

<b>ITEM: 6.11</b>	<b>COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A195/23 77 WOODSTREAM BLVD, WOODBRIDGE</b>
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**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING  
DEPARTMENTS & AGENCIES:**

\*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Development Engineering	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Application Under Review
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

**PUBLIC & APPLICANT CORRESPONDENCE**

\*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant	Humphries Planning Group Inc	77 Woodstream Blvd	12/01/2023	Cover Letter

**PREVIOUS COA DECISIONS ON THE SUBJECT LAND**

\*Please see **Schedule D** for a copy of the Decisions listed below

<b>File Number</b>	<b>Date of Decision</b> MM/DD/YYYY	<b>Decision Outcome</b>
None		

**ADJOURNMENT HISTORY**

\* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

None	
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**COMMITTEE OF ADJUSTMENT REPORT  
MINOR VARIANCE APPLICATION  
A195/23  
77 WOODSTREAM BLVD, WOODBRIDGE**

<b>ITEM NUMBER: 6.11</b>	<b>CITY WARD #: 2</b>
<b>APPLICANT:</b>	77 Woodstream Inc.
<b>AGENT:</b>	Humphries Planning Group Inc.
<b>PROPERTY:</b>	77 Woodstream Blvd, Woodbridge
<b>ZONING DESIGNATION:</b>	See Below
<b>VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:</b>	Vaughan Official Plan 2010 ('VOP 2010'): "High-Rise Mixed-Use"
<b>RELATED DEVELOPMENT APPLICATIONS:</b>	DA.15.072
<b>PURPOSE OF APPLICATION:</b>	Relief from the Zoning By-law is being requested to permit the indoor amenity area located within the ground floor and 2nd floor podium (as shown on the plans submitted) to be 931 square metres.  Relief is required to facilitate related Site Plan Amendment Application DA.15.072, which proposes a residential complex including two (2) high-rise condominium towers and three (3) townhouse blocks.

The following variances have been requested from the City's Zoning By-law:

**The subject lands are zoned RM3 – Multiple Unit Residential Zone, RT2 –Townhouse Residential Zone, and EP – Environmental Protection Zone, and subject to the provisions of Exception 14.1129 under Zoning By-law 001-2021, as amended.**

	<b>Zoning By-law 001-2021</b>	<b>Variance requested</b>
1	The minimum indoor amenity area located within the ground floor and the 3 <sup>rd</sup> floor podium shall be 931 m <sup>2</sup> [Exception 14.1129.4.f.i.]	The minimum indoor amenity area located within the ground floor and 2 <sup>nd</sup> floor podium shall be 931 m <sup>2</sup> .

**The subject lands are zoned RA3 – Apartment Residential Zone, RM2 – Multiple Residential Zone, and OS1 – Open Space Conservation Zone, and subject to the provisions of Exception 9(1499) under Zoning By-law 1-88, as amended.**

	<b>Zoning By-law 1-88</b>	<b>Variance requested</b>
1	The minimum indoor amenity area located within the ground floor and the 3 <sup>rd</sup> floor podium shall be 931 m <sup>2</sup> [Exception 9(1499) ei)i)].	The minimum indoor amenity area located within the ground floor and 2 <sup>nd</sup> floor podium shall be 931 m <sup>2</sup> .

**HEARING INFORMATION**

**DATE OF MEETING:** Thursday, January 11, 2024  
**TIME:** 6:00 p.m.  
**MEETING LOCATION:** Vaughan City Hall, Woodbridge Room (2<sup>nd</sup> Floor), 2141 Major Mackenzie Drive  
**LIVE STREAM LINK:** [Vaughan.ca/LiveCouncil](http://Vaughan.ca/LiveCouncil)

**PUBLIC PARTICIPATION**

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

If you would like to submit written comments, please quote file number above and submit by mail or email to:

**Email:** [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

**Mail:** City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

## HEARING INFORMATION

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to [cofa@vaughan.ca](mailto:cofa@vaughan.ca) no later than NOON on the last business day before the meeting.

**THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.**

## INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

## COMMITTEE OF ADJUSTMENT COMMENTS

<b>Date Public Notice Mailed:</b>	December 21, 2023	
<b>Date Applicant Confirmed Posting of Sign:</b>	December 18, 2023	
<b>Applicant Justification for Variances:</b> <small>*As provided by Applicant in Application Form</small>	Does not comply with Section 14.1129.4.2.f.i of site-specific by-law 187-22	
<b>Adjournment Requests (from staff):</b> <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	None	
<b>Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:</b>  <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.  *A revised submission may be required to address staff / agency comments received as part of the application review process.  *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>	No	
<b>Adjournment Fees:</b> In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice.  An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff <b>after</b> the issuance of public notice.		
<b>Committee of Adjustment Comments:</b>	None	
<b>Committee of Adjustment Recommended Conditions of Approval:</b>	None	

## BUILDING STANDARDS (ZONING) COMMENTS

\*\*See Schedule B for Building Standards (Zoning) Comments

<b>Building Standards Recommended Conditions of Approval:</b>	None
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## DEVELOPMENT PLANNING COMMENTS

\*\*See Schedule B for Development Planning Comments.

<b>Development Planning Recommended Conditions of Approval:</b>	That all comments on the Amendment to Site Development Application DA.15.072 be addressed to the satisfaction of the Development Planning Department.
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## DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#)  
 [Link to Pool Permit](#)  
 [Link to Curb Curt Permit](#)  
 [Link Culvert Installation](#)

Application under review.

<b>Development Engineering Recommended Conditions of Approval:</b>	TBD
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## PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

Forestry is working with development planning on this file

<b>PFH Recommended Conditions of Approval:</b>	None
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## DEVELOPMENT FINANCE COMMENTS

No comment no concerns

<b>Development Finance Recommended Conditions of Approval:</b>	None
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## BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

No comments received to date.

<b>BCLPS Recommended Conditions of Approval:</b>	None
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## BUILDING INSPECTION (SEPTIC) COMMENTS

No comments received to date.

<b>Building Inspection Recommended Conditions of Approval:</b>	None
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## FIRE DEPARTMENT COMMENTS

No comments received to date.

<b>Fire Department Recommended Conditions of Approval:</b>	None
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## SCHEDULES TO STAFF REPORT

\*See Schedule for list of correspondence

<b>Schedule A</b>	Drawings & Plans Submitted with the Application
<b>Schedule B</b>	Staff & Agency Comments
<b>Schedule C</b> (if required)	Correspondence (Received from Public & Applicant)
<b>Schedule D</b> (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

## SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “**if required**”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Planning <a href="mailto:Nicholas.delprete@vaughan.ca">Nicholas.delprete@vaughan.ca</a>	That all comments on the Amendment to Site Development Application DA.15.072 be addressed to the satisfaction of the Development Planning Department.
2	Development Engineering <a href="mailto:Rex.bondad@vaughan.ca">Rex.bondad@vaughan.ca</a>	TBD

## IMPORTANT INFORMATION – PLEASE READ

**CONDITIONS:** It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

## IMPORTANT INFORMATION – PLEASE READ

**APPROVALS:** Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

**DEVELOPMENT CHARGES:** That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

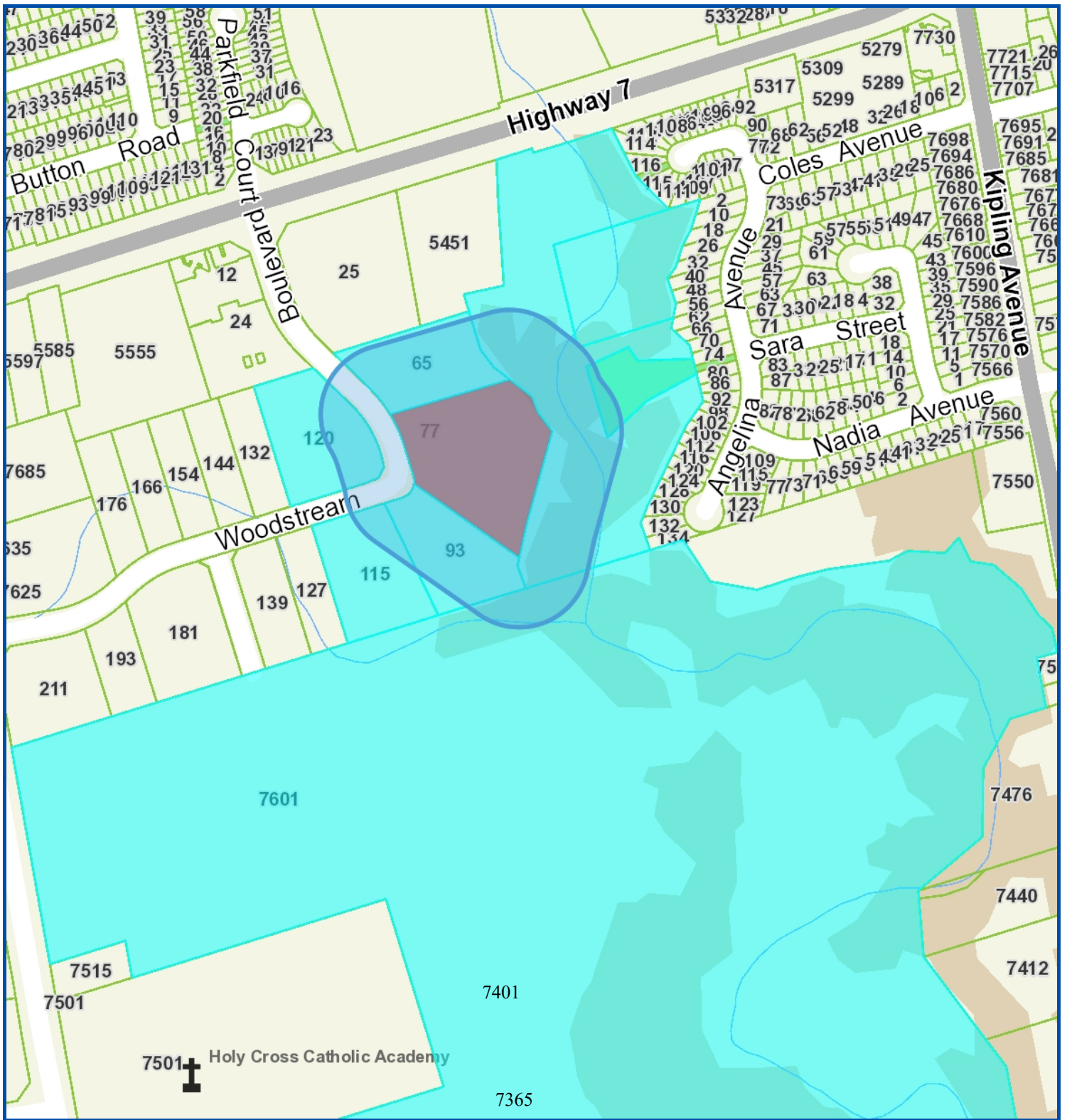
That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

**NOTICE OF DECISION:** If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

**SCHEDULE A: DRAWINGS & PLANS**



Locate Valid for 60 days from issue date: December 1, 2023 12:12 PM

## 77 Woodstream Blvd

Notes: LOCATION MAP A195\_23



Scale: 1: 6,907

0 0.18 km



Disclaimer: The City of Vaughan is not responsible for the accuracy, sufficiency or interpretation of the information on this drawing.

Issued By:  
Environmental Services Dept.



**RECEIVED**  
By Prabhdeep Kaur at 10:58 am, Dec 01, 2023

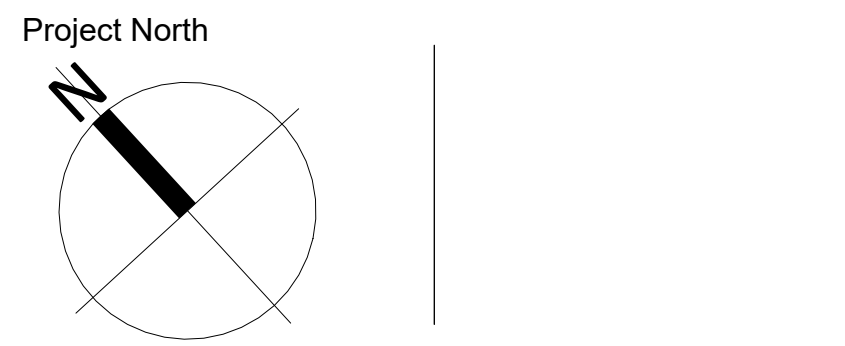
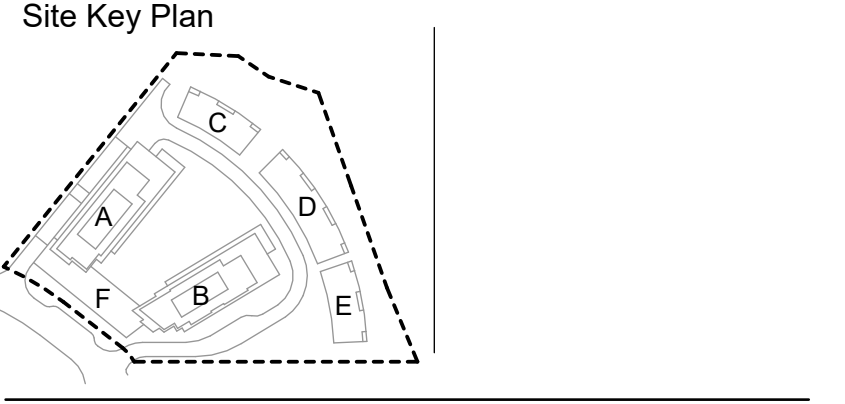
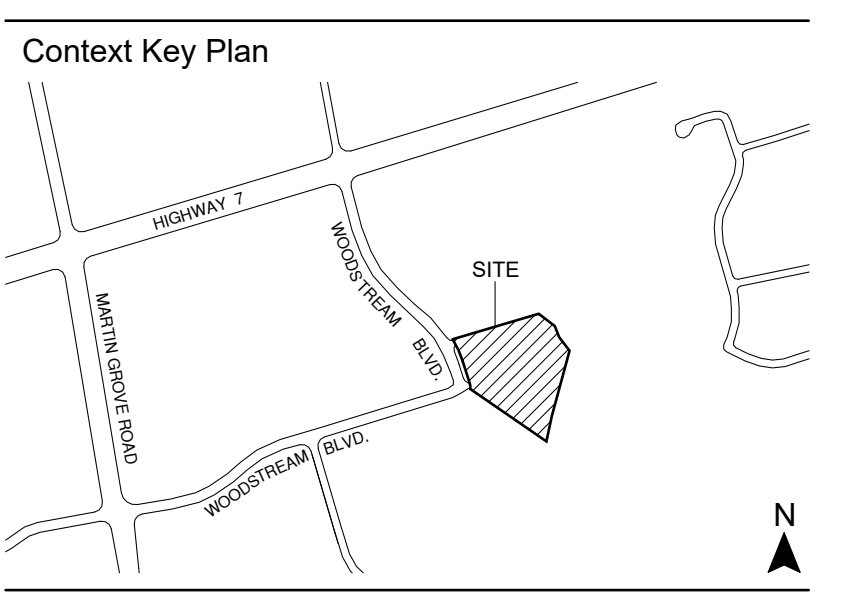
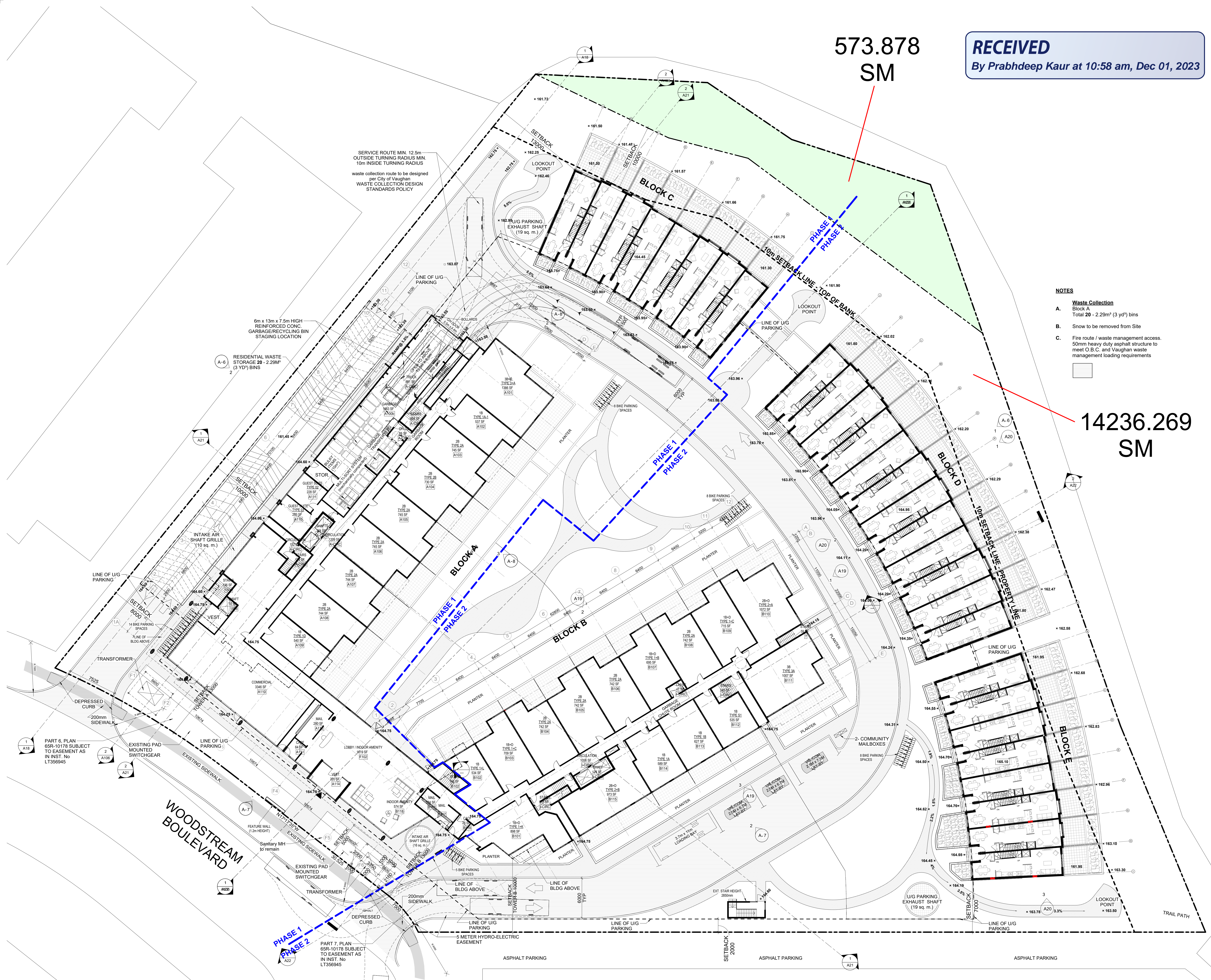
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No.	Description	Date
1	Issued for SPA	02/11/2015
2	Site Plan Re-submission	13/01/2017
3	Site Plan Re-submission	04/08/2017
4	Site Plan Re-submission	16/03/2018
6	Site Plan A03 Re-Submission	12/03/2019
7	Re-issued for SPA	18/03/2019
8	Re-issued for SPA	07/24/2019
10	Re-issued for SPA	02/23/2021
12	Issued for Coordination	05/19/2021
13	Re-issued for SPA	07/06/2021
14	Re-issued for SPA	09/24/2021
16	Re-issued for SPA	06/13/2022
19	Re-issued for SPA	11/27/2023

- NOTES**
- A. Waste Collection  
Block A  
Total 20 - 2.29m<sup>3</sup> (3 yd<sup>3</sup>) bins
  - B. Snow to be removed from Site
  - C. Fire route / waste management access.  
50mm heavy duty asphalt structure to meet O.B.C. and Vaughan waste management loading requirements

14236.269 SM

573.878 SM



Client  
**77 Woodstream Inc.**  
VAUGHAN, ONTARIO

Consultant  
**KFA architects + planners inc.**  
197 SPADINA AVE - SUITE 500  
TORONTO - ON - M5T 2C8  
416-633-6226  
www.kfaarchitecture.com

Project No: 08016  
Scale: 1 : 200  
Date: April 21, 2021  
Drawn by: MK  
Drawing Title

Site Plan

A03

SERVICE ROUTE MIN. 12.5m  
OUTSIDE TURNING RADIUS MIN  
10m INSIDE TURNING RADIUS  
waste collection route to be designed  
per City of Vaughan  
WASTE COLLECTION DESIGN  
STANDARDS POLICY

6m x 13m x 7.5m HIGH  
REINFORCED CONC.  
GARBAGE/RECYCLING BIN  
STAGING LOCATION

RESIDENTIAL WASTE  
STORAGE 20 - 2.29M<sup>3</sup>  
(3 YD<sup>3</sup>) BINS

INTAKE AIR  
SHAFT GRILLE  
(10 sq. m.)

PART 6, PLAN  
65R-10178 SUBJECT  
TO EASEMENT AS  
IN INST. No  
LT356945

EXISTING PAD  
MOUNTED  
SWITCHGEAR

WOODSTREAM  
BOULEVARD

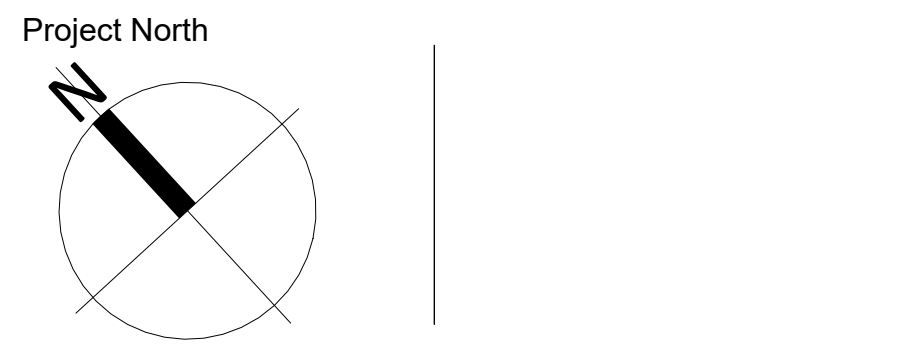
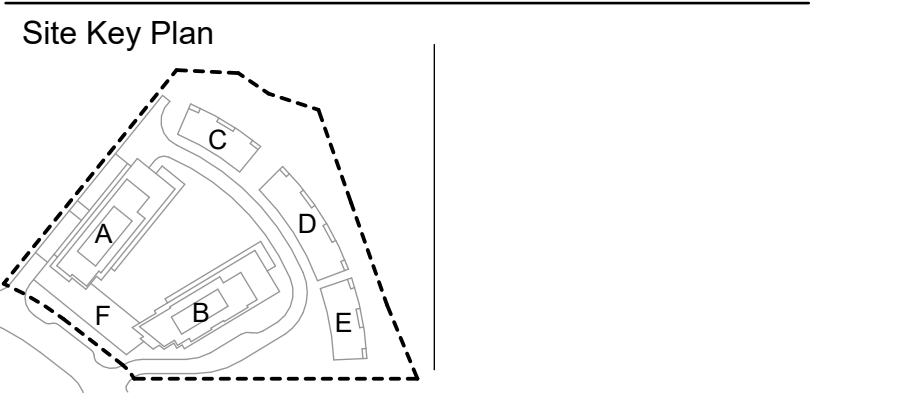
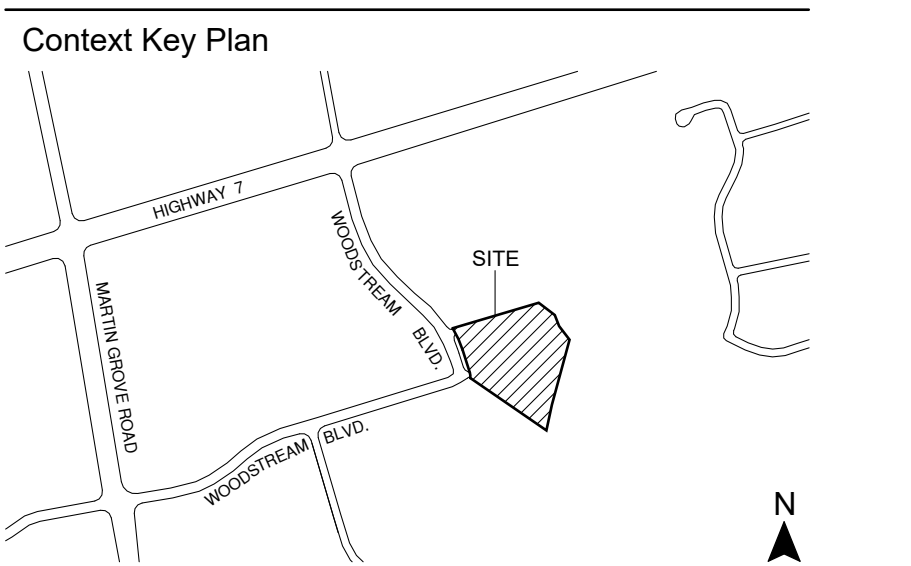
PART 7, PLAN  
65R-10178 SUBJECT  
TO EASEMENT AS  
IN INST. No  
LT356945

ASPHALT PARKING



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No.	Description	Date
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7	Re-issued for SPA	18/03/2019
10	Re-issued for SPA	02/23/2021
12	Issued for Coordination	05/19/2021
13	Re-issued for SPA	07/06/2021
15	For Client Review	04/20/2022
18	Issued for Review	11/13/2023



Client

**77 Woodstream Inc.**

VAUGHAN, ONTARIO

Consultant

197 SPADINA AVE - SUITE 500  
TORONTO - ON - M5T 2C8  
416-633-6226  
www.kfaarchitecture.com

Project No: 08016

Scale: 1 : 200

Date: April 21, 2021

Drawn by: MK

Drawing Title

**2nd Floor Plan**

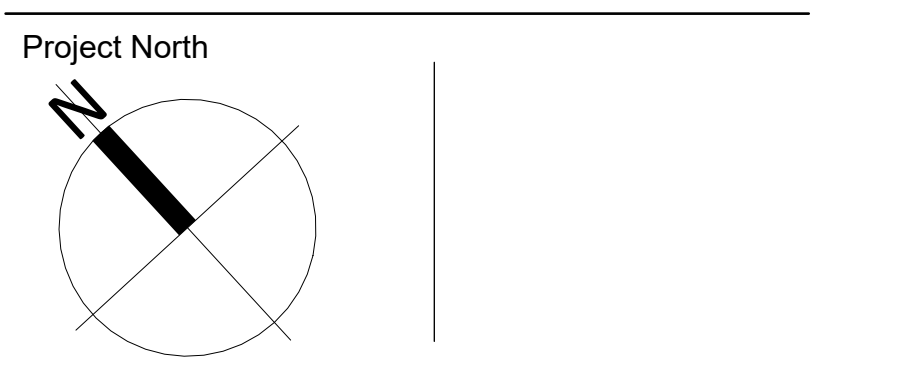
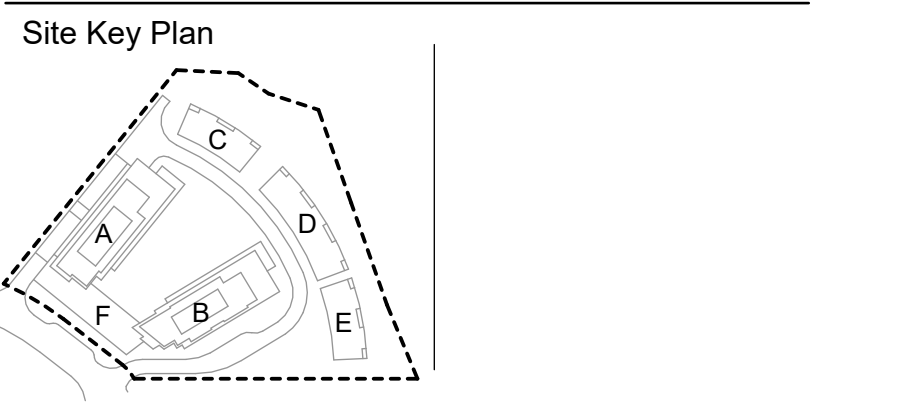
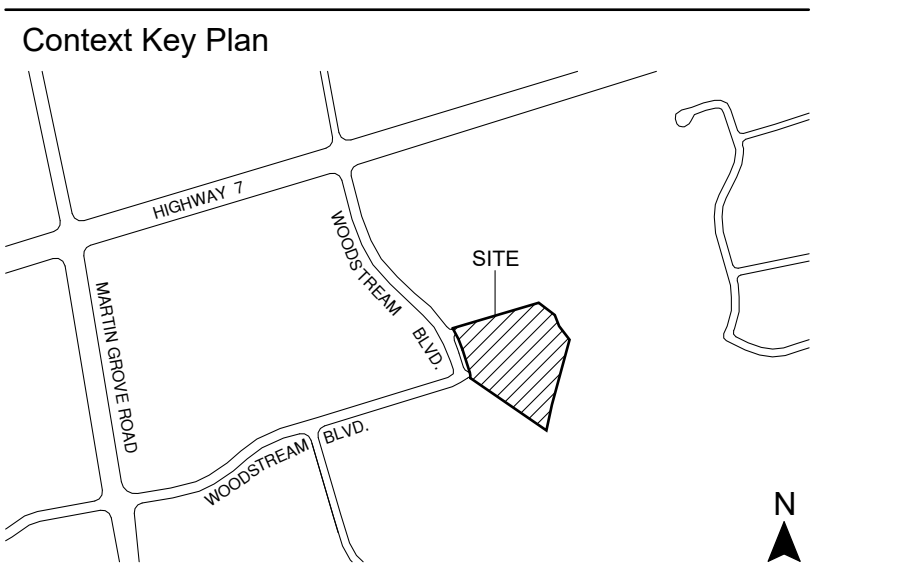
Drawing Number

**A08**



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Client  
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VAUGHAN, ONTARIO

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416-633-6226  
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Project No: 08016  
Scale: 1 : 200  
Date: April 21, 2021  
Drawn by: MK  
Drawing Title

**3rd Floor Plan**

Drawing Number



RECEIVED  
By RECEIVED at 1:10 pm, Dec 04, 2023

A195/23



1 East Elevation  
1 : 200

VAUGHAN, ONTARIO

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11	Re-issued for SPA	04/21/2021
12	Issued for Coordination	05/19/2021
13	Re-issued for SPA	07/06/2021
15	For Client Review	04/20/2022
19	Re-issued for SPA	11/27/2023

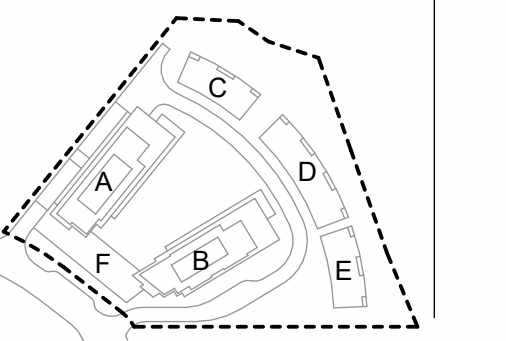


2 North Elevation  
1 : 200

**MATERIAL LEGEND**

- 1 BRICK MASONRY (BLACK)
  - 2 ASHLAR MASONRY UNITS
  - 3 WINDOW WALL
  - 4 FROSTED GLASS BALCONY GUARD
  - 5 CURTAIN WALL
  - 6 BRICK MASONRY
  - 7 EXTERIOR LAMINATED WOOD PANEL
  - 8 PREFINISHED METAL BALCONY EDGE
  - 9 STONE CLADDING
  - 10 ANODIZED ALUMN. ROOF FINISH
  - 11 SPANDREL GLASS
  - 12 PREFINISHED METAL PANELLING
  - 13 PLASTER ON CONCRETE
- ALL WINDOWS HATCHED WITH THIS PATTERN WITHIN THE FIRST 16M ABOVE GRADE WILL BE TREATED WITH A VISUAL MARKER AS PER THE BIRD SAFE DESIGN GUIDELINES. (CITY OF VAUGHAN'S BIRD SAFE DESIGN GUIDELINES)

Site Key Plan



Client

**77 Woodstream Inc.**

VAUGHAN, ONTARIO



187 SPADINA AVE - SUITE 500  
TORONTO - ON - M5T 2C8  
416-633-6226  
www.kfaarchitecture.com

Project No: 08016

Scale: As indicated

Date: April 21, 2021

Drawn by: MK

Drawing Title

Elevations - Site

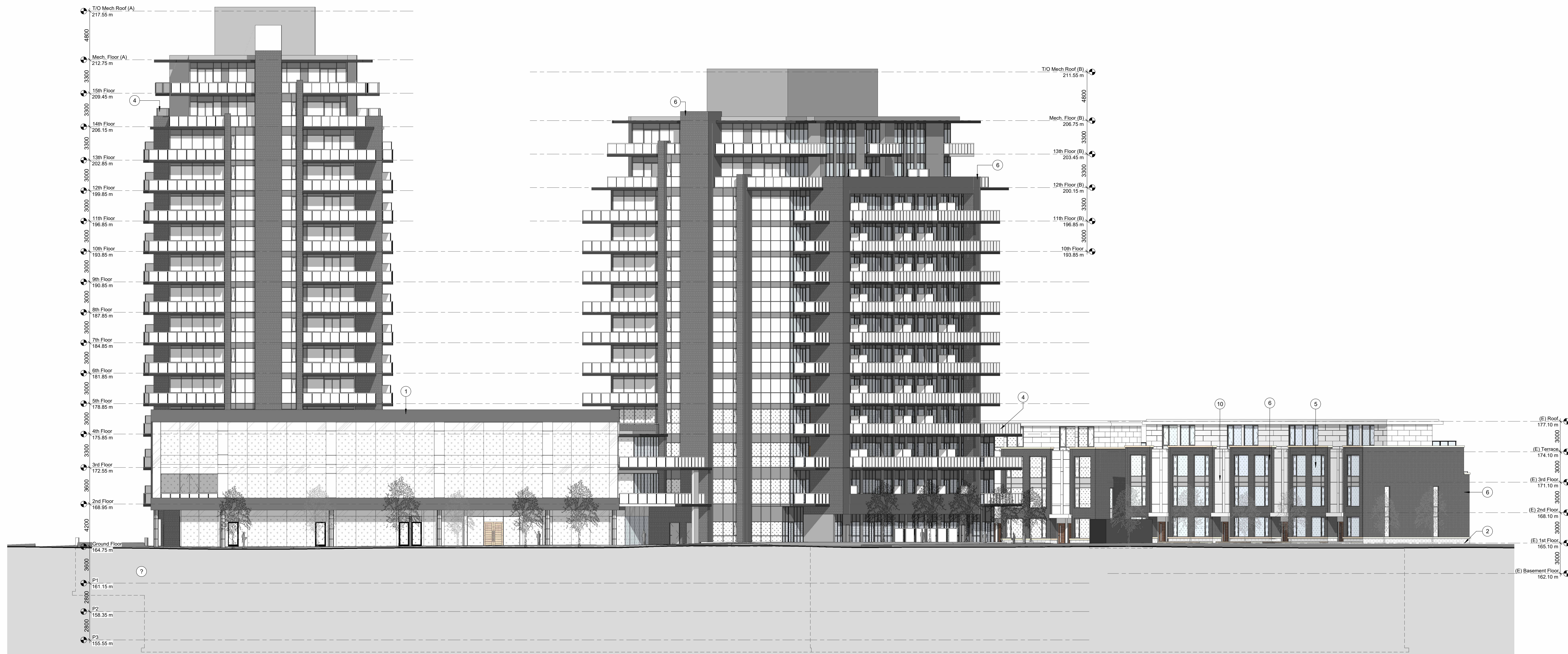
Drawing Number

A16

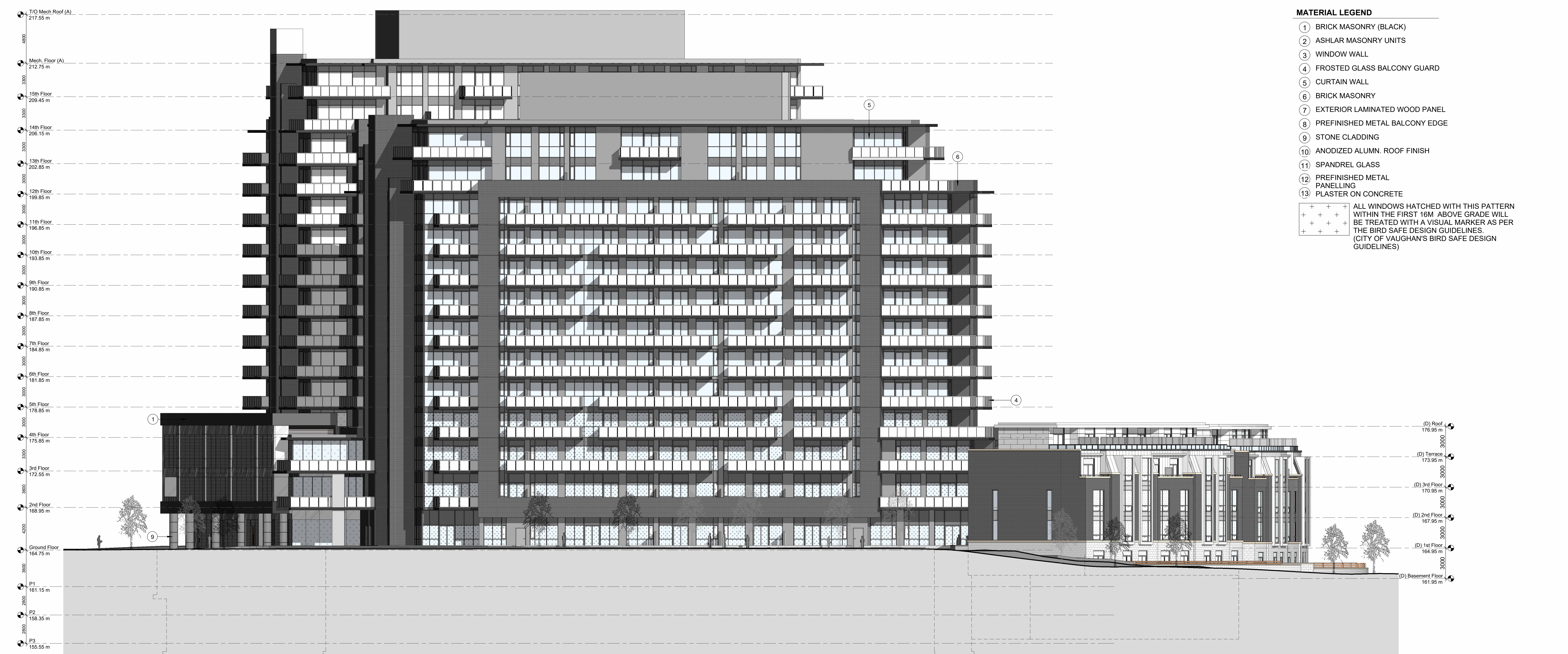


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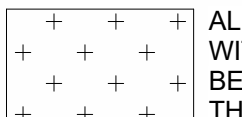
No.	Description	Date
1	Issued for SPA	02/11/2015
2	Site Plan Re-submission	13/01/2017
3	Site Plan Re-submission	04/08/2017
7	Re-issued for SPA	18/03/2019
10	Re-issued for SPA	02/23/2021
11	Re-issued for SPA	04/21/2021
12	Issued for Coordination	05/19/2021
13	Re-issued for SPA	07/06/2021
15	For Client Review	04/20/2022
19	Re-issued for SPA	11/27/2023

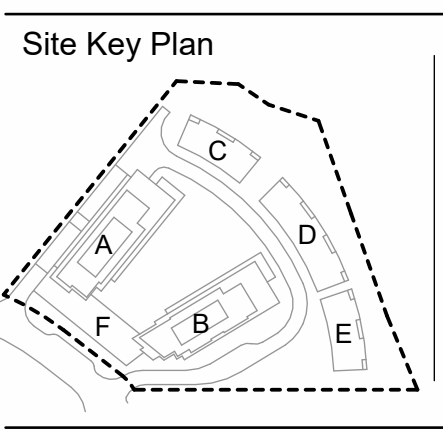


**1** West Elevation  
1 : 200



**2** South Elevation  
1 : 200

- MATERIAL LEGEND**
- ① BRICK MASONRY (BLACK)
  - ② ASHLAR MASONRY UNITS
  - ③ WINDOW WALL
  - ④ FROSTED GLASS BALCONY GUARD
  - ⑤ CURTAIN WALL
  - ⑥ BRICK MASONRY
  - ⑦ EXTERIOR LAMINATED WOOD PANEL
  - ⑧ PREFINISHED METAL BALCONY EDGE
  - ⑨ STONE CLADDING
  - ⑩ ANODIZED ALUMN. ROOF FINISH
  - ⑪ SPANDREL GLASS
  - ⑫ PREFINISHED METAL PANNELLING
  - ⑬ PLASTER ON CONCRETE
-  ALL WINDOWS HATCHED WITH THIS PATTERN WITHIN THE FIRST 16M ABOVE GRADE WILL BE TREATED WITH A VISUAL MARKER AS PER THE BIRD SAFE DESIGN GUIDELINES. (CITY OF VAUGHAN'S BIRD SAFE DESIGN GUIDELINES)



Client  
**77 Woodstream Inc.**  
VAUGHAN, ONTARIO



Project No: 08016  
Scale: As indicated  
Date: April 21, 2021  
Drawn by: MK  
Drawing Title

Elevations - Site

Drawing Number



**SCHEDULE B: STAFF & AGENCY COMMENTS**

<b>DEPT/AGENCY</b>	<b>Circulated</b>	<b>Comments Received</b>	<b>Conditions</b>	<b>Nature of Comments</b>
TRCA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval/with conditions
Building Standards (Zoning)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		General Comments

**Date:** December 13<sup>th</sup> 2023

**Attention:** **Christine Vigneault**

**RE:** Request for Comments

**File No.:** **A195-23**

**Related Files:**

**Applicant** Humphries Planning Group Inc.

**Location** 77 Woodstream Boulevard



Discover the possibilities

### COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

### References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

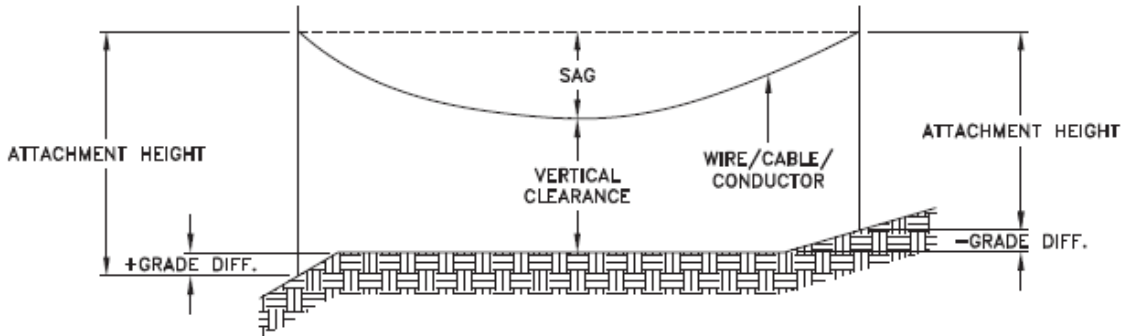
Mr. Stephen Cranley, C.E.T  
Supervisor, Distribution Design, ICI & Layouts (North)  
**Phone:** 1-877-963-6900 ext. 31297

**E-mail:** [stephen.cranley@alectrautilities.com](mailto:stephen.cranley@alectrautilities.com)

Mitchell Penner  
Supervisor, Distribution Design-Subdivisions  
**Phone:** 416-302-6215

**Email:** [Mitchell.Penner@alectrautilities.com](mailto:Mitchell.Penner@alectrautilities.com)

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG  
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)  
 ± GRADE DIFFERENCE  
 + 0.3m (VEHICLE OR RAILWAY LOCATION)  
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

**NOTES:**

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

**CONVERSION TABLE**

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

**REFERENCES**

SAGS AND TENSIONS | SECTION 02

**MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS**

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

**NOTES**

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

**MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)**

**Certificate of Approval**  
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04  
Debbie Dadwani, P.Eng. 2010-MAY-05  
Name Date  
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:  
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF



**To:** Committee of Adjustment  
**From:** Lindsay Haviland, Building Standards Department  
**Date:** December 11, 2023  
**Applicant:** Humphries Planning Group Inc.  
**Location:** 77 Woodstream Boulevard  
 PLAN 65M2464 Block 34-35  
 PLAN 65M2464 Block 38-39  
**File No.(s):** A195/23

**Zoning Classification:**

The subject lands are zoned RM3 – Multiple Unit Residential Zone, RT2 –Townhouse Residential Zone, and EP – Environmental Protection Zone, and subject to the provisions of Exception 14.1129 under Zoning By-law 001-2021, as amended.

<b>Zoning By-law 001-2021</b>		<b>Variance requested</b>
1	The minimum indoor amenity area located within the ground floor and the 3 <sup>rd</sup> floor podium shall be 931 m <sup>2</sup> [Exception 14.1129.4.f.i.]	The minimum indoor amenity area located within the ground floor and 2 <sup>nd</sup> floor podium shall be 931 m <sup>2</sup> .

The subject lands are zoned RA3 – Apartment Residential Zone, RM2 – Multiple Residential Zone, and OS1 – Open Space Conservation Zone, and subject to the provisions of Exception 9(1499) under Zoning By-law 1-88, as amended.

<b>Zoning By-law 1-88</b>		<b>Variance requested</b>
1	The minimum indoor amenity area located within the ground floor and the 3 <sup>rd</sup> floor podium shall be 931 m <sup>2</sup> [Exception 9(1499) ei)i)].	The minimum indoor amenity area located within the ground floor and 2 <sup>nd</sup> floor podium shall be 931 m <sup>2</sup> .

**Staff Comments:**

**Stop Work Order(s) and Order(s) to Comply:**

There are no outstanding Orders on file

**Building Permit(s) Issued:**

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m<sup>2</sup>

**Other Comments:**

<b>General Comments</b>	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
2	The subject lands may be subject to the Oak Ridges Moraine Conservation Act, RSO 2001.

**Conditions of Approval:**

If the committee finds merit in the application, the following conditions of approval are recommended.

\* Comments are based on the review of documentation supplied with this application.

**To:** Christine Vigneault, Committee of Adjustment Secretary Treasurer  
**From:** Nancy Tuckett, Director of Development Planning  
**Date:** January 3, 2024  
**Name of Owner:** Phil Campione – Quadcam Development Group  
**Location:** 77 Woodstream Boulevard  
**File No.(s):** A195/23

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**Proposed Variances (By-law 001-2021):**

1. The minimum indoor amenity area located within the ground floor and 2nd floor podium shall be 931 m<sup>2</sup>.

**By-Law Requirements (By-law 001-2021):**

1. The minimum indoor amenity area located within the ground floor and the 3rd floor podium shall be 931 m<sup>2</sup>.

**Proposed Variances (By-law 1-88):**

2. The minimum indoor amenity area located within the ground floor and 2nd floor podium shall be 931 m<sup>2</sup>.

**By-Law Requirements (By-law 1-88):**

2. The minimum indoor amenity area located within the ground floor and the 3rd floor podium shall be 931 m<sup>2</sup>.

**Official Plan:**

Vaughan Official Plan 2010 ('VOP 2010'): "High-Rise Mixed-Use".

**Comments:**

Two high-rise condominium towers ranging from 13-15 storeys in height and three (3) townhouse blocks consisting of three-storey townhouse units are permitted by Site Development Application File DA.15.072. The Owner is requesting relief to rearrange the location of the indoor amenity area within the towers' podium as part of a Site Plan Amendment application.

**Application History:**

The Subject Lands were subject to a site-specific appeal (Appeal #25) to VOP 2010. On June 27, 2010, the Owner filed an appeal with respect to the "General Employment" land use designation for the Subject Lands, requesting that it be re-designated to "Mid-Rise Mixed-Use".

In 2011, the Owner submitted Official Plan Amendment OP.11.003 and Zoning By-law Amendment Z.11.009 to re-designate and rezone the Subject Lands to permit a 13-storey and 15-storey residential apartment building connected by a 3-storey podium with 28 townhouse units and a total maximum density of 2.61 times the area of the lot.

On May 28, 2013, the Ontario Municipal Board ('OMB') now Ontario Land Tribunal ('OLT') approved the appeal with modified commitments of which included a minimum non-residential gross floor area of 1,054 m<sup>2</sup> within the development and a cash contribution for future trail works.

On September 27, 2018, Vaughan Council approved Official Plan Amendment OP.11.003 and Zoning By-law Amendment Z.11.009, along with Site Development Application File DA.15.072 to permit the development as noted above. Following Council's decision, the associated Official Plan Amendment (OPA 31 – File OP.11.003) and Zoning By-law Amendment (By-law 187-2020 – File Z.11.009) were enacted on

August 13, 2020. OPA 31 was enacted to re-designate the Subject Lands from “Mid-Rise Mixed Use” to “High-Rise Mixed-Use” and increase the maximum permitted building height from 10-storeys to 15-storeys and maximum FSI from 2.5 to 2.61 times the area of the lot.

In order to facilitate the development proposed in the current Site Plan Amendment application, relief from the site-specific Zoning By-law 187-2020 is required, specifically from Section 14.1129.4.2.f.i - Minimum indoor amenity area.

#### Analysis

The Development Planning Department has no objection to Variances 1 and 2 for the relocation of the indoor amenity area of 931.0 m<sup>2</sup> from the third floor to the second floor. The variances to the site-specific provisions will not result in any additional gross floor area and the proposed relocation does not reduce or supersede the overall amenity area required by By-law 187-2020, Section 14.1129.4.2.f.i. The relocation of the amenity area has been reviewed through the Site Development Application process and is considered appropriate for the greater development and is not anticipated to have adverse impacts to the overall functionality of the total development.

Accordingly, the Development Planning Department can support the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

#### **Recommendation:**

The Development Planning Department recommends approval of the application with the following condition of approval:

#### **Condition of Approval:**

If the Committee finds merit in the application, the following condition of approval is recommended:

1. That all comments on the Amendment to Site Development Application DA.15.072 be addressed to the satisfaction of the Development Planning Department.

#### **Comments Prepared by:**

Nicholas Del Prete, Planner I  
David Harding, Senior Planner

## Prabhdeep Kaur

---

**From:** Rajevan, Niranjan <Niranjan.Rajevan@york.ca>  
**Sent:** Wednesday, December 20, 2023 4:32 PM  
**To:** Pravina Attwala  
**Cc:** Committee of Adjustment  
**Subject:** [External] RE: A195/23 (77 WOODSTREAM BLVD) - REQUEST FOR COMMENTS

Hi Pravina,

The Regional Municipality of York has completed its review of the minor variance application – A195/23 (77 WOODSTREAM BLVD) and has no comment.

Please provide us with a copy of the notice of decision for our records.

Many thanks,

*Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.*

**Niranjan Rajevan, M.Pl.** | Associate Planner, Development Services, Planning and Economic Development, Corporate Services

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The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1  
1-877-464-9675 ext. 71521 | [niranjan.rajevan@york.ca](mailto:niranjan.rajevan@york.ca) | [www.york.ca](http://www.york.ca)  
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**SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE**

None

**SCHEDULE D: PREVIOUS COA DECISIONS ON THE SUBJECT LAND**

None