

ITEM: 6.7	COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A178/23 1 INGO COURT, WOODBRIDGE
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**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES:**

*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	General Comments w/conditions
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

PUBLIC & APPLICANT CORRESPONDENCE

*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant	Lidia & Salvatore Fasullo	7 Ingo court	11/22/23	Letter from neighbour providing permission to injure tree

PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

File Number	Date of Decision MM/DD/YYYY	Decision Outcome
None		

ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

None	
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**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A178/23
1 INGO COURT, WOODBRIDGE**

ITEM NUMBER: 6.7	CITY WARD #: 2
APPLICANT:	Giuseppina Cinelli
AGENT:	Great Room Inc. (George Shama)
PROPERTY:	1 Ingo Court, Woodbridge
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit a proposed cabana, location of ground mounted pool equipment and reduced landscaping requirements in the rear yard.

The following variances are being requested from the City's Zoning By-law to accommodate the above proposal:

The subject lands are zoned R1(EN) – First Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.663 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	A residential accessory structure with a height greater than 2.8 metres shall not be located closer than 2.4 m to any lot line. [Section 4.1.2 1. b.]	To permit a residential accessory structure (cabana) with a minimum rear yard of 1.22 metres.
2	A residential accessory structure with a height greater than 2.8 metres shall not be located closer than 2.4 m to any lot line. [Section 4.1.2 1. b.]	To permit a residential accessory structure (cabana) with a minimum interior side yard of 1.22 metres.
3	The maximum height of an accessory building and residential accessory structure shall be 3.0 metres. [Section 4.14 1.]	To permit a residential accessory structure with a maximum height of 3.22 metres.
4	The maximum encroachment permitted for ground mounted pool equipment is 1.5 metres into the required rear yard. [Table 4-1]	To permit a maximum encroachment of 5.06 metres for ground mounted pool equipment into the required 7.5 metres rear yard.
5	In a R1B Zone any portion of a yard in excess of 135.0 m ² shall be comprised of a minimum 60% soft landscape. [4.19.1 1.]	To permit a minimum of 50.6% of the rear yard in excess of 135.0m ² to be soft landscaping.

HEARING INFORMATION

DATE OF MEETING: Thursday, January 11, 2024
TIME: 6:00 p.m.
MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive
LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

HEARING INFORMATION

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT COMMENTS

Date Public Notice Mailed:	December 21, 2023	
Date Applicant Confirmed Posting of Sign:	December 18, 2023	
Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small>	Construction of a New Rear Yard Cabana	
Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	None	
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice. *A revised submission may be required to address staff / agency comments received as part of the application review process. *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>		No
Adjournment Fees: In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice. An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice.		
Committee of Adjustment Comments:	None	
Committee of Adjustment Recommended Conditions of Approval:	None	

BUILDING STANDARDS (ZONING) COMMENTS

**See Schedule B for Building Standards (Zoning) Comments

Building Standards Recommended Conditions of Approval:	None
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DEVELOPMENT PLANNING COMMENTS

**See Schedule B for Development Planning Comments.

Development Planning Recommended Conditions of Approval:	None
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DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#)
 [Link to Pool Permit](#)
 [Link to Curb Curt Permit](#)
 [Link Culvert Installation](#)

Due to the size of the proposed cabana on the subject property, which measures 29.7 m², the Owner/Applicant must acquire a Lot Grading Permit from the Development Inspection and Lot Grading Division of the City's Development Engineering Department. It's important note that any in-ground structure exceeding 10 m² necessitates a Grading Permit. Once the Grading Permit is obtained, please reach out to the Development Engineering Reviewer to clear the Condition imposed on this application. The proposed work by the Owner / Applicant is increasing the lot coverage on the subject property. The added hardscape may have impacts on the City's Storm Water management system. Development Engineering strongly encourages the Owner / Applicant introduce Low-Impact Development (LID) measures (e.g., bioswales, permeable pavers, rain gardens, rain barrels etc.) to reduce the impacts to the stormwater system. Should further information be required, please contact the Development Engineering COA reviewer. The Development Engineering Department does not object to the Minor Variance application A178/23, subject to the following condition(s):

Development Engineering Recommended Conditions of Approval:	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: Permits City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca
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PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

Conditions:

PFH Recommended Conditions of Approval:	<ol style="list-style-type: none"> 1. Applicant/owner shall supply an arborist report to the satisfaction of the forestry division. 2. Applicant/owner shall obtain a "Private Property Tree Removal & Protection" permit through the forestry division prior to any construction works on the subject property.
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DEVELOPMENT FINANCE COMMENTS

No comment no concerns.

Development Finance Recommended Conditions of Approval:	None
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BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

No comments received to date.

BCLPS Recommended Conditions of Approval:	None
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BUILDING INSPECTION (SEPTIC) COMMENTS

No comments received to date.

Building Inspection Recommended Conditions of Approval:	None
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FIRE DEPARTMENT COMMENTS

No comments received to date.

Fire Department Recommended Conditions of Approval:	None
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SCHEDULES TO STAFF REPORT

*See Schedule for list of correspondence

Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Staff & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Engineering Rex.bondad@vaughan.ca	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan’s website: Permits City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca
2	Parks, Forestry and Horticulture Operations zachary.quizzetti@vaughan.ca	<ol style="list-style-type: none"> 1. Applicant/owner shall supply an arborist report to the satisfaction of the forestry division. 2. Applicant/owner shall obtain a “Private Property Tree Removal & Protection” permit through the forestry division prior to any construction works on the subject property.

IMPORTANT INFORMATION – PLEASE READ

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City’s Development Charges By-law in effect at the time of payment.

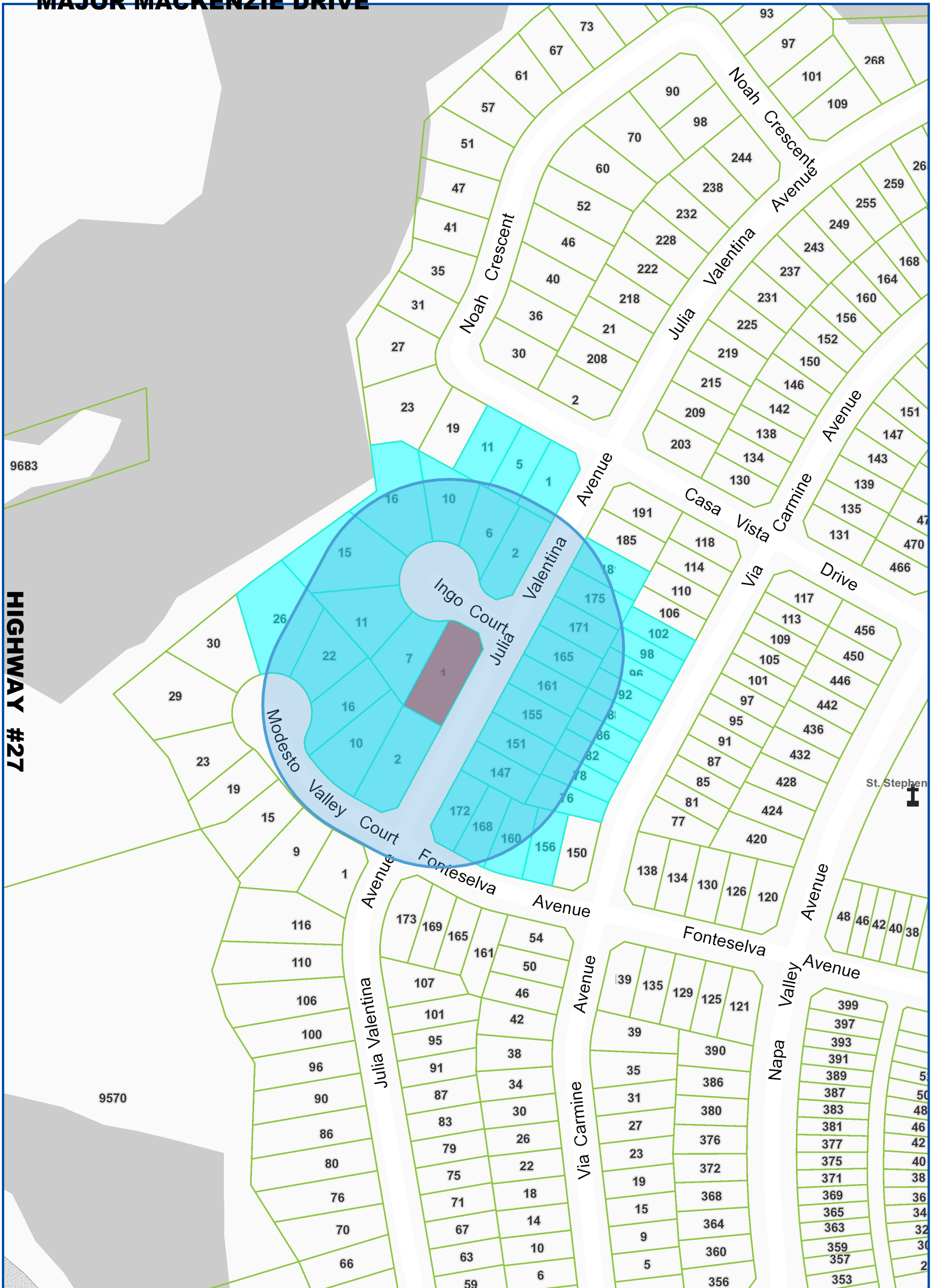
That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City’s Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

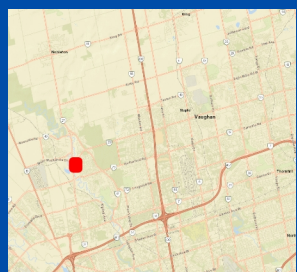
NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS

MAJOR MACKENZIE DRIVE



Map Information:



Title:

1 INGO COURT, WOBRIDGE

NOTIFICATION MAP - A178/23

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1:2,257

0 0.04 km



Created By:

Infrastructure Delivery
Department

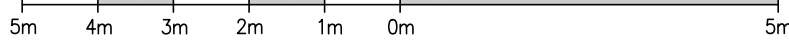
November 10, 2023 12:31 PM

Projection:
NAD 83
UTM Zone
17N

SITE PLAN & BUILDING STATISTICS

Lot 39
REG. PLAN 65M-3470
CITY of VAUGHAN
MUNICIPALITY of YORK

SCALE 1 : 100



METRIC

DISTANCES SHOWN ON THIS PLAN ARE IN METERS AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

GRADE CONDITION

PLEASE NOTE: ALL EXISTING CONTROL GRADES TO REMAIN UNCHANGED

CURB CUT NOTE

A SEPARATE PERMIT WILL BE OBTAINED FROM THE PUBLIC WORKS DEPARTMENT, PRIOR TO INSTALLATION AND/OR EXTENSION OF THE CURB CUT.

CONSTRUCTION NOTE

THE LOCATION OF ALL UNDERGROUND AND ABOVE GROUND UTILITIES AND STRUCTURES IS NOT NEARLY SHOWN ON THE CONTRACT DRAWINGS, AND WHERE SHOWN, THE ACCURACY OF THE LOCATION OF SUCH UTILITIES AND STRUCTURES IS NOT GUARANTEED. BEFORE WORK COMMENCES, THE CONTRACTOR SHALL VERIFY THE EXACT LOCATIONS OF ALL SUCH UTILITIES AND SHALL ASSUME THE LIABILITY FOR ALL DAMAGES.

SITING INFORMATION

ALL INFORMATION TAKEN FROM SITE PLAN DATED: JUNE 18TH 2001. ISSUED BY:

FLANAGAN BERESFORD & PATTESON ARCHITECTS
70 SILTON RD., UNIT 1
WOODBRIIDGE, ONTARIO
L4L 8B9
PH. 905.265.2688

SUMP PUMP NOTE

SUMP PUMP TO DISCHARGE TO CONCRETE SPLASH PAD OR OTHER APPROVED SOLID LANDSCAPE SURFACE.

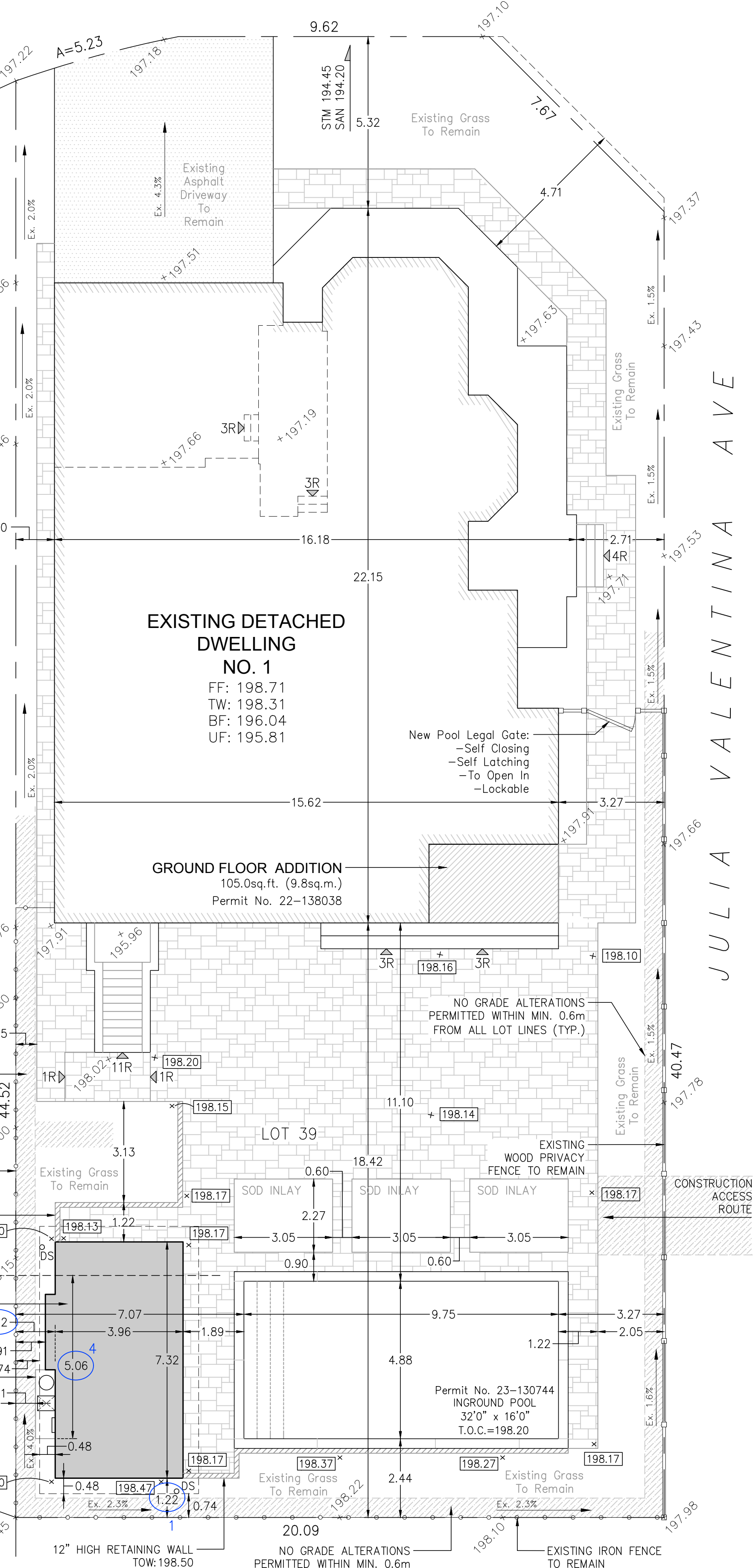
CITY OF VAUGHAN RESIDENTIAL LOT GRADING NOTES

- 1. ALL SITE PLANS, DRAWINGS AND CONSTRUCTION SHALL COMPLY WITH THE CITY OF VAUGHAN LOT GRADING CRITERIA, ENGINEERING STANDARDS, AND APPLICABLE PROVINCIAL STANDARDS, THE ONTARIO BUILDING CODE, SUBDIVISION AGREEMENT & BY-LAW'S UNLESS OTHERWISE APPROVED.
2. APPROVAL OF THIS SITE PLAN DOES NOT RELEASE THE BUILDER/APPLICANT/OWNER OF THEIR RESPONSIBILITIES TO ENSURE THE PROPOSED DRAINAGE WORKS ARE COMPATIBLE WITH THE OVERALL DRAINAGE WITHIN THE SUBDIVISION. PROPOSED LOT DRAINAGE SHALL NOT ADVERSELY AFFECT ADJACENT PROPERTIES.
3. ALTERATIONS TO EXISTING GRADES SHALL NOT BE PERMITTED WITHIN 600mm OF LOT LINES UNLESS SPECIFICALLY APPROVED AS PART OF THIS PERMIT. THE APPROVED GRADING/DRAINAGE PATTERN FOR THIS LOT/BLOCK SHALL BE MAINTAINED AND ALTERATIONS NOT APPROVED AS PART OF THIS PERMIT SHALL BE RESTORED BY THE BUILDER/APPLICANT/OWNER TO THE SATISFACTION OF THE CITY OF VAUGHAN.
4. SEDIMENTATION/SILTATION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND OFFSET A MIN. OF 600mm FROM LOT LINES. THESE MEASURES SHALL BE MAINTAINED IN ORDER TO PREVENT ADVERSEITY TO ADJACENT LANDS. REFER TO ATTACHED SAMPLE DRAWING.
5. BUILDER SHALL VERIFY EXISTING AND PROPOSED GRADE ELEVATIONS PRIOR TO CONSTRUCTION. FOOTINGS MUST BE A MIN. OF 1.22m BELOW FINISHED GRADE.
6. PROVIDE ELEVATION FOR: TOP OF FOUNDATION WALL, UNDERSIDE OF FOOTING, TOP OF BASEMENT FLOOR AND FINISHED FLOOR.
7. SHOW REVERSE VENEER WALL WHERE APPLICABLE.
8. SANITARY AND STORM INVERT ELEVATIONS SHALL BE SHOWN AT MAIN LATERAL CONNECTION AND AT PROPERTY LINE. CITY ENGINEERING DEPARTMENT/YORK REGION APPROVAL IS REQUIRED FOR SANITARY, STORM AND WATER BOX LOCATION AND INSTALLATION TO THE LOT LINE PRIOR TO CONSTRUCTION.
9. WATER, STORM AND SANITARY SERVICES THAT ARE TO BE REUSED OR DECOMMISSIONED ARE TO BE IDENTIFIED ON THE DRAWING.
10. DOWNSPOUTS OF RAIN WATER LEADERS SHALL DISCHARGE ONTO SPLASH PADS AND DRAIN TOWARDS STREET. SPLASH PADS SHALL OUTLET OVER SODDED LAND WHERE POSSIBLE TO ENCOURAGE INFILTRATION OF SURFACE RUNOFF.
11. HIGH POINT ON SPLIT LOT DRAINAGE TO BE A MIN. OF 2.0m BEHIND FRONT DOWNSPOUT TO ENSURE DRAINAGE TO STREET.
12. TOP OF FOUNDATION WALLS, EXTERIOR CLADDING, WINDOW AND DOOR SILLS SHALL BE A MIN. OF 150mm ABOVE FINISHED GRADE.
13. THE DESIGNER/CONSULTANT/ENGINEER/ARCHITECT IS RESPONSIBLE TO ENSURE THAT HEIGHT THICKNESS, LATERAL BRACING, ETC. OFF ALL FOUNDATION WALLS CONFORM TO OBC. OBC SUBSECTION 9.15.4 SHALL APPLY.
14. ALL FRONT AND REAR YARDS SHALL BE GRADED AT A 2%-5% GRADIENT WITHIN 5.0m OF THE BUILDING.
15. DRAINAGE SWALES SHALL BE A 2%-5% GRADE WITH A MIN. SWALE DEPTH IS 250mm. MIN. SWALE DEPTH IS 150mm. MAX. SWALE DEPTH IS VARIABLE AND DEPENDS ON LOCATION AND SAFETY CONSIDERATIONS, BUT MUST NOT EXCEED 450mm.
16. CENTERLINE OF SWALES SHALL BE LOCATED 600mm FROM LOT LINES UNLESS OTHERWISE APPROVED.
17. CENTERLINE OF SWALES MUST NOT BE LOCATED LESS THAN 600mm FROM ANY FOUNDATION WALL.
18. ARTIFICIAL EMBANKMENTS AND/OR RETAINING WALLS SHALL NOT BE PERMITTED UNLESS APPROVED AS PART OF THIS PERMIT. THE MAX. EMBANKMENT SLOPE SHALL BE 3:1 (HORIZONTAL TO VERTICAL) WITH A MAX. GRADE DIFFERENTIAL OF 600mm.
19. PROPOSED RETAINING WALLS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF VAUGHAN LOT GRADING CRITERIA AND BY-LAW'S. RETAINING WALLS EXCEEDING 1.0m IN HEIGHT SHALL BE DESIGNED, INSPECTED AND CERTIFIED BY A PROFESSIONAL ENGINEER AND SHALL BE SERVED BY GUARDS OR OTHERWISE TREATED TO REDUCE ANY PUBLIC HAZARD. ALL RETAINING WALLS SHALL BE CONSTRUCTED OF STONE, PRECAST BLOCKS OR CONCRETE. THE RETAINING WALL SHALL EXCEED 1.0m IN HEIGHT MUST BE SETBACK FROM THE NEAREST PROPERTY LINE OR DISTANCE OR DISTANCE EQUAL TO ITS HEIGHT.
20. DRIVEWAY GRADES SHALL BE 1.5%-8% AND COMPATIBLE WITH APPROVED SIDEWALK GRADES. BOULEVARD GRADES SHALL BE 2%-5%.
21. DRIVEWAYS SHALL BE A MIN. 1.0m FROM ANY TREE, CATCH BASIN OR ABOVE GROUND UTILITY OR OTHER OBSTRUCTION.
22. WATER SERVICE STOPS ARE TO BE LOCATED IN THE GRASS PORTION OF THE FRONT YARD, AS PER TOWN STANDARDS.
23. DRIVEWAYS, CURB CUTS AND DRIVEWAY CULVERTS SHALL BE LOCATED, APPROVED AND CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY ENGINEERING DEPARTMENT, YORK REGION AND BY-LAW'S. A SEPARATE PERMIT IS REQUIRED FROM THE CITY'S ENGINEERING/PUBLIC WORKS DEPARTMENT FOR CURB CUTS AND/OR PROPOSED CULVERTS.
24. FOOTINGS CONSTRUCTED NEXT TO CATCH BASIN/LEAD PIPE OR OTHER MUNICIPAL SERVICE SHALL BE INSPECTED BEFORE LEAD PIPE EXCAVATION. FOOTINGS MUST BE CONSTRUCTED ON UNDISTURBED SOIL OR SOIL CONSULTANTS VERIFICATION REQUIRED.
25. IF THE PROPOSED CONSTRUCTION IS IN THE AREA OF FILL A PROFESSIONAL ENGINEER IS TO INSPECT THE EXCAVATION AND CERTIFY THE STABILITY AND BEARING CAPACITY OF THE SOIL PRIOR TO CONSTRUCTION.
26. PRIOR TO LETTER OF CREDIT RELEASE THE OWNER SHALL SUBMIT AN AS-BUILT SURVEY ILLUSTRATING BOTH PROPOSED AND AS CONSTRUCTED GRADE ELEVATIONS. A STORM WATER MANAGEMENT REPORT AUTHORED BY PROFESSIONAL ENGINEER AND/OR LOT GRADING CERTIFICATION BY A PROFESSIONAL ENGINEER OR ONTARIO LAND SURVEYOR SHALL BE SUBMITTED TO THE CITY UPON THEIR REQUEST.
27. POST CONSTRUCTION FLOWS, FROM A 5 YEAR STORM FREQUENCY, SHALL NOT EXCEED THE FLOWS FOR THE PRECONSTRUCTION CONDITIONS. FOR THE SAME STORM FREQUENCY IT IS DEMONSTRATED TO THE SATISFACTION OF THE CITY THAT CONTROLLED FLOWS WILL NOT ADVERSELY AFFECT THE EXISTING DRAINAGE PATTERNS (THESE FLOWS SHALL BE COMPUTED USING THE RATIONAL METHOD ONLY).
28. THE BUILDING SHALL BE LOCATED OR THE BUILDING SITE GRADED SO THAT THE WATER WILL NOT ACCUMULATE AT OR NEAR THE BUILDING AND WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES." OBC 9.14.6.1.(1)
29. TRCA APPROVAL REQUIRED WHERE GRADE CHANGES WILL OCCUR AT WATERCOURSE, OPEN CHANNEL, SWALE OR DITCH USED TO DRAIN LAND.

CITY OF VAUGHAN LOT GRADING NOTES - POOL PERMIT

- 1. TO INITIATE REVIEW PROCESS, THE LOT MUST BE CERTIFIED FOR GRADING IN UNASSUMED SUBDIVISION. FAILING THE ABOVE, AN APPROVED GRADING PLAN MUST BE SUBMITTED BY THE DEVELOPERS CONSULTING ENGINEER.
2. ALL SITE PLANS, DRAWINGS AND CONSTRUCTION SHALL COMPLY WITH THE CITY OF VAUGHAN LOT GRADING CRITERIA, SUBDIVISION AGREEMENT AND BY-LAW'S.
3. ALTERATIONS TO EXISTING GRADES SHALL NOT BE PERMITTED WITHIN 600mm OF LOT LINES. THE APPROVED GRADING/DRAINAGE PATTERN FOR THIS LOT SHALL BE MAINTAINED AND ALTERATIONS NOT APPROVED AS PART OF THIS PERMIT SHALL BE RESTORED BY THE BUILDER/APPLICANT/OWNER TO THE SATISFACTION OF THE CITY. CONSTRUCTION/GRADING NOT IN CONFORMANCE WITH THE CITY OF VAUGHAN LOT GRADING CRITERIA OR APPLICATION SUBDIVISION AGREEMENT SHALL BE RESTORED BY THE PROPERTY OWNER TO THE SATISFACTION OF THE CITY, CONSULTANT, DEVELOPER AND/OR BUILDER.
4. UNLESS SPECIFICALLY APPROVED BY THIS PERMIT, GRADING SHALL NOT BE ALTERED FOR ANY OF THE FOLLOWING: EXISTING NATURAL OR ARTIFICIAL WATERCOURSE, OPEN CHANNEL, SWALE OR DITCH USED TO DRAIN THE LAND, CATCHBASIN OR INFILTRATION TRENCH LOCATED ON THE PRIVATE PROPERTY.
5. NO ALTERATIONS TO CITY PROPERTY IS PERMITTED UNLESS APPROVED BY THE CITY OF VAUGHAN PUBLIC WORKS AND/OR DEVELOPMENT ENGINEERING DEPARTMENTS.
6. PROPOSED RETAINING WALLS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF VAUGHAN LOT GRADING CRITERIA AND BY-LAW'S. RETAINING WALLS ARE REQUIRED TO BE SETBACK MIN. 0.6m FROM PROPERTY LINES. IF GREATER THAN 1.0m IN HEIGHT, RETAINING WALLS MUST BE SETBACK A DISTANCE EQUAL TO ITS HEIGHT. WHERE THE WALL IS GREATER THAN 1M AND RETAINS GRADE, A 1.2M HIGH CHAINLINK FENCE OR APPROVED SAFETY GUARD AS PER THE LATEST EDITION OF THE OBC ARE REQUIRED AND THE WALL MUST BE CERTIFIED BY A PROFESSIONAL ENGINEER.
7. POOL DISCHARGE MUST NOT ADVERSELY AFFECT ADJACENT PROPERTIES.
8. SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND OFFSET A MIN. OF 600mm FROM LOT LINES. REFER TO ATTACHED SAMPLE DRAWING.
9. THIS PERMIT HAS NOT BEEN REVIEWED FOR THE CONSTRUCTION OF THE POOL AND FOR ANY POOL DESIGN LOADS EXERCISED ONTO NEARBY BUILDINGS OR STRUCTURES (INCLUDING RETAINING WALLS OR DECORATIVE WALLS, DWELLING, CATCHBASIN LEAD PIPE, ETC.). THE OWNER, AT THEIR EXPENSE, IS RESPONSIBLE TO RETAIN A PROFESSIONAL ENGINEER TO DESIGN, INSPECT AND CERTIFY THE SAME, WHERE REQUIRED.
10. AS PART OF THE PERMIT REVIEW PROCESS, CITY OF VAUGHAN STAFF WILL REQUIRE ACCESS TO THE PROPERTY TO TAKE PHOTOS ALONG SIDE AND REAR LOT LINES OF THE PROPERTY BEFORE AND AFTER CONSTRUCTION IN ORDER TO CONFIRM THAT GRADES HAVE REMAINED UNALTERED.
11. FAILING TO THE TERMS AND CONDITIONS OF THE APPROVED PERMIT MAY RESULT IN HOLD BACK OF LETTER OF CREDIT FUNDS.

INGO COURT



LANDSCAPE AREA SUMMARY table with columns: LOT AREA, TOTAL PERVIOUS GRASS AREA, PROPOSED REAR YARD SOFT LANDSCAPE AREA, IMPERVIOUS AREA, and sub-totals for existing and proposed areas.

Project: NEW RESIDENTIAL ADDITION
1 INGO COURT, WOODBRIDGE, ONTARIO
CITY OF VAUGHAN
Proposed Cabana
Scale: 1:100
Date: OCT 12/2023
Drawn By: GS
Area: N.A.
Drawing No: S-1
Ownership: MRS. GIUSEPPINA CINELLI

GREAT ROOM INC. logo and contact information: www.greatroom.ca, Tel. No. (416) 627-2394, DESIGN - CONSULT - MANAGE. Includes registration information for George Shama and Great Room Inc.

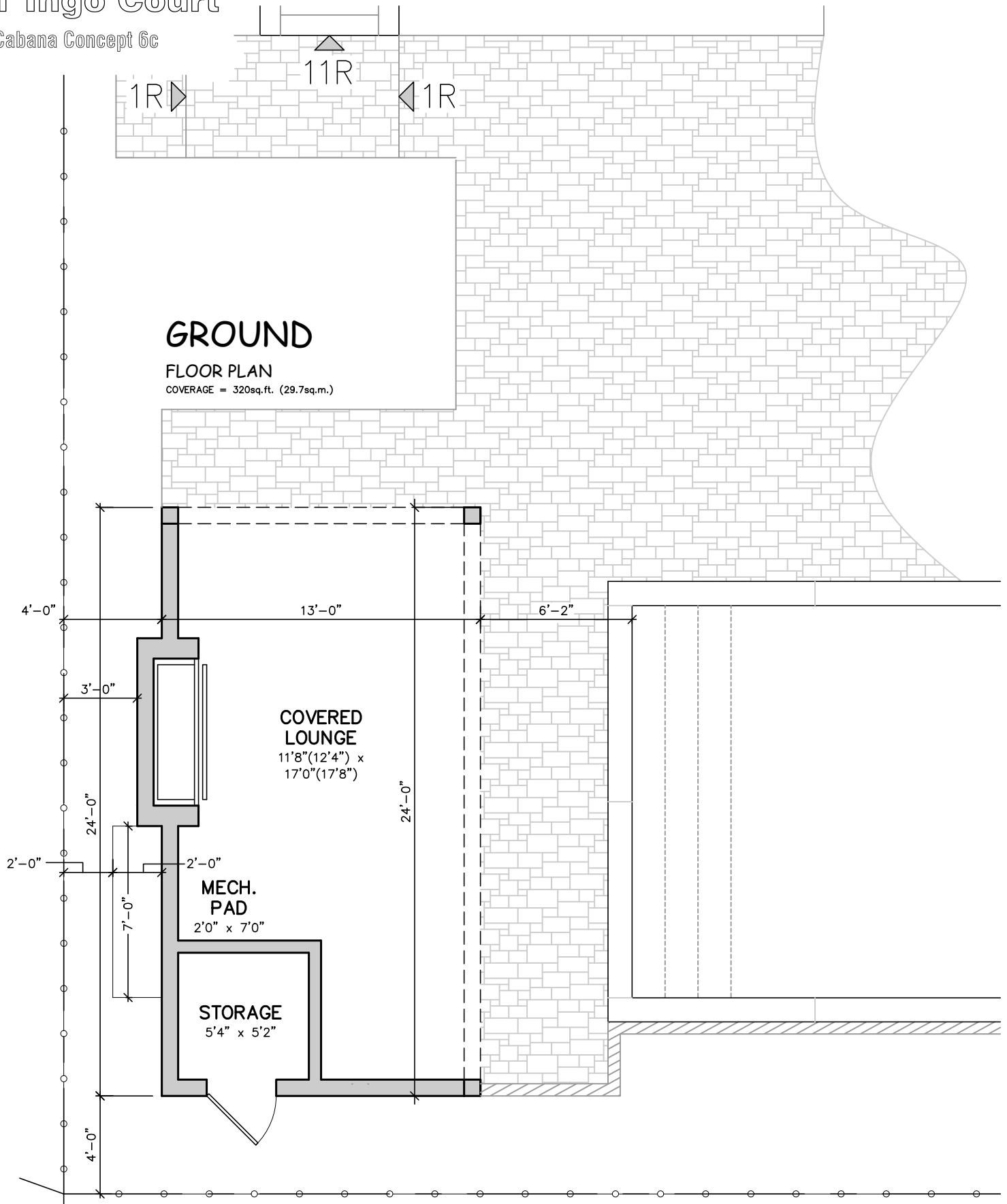
ZONING SUMMARY table with columns: LOT FRONTAGE, LOT AREA, FRONT YARD SETBACK, SIDE YARD SETBACK, REAR YARD SETBACK, MAX. LOT COVERAGE, MAX. BUILDING HEIGHT, MIN. FRONT SOFT LANDSCAPE AREA, MIN. REAR SOFT LANDSCAPE AREA, CABANA, and VARIANCE NO. with required and proposed values.

REVISIONS table with columns: NO., DATE, REVISION. Lists 7 revisions from 11/8/2023 to 10/30/2023, including minor variance applications and permit issuances.

LEGEND table defining symbols for survey monuments, iron bars, concrete pins, utility poles, hydro transformers, manholes, culverts, downspouts, light standards, catch basins, and various elevations (finished floor, top of foundation, basement floor, underside of footing, top of roof).

1 Ingo Court

Cabana Concept 6c



GROUND

FLOOR PLAN

COVERAGE = 320sq.ft. (29.7sq.m.)

COVERED LOUNGE

11'8" (12'4") x
17'0" (17'8")

MECH. PAD

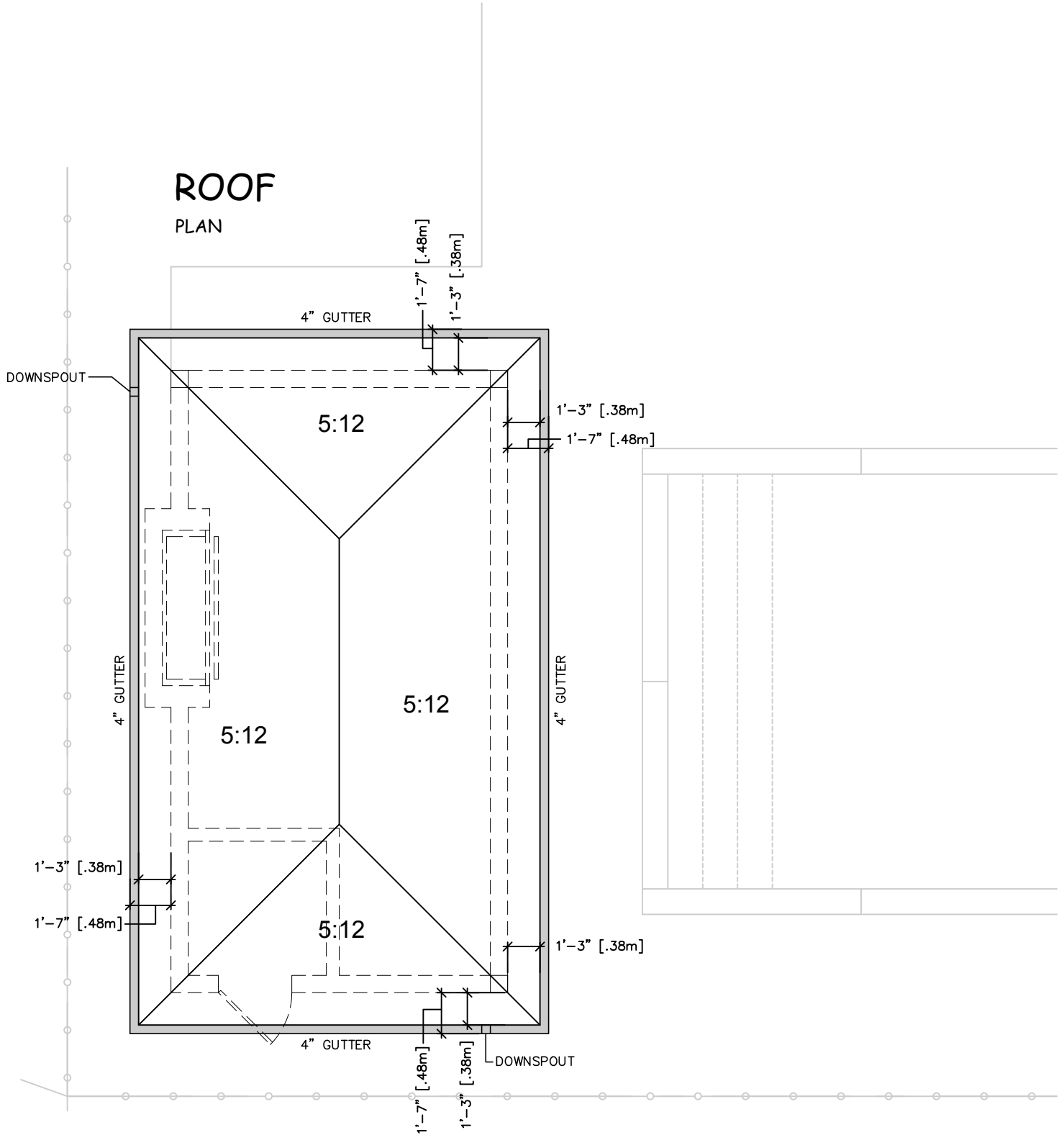
2'0" x 7'0"

STORAGE

5'4" x 5'2"

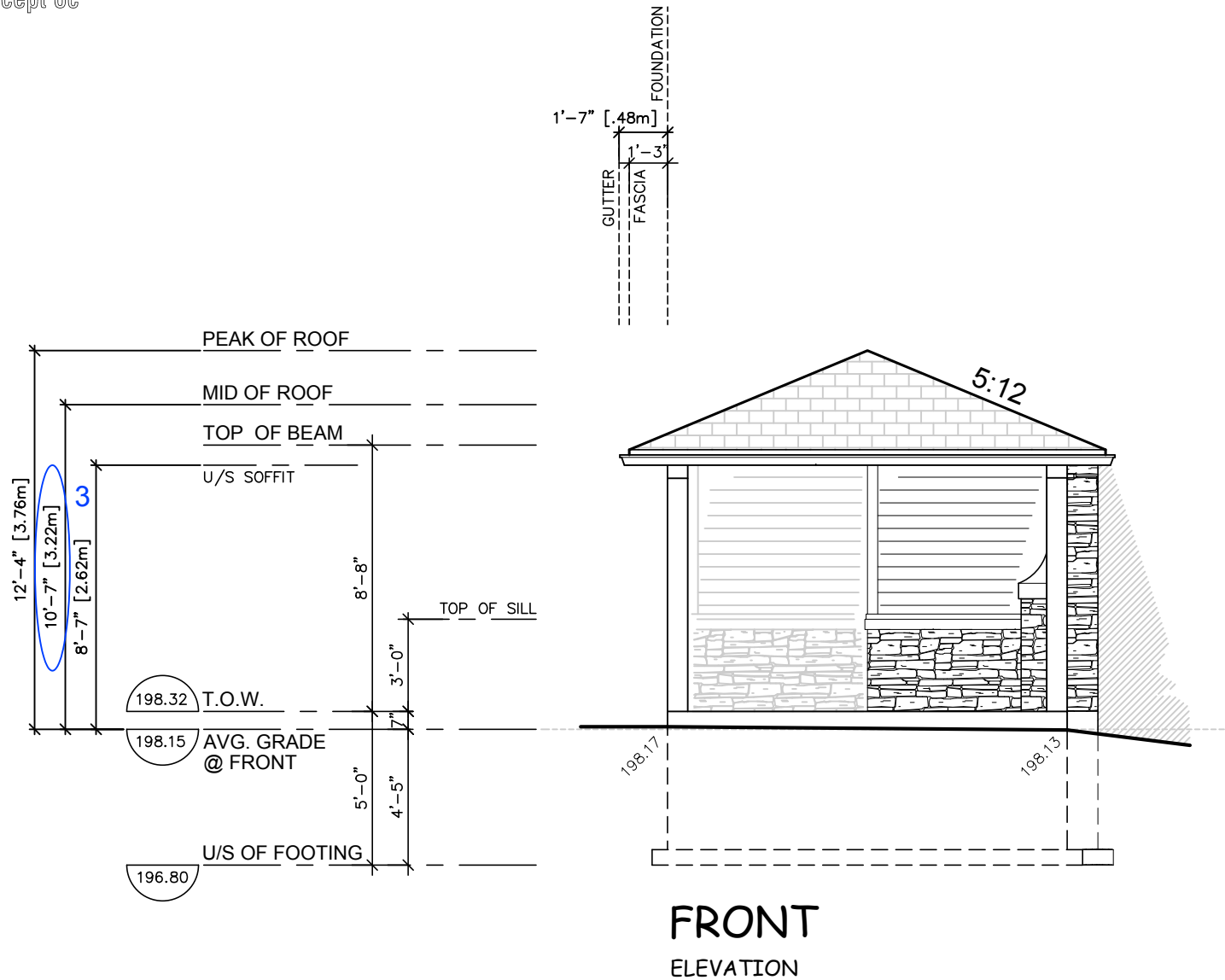
1 Ingo Court

Cabana Concept 6c



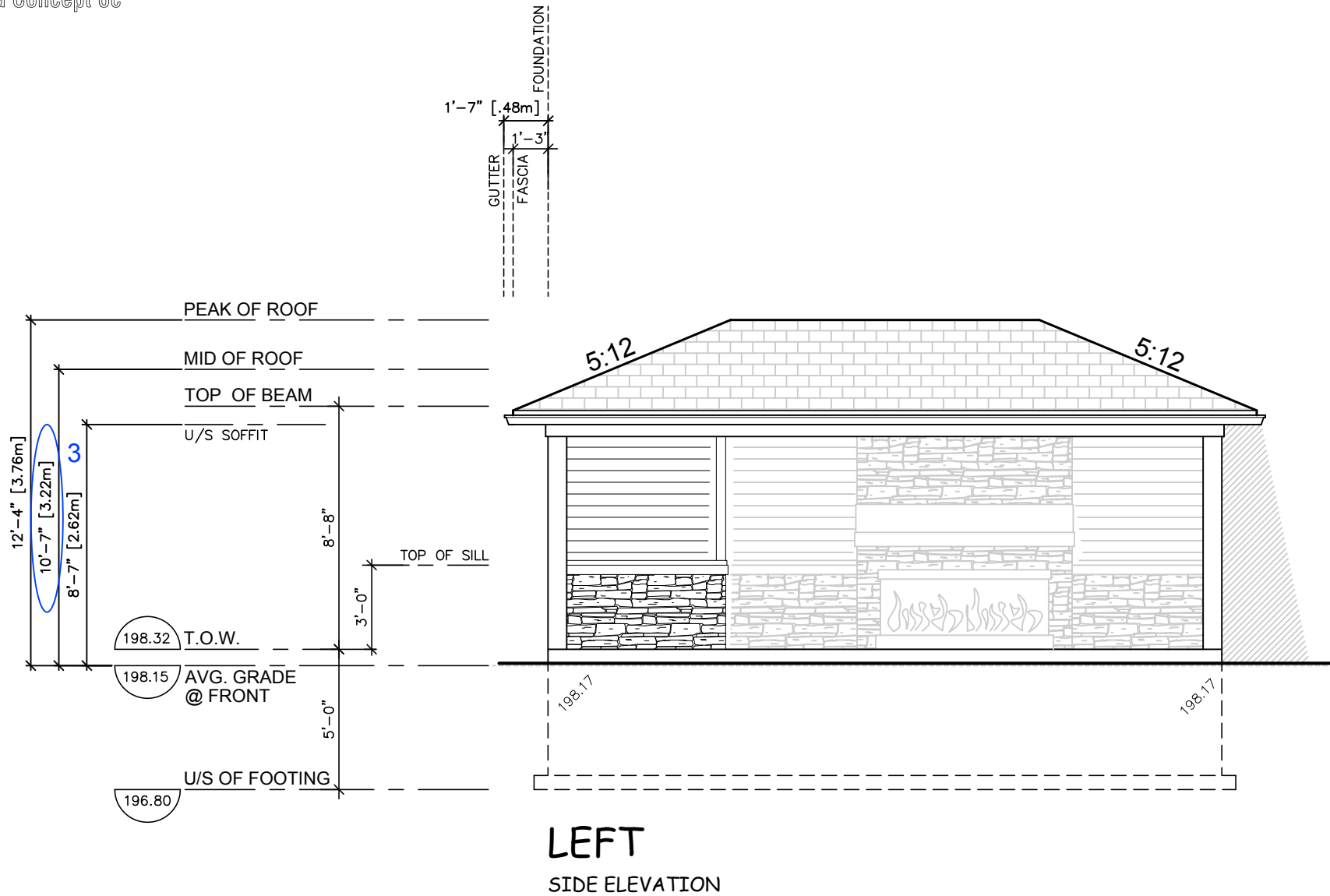
1 Ingo Court

Cabana Concept 6c



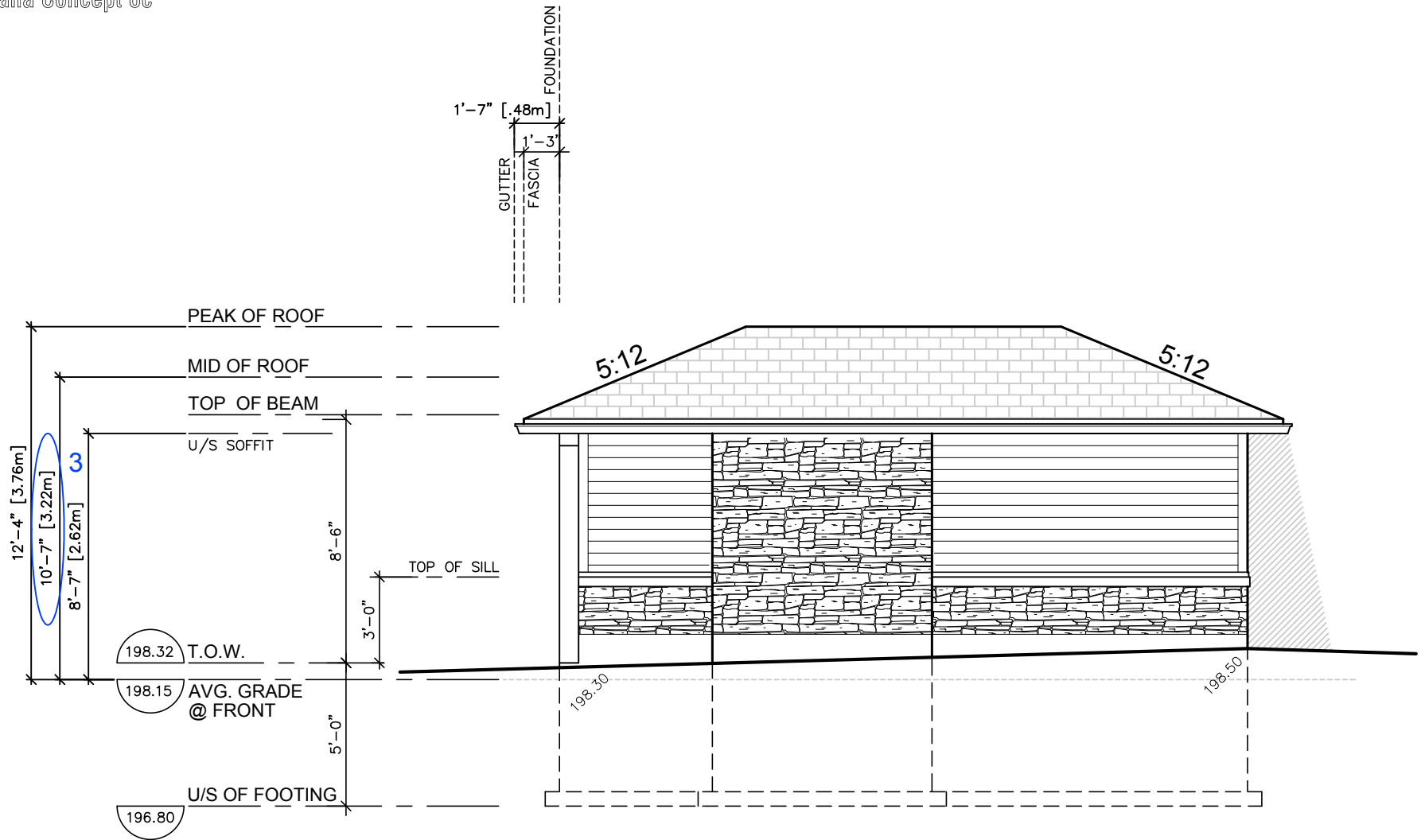
1 Ingo Court

Cabana Concept 6c



1 Ingo Court

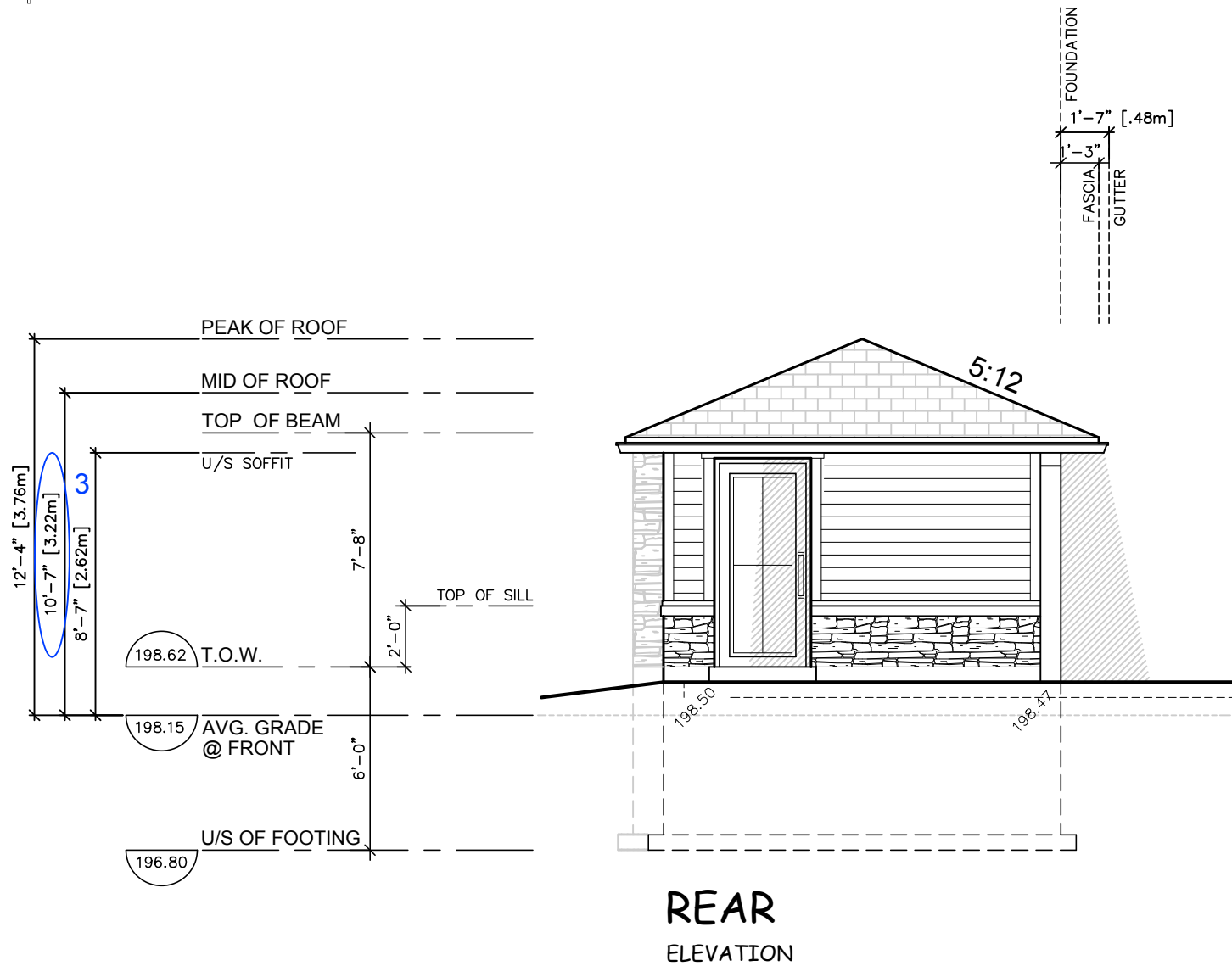
Cabana Concept 6c



RIGHT
SIDE ELEVATION

1 Ingo Court

Cabana Concept 6c



SCHEDULE B: STAFF & AGENCY COMMENTS				
DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Ministry of Transportation (MTO) *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York *Schedule B	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra *Schedule B	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB *Schedule B	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
CN Rail *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline *Schedule B	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Building Standards (Zoning)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments

Date: November 7th 2023

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A178-23**

Related Files:

Applicant Great Room Inc.

Location 1 Ingo Court



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

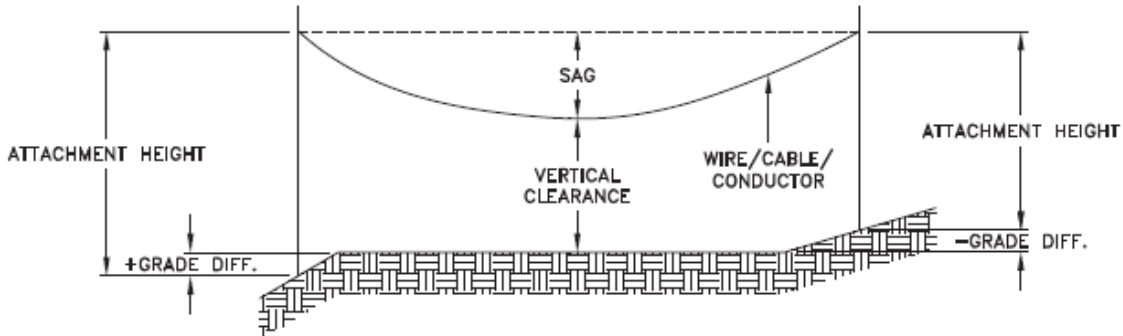
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

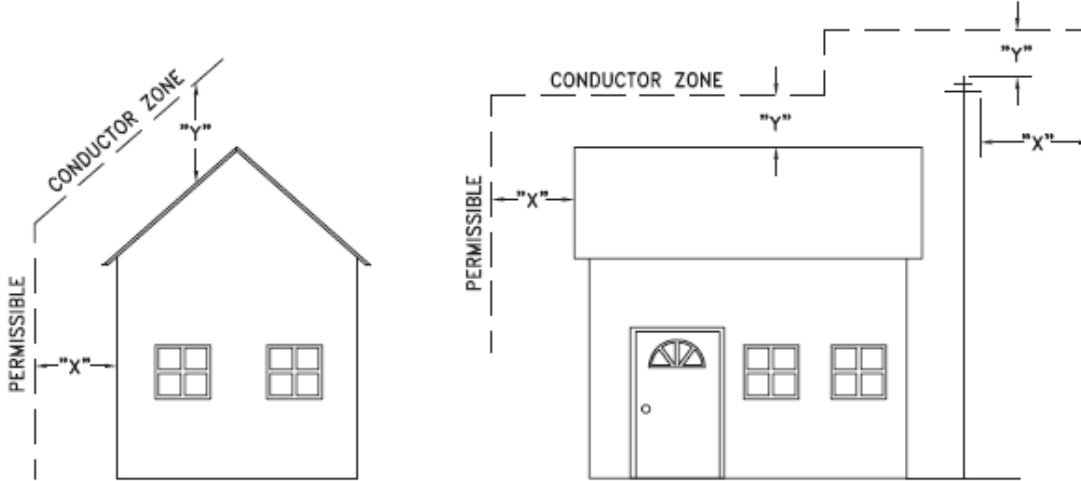
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

To: Committee of Adjustment
From: Christian Tinney, Building Standards Department
Date: December 13, 2023
Applicant: Great Room Inc.
Location: 1 Ingo Court
 PLAN 65M3470 Lot 39
File No.(s): A178/23

Zoning Classification:

The subject lands are zoned R1(EN) – First Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.663 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	A residential accessory structure with a height greater than 2.8 metres shall not be located closer than 2.4 m to any lot line. [Section 4.1.2 1. b.]	To permit a residential accessory structure (cabana) with a minimum rear yard of 1.22 metres.
2	A residential accessory structure with a height greater than 2.8 metres shall not be located closer than 2.4 m to any lot line. [Section 4.1.2 1. b.]	To permit a residential accessory structure (cabana) with a minimum interior side yard of 1.22 metres.
3	The maximum height of an accessory building and residential accessory structure shall be 3.0 metres. [Section 4.14 1.]	To permit a residential accessory structure with a maximum height of 3.22 metres.
4	The maximum encroachment permitted for ground mounted pool equipment is 1.5 metres into the required rear yard. [Table 4-1]	To permit a maximum encroachment of 5.06 metres for ground mounted pool equipment into the required 7.5 metres rear yard.
5	In a R1B Zone any portion of a yard in excess of 135.0 m ² shall be comprised of a minimum 60% soft landscape. [4.19.1 1.]	To permit a minimum of 50.6% of the rear yard in excess of 135.0m ² to be soft landscaping.

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file.

Building Permit(s) Issued:

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m².

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development Planning
Date: January 3, 2023
Name of Owner: Giuseppina Cinelli
Location: 1 Ingo Court
File No.(s): A178/23

Proposed Variance(s) (By-law 001-2021):

1. To permit a residential accessory structure (cabana) with a minimum rear yard of 1.22 m.
2. To permit a residential accessory structure (cabana) with a minimum interior side yard of 1.22 m.
3. To permit a residential accessory structure with a maximum height of 3.22 m.
4. To permit a maximum encroachment of 5.06 m for ground mounted pool equipment into the required 7.5 m rear yard.
5. To permit a minimum of 50.6% of the rear yard in excess of 135.0 m² to be soft landscaping.

By-Law Requirement(s) (By-law 001-2021):

1. A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line.
2. A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line.
3. The maximum height of an accessory building and residential accessory structure shall be 3.0 m.
4. The maximum encroachment permitted for ground mounted pool equipment is 1.5 m into the required rear yard.
5. In a R1B Zone any portion of a yard in excess of 135.0 m² shall be comprised of a minimum 60% soft landscape.

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Comments:

The Owner is requesting relief to permit the proposed cabana, pool equipment, and rear yard hard landscaping, with the above-noted variances.

Upon recommendations from the Development Planning Department, the Owner has revised their application to reduce the height of the cabana. The Development Planning Department has no objection to Variances 1, 2 and 3 for the proposed rear yard setback, interior side yard setback and height of the cabana. The cabana will have a hip roof design and a height of 3.22 m when measured to the mid-point of the roof. The hip roof design will mitigate the increased height of the cabana and adverse massing impacts to the neighbouring properties are not anticipated. Through the hip roof design, an inclined shingled roof is presented to the neighbouring properties to the west and south, which is less mass than a gable roof design. The requested rear and interior side yard setbacks will maintain an appropriate area for maintenance access and provide sufficient spatial separation between the cabana and the lot lines to mitigate the height of the cabana. As such, the cabana is not anticipated to pose adverse use, privacy, or massing impacts to the neighbouring properties.

The Development Planning Department has no objection to Variance 4 for the proposed pool equipment. The proposal maintains sufficient area for access and maintenance and is not anticipated to adversely impact the neighbouring properties. The Development Engineering Department has also reviewed the proposal and is satisfied that drainage will be maintained.

Upon recommendations from the Development Planning Department, the Owner revised their application to provide for additional rear yard soft landscaping. The Development

Planning Department has no objection to Variance 5 as the reduction in soft landscaping is minor in nature and will maintain an appropriate balance of soft landscaping to facilitate drainage, reduce urban heat island effects, and facilitate the establishment of vegetation. The Development Engineering Department has also reviewed the proposal and is satisfied that drainage in the rear yard will be maintained.

In support of the application, the Owner has submitted an Arborist Report and Tree Protection Plan prepared by Green Bird Horticultural Ltd., dated November 29, 2023. The report inventoried 12 trees, none of which are proposed to be removed. Urban Design staff have reviewed the report and concur with its recommendations.

Accordingly, the Development Planning Department can support the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None

Comments Prepared by:

Joshua Cipolletta, Planner
David Harding, Senior Planner

Prabhdeep Kaur

From: Kristen Regier <Kristen.Regier@trca.ca>
Sent: Wednesday, November 8, 2023 10:45 AM
To: Committee of Adjustment
Subject: [External] RE: A178/23 - 1 Ingo Court , Woodbridge - REQUEST FOR COMMENTS, CITY OF VAUGHAN

Hello,

The subject property at 1 Ingo Court, Vaughan is not located within TRCA's Regulated Area. TRCA's Planning and Regulatory policy interests are not impacted.

As such, TRCA has no comments on the application.

Best,

Kristen Regier, MA (she / her)

Planner I

Development Planning and Permits | Development and Engineering Services
Toronto and Region Conservation Authority (TRCA)

T: [437-880-2129](tel:437-880-2129)

E: kristen.regier@trca.ca

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca) | [trca.ca](https://www.trca.ca)



Lenore Providence

From: Karyn McAlpine-Tran <karyn.mcalpine-tran@ycdsb.ca>
Sent: November-07-23 3:56 PM
To: Committee of Adjustment
Subject: [External] A178/23 - 1 Ingo Court , Woodbridge - REQUEST FOR COMMENTS, CITY OF VAUGHAN

Hello,

Thank you for the opportunity to review the above referenced Committee of Adjustment application. Staff have reviewed the material provided and have no comments or objections to its approval.

Thank you,
Karyn

Karyn McAlpine-Tran
Senior Planner
Planning Services

York Catholic District School Board
320 Bloomington Road West
Aurora, ON L4G 0M1

Phone: 905-713-1211 ext.12329
Email: karyn.mcalpine-tran@ycdsb.ca

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Lenore Providence

Subject: FW: [External] FW: A178/23 - 1 Ingo Court , Woodbridge - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Attachments: APPPLANS_A178_23.pdf; COMBLDG_A178_23.pdf; APPINFO_A178_23.xls

From: Ahmed, Maryam <Maryam.Ahmed@york.ca>
Sent: November-21-23 3:40 PM
To: Committee of Adjustment <CofA@vaughan.ca>
Subject: [External] FW: A178/23 - 1 Ingo Court , Woodbridge - REQUEST FOR COMMENTS, CITY OF VAUGHAN

Hello,

The Regional Municipality of York has completed its review of A178/23 - 1 Ingo Court and has no comments. Please provide a copy of the notice of decision.

Thank you,

Maryam Ahmed, B.U.R.PL. | Associate Planner, Development Services, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 x74528 | maryam.ahmed@york.ca | www.york.ca

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SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant	Lidia & Salvatore Fasullo	7 Ingo court	11/22/23	Letter from neighbour providing permission to injure tree

RECEIVED

By attwalap at 11:32 am, Dec 11, 2023

A178/23

Lidia & Salvatore Fasullo
7 Ingo Court
Woodbridge, ON L4H 1Z1

Giuseppina & Albert Cinelli
1 Ingo Court
Woodbridge, ON L4H 1Z1

November 22, 2023

Dear Albert,

With regards to your proposed Cabana and Pool Mechanical construction plans and how it will affect our trees, this letter is to confirm that we give you permission to injure the tree (excavation activity taking place within the tree protection zone).

We highlight the following mitigation efforts that you have agreed to undertake:

- Deep root fertilization of the trees on your property and ours, post-construction
- You will cover any costs associated with construction damage to our tree that arise over the next 2 years
- You will abide by all regulations and recommendations contained in the Arborist Report that you have provided to us

Sincerely,



Signature(s)

Ladia &/OR Salvatore Fasullo

SCHEDULE D: PREVIOUS COA DECISIONS ON THE SUBJECT LAND

None