

ITEM: 6.3	COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A147/23 16 OBAN AVENUE, MAPLE
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**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES:**

*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Partial Approval/No Conditions
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

PUBLIC & APPLICANT CORRESPONDENCE

*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

File Number	Date of Decision MM/DD/YYYY	Decision Outcome

PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

None		
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ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

None	
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**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A147/23
16 OBAN AVENUE, MAPLE**

ITEM NUMBER: 6.3	CITY WARD #: 1
APPLICANT:	Slavka & Zoran Kapor
AGENT:	Gama Engineering Inc.
PROPERTY:	16 Oban Avenue, Maple
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit an addition to the existing dwelling (located on existing deck), two proposed residential accessory structures (sheds) to be located in the rear yard and an existing shed located in the exterior side yard.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R3(EN) – Third Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.532 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	An accessory building or residential accessory structure shall not be located closer to a front lot line or an exterior side lot line than the principal building on the lot, except where explicitly permitted by this Bylaw. Section 4.1.2 c	To permit two residential accessory structures to be located closer to the exterior side lot line than the principal building.
2	A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line. Section 4.1.2 b	To permit the residential accessory structure with a height greater than 2.8m to be located 0.76m from the rear lot line.
3	The minimum required exterior side yard setback for the residential accessory structure (ex-shed) is 4.5m. Section 4.1.2 a	To permit a minimum required exterior side yard setback of 0.61m for the residential accessory structure.
4	The maximum permitted height for a residential accessory structure is 3.0m. Section 4.1.4 1	To permit a maximum height of 3.5m for the residential accessory structure. (Double shed at rear)
5	The minimum required rear yard setback for the addition is 9.0m. Exception 14.532, Schedule T092	To permit a minimum rear yard setback of 6.03m for the addition.

HEARING INFORMATION

DATE OF MEETING: Thursday, January 11, 2024
TIME: 6:00 p.m.
MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive
LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

HEARING INFORMATION

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT COMMENTS

Date Public Notice Mailed:	December 21, 2023
Date Applicant Confirmed Posting of Sign:	December 11, 2023
Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small>	The owner would like to have more living and storage space
Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	<p>On November 21, 2023, Development Planning provided:</p> <p>Development Planning has now completed our review of the application and have some concerns with the proposal as shown. We have concerns with the proximity of the structures to the exterior side lot line as the structures have public exposure on both streets and will have negative massing impacts on both the streetscape and the neighbouring property. We recommend removal of the one structure that is closest to the exterior side yard. We would also be open to reviewing a proposal for the relocation of the structures to be located more centrally in the rear yard, which would assist in mitigating this impact. However, recognizing that this is an existing condition I am not sure if that would be a feasible option to explore.</p> <p>Our Urban Design division has provided the attached comments with similar concerns for your review.</p> <p>On November 28, 2023, Development Planning provided:</p> <p>Urban Design has confirmed that the existing setbacks are not sufficient to provide vegetative screening due to the concrete pad located under the accessory structure and the gravel between the concrete pad and the exterior and rear lot lines. Urban Design has confirmed that vegetative screening will require a minimum of 1.2 m of soil in order to ensure that trees are healthy and will not die. In addition, Urban Design has confirmed that vegetative screening will require a minimum of 2 m of height. In addition to the insufficient setbacks for providing adequate screening, the existing eaves of the accessory structure would interrupt the clearance of any trees that could be planted in this location if there was enough space to plant.</p> <p>As such, Development Planning recommends removal of the one structure that is closest to the exterior side yard. We</p>

COMMITTEE OF ADJUSTMENT COMMENTS

	<p>would also be open to reviewing a proposal for the relocation of the structures to be located more centrally in the rear yard, which would assist in mitigating this impact.</p> <p>On November 29, 2023, Development Planning provided:</p> <p>Unfortunately, a float roof will not address the insufficient exterior and rear yard setbacks. As previously mentioned, Urban Design has confirmed that the existing setbacks are not sufficient to provide vegetative screening due to the concrete pad located under the accessory structure and the gravel between the concrete pad and the exterior and rear lot lines. Urban Design has confirmed that vegetative screening will require a minimum of 1.2 m of soil in order to ensure that trees are healthy and will not die.</p> <p>On December 6, 2023, the applicant confirmed that they will proceed to the Committee of Adjustment hearing.</p>
<p>Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:</p> <p>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</p> <p>*A revised submission may be required to address staff / agency comments received as part of the application review process.</p> <p>*Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</p>	No
<p>Adjournment Fees:</p> <p>In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice.</p> <p>An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice.</p>	
<p>Committee of Adjustment Comments:</p>	Should the application be adjourned from the January 11, 2024 hearing, an Adjournment Fee is required to reschedule the application.
<p>Committee of Adjustment Recommended Conditions of Approval:</p>	None

BUILDING STANDARDS (ZONING) COMMENTS

**See Schedule B for Building Standards (Zoning) Comments	
<p>Building Standards Recommended Conditions of Approval:</p>	None

DEVELOPMENT PLANNING COMMENTS

**See Schedule B for Development Planning Comments.	
<p>The Development Planning Department recommends refusal of the part of Variance 1 pertaining to the double shed and Variances 2, and 4, and approval of the part of Variance 1 pertaining to the single shed, Variance 3 and 5.</p>	
<p>Development Planning Recommended Conditions of Approval:</p>	None

DEVELOPMENT ENGINEERING COMMENTS

<p>Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation</p>	
<p>The proposed work by the Owner/Applicant is increasing the lot coverage on the subject property. The added hardscape may have impacts on the City's Storm Water management system. Development Engineering strongly encourages the Owner / Applicant introduce Low-Impact Development (LID) measures (e.g., bioswales, permeable pavers, rain gardens, rain barrels etc.) to reduce the impacts to the stormwater system. Should further information be required, please contact the Development Engineering COA reviewer. As the proposed dwelling/ structure/ cabana in the subject property exceeds 10 m2, the Owner/ Applicant needs to obtain a 'Lot Grading Permit' from the Development</p>	

DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#)
 [Link to Pool Permit](#)
 [Link to Curb Curt Permit](#)
 [Link Culvert Installation](#)

Inspection and Lot Grading Division of the City's Development Engineering Department. Please note any in-ground structure over 10 m2 requires a 'Grading Permit'. Please contact the Development Engineering Reviewer after receiving the Grading Permit to clear the condition. (Condition attached)

Development Engineering Recommended Conditions of Approval:	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: Permits City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca
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PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

Forestry has no comment at this time.

PFH Recommended Conditions of Approval:

DEVELOPMENT FINANCE COMMENTS

No comment no concerns

Development Finance Recommended Conditions of Approval: None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

No comments received to date

BCLPS Recommended Conditions of Approval: None

BUILDING INSPECTION (SEPTIC) COMMENTS

No comments received to date

Building Inspection Recommended Conditions of Approval: None

FIRE DEPARTMENT COMMENTS

No comments received to date

Fire Department Recommended Conditions of Approval: None

SCHEDULES TO STAFF REPORT

*See Schedule for list of correspondence

Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Staff & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Engineering Jonal.hall@vaughan.ca	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: Permits

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

[City of Vaughan](#) to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca

IMPORTANT INFORMATION – PLEASE READ

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City’s Development Charges By-law in effect at the time of payment.

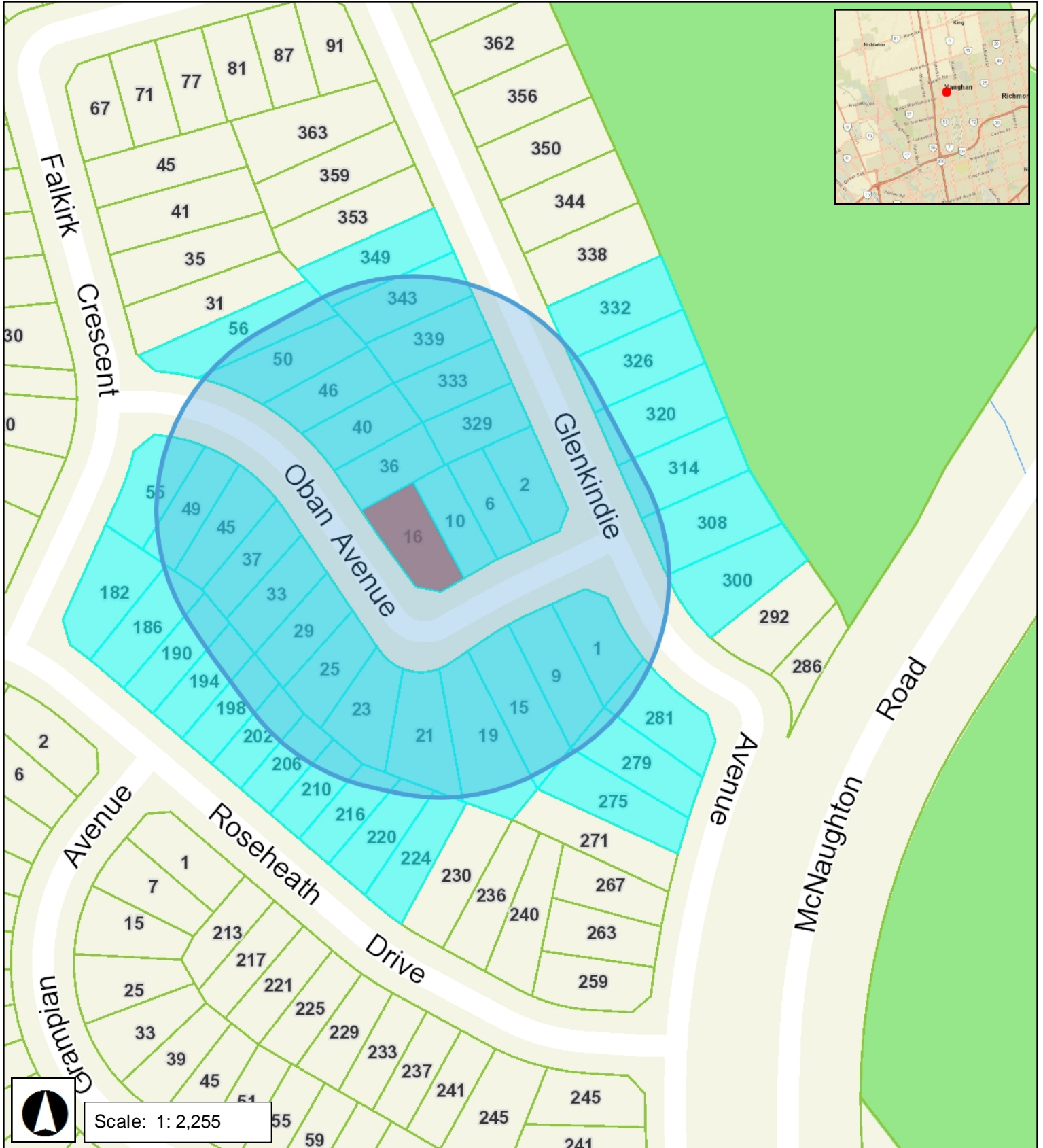
That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City’s Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will **not** receive notice.

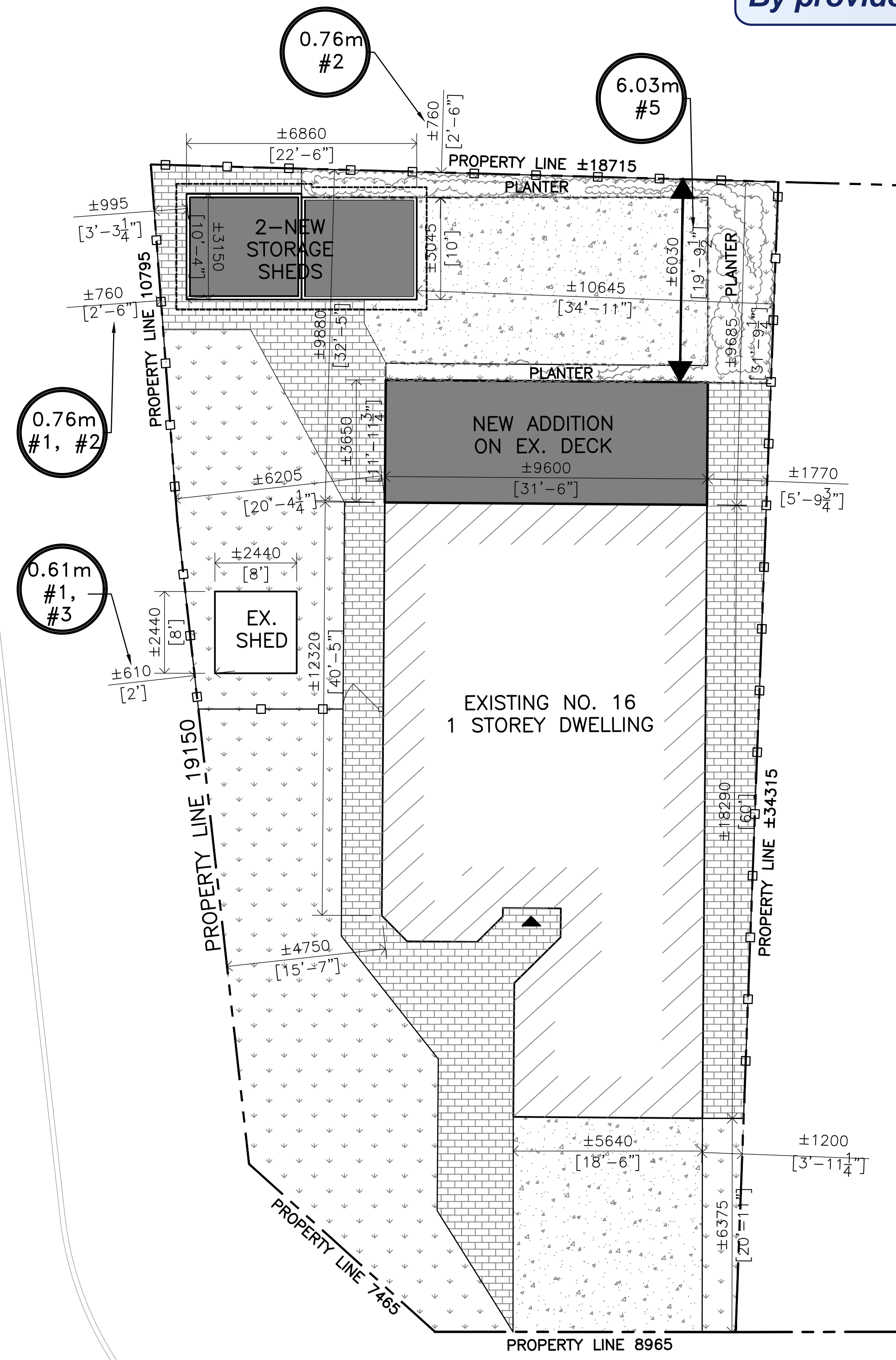
SCHEDULE A: DRAWINGS & PLANS

16 Oban Avenue, Maple



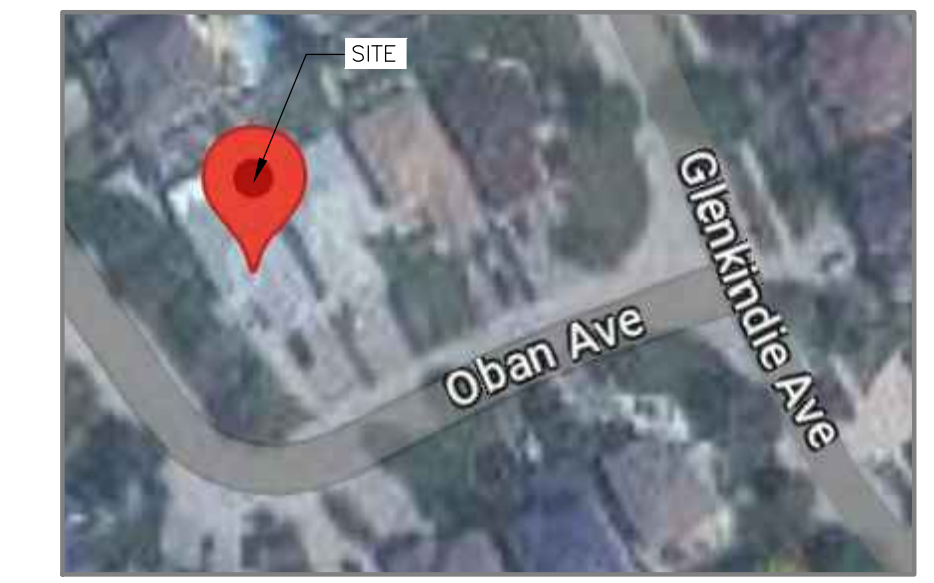
PLANS PREPARED AND VARIANCES IDENTIFIED BY APPLICANT

RECEIVED
By providel at 3:28 pm, Nov 15, 2023



zoning Residential Third Density Residential Zone (R3)	Lot No: -	Plan No: -	Lot Area (sq.m.) ±556	Lot Frontage X			
desc.	Existing	Addition	Total	%	Allowed (sq.m.)	%	lot depth
lot coverage	151.89	55.00	214.09	±38.5	222.4	40	
existing house	151.89	±35	186.89	±33.6			
no. of stories height	1	-	-	-			
sheds	±5.9	±21.3	±27.3	±5.0			
front yard area:	no change						
f.y. soft landscaping:	no change						
rear yard area:	±178.48 sqm						
r.y. soft landscaping:	±44.76 sqm (25%)						

IMPORTANT NOTE:
FOR EXISTING BUILDING DIMENSIONS PLEASE REFER TO THE CITY APPROVED AND PERMIT STAMPED DRAWINGS INCLUDED IN THIS DRAWING PACKAGE 65-308 ARCHITECTURAL.



KEY PLAN
NTS

- GENERAL NOTES:**
1. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
 2. DO NOT SCALE DRAWINGS.
 3. REPORT ALL DISCOVERIES OF ERRORS, OMISSIONS OR DISCREPANCIES TO THE ARCHITECT OR DESIGN ENGINEER AS APPLICABLE.
 4. USE ONLY LATEST REVISED DRAWINGS OR THOSE THAT ARE MARKED "ISSUED FOR CONSTRUCTION"
 5. DESIGN AND CONSTRUCTION OF THIS PROJECT SHALL COMPLY WITH THE PROVINCIAL AND LOCAL BUILDING CODES LATEST EDITION.
 6. ALL WORKS AND MATERIALS USED SHALL COMPLY AS REQUIRED BY THE O.B.C. LATEST EDITION.
 7. THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT DRAWINGS & SPECIFICATIONS.
 8. ALL DIMENSIONS SHOWN ARE IN MILLIMETERS.
 9. EVERYTHING IS TO BE CONSIDERED EXISTING UNLESS NOTED "NEW" OTHERWISE.

A147/23

IMPORTANT NOTE:
THIS DRAWING IS TRACED FROM SITE PLAN DWG. PROJECT NO. 04088 PREPARED BY MAPLE LEAF ESTATES AND PROVIDED TO GAMA ENGINEERING INC. BY PROPERTY OWNER. GAMA ENGINEERING CONDUCTED AN ON SITE INSPECTION FOR THE NEW ADDITION AND THE CONSTRUCTION AS-BUILT INFORMATION HAS BEEN PROVIDED TO GAMAENGINEERING BY THE OWNER. ALL AS-BUILT DIMENSIONS AND LOCATION OF BUILDING AND PROPERTY LINE TO BE SITE VERIFIED AND ALL DISCREPANCIES TO BE REPORTED TO GAMAENGINEERING AS APPROPRIATE.

9					
8					
7					
6					
5	NOV.15.23	ISSUED FOR C OF A			
4	SEP.19.23	UPDATED & ISSUED FOR C OF A	YH	WAM	
3	SEP.06.23	ISSUED FOR C OF A	YH	WAM	
2	SEP.05.23	REVISED & ISSUED AS PER CITY	YH	WAM	
1	JUL.26.23	ISSUED FOR BP APPLICATION	YH	WAM	
No.	DATE	REVISIONS	INITIAL	CHECKED	

GAMA Engineering Inc.
8611 Weston Road, Suite 35B - Vaughan, Ontario - L4L 9P1
Tel: 905-264-9295 www.gamaengineering-inc.com

Professional Engineer
MANSURI
3922/2023
NOV-15-23
PROVINCE OF ONTARIO

CLIENT/OWNER:
Mr. KAPOR ZORAN AND Mrs. KAPOR SLAVKA
16 OBAN AVENUE, MAPLE,
ONTARIO L6A 2E2

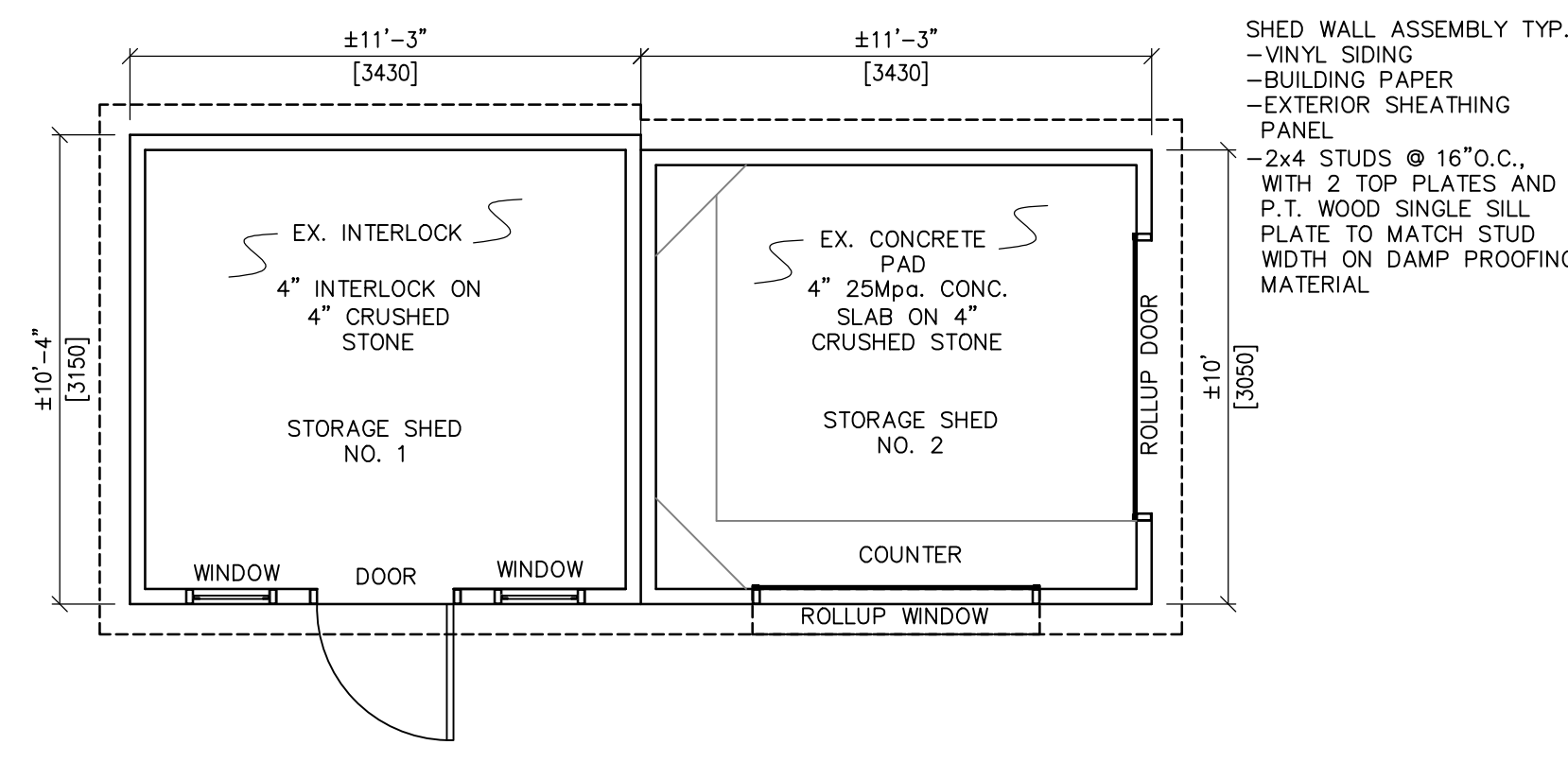
CITY FILE NO. ORDER NO. 16-452 OB / 2023 120773

PROJECT/ADDRESS:
REAR YARD ONE STORY ADDITION
16 OBAN AVENUE, MAPLE, ONTARIO L6A 2E2

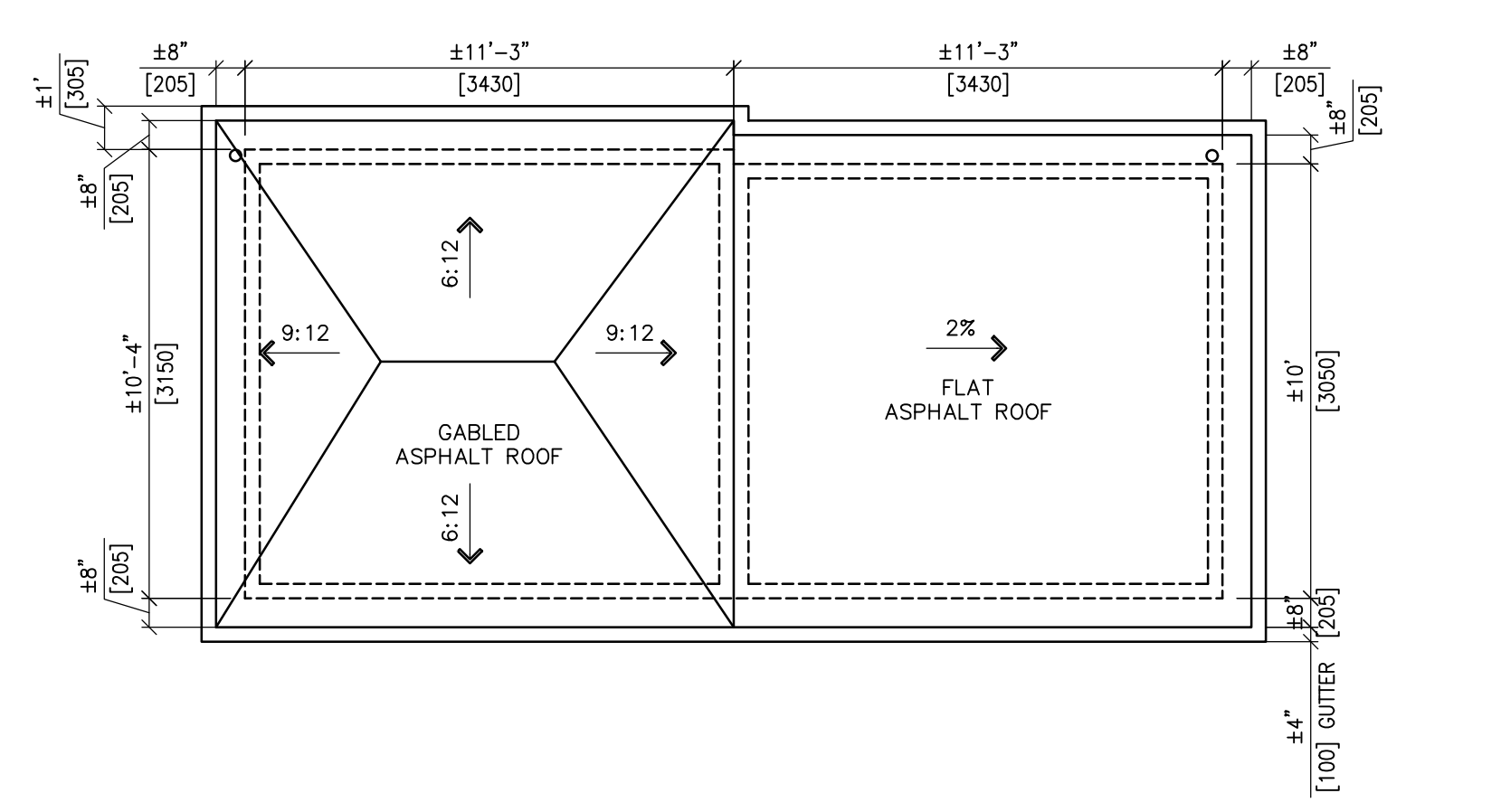
TITLE:
SITE PLAN

DESIGN:	WAM	DWN BY:	YH	DRAWING No.
SCALE:	SEP.06.23	DWG. FILE	2335-SP-1	SP-1
DATE:	JUL.26.23	PROJ. No.	2335	

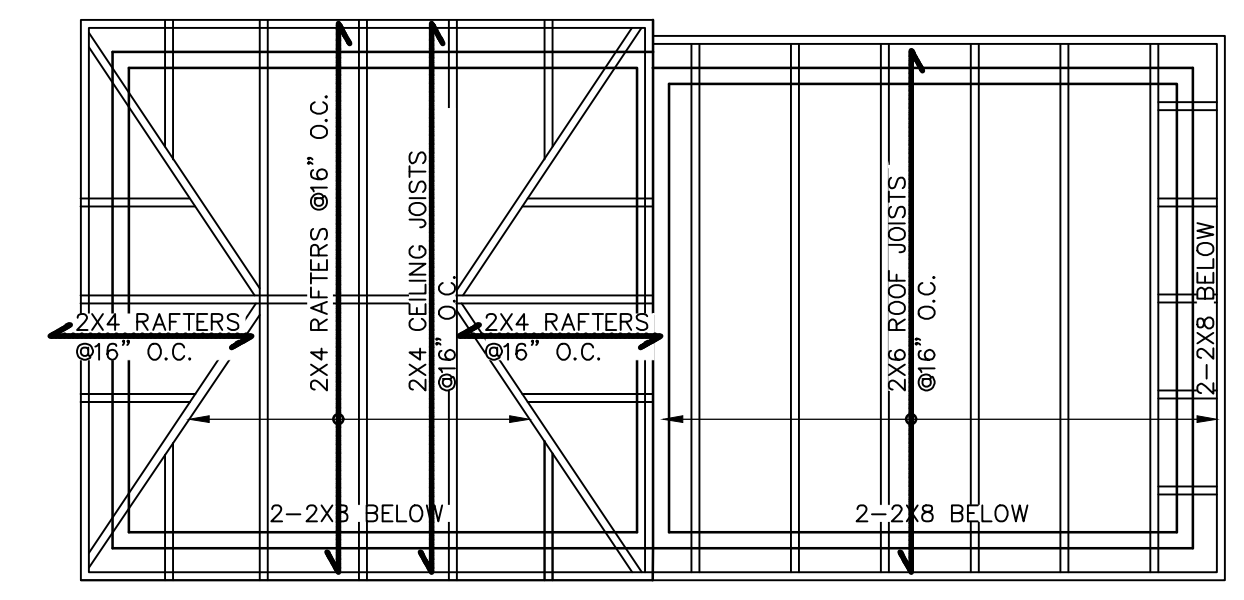
OBAN AVENUE



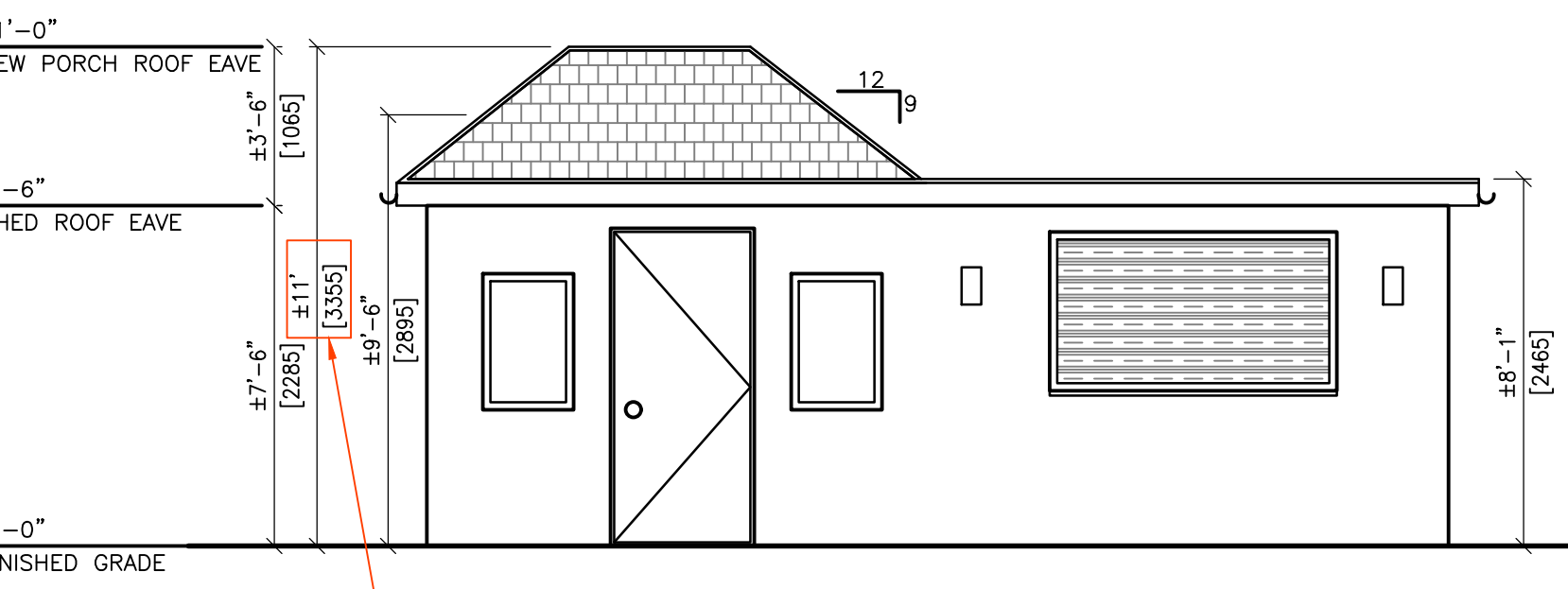
1 NEW SHED PLAN
SCALE 1/4"=1'-0"



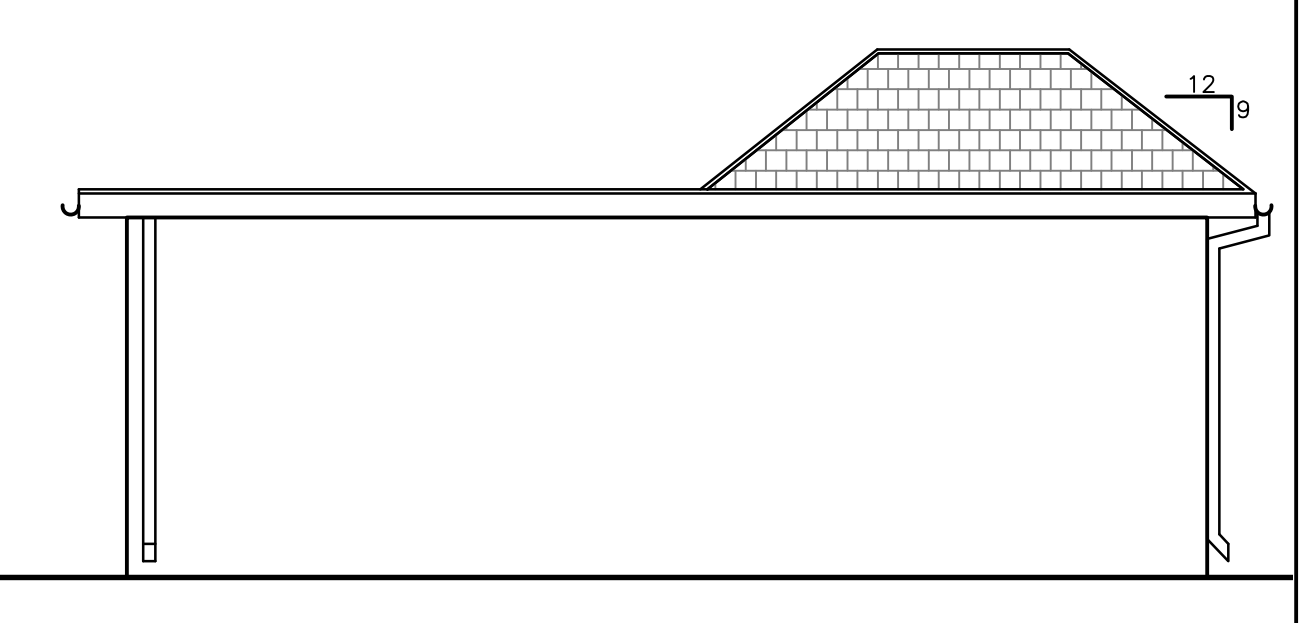
2 NEW SHED ROOF PLAN
SCALE 1/4"=1'-0"



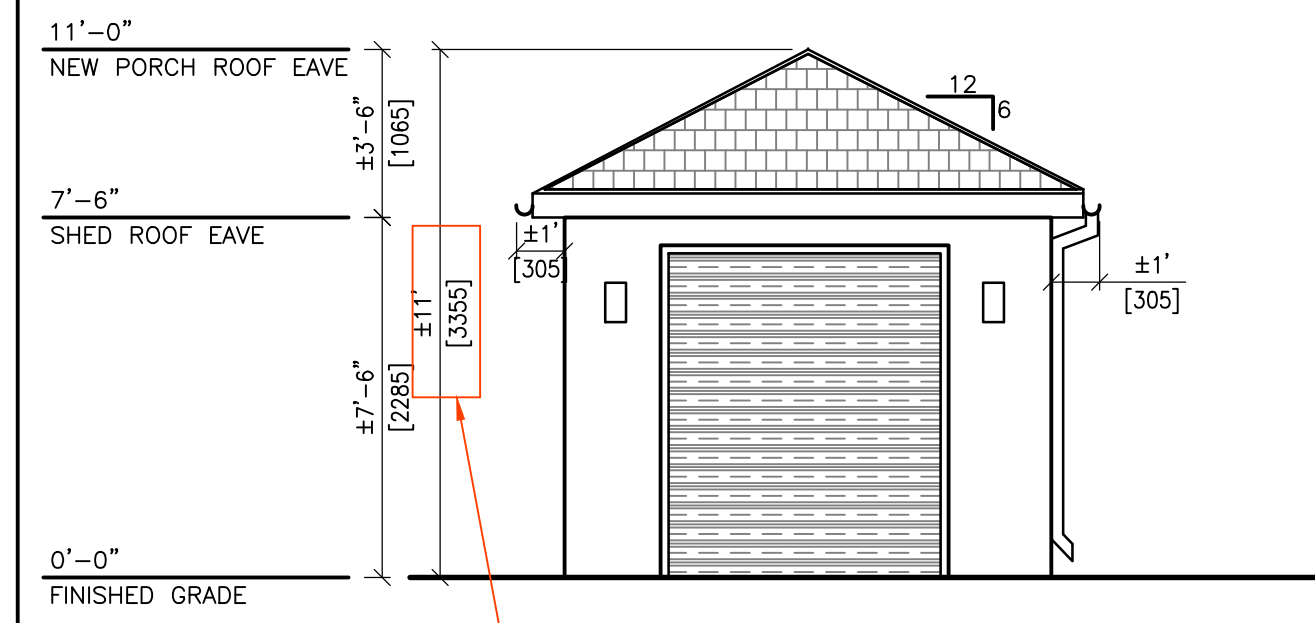
3 NEW SHED ROOF FRAMING PLAN
SCALE 1/4"=1'-0"



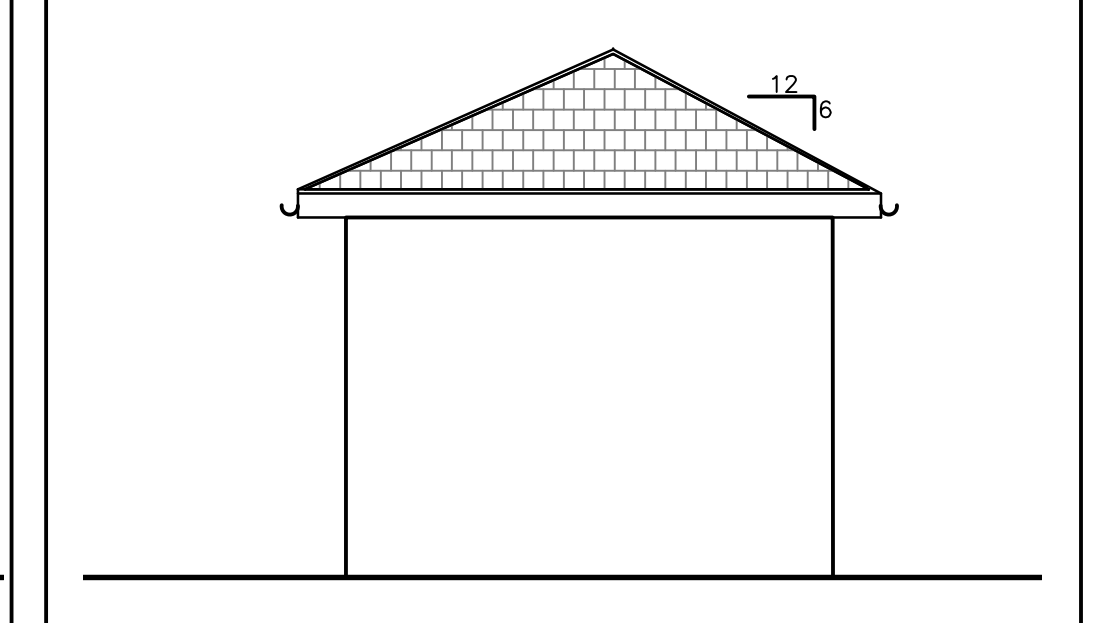
4 SOUTH ELEVATION
SCALE 1/4"=1'-0"



5 NORTH ELEVATION
SCALE 1/4"=1'-0"



6 EAST ELEVATION
SCALE 1/4"=1'-0"



7 WEST ELEVATION
SCALE 1/4"=1'-0"

VARIANCE #4

VARIANCE #4

- GENERAL NOTE:**
- VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
 - DO NOT SCALE DRAWINGS.
 - REPORT ALL DISCOVERIES OF ERRORS, OMISSIONS OR DISCREPANCIES TO THE ARCHITECT OR DESIGN ENGINEER AS APPLICABLE.
 - USE ONLY LATEST REVISED DRAWINGS OR THOSE MARKED ISSUED FOR CONSTRUCTION.
 - DESIGN AND CONSTRUCTION OF THIS PROJECT SHALL COMPLY WITH THE PROVINCIAL AND LOCAL BUILDING CODES LATEST EDITION.
 - ALL WORKS AND MATERIALS USED SHALL COMPLY AS REQUIRED BY THE O.B.C. LATEST EDITION.
 - THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT DRAWINGS & SPECIFICATIONS.
 - THE STRUCTURAL DESIGN AND ALL WORK SHALL BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE 2012 AND ALL APPLICABLE LOCAL CODES AND BYLAWS.
 - THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR THE LOCATION AND SIZE OF ALL OPENINGS, PADS CURBS AND DRAINS.
- CONCRETE:**
- MIXING AND PLACING OF CONCRETE MIXES SHALL CONFORM TO CAN3- A23.1-M90.
 - CONCRETE STRENGTH SHALL BE 32 MPa FOR EXTERIOR & UNHEATED AREAS. CONCRETE @25 MPa FOR FOOTINGS AND HEATED AREAS.
 - CEMENT SHALL BE TYPE 10 NORMAL.
 - SUMP SHALL BE IN ACCORDANCE WITH CAN3-A23.1-M CLAUSE 14 AND MAXIMUM WATER-CEMENT RATIO SHALL BE 0.50.
 - AIR ENTRAINMENT SHALL BE IN ACCORDANCE WITH CAN3-A23.1-M90 CLAUSE 14 TABLE 7 & 8 TO MEET C2 EXPOSURE. CONDITIONS FOR EXTERIOR CONCRETE & C4V FOR INTERIOR CONCRETE.
 - ALL EXPOSED CORNERS OF CONCRETE SHALL HAVE 25mm (1") CHAMFER.
 - CONCRETE COVER FOR REINFORCEMENT SHALL CONFORM TO CAN3-A23.1-M90.
 - REINFORCEMENT SHALL BE DEFORMED BARS AND CONFORM TO CSA G30.5. GRADE 400 MPa. W.W.F. SHALL CONFORM TO CSA G30.5. GRADE 400 MPa.
- EXCAVATION AND FILL REQUIREMENTS:**
- EXCAVATE TO THE REQUIRED LINES, LEVELS AND GRADES. DO NOT EXCAVATE OR DISTURB BEYOND THE REQUIRED LINES, LEVELS AND GRADES UNLESS OTHERWISE REQUESTED BY THE ENGINEER.
 - WHERE THE REQUIRED LINES, LEVELS AND GRADES ARE NOT OTHERWISE DEFINED, EXCAVATE AS NECESSARY FOR THE ITEMS WHICH ARE TO BE PLACED IN THE EXCAVATION.
 - DO NOT PLACE FILL UNTIL SUBGRADE HAS BEEN COMPACTED TO 95% OF MAXIMUM DENSITY BY STANDARD PROCTOR.
 - DO NOT COVER ANY SUBGRADE OR WORK UNTIL AUTHORIZED BY THE ENGINEER, BUT OTHERWISE PLACE THE FILL AS SOON AS POSSIBLE.
 - REMOVE ALL DISTURBED OR UNSUITABLE MATERIAL AS RECOMMENDED BY THE GEOTECHNICAL CONSULTANT, AND ALL MATERIAL WHICH HAS BECOME UNSUITABLE DUE TO INADEQUATE PROTECTION. REPLACE SUCH MATERIAL WITH APPROVED GRANULAR MATERIAL, AND COMPACT IN LAYERS AND COMPACTING REQUIREMENTS OF SOIL'S CONSULTANT.
 - 150mm OF GRANULAR "A" MATERIAL SHALL BE PLACED IN ONE LIFT UNDER ALL SLAB ON GRADES AND COMPACTED TO 100% OF MAXIMUM DENSITY BY STANDARD PROCTOR (UNLESS OTHERWISE NOTED).

GENERAL NOTES:

DESIGN LOADS (SEE O.B.C. 2012) - VAUGHAN (WOODBRIDGE)

a) ROOF LOADS:
 $S_r = 1.1 \text{ kPa}$
 $S_r = 0.4 \text{ kPa}$

LL DOES NOT INCLUDE SNOW ACCUMULATION. REFER TO PLAN. DL INCLUDES ROOFING, MECHANICAL, ELECTRICAL, STEEL BEAMS & METAL DECK.

b) WIND LOAD:
 $q_w = 0.44 \text{ kPa}$
 (MULTIPLIED BY APPROPRIATE EXPOSURE, GUST AND PRESSURE COEFFICIENTS ACCORDING TO N.B.C. COMMENTARY).
 NET WIND UPLIFT = 0.49 kPa

c) SEISMIC DATA:
 $S_a(0.2) = 0.167$
 $S_a(0.5) = 0.096$
 $S_a(1.0) = 0.053$
 $S_a(2.0) = 0.026$
 $S_a(5.0) = 0.0065$
 $S_a(10.0) = 0.0027$
 $R_R = 0.105$
 $P_GV = 0.074$

SITE CLASS: C (ASSUMED)

d) PATIO DESIGN LOAD
 DEAD LOAD: 1.0 kPa
 LIVE LOAD: 4.8 kPa

9				
8				
7				
6				
5	NOV.15.23	ISSUED FOR C OF A	YH	JG
4	SEP.27.23	REVISED & ISSUED TO CITY	YH	WAM
3	SEP.19.23	REVISED & ISSUED FOR C OF A	YH	WAM
2	SEP.07.23	ISSUED FOR C OF A	YH	WAM
1	JUL.26.23	ISSUED FOR BP APPLICATION	YH	WAM
No.	DATE	REVISIONS	INITIAL	CHECKED

GAMA Engineering Inc.
 8611 Weston Road, Suite 35B - Vaughan, Ontario - L4L 9P1
 Tel: 905-264-9295 www.gamaengineering-inc.com

J. GOODARZI
 LICENSING PROFESSIONAL ENGINEER
 NOV 15 23
 PROVINCE OF ONTARIO

CLIENT/OWNER:
Mr. KAPOR ZORAN AND Mrs. KAPOR SLAVKA
 16 OBAN AVENUE, MAPLE,
 ONTARIO L6A 2E2

CITY FILE NO. **ORDER NO. 16-452 OB / 2023 120773**

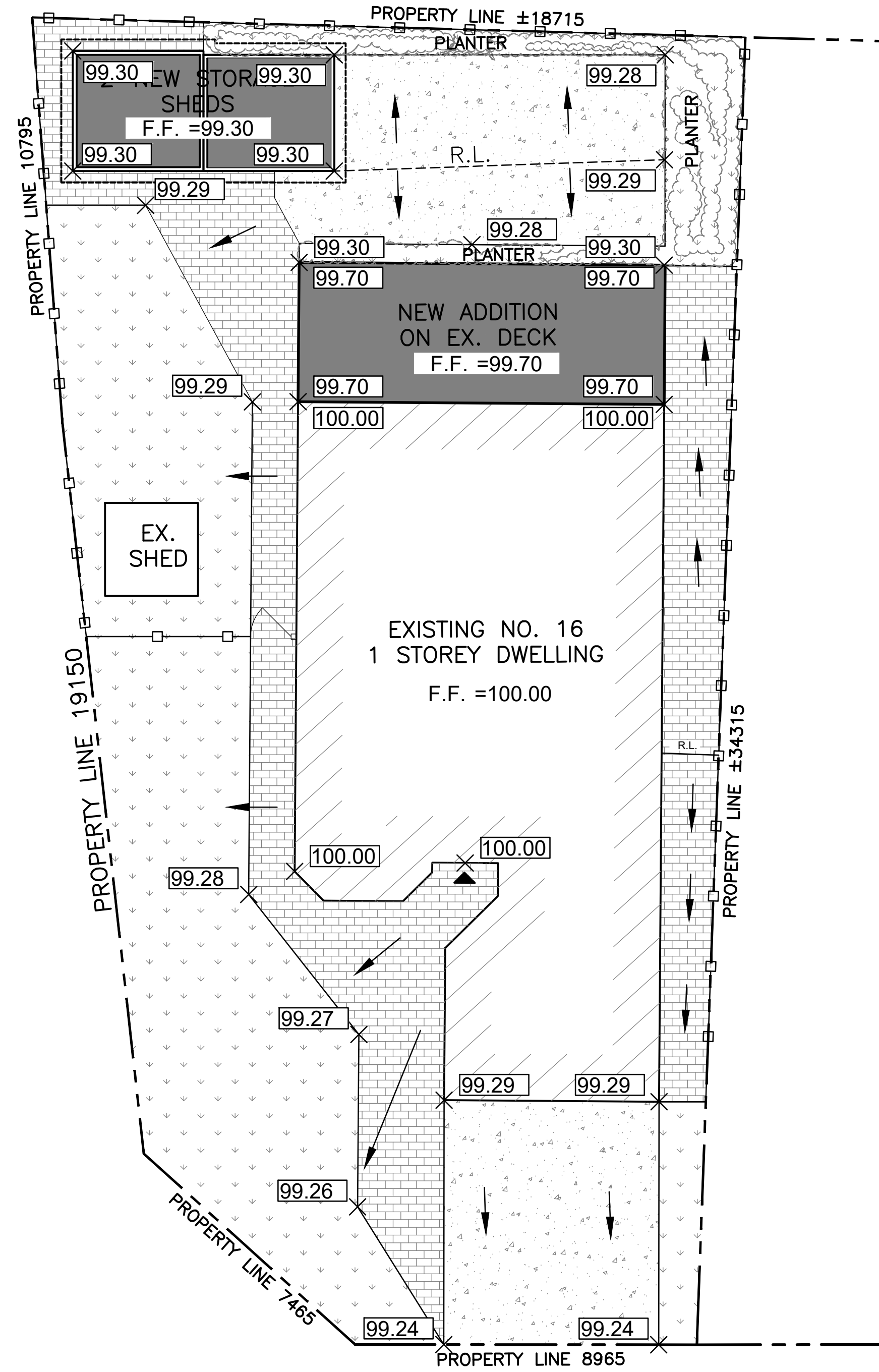
PROJECT/ADDRESS:
REAR YARD ONE STORY ADDITION
 16 OBAN AVENUE, MAPLE, ONTARIO L6A 2E2

TITLE:
 PROPOSED SHED PLAN & ELEVATION
 ROOF FRAMING PLAN AND ELEVATIONS

DESIGN:	WAM	DWN BY:	YH	DRAWING No.
SCALE:	AS DRAWN	DWG. FILE:	2335-S-203	S-203
DATE:	JUL.20.23	PROJ. No.:	2335	

RECEIVED

By Prabhdeep Kaur at 1:43 pm, Nov 27, 2023

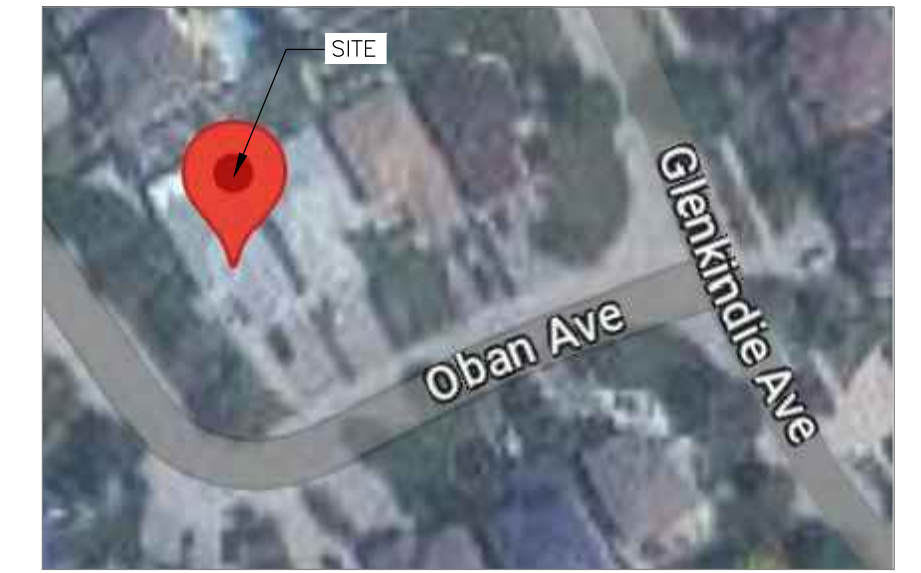


OBAN AVENUE

GENERAL GRADING NOTES

- ALL DIMENSIONS AND ELEVATIONS ARE METRIC, UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS AND DESIGN ELEVATIONS MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY DISCREPANCIES MUST BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER OR ARCHITECT WHERE APPLICABLE.
- EXISTING DRAINAGE OF ABUTTING LANDS IS NOT TO BE DISTURBED.
- GROUND ELEVATIONS AT BUILDINGS ABUTTING OVERLAND FLOW ROUTES ARE TO BE 225mm ABOVE OVERLAND FLOW ROUTE ELEVATIONS.
- PAVED (IMPERVIOUS) SURFACES TO HAVE A MINIMUM OF 1% SLOPE. UNPAVED SURFACES (PERVIOUS) TO HAVE A MINIMUM OF 2% SLOPE.
- THE CONTRACTOR SHALL RESTORE TO ORIGINAL OR BETTER CONDITION FOR ANY EXISTING CONDITION DISTURBED DURING THE CONSTRUCTION AT CONTRACTOR'S EXPENSE.
- LANDSCAPING SHALL NOT ENCROACH ON BOULEVARD NOR SHALL BOULEVARD GRADES BE ALTERED.
- STANDARD DRAWINGS OF THE CITY CONSTITUTE PART OF THE PLANS OF THE CONTRACT.
- ANY CONFLICT WITH EXISTING SERVICES SHALL BE RECTIFIED AS PER CITY'S REQUIREMENTS.
- MINIMUM VERTICAL AND HORIZONTAL SEPARATION BETWEEN THE INVERTS OF THE SEWER AND A CROWN OF A WATER MAIN SHALL COMPLY WITH THE MUNICIPAL AND LOCAL BY-LAWS AT ALL CROSSINGS.
- CONSTRUCT PAVEMENT AS SPECIFIED. SEE PAVEMENT STRUCTURE DETAILS ON THIS DRAWING.
- ALL CONCRETE CURBS FROM EXISTING ROAD CURB TO STREET LINE SHALL BE BARRIER CURB TO CITY STANDARDS. ALL CONCRETE CURB HEIGHTS SHALL BE 150mm ABOVE FINISHED GRADE (A.F.G.) UNLESS OTHERWISE NOTED. DRIVEWAY CURBS ARE TO BE DISCONTINUOUS AT SIDEWALKS AND TAPERED BACK MINIMUM OF 300mm OR TO THE APPROVAL OF DESIGN ENGINEER.
- ALL REQUIRED CURB CUTTING AT ENTRANCES AND CURB DEPRESSIONS AT SIDEWALK CROSSINGS SHALL BE INSTALLED TO THE APPROVAL OF THE DESIGN ENGINEER.
- A MINIMUM CLEARANCE OF 1000mm FROM ALL UNDERGROUND SERVICES AND UTILITIES IS REQUIRED.
- INSTALLATION OF WATER MAIN IN PRIVATE PROPERTY SHALL COMPLY WITH THE MUNICIPAL AND LOCAL BY-LAWS.
- OUTDOOR LIGHTS ARE TO BE DIRECTED DOWNWARDS AS WELL AS INWARDS.
- THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITIES DURING CONSTRUCTION. BELL, HYDRO, GAS, OR ANY OTHER UTILITIES THAT MAY EXIST ON THE SITE OR WITHIN THE STREET LINE MUST BE LOCATED AND VERIFIED BY THE RESPECTIVE UTILITY COMPANY PRIOR TO CONSTRUCTION.
- ALL SANITARY SEWER, STORM SEWER, AND WATERMAIN ON PRIVATE PROPERTY ARE TO BE INSTALLED IN ACCORDANCE WITH THE PROVINCIAL BUILDING CODE.
- ALL WATER MAIN AND HYDRANT INSTALLATIONS ARE TO BE CARRIED OUT IN ACCORDANCE WITH THE LATEST PLANS, STANDARDS, AND SPECIFICATIONS OF THE LOCAL UTILITIES COMMISSION.
- NO BLASTING IS PERMITTED ON THE CITY RIGHT-OF-WAY AND NEAR ANY ADJACENT BUILDING.
- EXISTING STORM DRAIN LINES ALONG THE CURB WHICH ARE DISTURBED ARE TO BE RESTORED TO THEIR ORIGINAL CONDITIONS.
- THE PROPERTY IS TO BE GRADED AND SELF-CONTAINED SO THAT SURFACE DRAINAGE IS DIRECTED AWAY FROM THE BUILDINGS.
- THE OWNER AND/OR CONTRACTOR IS REQUIRED TO OBTAIN A "PERMIT OF APPROVED WORKS" FROM THE CITY BEFORE COMMENCING ANY WORK ON THE CITY'S ROAD ALLOWANCE.

IMPORTANT NOTE:
FOR EXISTING BUILDING DIMENSIONS PLEASE REFER TO THE CITY APPROVED AND PERMIT STAMPED DRAWINGS INCLUDED IN THIS DRAWING PACKAGE 95-586 ARCHITECTURAL.



KEY PLAN

- LEGEND:**
- X 100.00 EXISTING GRADE
 - X 100.00 PROPOSED GRADE
 - R.L. --- RIDGE LINE

GENERAL NOTES:

- VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
- DO NOT SCALE DRAWINGS.
- REPORT ALL DISCOVERIES OF ERRORS, OMISSIONS OR DISCREPANCIES TO THE ARCHITECT OR DESIGN ENGINEER AS APPLICABLE.
- USE ONLY LATEST REVISED DRAWINGS OR THOSE THAT ARE MARKED "ISSUED FOR CONSTRUCTION"
- DESIGN AND CONSTRUCTION OF THIS PROJECT SHALL COMPLY WITH THE PROVINCIAL AND LOCAL BUILDING CODES LATEST EDITION.
- ALL WORKS AND MATERIALS USED SHALL COMPLY AS REQUIRED BY THE O.B.C. LATEST EDITION.
- THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT DRAWINGS & SPECIFICATIONS.
- ALL DIMENSIONS SHOWN ARE IN MILLIMETERS.
- EVERYTHING IS TO BE CONSIDERED EXISTING UNLESS NOTED "NEW" OTHERWISE.

IMPORTANT NOTE:
THIS DRAWING IS TRACED FROM SITE PLAN DWG. PROJECT NO. 94086 PREPARED BY MAPLE LEAF ESTATES AND PROVIDED TO GAMA ENGINEERING INC. BY PROPERTY OWNER. GAMA ENGINEERING CONDUCTED AN ON SITE INSPECTION FOR THE NEW ADDITION AND THE CONSTRUCTION AS-BUILT INFORMATION HAS BEEN PROVIDED TO GAMA ENGINEERING BY THE OWNER. ALL AS-BUILT DIMENSIONS AND LOCATION OF BUILDING AND PROPERTY LINE TO BE SITE VERIFIED AND ALL DISCREPANCIES TO BE REPORTED TO GAMA ENGINEERING AS APPROPRIATE.

9					
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2					
1	OCT.11.23	ISSUED FOR BP APPLICATION		YH	WAM
No.	DATE	REVISIONS		INITIAL	CHECKED

GAMA Engineering Inc.
 8611 Weston Road, Suite 35B - Vaughan, Ontario - L4L 9P1
 Tel: 905-264-9295 www.gamaengineering-inc.com

STAMP
 LICENSED PROFESSIONAL ENGINEER
 J. MANJURI
 95582615
 OCT.11.23
 PROVINCE OF ONTARIO

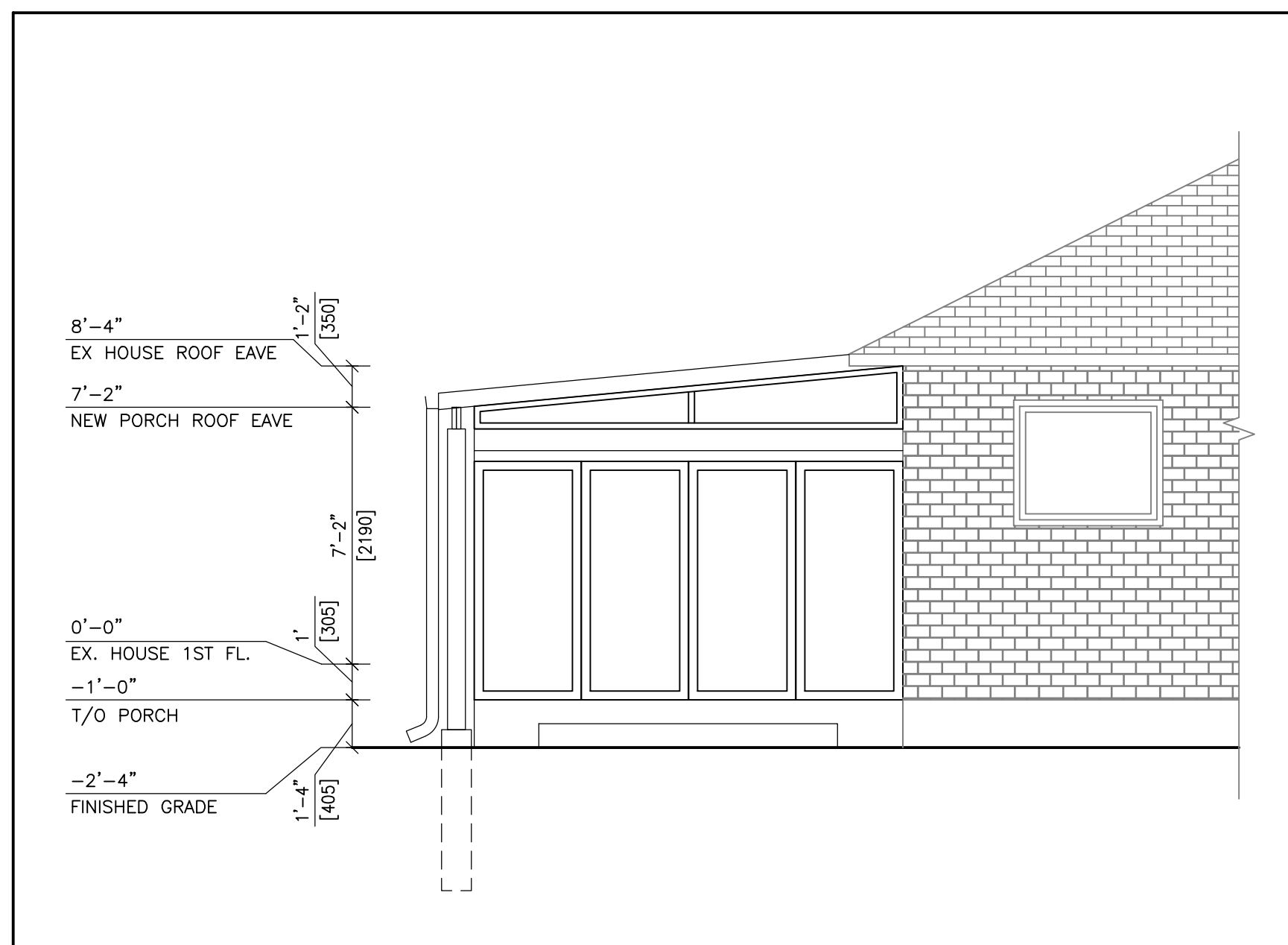
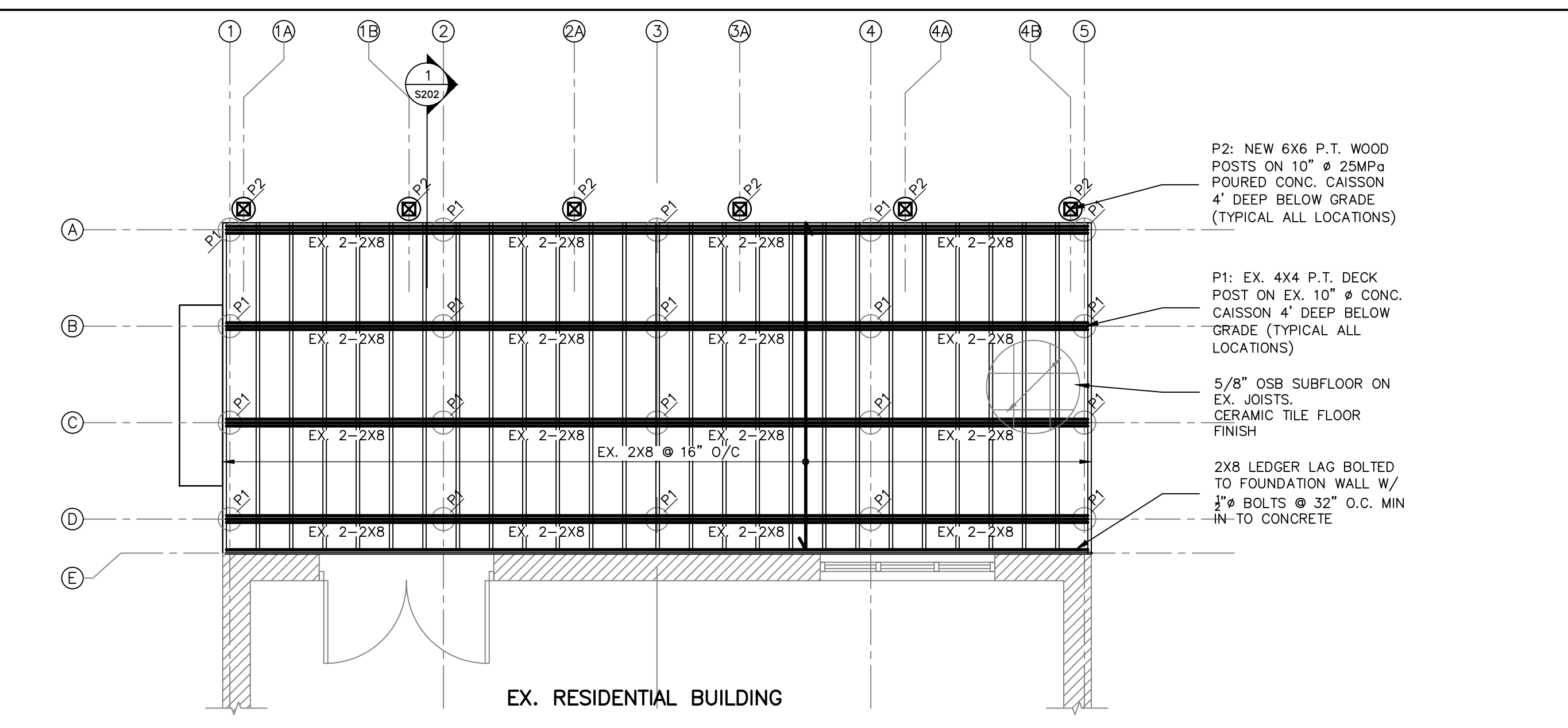
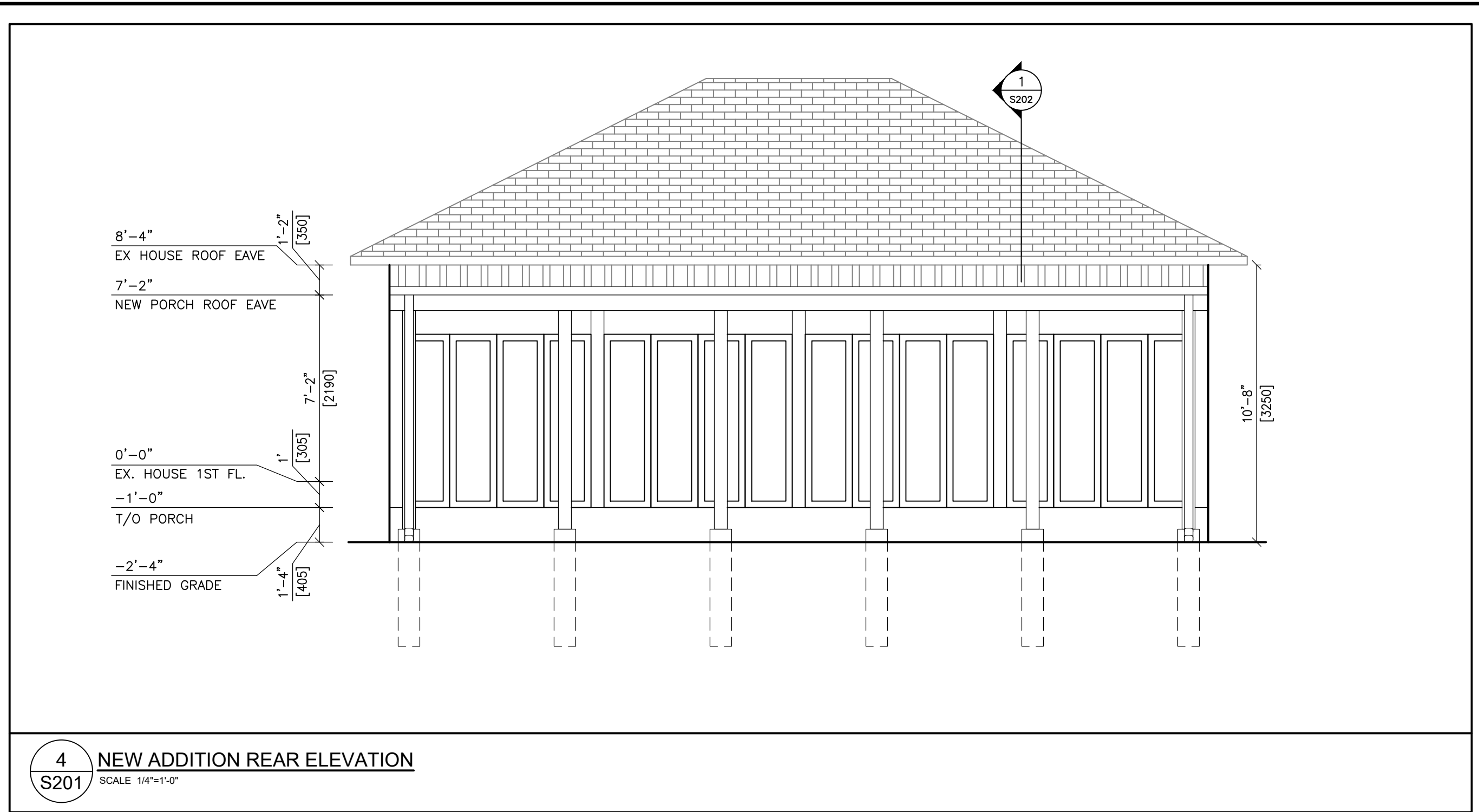
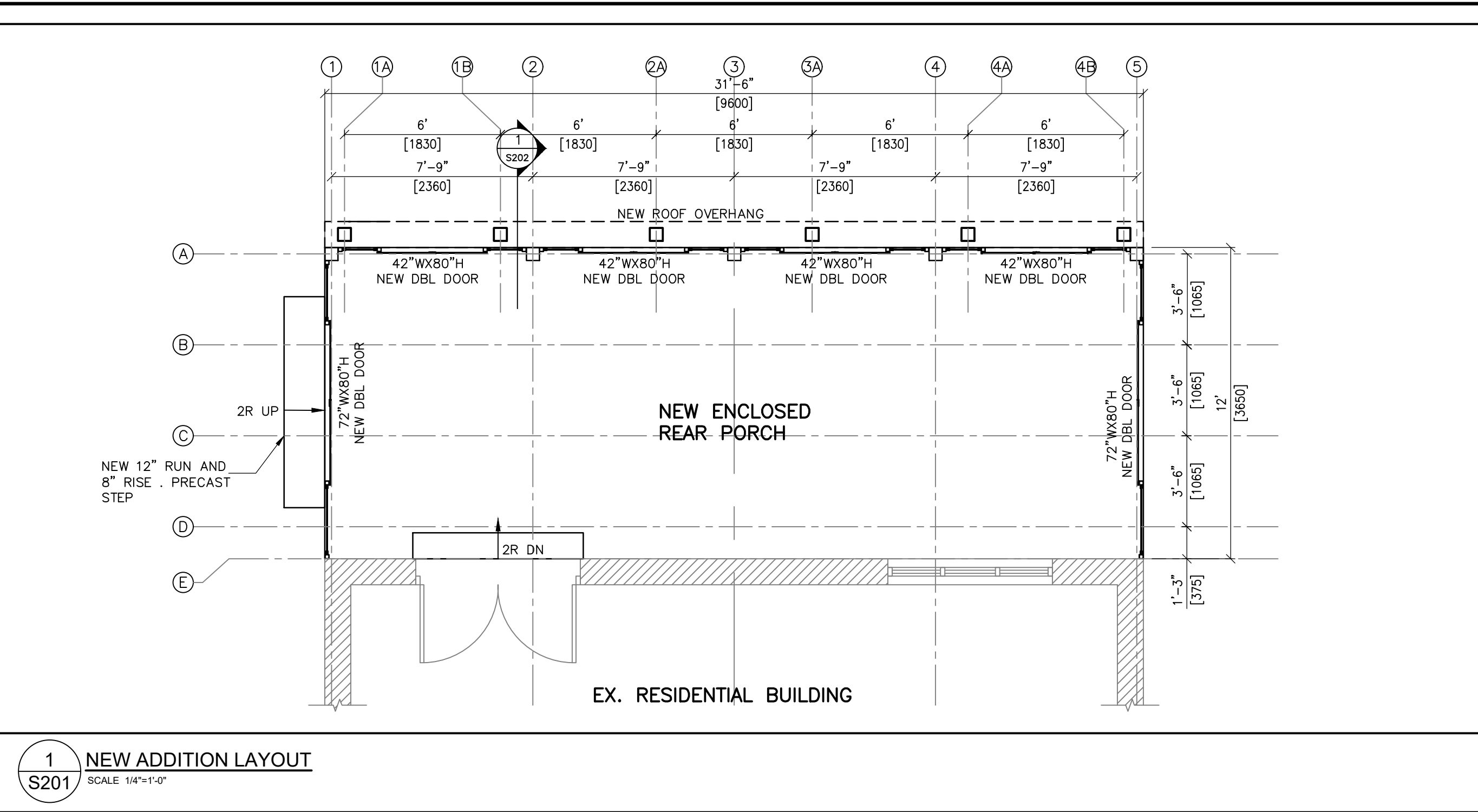
CLIENT/OWNER:
Mr. KAPOR ZORAN AND Mrs. KAPOR SLAVKA
 16 OBAN AVENUE, MAPLE,
 ONTARIO L6A 2E2

CITY FILE NO. ORDER NO. 16-452 OB / 2023 120773

PROJECT/ADDRESS:
REAR YARD ONE STORY ADDITION
 16 OBAN AVENUE, MAPLE, ONTARIO L6A 2E2

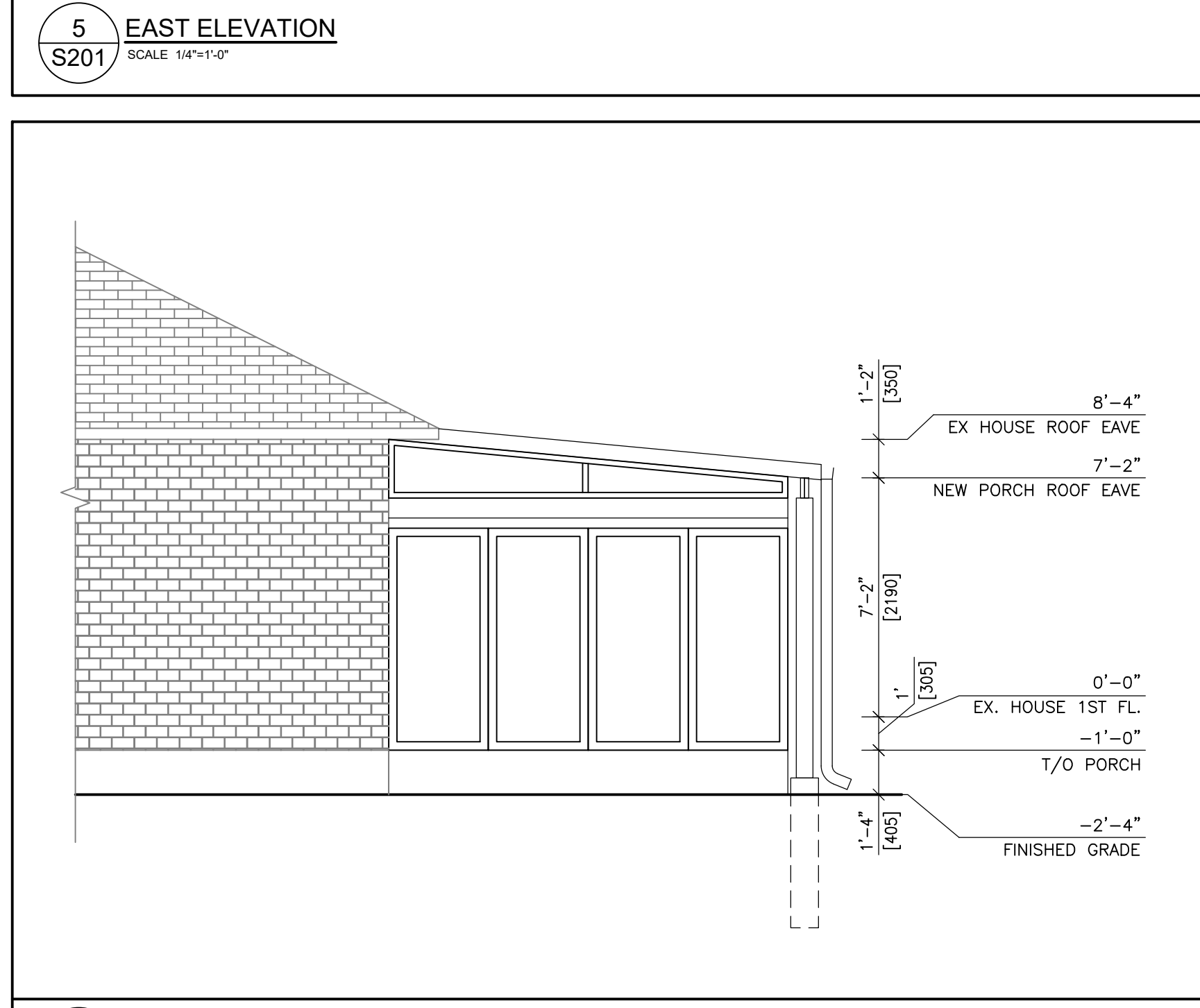
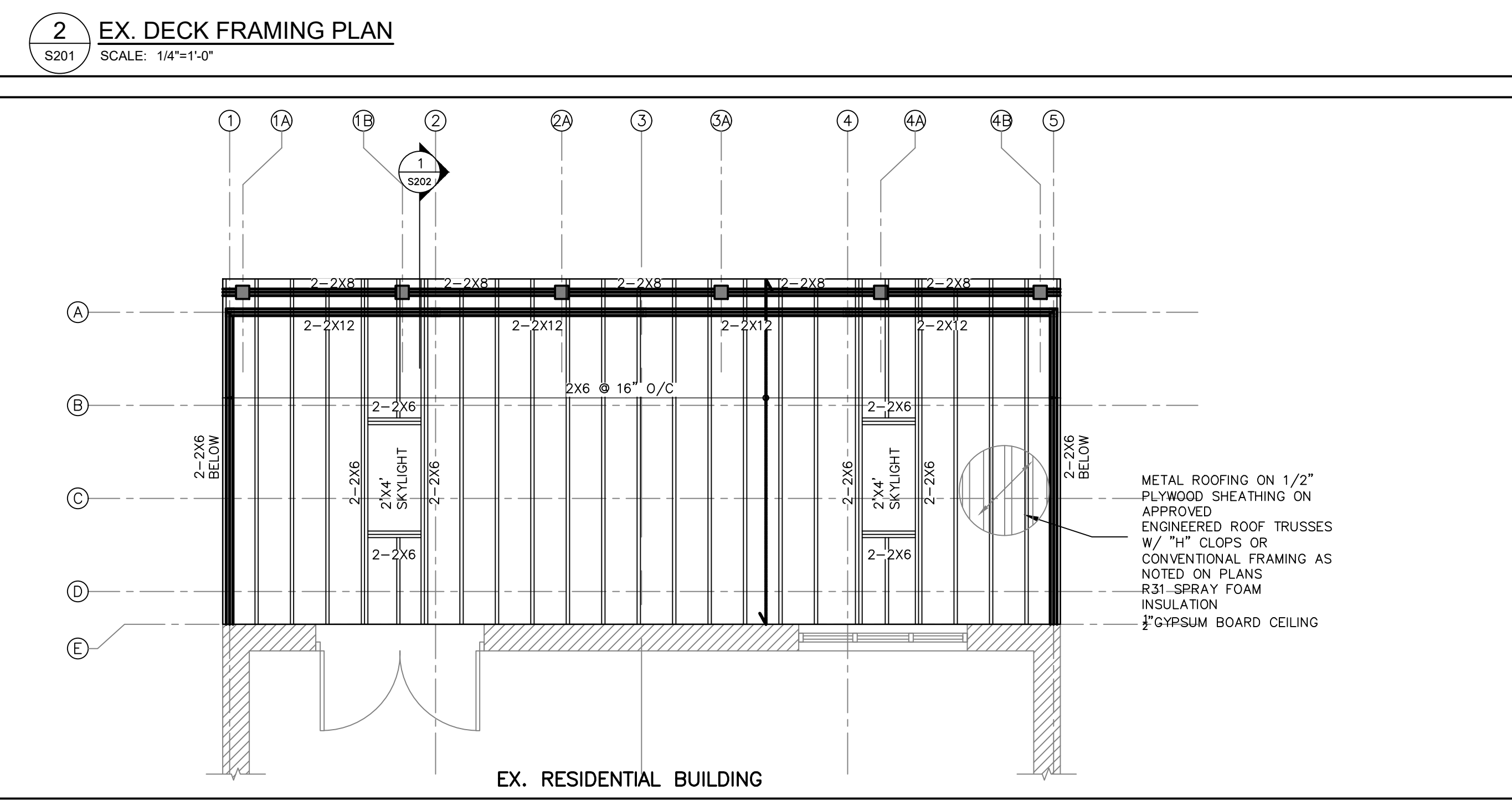
TITLE: GRADING PLAN

DESIGN:	WAM	DWN BY:	YH	DRAWING No.
SCALE:	AS SHOWN	DWG. FILE:	2335-GP-1	GP-1
DATE:	SEP.26.23	PROJ. No.:	2335	



FOUNDATIONS

- ALL FOOTINGS SHALL BE FOUNDED ON NATURALLY CONSOLIDATED UNDISTURBED SOIL CAPABLE OF SUSTAINING A LOAD (see plan) AT LEAST 750mm BELOW ORIGINAL (not fill) GRADE.
- FOOTING ELEVATIONS ARE BASED ON ESTIMATE ONLY. IF UPON EXCAVATING TO THE SPECIFIED ELEVATIONS IT IS FOUND THAT THE ABOVE CONDITIONS ARE NOT MET OR THAT THEY HAVE BEEN MET AT HIGHER ELEVATIONS, THE FOOTING ELEVATION MAY BE ADJUSTED WITH THE ENGINEER'S PERMISSION.
- MIN. DEPTH FOR EXTERIOR FOOTINGS IS 1200mm BELOW FINISHED GRADE.
- CENTER ALL CAPS AND FOOTINGS UNDER COLUMNS EXCEPT AS NOTED OTHERWISE ON PLANS.
- DURING COLD WINTER, PROTECT SOIL BENEATH AND ADJACENT TO FOOTINGS FROM FREEZING.
- UNLESS SPECIFIED BY THE ENGINEER, DO NOT EXCEED A RISE OF 7" IN A RUN OF 10" IN THE LINE OF SLOPE BETWEEN ADJACENT FOOTING EXCAVATIONS OR ALONG STEPPED FOOTINGS. USE STEPS NOT EXCEEDING 500mm AND NOT LESS THAN 100mm IN LENGTH.
- WHERE NECESSARY, THE CONTRACTOR SHALL LOWER FOOTINGS TO ACCOMMODATE DRAIN LINES, ETC.
- DO NOT PLACE BACKFILL AGAINST WALLS RETAINING EARTH (unless designed for cantilever) UNTIL FLOOR CONSTRUCTION AT TOP AND BOTTOM OF THE WALLS IS POURED AND SET.
- BACKFILLING AGAINST FOUNDATION WALLS TO BE DONE SO THAT THERE IS NOT MORE THAN 450mm DIFFERENCE IN LEVEL, ONE SIDE TO THE OTHER, AS NOTED IN PARAGRAPH 8 ABOVE.
- WHERE SLAB ON GRADE IS USED TO TIE THE TOP OF THE WALL RETAINING EARTH, ADEQUATE SHORING AND BRACING MUST BE PROVIDED WHILE FILL IS BEING PLACED AND COMPACTED MUST BE LEFT IN PLACE UNTIL SLAB IS POURED AND GAINED 75% OF ITS ULTIMATE STRENGTH.
- ANCHOR ALL CONCRETE BLOCK FOUNDATION WALLS TO CONCRETE PIERS EVER SECOND BLOCK COURSE. CAVITIES WITH BARS FILLED WITH SOLID GROUT.
- BEARING REQUIREMENTS FOR FOOTINGS IN ACCORDANCE WITH RECOMMENDATIONS GIVEN IN THE GEOTECHNICAL REPORT OUTLET. FOUNDATION DESIGN IS BASED ON ULTIMATE BEARING CAPACITY OF 140 kPa. SOIL TYPE 'D' ASSUMED.



LEGEND:

- EXISTING WALLS TO REMAIN AS IS
- CONC. CAISSON C/W WOOD POST
- NEW STRUCTURAL BEARING BEAM
- INDICATES DIRECTION OF NEW JOISTS

GENERAL NOTE:

- VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
- DO NOT SCALE DRAWINGS.
- REPORT ALL DISCOVERIES OF ERRORS, OMISSIONS OR DISCREPANCIES TO THE ARCHITECT OR DESIGN ENGINEER AS APPLICABLE.
- USE ONLY LATEST REVISED DRAWINGS OR THOSE MARKED ISSUED FOR CONSTRUCTION.
- DESIGN AND CONSTRUCTION OF THIS PROJECT SHALL COMPLY WITH THE PROVINCIAL AND LOCAL BUILDING CODES LATEST EDITION.
- ALL WORKS AND MATERIALS USED SHALL COMPLY AS REQUIRED BY THE O.B.C. LATEST EDITION.
- THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT DRAWINGS & SPECIFICATIONS.
- THE STRUCTURAL DESIGN AND ALL WORK SHALL BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE 2012 AND ALL APPLICABLE LOCAL CODES AND BYLAWS.
- THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR THE LOCATION AND SIZE OF ALL OPENINGS, PADS CURBS AND DRAINS.

CONCRETE:

- MIXING AND PLACING OF CONCRETE MIXES SHALL CONFORM TO CAN3-A23.1-M90.
- CONCRETE STRENGTH SHALL BE 32 MPa FOR EXTERIOR & UNHEATED AREAS. CONCRETE @25 MPa FOR FOOTINGS AND HEATED AREAS.
- CEMENT SHALL BE TYPE 10 NORMAL.
- SLUMP SHALL BE IN ACCORDANCE WITH CAN3-A23.1-M90 CLAUSE 14 AND MAXIMUM WATER-CEMENT RATIO SHALL BE 0.50.
- AIR ENTRAINMENT SHALL BE IN ACCORDANCE WITH CAN3-A23.1-M90 CLAUSE 14 TABLE 7 & 8 TO MEET C2 EXPOSURE CONDITIONS FOR EXTERIOR CONCRETE & C4V FOR INTERIOR CONCRETE.
- ALL EXPOSED CORNERS OF CONCRETE SHALL HAVE 25mm (1") CHAMFER.
- CONCRETE COVER FOR REINFORCEMENT SHALL CONFORM TO CAN3-A23.1-M90.
- REINFORCEMENT SHALL BE DEFORMED BARS AND CONFORM TO CAN3-G30.5-12-M-1990 GRADE 400 MPa. W.W.F. SHALL CONFORM TO CSA G30.5, GRADE 400 MPa.

EXCAVATION AND FILL REQUIREMENTS:

- EXCAVATE TO THE REQUIRED LINES, LEVELS AND GRADES. DO NOT EXCAVATE OR DISTURB BEYOND THE REQUIRED LINES, LEVELS AND GRADES UNLESS OTHERWISE REQUESTED BY THE ENGINEER.
- WHERE THE REQUIRED LINES, LEVELS AND GRADES ARE NOT OTHERWISE DEFINED, EXCAVATE AS NECESSARY FOR THE ITEMS WHICH ARE TO BE PLACED IN THE EXCAVATION.
- DO NOT PLACE FILL UNTIL SUBGRADE HAS BEEN COMPACTED TO 95% OF MAXIMUM DENSITY BY STANDARD PROCTOR.
- DO NOT COVER ANY SUBGRADE OR WORK UNTIL AUTHORIZED BY THE ENGINEER, BUT OTHERWISE PLACE THE FILL AS SOON AS POSSIBLE.
- REMOVE ALL DISTURBED OR UNSUITABLE MATERIAL AS RECOMMENDED BY THE GEOTECHNICAL CONSULTANT, AND ALL MATERIAL WHICH HAS BECOME UNSUITABLE DUE TO INADEQUATE PROTECTION. REPLACE SUCH MATERIAL WITH APPROVED GRANULAR MATERIAL, AND COMPACT IN LAYERS AND COMPACTING REQUIREMENTS OF SOIL'S CONSULTANT.
- 150mm OF GRANULAR 'A' MATERIAL SHALL BE PLACED IN ONE LIFT UNDER ALL SLAB ON GRADES AND COMPACTED TO 100% OF MAXIMUM DENSITY BY STANDARD PROCTOR (UNLESS OTHERWISE NOTED).

GENERAL NOTES:

DESIGN LOADS: (SEE O.B.C. 2012) - VAUGHAN (WOODBIDGE)

a) ROOF LOADS:
 $S_s = 1.1 \text{ kPa}$
 $S_r = 0.4 \text{ kPa}$

LL DOES NOT INCLUDE SNOW ACCUMULATION. REFER TO PLAN. DL INCLUDES ROOFING, MECHANICAL, ELECTRICAL, STEEL BEAMS & METAL DECK.

b) WIND LOAD:
 $w_g = 0.44 \text{ kPa}$
 (MULTIPLIED BY APPROPRIATE EXPOSURE, GUST AND PRESSURE COEFFICIENTS ACCORDING TO N.B.C. COMMENTARY).
 $\text{NET WIND UPLIFT} = 0.49 \text{ kPa}$

c) SEISMIC DATA:
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 $S_a(0.5) = 0.096$
 $S_a(1.0) = 0.053$
 $S_a(2.0) = 0.026$
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 $P_{GV} = 0.105$
 $P_{OV} = 0.074$

SITE CLASS: C (ASSUMED)

d) PATIO DESIGN LOAD
 DEAD LOAD: 1.0 kPa
 LIVE LOAD: 4.8 kPa

9					
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7					
6					
5					
4					
3					
2	SEP.07.23	ISSUED FOR C OF A		YH	WAM
1	JUL.26.2023	ISSUED FOR BP APPLICATION		YH	WAM
No.	DATE	REVISIONS		INITIAL	CHECKED

GAMA Engineering Inc.
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CLIENT/OWNER:
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 16 OBAN AVENUE, MAPLE,
 ONTARIO L6A 2E2

CITY FILE NO. ORDER NO. 16-452 OB / 2023 120773

PROJECT/ADDRESS:
REAR YARD ONE STORY ADDITION
 16 OBAN AVENUE, MAPLE, ONTARIO L6A 2E2

TITLE:
 FLOOR PLAN, FOUNDATION PLAN,
 ROOF FRAMING PLAN AND ELEVATIONS

DESIGN:	WAM	DWN BY:	YH	DRAWING No.	S-201
SCALE:	AS DRAWN	DWG. FILE:	2335-S-201		
DATE:	JUL.20.23	PROJ. No.	2335		

SCHEDULE B: STAFF & AGENCY COMMENTS				
DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		Recommend Partial Approval/no conditions
Building Standards (Zoning)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		General Comments

Date: November 14th 2023

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A147-23**

Related Files:

Applicant Gama Engineering Inc.

Location 16 Oban Avenue



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

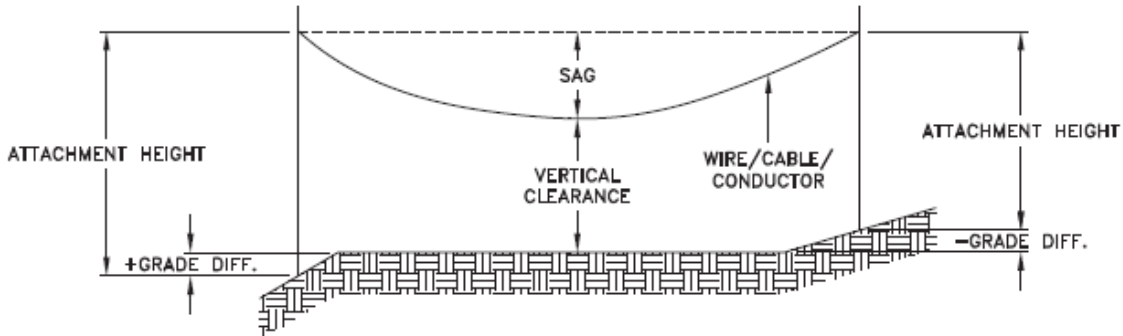
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

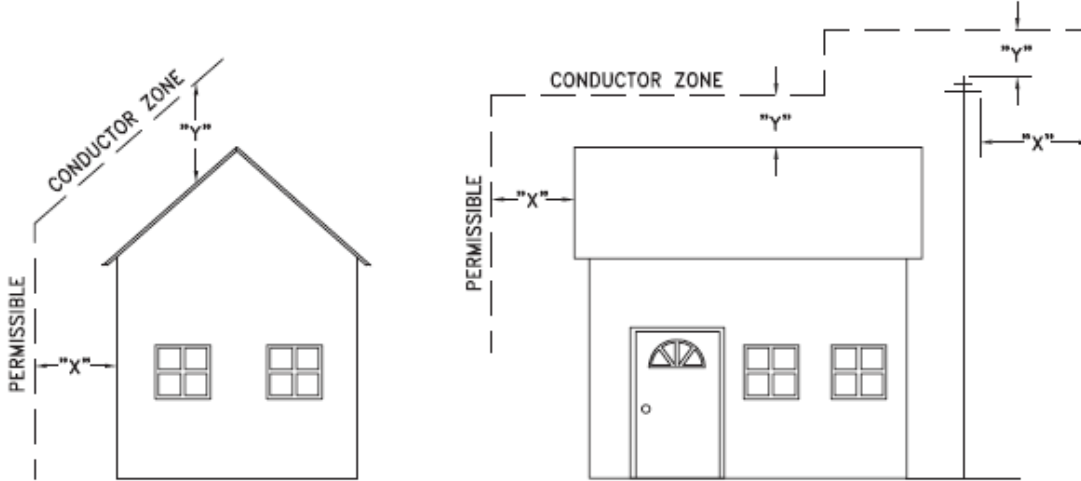
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

To: Committee of Adjustment
From: Bernd Paessler, Building Standards Department
Date: November 15, 2023
Applicant: GAMA ENGINEERING INC.
Location: 16 Oban Avenue
PLAN 65M3022 Lot 46
File No.(s): A147/23

Zoning Classification:

The subject lands are zoned R3(EN) – Third Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.532 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	An accessory building or residential accessory structure shall not be located closer to a front lot line or an exterior side lot line than the principal building on the lot, except where explicitly permitted by this Bylaw. Section 4.1.2 c	To permit two residential accessory structures to be located closer to the exterior side lot line than the principal building.
2	A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line. Section 4.1.2 b	To permit the residential accessory structure with a height greater than 2.8m to be located 0.76m from the rear lot line.
3	The minimum required exterior side yard setback for the residential accessory structure (ex-shed) is 4.5m. Section 4.1.2 a	To permit a minimum required exterior side yard setback of 0.61m for the residential accessory structure.
4	The maximum permitted height for a residential accessory structure is 3.0m. Section 4.1.4 1	To permit a maximum height of 3.5m for the residential accessory structure. (Double shed at rear)
5	The minimum required rear yard setback for the addition is 9.0m. Exception 14.532, Schedule T092	To permit a minimum rear yard setback of 6.03m for the addition.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

Building Permit(s) Issued:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development Planning
Date: December 12, 2023
Name of Owners: Zoran and Slavka Kapor
Location: 16 Oban Avenue
File No.(s): A147/23

Proposed Variance(s) (By-law 001-2021):

1. To permit two residential accessory structures to be located closer to the exterior side lot line than the principal building.
2. To permit the residential accessory structure with a height greater than 2.8 m to be located 0.76 m from the rear lot line.
3. To permit a minimum required exterior side yard setback of 0.61 m for the residential accessory structure.
4. To permit a maximum height of 3.5 m for the residential accessory structure (Double shed at rear).
5. To permit a minimum rear yard setback of 6.03 m for the addition.

By-Law Requirement(s) (By-law 001-2021):

1. An accessory building or residential accessory structure shall not be located closer to a front lot line or an exterior side lot line than the principal building on the lot, except where explicitly permitted by this Bylaw.
2. A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line.
3. The minimum required exterior side yard setback for the residential accessory structure (ex-shed) is 4.5 m.
4. The maximum permitted height for a residential accessory structure is 3.0 m.
5. The minimum required rear yard setback for the addition is 9.0 m.

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Comments:

The Owners are requesting relief to permit two existing residential accessory structures (double shed and single shed) with the above noted variances.

The Development Planning Department has no objection to the portion of Variance 1 that applies to the location of the single shed and Variance 3 for the exterior side yard setback of the single shed. The single shed is very modest in height with a very small portion projecting above the abutting privacy fence separating the rear/exterior side yard from the abutting road. The 0.61 m exterior side yard setback will not pose a significant visual impact to nor impact the function and privacy of the abutting side yard uses and also maintains an appropriate area for access and drainage.

Development Planning Department cannot support the portion of Variance 1 that applies to the location of the double shed as proposed. Also, the Development Planning Department is not in a position to support Variances 2 and 4 for the height and reduced rear and exterior side yard setbacks for the residential accessory structure (double shed). While Development Engineering has reviewed the above noted variances and has no concerns with the reduced rear and exterior side yard setbacks for the double shed from a lot grading and drainage perspective, Development Planning is of the opinion that its placement so close to the rear and exterior lot lines in combination with its height, is not appropriate. The abutting neighbour to the north, 36 Oban Avenue, shares their interior side lot line with 16 Oban Avenue's rear lot line. The proposed double shed abuts the front yard of 36 Oban Avenue. When viewed from Oban Avenue, the double shed presents a continuous stretch of built form spanning the entire depth of the front yard of 36 Oban Avenue. The shed projects some distance above the privacy fence, resulting in the structure being visually prominent with respect to the streetscape.

The structure is out of step from the building line established by the dwellings to the north. Its placement further exacerbates its prominence within the streetscape.

Development Planning is of the opinion that a 0.76 m rear yard setback, resulting in a 1.64 m reduction, is not minor in nature and will result in significant massing and character implications along the rear and exterior lot line and existing streetscape. The double shed presents a long stretch of continuous built form abutting the front yard of 36 Oban Avenue when viewed from the street. The Development Planning Department is of the opinion that the distance between the double shed and exterior and rear property lines is not sufficient to provide adequate spatial separation or allow for the establishment of screening vegetation. As such, the Development Planning Department is not in a position to support Variances 2 and 4.

The Development Planning Department has no objection to Variance 5 for the minimum rear yard setback of 6.03 m for the addition to the rear of the dwelling, as it will not pose a significant visual impact to nor impact the function and privacy of the abutting uses and also maintains an appropriate area for access and drainage. Sufficient rear yard remains for outdoor amenity and landscaping purposes.

Accordingly, the Development Planning Department is not in a position to support part of Variance 1 for the double shed and Variances 2, 3, and 4 for the height and reduced setback of the double shed and for the reduced rear yard setback to the existing addition. The Development Planning Department is of the opinion that the proposal is not minor in nature, does not maintain the general intent and purpose of the Official Plan and Zoning By-law, and is not desirable for the appropriate development of the land.

The Development Planning Department can support part of Variance 1 for the location of the single shed and Variance 3 for the height of the single shed and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the lands.

Recommendation:

The Development Planning Department recommends **refusal** of the part of Variance 1 pertaining to the double shed and Variances 2, and 4, and **approval** of the part of Variance 1 pertaining to the single shed, Variance 3 and 5.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None

Comments Prepared by:

Michelle Perrone, Planner 1
David Harding, Senior Planner

Prabhdeep Kaur

From: Kristen Regier <Kristen.Regier@trca.ca>
Sent: Monday, November 13, 2023 2:21 PM
To: Committee of Adjustment
Subject: [External] RE: A147/23 - REQUEST FOR COMMENTS, CITY OF VAUGHAN

Hello,

The subject property at 16 Oban Ave, Vaughan is not located within TRCA's Regulated Area. TRCA's Planning and Regulatory policy interests are not impacted.

As such, TRCA has no comments on the application.

Best,

Kristen Regier, MA (she / her)
Planner I
Development Planning and Permits | Development and Engineering Services
Toronto and Region Conservation Authority (TRCA)

T: [437-880-2129](tel:437-880-2129)
E: kristen.regier@trca.ca
A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca) | [trca.ca](https://www.trca.ca)



Pravina Attwala

Subject: FW: [External] A147/23 - Request for Comments

From: Karyn McAlpine-Tran <karyn.mcalpine-tran@ycdsb.ca>

Sent: November-13-23 4:22 PM

To: Committee of Adjustment <CofA@vaughan.ca>

Subject: [External] A147/23 - Request for Comments

Hello,

Thank you for the opportunity to review the above referenced Committee of Adjustment application. Staff have reviewed the material provided and have no comments or objections to its approval.

Thank you,
Karyn

Karyn McAlpine-Tran
Senior Planner
Planning Services

York Catholic District School Board
320 Bloomington Road West
Aurora, ON L4G 0M1

Phone: 905-713-1211 ext.12329

Email: karyn.mcalpine-tran@ycdsb.ca

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SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

None

SCHEDULE D: PREVIOUS COA DECISIONS ON THE SUBJECT LAND

None