permit a maximum height of 4.0m for the residential accessory structure. |
| 3 | The maximum permitted lot coverage for all accessory building and residential accessory structures is 10% or 67 square metres, whichever is less. Section 4.1.3 1. | To permit a maximum lot coverage of 74.52 square metres for the residential accessory structure. |

HEARING INFORMATION

DATE OF MEETING: Thursday, January 11, 2024
TIME: 6:00 p.m.
MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive
LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

HEARING INFORMATION

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT COMMENTS

| | |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------|
| Date Public Notice Mailed: | December 21, 2023 |
| Date Applicant Confirmed Posting of Sign: | December 18, 2023 |
| Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small> | Proposed Cabana |
| Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small> | None |
| Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice. *A revised submission may be required to address staff / agency comments received as part of the application review process. *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small> | No |
| Adjournment Fees: In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice. An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice. | |
| Committee of Adjustment Comments: | None |
| Committee of Adjustment Recommended Conditions of Approval: | None |

BUILDING STANDARDS (ZONING) COMMENTS

****See Schedule B for Building Standards (Zoning) Comments**

| | |
|---------------------------------------------------------------|------|
| Building Standards Recommended Conditions of Approval: | None |
|---------------------------------------------------------------|------|

DEVELOPMENT PLANNING COMMENTS

****See Schedule B for Development Planning Comments.**

| | |
|-----------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Development Planning Recommended Conditions of Approval: | That the final Landscape Plan, indicating a minimum 2 m height for the cedar plantings along the interior lot line to the south of the cabana, be approved to the satisfaction of the Development Planning Department. |
|-----------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

As the proposed dwelling/ structure/ cabana in the subject property exceeds 10 m², the Owner/ Applicant needs to obtain a 'Lot Grading Permit' from the Development Inspection and Lot Grading

DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

Division of the City's Development Engineering Department. Please note any in-ground structure over 10 m2 requires a 'Grading Permit'. Please contact the Development Engineering Reviewer after receiving the Grading Permit to clear the condition. (Condition attached) The proposed work by the Owner/Applicant is increasing the lot coverage on the subject property. The added hardscape may have impacts on the City's Storm Water management system. Development Engineering strongly encourages the Owner / Applicant introduce Low-Impact Development (LID) measures (e.g., bioswales, permeable pavers, rain gardens, rain barrels etc.) to reduce the impacts to the stormwater system. Should further information be required, please contact the Development Engineering COA reviewer. The Owner/Applicant shall apply for a 'Pool Grading Permit' with the Development Engineering (DE) Department. Please visit the grading permits page at City of Vaughan website to learn how to apply for the Pool Permit. If you have any question about Pool Grading Permit, please contact the Development Engineering Department through email at DEPermits@vaughan.ca.

| | |
|--------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Development Engineering Recommended Conditions of Approval: | The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: Permits City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca |
|--------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

Forestry has no comments at this time.

| | |
|------------------------------------------------|------|
| PFH Recommended Conditions of Approval: | None |
|------------------------------------------------|------|

DEVELOPMENT FINANCE COMMENTS

No comment no concerns

| | |
|----------------------------------------------------------------|------|
| Development Finance Recommended Conditions of Approval: | None |
|----------------------------------------------------------------|------|

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

No comments received to date.

| | |
|--------------------------------------------------|------|
| BCLPS Recommended Conditions of Approval: | None |
|--------------------------------------------------|------|

BUILDING INSPECTION (SEPTIC) COMMENTS

No comments received to date.

| | |
|----------------------------------------------------------------|------|
| Building Inspection Recommended Conditions of Approval: | None |
|----------------------------------------------------------------|------|

FIRE DEPARTMENT COMMENTS

No comments received to date.

| | |
|------------------------------------------------------------|------|
| Fire Department Recommended Conditions of Approval: | None |
|------------------------------------------------------------|------|

SCHEDULES TO STAFF REPORT

*See Schedule for list of correspondence

| | |
|---------------------------------|---------------------------------------------------|
| Schedule A | Drawings & Plans Submitted with the Application |
| Schedule B | Staff & Agency Comments |
| Schedule C (if required) | Correspondence (Received from Public & Applicant) |
| Schedule D (if required) | Previous COA Decisions on the Subject Land |

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

| # | DEPARTMENT / AGENCY | CONDITION(S) DESCRIPTION |
|---|------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 1 | Development Planning Michelle.Perrone@vaughan.ca | That the final Landscape Plan, indicating a minimum 2 m height for the cedar plantings along the interior lot line to the south of the cabana, be approved to the satisfaction of the Development Planning Department. |
| 2 | Development Engineering Jonal.Hall@vaughan.ca | The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan’s website: Permits City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca |

IMPORTANT INFORMATION – PLEASE READ

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

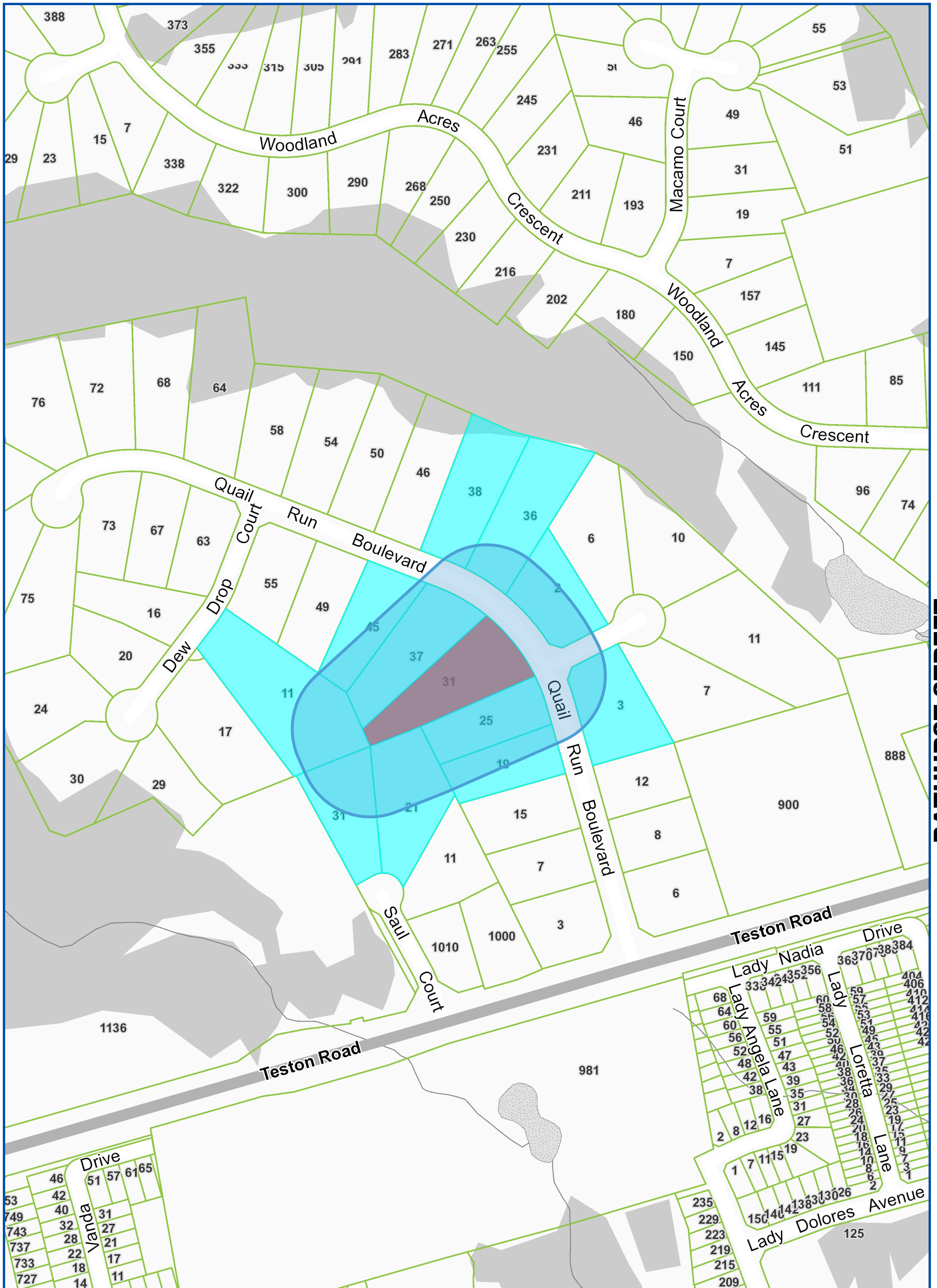
That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City’s Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City’s Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

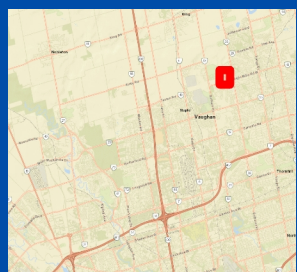
NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS



BATHURST STREET

Map Information:



Title:

31 QUAIL RUN BOULEVARD, MAPLE

NOTIFICATION MAP - A175/23

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1:4,514

0 0.07 km



Created By:

Infrastructure Delivery
Department

November 10, 2023 3:03 PM

Projection:

NAD 83
UTM Zone
17N

RECEIVED

By providel at 3:33 pm, Dec 12, 2023

PLANS PREPARED AND VARIANCES IDENTIFIED BY APPLICANT

A175/23

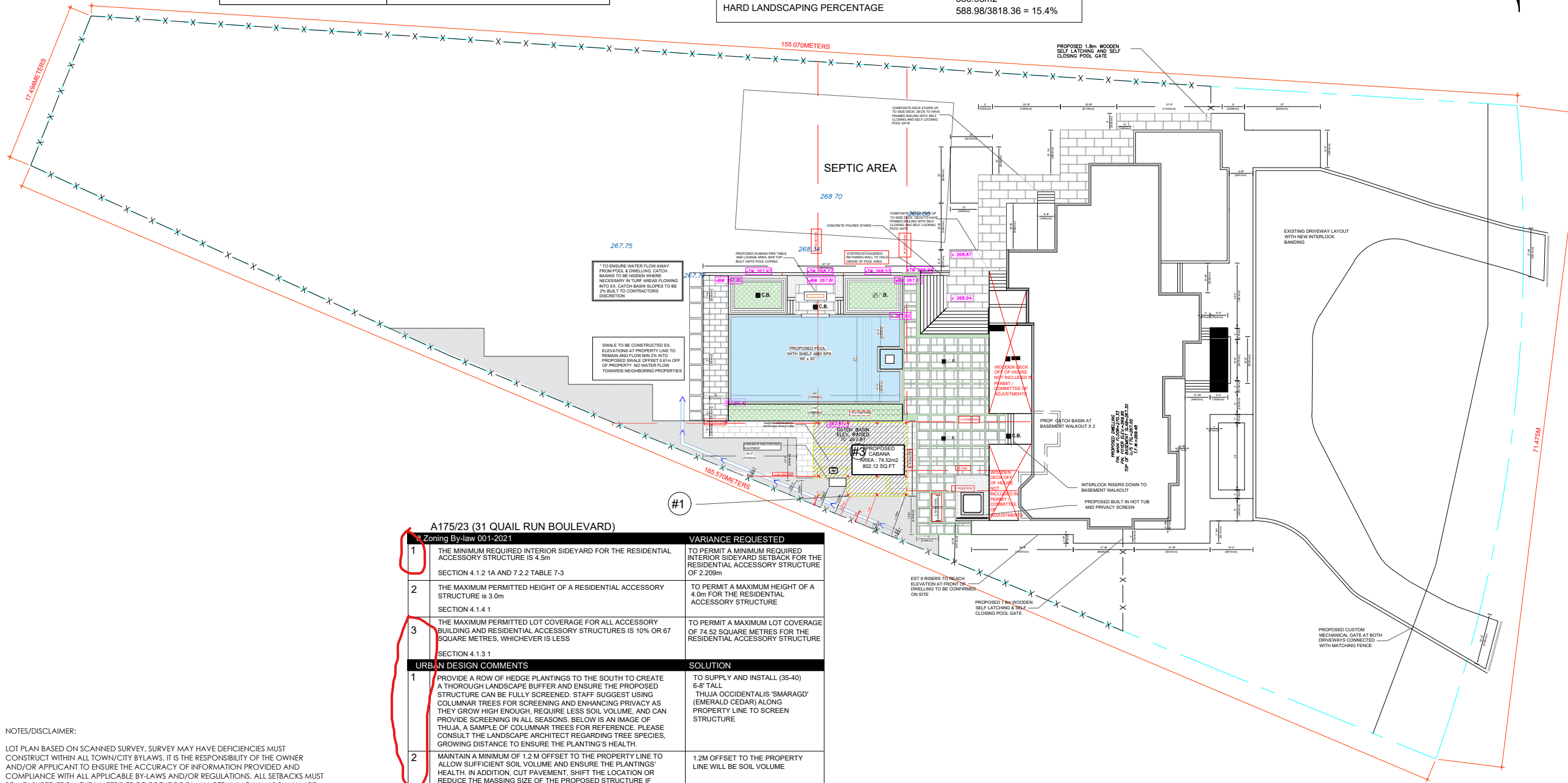
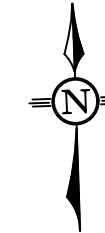
DO NOT SCALE DRAWINGS
Note:
1) Contractor to check all dimensions, specifications, ect. on site and shall be responsible for reporting any discrepancy to the engineer and/ or designer.
2) These plans are to remain and the property of the designer and must be returned upon request. These plans must not be used in any other location without the written approval of the designer.
3) All works to be in accordance with the Ontario Building Code.

QUANTITY TAKEOFF - REAR
ITEM QUANTITY
DRIVEWAY 6305 ft2
GATE & FENCE gate 1 - 18' gate 2 - 16' fence - 196'
ENTRANCE tbd
WALKWAYS dependent on entrance

HARDSCAPE CALCULATIONS
LOT AREA 7273.96m2
REAR YARD AREA 3818.36m2
SOFT LANDSCAPING POOL 165.09m2 LAWN 2814.19m2 GARDENS 250.10m2
SOFT LANDSCAPING TOTAL 3229.38m2
SOFT LANDSCAPING PERCENTAGE 3229.38/3818.36 = 84.6%
HARD LANDSCAPING PAVERS / CONCRETE 530.18m2 COMPOSITE WOOD 28.20 m2 STEPS & WALLS 30.60m2
HARD LANDSCAPING TOTAL 588.98m2
HARD LANDSCAPING PERCENTAGE 588.98/3818.36 = 15.4%

ADDRESS: 31 QUAIL RUN BOULEVARD

LOT GRADING PLAN OF LOT 6 REGISTERED PLAN M-2353 IN THE CITY OF VAUGHAN (REGIONAL MUNICIPALITY OF YORK)



- LEGEND
DENOTES MAIN LEVEL
DENOTES STEP UP/ DOWN
DENOTES AIR CONDITIONER
DENOTES DOWNSPOUT
DENOTES GAS
DENOTES HYDRO
DENOTES DIRECTION AND GRADIENT OF DRAINAGE
DENOTES DIRECTION OF SWALE
HARD LANDSCAPE
DENOTES INTERLOCK
DENOTES STAIRS
DENOTES RETAINING WALL
DENOTES POOL COPING
DENOTES PEA GRAVEL
DENOTES ARCHITECTURAL CONCRETE
DENOTES WOOD
SOFT LANDSCAPE
DENOTES GRASS
DENOTES SOIL/ MULCH
DENOTES ARMOUR STONE
DENOTES EXISTING SPOT ELEVATION
DENOTES PROPOSED SPOT ELEVATION
DENOTES BENCHMARK ELEVATION
DENOTES TOP OF WALL
DENOTES BOTTOM OF WALL
DENOTES TOP OF STEP
DENOTES GAS SERVICE
DENOTES EXISTING FENCE
DENOTES PROPERTY LINE
DENOTES PROPOSED STRIP DRAIN
DENOTES DECIDUOUS TREE WITH TRUNK DIAMETER
DENOTES CONIFEROUS TREE WITH TRUNK DIAMETER
DENOTES TREE TO BE REMOVED
TREE CANOPIES ARE DRAWN TO SCALE.

A175/23 (31 QUAIL RUN BOULEVARD)
Zoning By-law 001-2021
VARIANCE REQUESTED
1 THE MINIMUM REQUIRED INTERIOR SIDEYARD FOR THE RESIDENTIAL ACCESSORY STRUCTURE IS 4.5m TO PERMIT A MINIMUM REQUIRED INTERIOR SIDEYARD SETBACK FOR THE RESIDENTIAL ACCESSORY STRUCTURE OF 2.209m
2 THE MAXIMUM PERMITTED HEIGHT OF A RESIDENTIAL ACCESSORY STRUCTURE IS 3.0m TO PERMIT A MAXIMUM HEIGHT OF A 4.0m FOR THE RESIDENTIAL ACCESSORY STRUCTURE
3 THE MAXIMUM PERMITTED LOT COVERAGE FOR ALL ACCESSORY BUILDING AND RESIDENTIAL ACCESSORY STRUCTURES IS 10% OR 67 SQUARE METRES, WHICHEVER IS LESS TO PERMIT A MAXIMUM LOT COVERAGE OF 74.52 SQUARE METRES FOR THE RESIDENTIAL ACCESSORY STRUCTURE
URBAN DESIGN COMMENTS SOLUTION
1 PROVIDE A ROW OF HEDGE PLANTINGS TO THE SOUTH TO CREATE A THOROUGH LANDSCAPE BUFFER AND ENSURE THE PROPOSED STRUCTURE CAN BE FULLY SCREENED. STAFF SUGGEST USING COLUMNAR TREES FOR SCREENING AND ENHANCING PRIVACY AS THEY GROW HIGH ENOUGH, REQUIRE LESS SOIL VOLUME, AND CAN PROVIDE SCREENING IN ALL SEASONS. BELOW IS AN IMAGE OF THUJA, A SAMPLE OF COLUMNAR TREES FOR REFERENCE. PLEASE CONSULT THE LANDSCAPE ARCHITECT REGARDING TREE SPECIES, GROWING DISTANCE TO ENSURE THE PLANTING'S HEALTH. TO SUPPLY AND INSTALL (35-40) 6-8' TALL THUJA OCCIDENTALIS 'SMARAGD' (EMERALD CEDAR) ALONG PROPERTY LINE TO SCREEN STRUCTURE
2 MAINTAIN A MINIMUM OF 1.2 M OFFSET TO THE PROPERTY LINE TO ALLOW SUFFICIENT SOIL VOLUME AND ENSURE THE PLANTINGS' HEALTH. IN ADDITION, CUT PAVEMENT, SHIFT THE LOCATION OR REDUCE THE MASSING SIZE OF THE PROPOSED STRUCTURE IF NECESSARY TO ACHIEVE THE MINIMUM OFFSET. 1.2M OFFSET TO THE PROPERTY LINE WILL BE SOIL VOLUME

REVISIONS
9 DEC 8/23 REVISION
2 Aug 2/23 REVISION
1 Jul 24/23 CONCEPT 1
NO. DATE REVISION/COMMENT
PROJECT:
31 QUAIL RUN BLVD MAPLE, ON L6A 1E9

OWNER: XXX
DRAWING: SUBMISSION PLAN
SCALE: 1:500
DATE: DEC 8, 2023
DRAWN BY: AZ
PROJ. No: L1

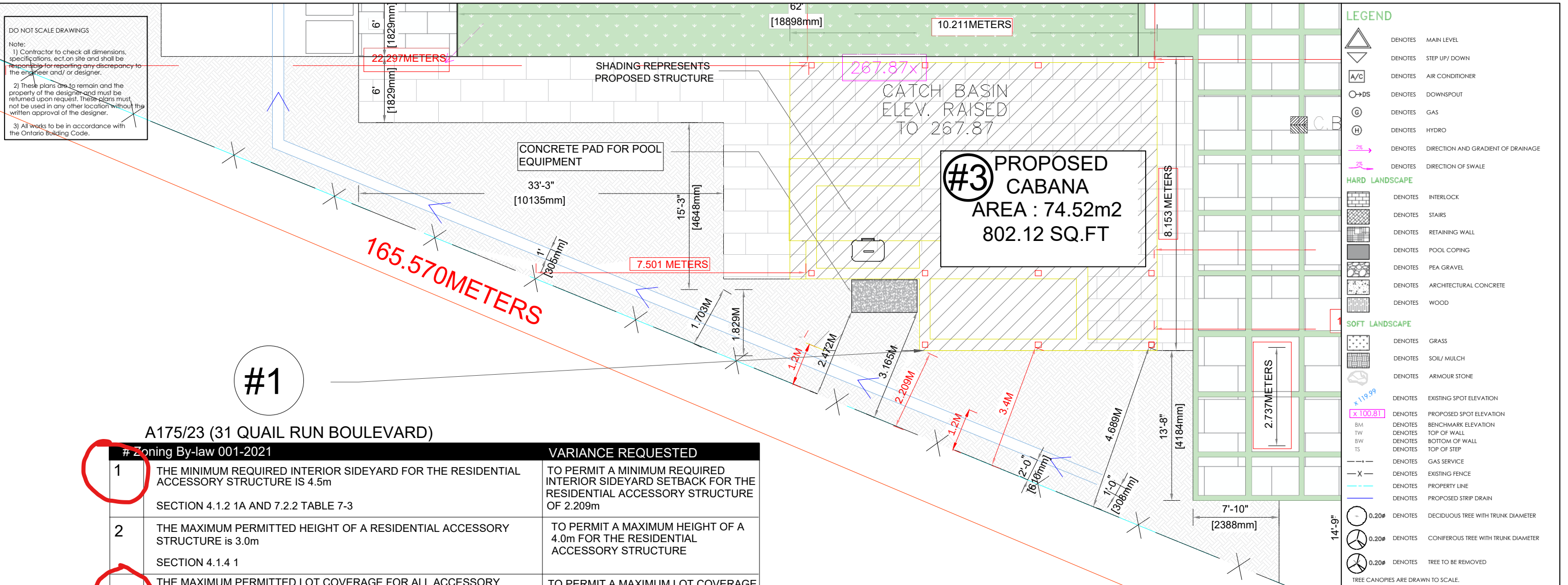
LANDDESIGN CANADA INC.
647.784.1118
INSTAGRAM - LANDDESIGNCANADAINC
LANDDESIGNCANADA.COM

RECEIVED

By provided at 3:33 pm, Dec 12, 2023

PLANS PREPARED AND VARIANCES IDENTIFIED BY APPLICANT

A175/23



#1

A175/23 (31 QUAIL RUN BOULEVARD)

| # | Zoning By-law 001-2021 | VARIANCE REQUESTED |
|-----------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------|
| 1 | THE MINIMUM REQUIRED INTERIOR SIDYARD FOR THE RESIDENTIAL ACCESSORY STRUCTURE IS 4.5m SECTION 4.1.2 1A AND 7.2.2 TABLE 7-3 | TO PERMIT A MINIMUM REQUIRED INTERIOR SIDYARD SETBACK FOR THE RESIDENTIAL ACCESSORY STRUCTURE OF 2.209m |
| 2 | THE MAXIMUM PERMITTED HEIGHT OF A RESIDENTIAL ACCESSORY STRUCTURE is 3.0m SECTION 4.1.4 1 | TO PERMIT A MAXIMUM HEIGHT OF A 4.0m FOR THE RESIDENTIAL ACCESSORY STRUCTURE |
| 3 | THE MAXIMUM PERMITTED LOT COVERAGE FOR ALL ACCESSORY BUILDING AND RESIDENTIAL ACCESSORY STRUCTURES IS 10% OR 67 SQUARE METRES, WHICHEVER IS LESS SECTION 4.1.3 1 | TO PERMIT A MAXIMUM LOT COVERAGE OF 74.52 SQUARE METRES FOR THE RESIDENTIAL ACCESSORY STRUCTURE |
| URBAN DESIGN COMMENTS | | SOLUTION |
| 1 | PROVIDE A ROW OF HEDGE PLANTINGS TO THE SOUTH TO CREATE A THOROUGH LANDSCAPE BUFFER AND ENSURE THE PROPOSED STRUCTURE CAN BE FULLY SCREENED. STAFF SUGGEST USING COLUMNAR TREES FOR SCREENING AND ENHANCING PRIVACY AS THEY GROW HIGH ENOUGH, REQUIRE LESS SOIL VOLUME, AND CAN PROVIDE SCREENING IN ALL SEASONS. BELOW IS AN IMAGE OF THUJA, A SAMPLE OF COLUMNAR TREES FOR REFERENCE. PLEASE CONSULT THE LANDSCAPE ARCHITECT REGARDING TREE SPECIES, GROWING DISTANCE TO ENSURE THE PLANTING'S HEALTH. | TO SUPPLY AND INSTALL (35-40) 6-8' TALL 'THUJA OCCIDENTALIS 'SMARAGD' (EMERALD CEDAR) ALONG PROPERTY LINE TO SCREEN STRUCTURE |
| 2 | MAINTAIN A MINIMUM OF 1.2 M OFFSET TO THE PROPERTY LINE TO ALLOW SUFFICIENT SOIL VOLUME AND ENSURE THE PLANTINGS' HEALTH. IN ADDITION, CUT PAVEMENT, SHIFT THE LOCATION OR REDUCE THE MASSING SIZE OF THE PROPOSED STRUCTURE IF NECESSARY TO ACHIEVE THE MINIMUM OFFSET. | 1.2M OFFSET TO THE PROPERTY LINE WILL BE SOIL VOLUME |

L2

LANDESIGN CANADA INC.

647.784.1118
INSTAGRAM - LANDESIGNCANADA INC
LANDESIGNCANADA.COM

RECEIVED

By provided at 3:33 pm, Dec 12, 2023

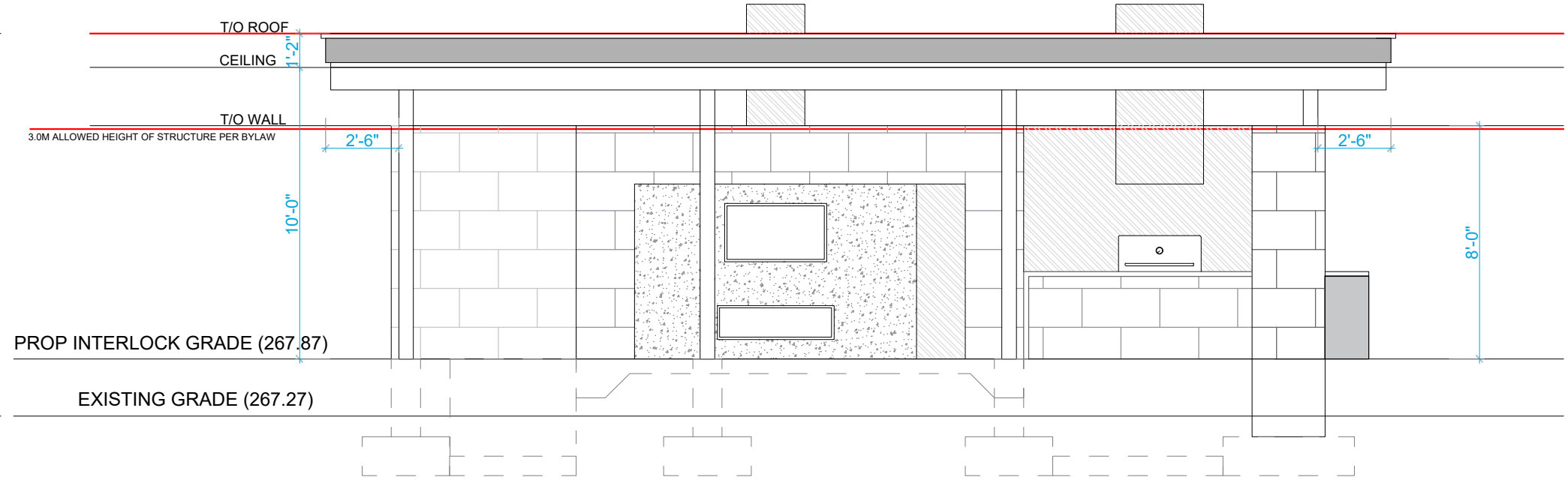
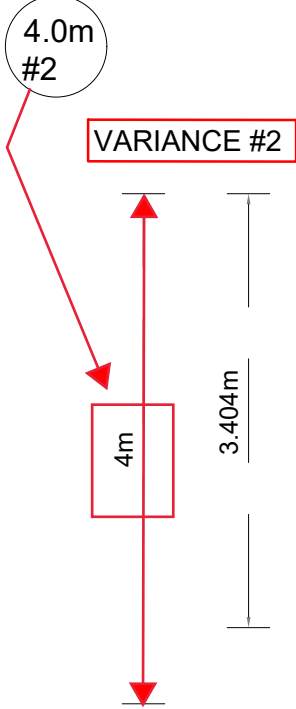
PLANS PREPARED AND VARIANCES IDENTIFIED BY APPLICANT

A175/23

DO NOT SCALE DRAWINGS
Note:
1) Contractor to check all dimensions, specifications, ect. on site and shall be responsible for reporting any discrepancy to the engineer and/ or designer.
2) These plans are to remain and the property of the designer and must be returned upon request. These plans must not be used in any other location without the written approval of the designer.
3) All works to be in accordance with the Ontario Building Code.

Table with 5 rows and 3 columns: # Zoning By-law 001-2021, VARIANCE REQUESTED, URBAN DESIGN COMMENTS, SOLUTION. Row 2 is circled in red.

- LEGEND
DENOTES MAIN LEVEL
DENOTES STEP UP/ DOWN
DENOTES AIR CONDITIONER
DENOTES DOWNSPOUT
DENOTES GAS
DENOTES HYDRO
DENOTES DIRECTION AND GRADIENT OF DRAINAGE
DENOTES DIRECTION OF SWALE
HARD LANDSCAPE
DENOTES INTERLOCK
DENOTES STAIRS
DENOTES RETAINING WALL
DENOTES POOL COPING
DENOTES PEA GRAVEL
DENOTES ARCHITECTURAL CONCRETE
DENOTES WOOD
SOFT LANDSCAPE
DENOTES GRASS
DENOTES SOIL/ MULCH
DENOTES ARMOUR STONE
DENOTES EXISTING SPOT ELEVATION
DENOTES PROPOSED SPOT ELEVATION
DENOTES BENCHMARK ELEVATION
DENOTES TOP OF WALL
DENOTES BOTTOM OF WALL
DENOTES TOP OF STEP
DENOTES GAS SERVICE
DENOTES EXISTING FENCE
DENOTES PROPERTY LINE
DENOTES PROPOSED STRIP DRAIN
DENOTES DECIDUOUS TREE WITH TRUNK DIAMETER
DENOTES CONIFEROUS TREE WITH TRUNK DIAMETER
DENOTES TREE TO BE REMOVED
TREE CANOPIES ARE DRAWN TO SCALE.



West elevation

NOTES/DISCLAIMER:
LOT PLAN BASED ON SCANNED SURVEY, SURVEY MAY HAVE DEFICIENCIES MUST CONSTRUCT WITHIN ALL TOWN/CITY BYLAWS. IT IS THE RESPONSIBILITY OF THE OWNER AND/OR APPLICANT TO ENSURE THE ACCURACY OF INFORMATION PROVIDED AND COMPLIANCE WITH ALL APPLICABLE BY-LAWS AND/OR REGULATIONS. ALL SETBACKS MUST BE MEASURED FROM THE WATER'S EDGE OF THE POOL. ALL RETAINING WALLS SHALL NOT EXCEED 1m IN HEIGHT

Revision table with columns: NO., DATE, REVISION/COMMENT. Includes entries for Sept 29/23, Aug 2/23, and Jul 24/23.

PROJECT:
31 QUAIL RUN BLVD
MAPLE, ON L6A 1E9

OWNER: XXX
DRAWING: SECTIONAL PLAN
SCALE: 1:50
DATE: DEC 8, 2023
DRAWN BY: AZ
PROJ. No: L3

LANDDESIGN CANADA INC.
647.784.1118
INSTAGRAM - LANDDESIGNCANADAINC
LANDDESIGNCANADA.COM

RECEIVED

By providel at 3:33 pm, Dec 12, 2023

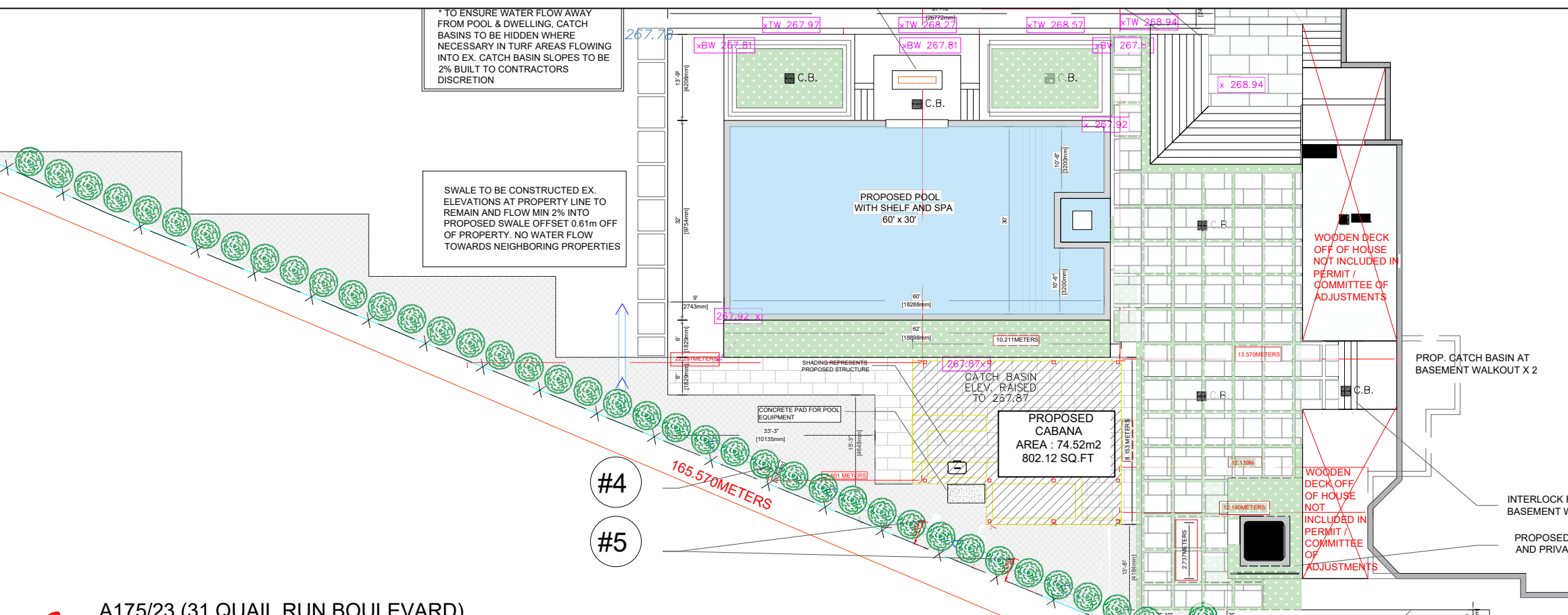
PLANS PREPARED AND VARIANCES IDENTIFIED BY APPLICANT

A175/23

DO NOT SCALE DRAWINGS
Note:
1) Contractor to check all dimensions, specifications, etc. on site and shall be responsible for reporting any discrepancy to the engineer and/or designer.
2) These plans are to remain and the property of the designer and must be returned upon request. These plans must not be used in any other location without the written approval of the designer.
3) All works to be in accordance with the Ontario Building Code.

* TO ENSURE WATER FLOW AWAY FROM POOL & DWELLING, CATCH BASINS TO BE HIDDEN WHERE NECESSARY IN TURF AREAS FLOWING INTO EX. CATCH BASIN SLOPES TO BE 2% BUILT TO CONTRACTORS DISCRETION

SWALE TO BE CONSTRUCTED EX. ELEVATIONS AT PROPERTY LINE TO REMAIN AND FLOW MIN 2% INTO PROPOSED SWALE OFFSET 0.61m OFF OF PROPERTY. NO WATER FLOW TOWARDS NEIGHBORING PROPERTIES



LEGEND
DENOTES MAIN LEVEL
DENOTES STEP UP/ DOWN
DENOTES AIR CONDITIONER
DENOTES DOWNSPOUT
DENOTES GAS
DENOTES HYDRO
DENOTES DIRECTION AND GRADIENT OF DRAINAGE
DENOTES DIRECTION OF SWALE
HARD LANDSCAPE
DENOTES INTERLOCK
DENOTES STAIRS
DENOTES RETAINING WALL
DENOTES POOL COPING
DENOTES PEA GRAVEL
DENOTES ARCHITECTURAL CONCRETE
DENOTES WOOD
SOFT LANDSCAPE
DENOTES GRASS
DENOTES SOIL/ MULCH
DENOTES ARMOUR STONE
DENOTES EXISTING SPOT ELEVATION
DENOTES PROPOSED SPOT ELEVATION
DENOTES BENCHMARK ELEVATION
DENOTES TOP OF WALL
DENOTES BOTTOM OF WALL
DENOTES TOP OF STEP
DENOTES GAS SERVICE
DENOTES EXISTING FENCE
DENOTES PROPERTY LINE
DENOTES PROPOSED STRIP DRAIN
DENOTES DECIDUOUS TREE WITH TRUNK DIAMETER
DENOTES CONIFEROUS TREE WITH TRUNK DIAMETER
DENOTES TREE TO BE REMOVED
TREE CANOPIES ARE DRAWN TO SCALE.

A175/23 (31 QUAIL RUN BOULEVARD)

Table with 3 columns: #, Zoning By-law 001-2021, and VARIANCE REQUESTED. It lists 5 variances and 5 urban design comments with their respective solutions.

EST 9 RISERS TO REACH ELEVATION AT FRONT OF DWELLING TO BE CONFIRMED ON SITE
PROPOSED 1.8m WOODEN SELF LATCHING & SELF CLOSING POOL GATE

NOTES/DISCLAIMER:
LOT PLAN BASED ON SCANNED SURVEY, SURVEY MAY HAVE DEFICIENCIES MUST CONSTRUCT WITHIN ALL TOWN/CITY BYLAWS. IT IS THE RESPONSIBILITY OF THE OWNER AND/OR APPLICANT TO ENSURE THE ACCURACY OF INFORMATION PROVIDED AND COMPLIANCE WITH ALL APPLICABLE BY-LAWS AND/OR REGULATIONS. ALL SETBACKS MUST BE MEASURED FROM THE WATER'S EDGE OF THE POOL. ALL RETAINING WALLS SHALL NOT EXCEED 1m IN HEIGHT

Revision table with columns: NO., DATE, REVISION/COMMENT. Includes project name: 31 QUAIL RUN BLVD MAPLE, ON L6A 1E9

OWNER: XXX
DRAWING: SUBMISSION PLAN
SCALE: 1:250
DATE: DEC 8, 2023
DRAWN BY: AZ
PROJ. No: L4

LANDDESIGN CANADA INC.
647.784.1118
INSTAGRAM - LANDESIGNCANADAINC
LANDESIGNCANADA.COM

SCHEDULE B: STAFF & AGENCY COMMENTS

| DEPT/AGENCY | Circulated | Comments Received | Conditions | Nature of Comments |
|----------------------------------------------|-------------------------------------|-------------------------------------|-------------------------------------|-------------------------------------|
| TRCA *Schedule B | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | General Comments |
| Ministry of Transportation (MTO) *Schedule B | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Region of York *Schedule B | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | General Comments |
| Alectra *Schedule B | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | General Comments |
| Bell Canada *Schedule B | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | No Comments Received to Date |
| YRDSB *Schedule B | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| YCDSB *Schedule B | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| CN Rail *Schedule B | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| CP Rail *Schedule B | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| TransCanada Pipeline *Schedule B | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | No Comments Received to Date |
| Metrolinx *Schedule B | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Propane Operator *Schedule B | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Development Planning | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | Recommend Approval/ with conditions |
| Building Standards (Zoning) | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | General Comments |

Date: November 16th 2023

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A175-23**

Related Files:

Applicant Land Design Canada

Location 31 Quail Run Boulevard



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

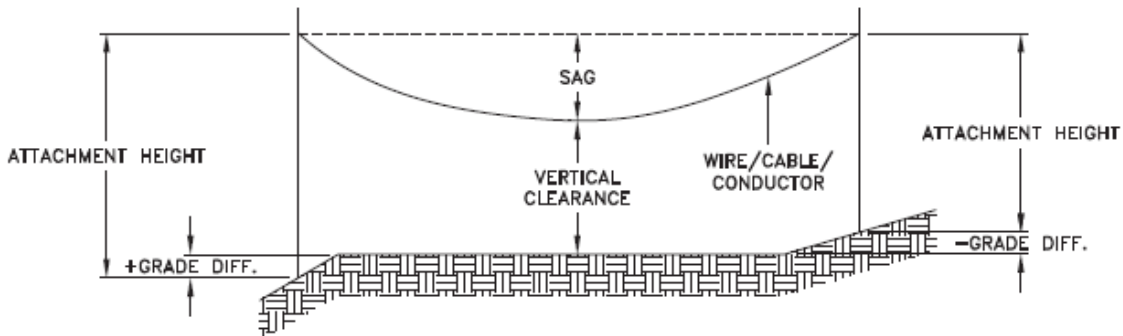
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

| LOCATION OF WIRES, CABLES OR CONDUCTORS | SYSTEM VOLTAGE | | | |
|---------------------------------------------------------------------------|------------------------------------|------------------------|--------------------------------------|-------|
| | SPAN GUYS AND COMMUNICATIONS WIRES | UP TO 600V AND NEUTRAL | 4.16/2.4kV TO 27.6/16kV (SEE NOTE 1) | 44kV |
| MINIMUM VERTICAL CLEARANCES (SEE NOTE 2) | | | | |
| OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u> | 442cm | 442cm | 480cm | 520cm |
| OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u> | 250cm | 310cm | 340cm | 370cm |
| ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u> | 730cm | 730cm | 760cm | 810cm |



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

| METRIC | IMPERIAL (APPROX) |
|--------|-------------------|
| 810cm | 27'-0" |
| 760cm | 25'-4" |
| 730cm | 24'-4" |
| 520cm | 17'-4" |
| 480cm | 16'-0" |
| 442cm | 15'-5" |
| 370cm | 12'-4" |
| 340cm | 11'-4" |
| 310cm | 10'-4" |
| 250cm | 8'-4" |

REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

| Certificate of Approval | |
|-------------------------------------------------------------------------------------------|-------------|
| This construction Standard meets the safety requirements of Section 4 of Regulation 22/04 | |
| Joe Crozier, P.Eng. | 2012-JAN-09 |
| Name | Date |
| P.Eng. Approval By: | Joe Crozier |



| VOLTAGE | MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4) | MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5) |
|--------------------|------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------|
| 0-600V AND NEUTRAL | 100cm | 250cm |
| 4.16/2.4 TO 44kV | 300cm | 480cm |

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

| METRIC | IMPERIAL (APPROX) |
|--------|-------------------|
| 480cm | 16'-0" |
| 300cm | 10'-0" |
| 250cm | 8'-4" |
| 100cm | 3'-4" |

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

To: Committee of Adjustment
From: Bernd Paessler, Building Standards Department
Date: December 11, 2023
Applicant: LAND DESIGN CANADA
Location: 31 Quail Run Boulevard
 PLAN 65M2353 Lot 6
File No.(s): A175/23

Zoning Classification:

The subject lands are zoned RE(EN) – Estate Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.231 under Zoning By-law 001-2021, as amended.

| # | Zoning By-law 001-2021 | Variance requested |
|---|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------|
| 1 | The minimum required interior side yard for the residential accessory structure is 4.5m. Section 4.1.2 1a and 7.2.2 Table 7-3 | To permit a minimum required interior side yard setback for the residential accessory structure of 2.209m. |
| 2 | The maximum permitted height of a residential accessory structure is 3.0m. Section 4.1.4 1 | To permit a maximum height of 4.0m for the residential accessory structure. |
| 3 | The maximum permitted lot coverage for all accessory building and residential accessory structures is 10% or 67 square metres, whichever is less. Section 4.1.3 1. | To permit a maximum lot coverage of 74.52 square metres for the residential accessory structure. |

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

| General Comments | |
|------------------|--------------------------------------------------------------------------------------------------------------------------------------------------|
| 1 | The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval. |

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development Planning
Date: December 13, 2023
Name of Owner: Kamyar Aghai
Location: 31 Quail Run Boulevard
File No.(s): A175/23

Proposed Variance(s) (By-law 001-2021):

1. To permit a minimum required interior side yard setback for the residential accessory structure of 2.209 m.
2. To permit a maximum height of 4.0 m for the residential accessory structure.
3. To permit a maximum lot coverage of 74.52 square metres for the residential accessory structure.

By-Law Requirement(s) (By-law 001-2021):

1. The minimum required interior side yard for the residential accessory structure is 4.5 m.
2. The maximum permitted height of a residential accessory structure is 3.0 m.
3. The maximum permitted lot coverage for all accessory building and residential accessory structures is 10% or 67 square metres, whichever is less.

Official Plan:

City of Vaughan Official Plan 2010 ("VOP 2010"): "Oak Ridges Moraine Countryside" by Schedule 4 – Oak Ridges Moraine Conservation Plan & Greenbelt Plan Areas and "Countryside" by Schedule 13 – Land Use

Comments:

The Owner is requesting permission to construct a cabana with the above noted variances.

The Development Planning Department has no objection to the above noted variances for the interior side yard setback, height, and lot coverage of the cabana. The reduction to the interior side yard setback for the proposed cabana maintains an appropriate area for maintenance access and drainage. In addition, the Owner is proposing to supply and install a row of coniferous plantings along the mutual lot line shared with the property to the south to mitigate the massing impacts associated with the reduction in interior yard setback and the increased height of the cabana. With the vegetative buffering, the cabana is not anticipated to pose significant adverse use, privacy, or massing impacts to the neighbouring property to the south. No other properties are anticipated to be adversely impacted by the proposal.

Upon recommendations from the Development Planning Department, the Owner has revised the application to reduce the size of the cabana. Development Planning Department staff had concerns with the size of the cabana and its proximity to the interior side lot line to the south, creating minimal room to screen the cabana at the pinch points, causing adverse massing impacts to the neighbouring property. The reduced size of the cabana results in greater setbacks which will provide additional room for vegetative screening, mitigating the adverse impacts associated with the building's built form, particularly those impacts facing the neighbour to the south. The 74.52 m² lot coverage for the cabana is a minor increase to the permitted 67 m². As such, the increase in lot coverage for the cabana can be considered appropriate for the size of the lot and will not pose adverse use or massing impacts to the neighbouring properties.

Accordingly, the Development Planning Department can support the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application, subject to the following conditions:

Condition of Approval:

If the Committee finds merit in the application, the following condition of approval is recommended:

1. That the final Landscape Plan, indicating a minimum 2 m height for the cedar plantings along the interior lot line to the south of the cabana, be approved to the satisfaction of the Development Planning Department.

Comments Prepared by:

Michelle Perrone, Planner 1
David Harding, Senior Planner

Lenore Providence

Subject: FW: [External] RE: A175/23 (31 QUAIL RUN BLVD) - REQUEST FOR COMMENTS

From: Kristen Regier <Kristen.Regier@trca.ca>
Sent: November-17-23 1:57 PM
To: Committee of Adjustment <CofA@vaughan.ca>
Subject: [External] RE: A175/23 (31 QUAIL RUN BLVD) - REQUEST FOR COMMENTS

Hello,

The subject property at 31 Quail Run Blvd, Vaughan is not located within TRCA's Regulated Area. TRCA's Planning and Regulatory policy interests are not impacted.

As such, TRCA has no comments on the application.

Best,

Kristen Regier, MA (she / her)
Planner
Development Planning and Permits | Development and Engineering Services
Toronto and Region Conservation Authority (TRCA)

T: [437-880-2129](tel:437-880-2129)
E: kristen.regier@trca.ca
A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca) | [trca.ca](https://www.trca.ca)



Pravina Attwala

Subject: FW: [External] RE: A175/23 (31 QUAIL RUN BLVD) - REQUEST FOR COMMENTS

From: Development Services <developmentservices@york.ca>
Sent: December-18-23 6:03 PM
To: Pravina Attwala <Pravina.Attwala@vaughan.ca>
Cc: Committee of Adjustment <CofA@vaughan.ca>
Subject: [External] RE: A175/23 (31 QUAIL RUN BLVD) - REQUEST FOR COMMENTS

Hi Pravina,

The Regional Municipality of York has completed its review of the minor variance application – A175/23 (31 QUAIL RUN BLVD) and has no comment.

Please provide us with a copy of the notice of decision for our records.

Many thanks,

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Development Services, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca
Our Values: Integrity, Commitment, Accountability, Respect, Excellence



Our Mission: **Working together to serve our thriving communities – today and tomorrow**

Please consider the environment before printing this email.

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

| Correspondence Type | Name | Address | Date Received (mm/dd/yyyy) | Summary |
|----------------------------|-------------|----------------|---------------------------------------|----------------|
| None | | | | |

SCHEDULE D: PREVIOUS COA DECISIONS ON THE SUBJECT LAND

None