

ATTACHMENT 2

8 LESTER B PEARSON



Scoped Cultural Heritage Impact Assessment, 8 Lester B. Pearson Street, Vaughan, ON

Final Report

October 18, 2023

Prepared for:
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Limitations and Sign-off

October 18, 2023

Limitations and Sign-off

The conclusions in the Report titled Scoped Cultural Heritage Impact Assessment, 8 Lester B. Pearson Street, Vaughan, ON are Stantec's professional opinion, as of the time of the Report, and concerning the scope described in the Report. The opinions in the document are based on conditions and information existing at the time the scope of work was conducted and do not take into account any subsequent changes. The Report relates solely to the specific project for which Stantec was retained and the stated purpose for which the Report was prepared. The Report is not to be used or relied on for any variation or extension of the project, or for any other project or purpose, and any unauthorized use or reliance is at the recipient's own risk.

Stantec has assumed all information received from Marilu Abreu (the "Client") and third parties in the preparation of the Report to be correct. While Stantec has exercised a customary level of judgment or due diligence in the use of such information, Stantec assumes no responsibility for the consequences of any error or omission contained therein.

This Report is intended solely for use by the Client in accordance with Stantec's contract with the Client. While the Report may be provided to applicable authorities having jurisdiction and others for whom the Client is responsible, Stantec does not warrant the services to any third party. The report may not be relied upon by any other party without the express written consent of Stantec, which may be withheld at Stantec's discretion.

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Executive Summary

Marilu Abreu (the Client) retained Stantec Consulting Ltd. (Stantec) to prepare a Scoped Cultural Heritage Impact Assessment (Scoped CHIA) for the property at 8 Lester B. Pearson Street (the property) in the City of Vaughan, Regional Municipality of York, Ontario. The property is designated under Part V of the *Ontario Heritage Act* (OHA) as part of the Kleinburg-Nashville Conservation District (HCD) and is identified as a non-contributing property (ARA et al 2021). The property contains a one storey c.1950 “Victorian inspired” residence that was altered in the late 20th century.

The Client is proposing the removal of the existing dwelling and the construction of a two and one half storey residence built on the foundations of the existing dwelling structure. The proposed dwelling is inspired by Georgian and Neo-Classical design.

This Scoped CHIA assessed the potential for adverse impacts resulting from the proposed renovations on the property and the Kleinburg-Nashville HCD, specifically the Historic Village Core, potential Cultural Heritage Landscape (CHL) within the HCD, and the Kleinburg Village Character Area. Overall, Stantec determined that the proposed renovations and design:

- Will not result in direct or indirect impacts on the cultural heritage value or interest and heritage attributes of the HCD as the existing building does not contribute to the heritage value of the HCD and as the proposed development will not result in the removal of the existing vegetation on the property.
- Meets the HCD Plan's design guidelines for non-contributing properties and new development.

To conform with the HCD Plan, the following recommendations are made:

- Retain existing side yard on the south side yard if feasible. If not feasible, then replacement plantings of the same or similar species should be installed following construction.
- Decrease the height of the building by 0.5 to 1.0 metres to meet the height requirements of the HCD plan, if feasible. If height reductions are not feasible, consider planting large deciduous or coniferous canopy trees in the front yard to partially screen the residence from the street and provide a counterpoint to the building height when the trees reach maturity.
- Where materials or colours have not been determined in the design, or if materials or colours may be subject to change during the design process, select materials and palettes that are in keeping with the HCD design guidelines.



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- While machinery is anticipated to be required for demolition and construction, this is anticipated to be temporary in nature and be limited to small scale machinery that could appropriately access the property. Given the nature of construction, the proposed undertaking is unlikely to result in land disturbance that impact attributes of the HCD. Typical residential construction does not usually require vibration assessment or monitoring in the manner that large-scale development or urban infrastructure changes do. Should the project contractor or engineers identify concerns during construction, an engineer or qualified building specialist should be retained to determine if additional action is required.

The Executive Summary highlights key points from the report only; for complete information and findings the reader should examine the complete report.



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Acronyms / Abbreviations

CAHP	Canadian Association of Heritage Professionals
CHIA	Cultural Heritage Impact Assessment
CHL	Cultural Heritage Landscape
CHVI	Cultural Heritage Value or Interest
HCD	Heritage Conservation District
MCM	Ministry of Citizenship and Multiculturalism
n.d.	No date
OHA	<i>Ontario Heritage Act</i>
O. Reg.	Ontario Regulation
PPS	<i>Provincial Policy Statement</i>
PVC	polyvinyl chloride



Project Personnel

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Acknowledgements

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1 Introduction

1.1 Study Purpose

Marilu Abreu (the Client) retained Stantec Consulting Ltd. (Stantec) to prepare a Scoped Cultural Heritage Impact Assessment (Scoped CHIA) for the property at 8 Lester B. Pearson Street (Figure 1 and Figure 2) in the City of Vaughan, Regional Municipality of York, Ontario. The property is designated under Part V of the *Ontario Heritage Act* (OHA) as part of the Kleinburg-Nashville Conservation District (HCD) and identified as a non-contributing property (ARA et al 2021). The property contains a one storey c.1950 “Victorian inspired” residence that was altered in the late 20th century.

The Client is proposing the removal of the existing dwelling and the construction of a two and one half storey residence built on the foundations of the existing dwelling structure. The proposed dwelling is inspired by Georgian and Neo-Classical design.

The purpose of the Scoped CHIA is to respond to policy requirements regarding the conservation of cultural heritage resources in the land use planning process. This Scoped CHIA follows the City’s *Guidelines for Cultural Heritage Impact Assessments* (Guidelines) (City of Vaughan 2019) (Appendix A) and the Ministry of Citizenship and Multiculturalism (MCM) Info Sheet #5 in *Heritage Resources in the Land Use Planning Process, Cultural Heritage and Archaeology Policies of the Ontario Provincial Policy Statement, 2005* (Info Sheet #5) (Government of Ontario 2006).

1.2 Policy Framework

1.2.1 Planning Act

The *Planning Act* (Government of Ontario 1990a) provides a framework for land use planning in Ontario, integrating matters of provincial interest in municipal and planning decisions. Part I of the *Planning Act* identifies that the Minister, municipal councils, local boards, planning boards, and the Municipal Board shall have regard for provincial interests, including:

- (d) The conservation of features of significant architectural, cultural, historical or scientific interest

(Government of Ontario 1990a)



1.2.2 Provincial Policy Statement

The Provincial Policy Statement (PPS) (Government of Ontario 2020) is intended to provide policy direction for land use planning and development regarding matters of provincial interest. Cultural heritage is one of many interests contained within the PPS. Section 2.6.1 of the PPS states that “significant built heritage resources and cultural heritage landscapes shall be conserved” (Government of Ontario 2020). Under the PPS definition, conserved is defined as:

The identification, protection, management and use of built heritage resources, cultural heritage landscapes and archaeological resources in a manner that ensures their cultural heritage value or interest is retained. This may be achieved by the implementation of recommendations set out in a conservation plan, archaeological assessment, and/or heritage impact assessment that has been approved, accepted, or adopted by the relevant planning authority and/or decision maker. Mitigative measures and/or alternative development approaches can be included in these plans and assessments.

(Government of Ontario 2020)

Under the PPS definition, regarding cultural heritage and archaeology, significant is defined as:

. . . resources that have been determined to have cultural heritage value or interest. Processes and criteria for determining cultural heritage value or interest are established by the Province under the authority of the Ontario Heritage Act.

(Government of Ontario 2020)

Under the PPS, “protected heritage property” is defined as:

. . . property designated under Parts IV, V or VI of the Ontario Heritage Act; property subject to a heritage conservation easement under Parts II or IV of the Ontario Heritage Act; property identified by the Province and prescribed public bodies as a provincial heritage property under the Standards and Guidelines for Conservation of Provincial Heritage Properties; property protected under federal legislation, and UNESCO World Heritage Sites.

(Government of Ontario 2020)

1.2.3 Ontario Heritage Act

The OHA provides the primary statutory framework for the conservation of cultural heritage resources in Ontario. Conservation of cultural heritage resources is a matter of provincial interest, as reflected in the OHA policies. Under Part IV and V of the OHA, a municipal council may designate individual properties containing cultural heritage value



or interest (CHVI) or properties within an HCD where the appropriate criteria are satisfied.

1.2.4 Region of York Official Plan

The Region of York Official Plan (Region of York 2010) contains the following policies regarding cultural heritage resources:

To recognize, conserve and promote cultural heritage and its value and benefit to the community.

It is the policy of Council:

Section 3.4.1

To encourage local municipalities to compile and maintain a register of significant cultural heritage resources, and other significant heritage resources, in consultation with heritage experts, local heritage committees, and other levels of government.

Section 3.4.3

To require local municipalities to adopt official plan policies to conserve significant cultural heritage resources.

Section 3.4.11

To require local municipalities to adopt official plan policies to conserve significant cultural heritage resources and ensure that development and site alteration on adjacent lands to protected heritage properties will conserve the heritage attributes of the protected heritage property.

(Region of York 2010)

1.2.5 City of Vaughan Official Plan

The City's Official Plan (City of Vaughan 2010) contains the following policy regarding development within or adjacent to listed properties:

Section 6.2.3.1

That when development is proposed on a property that is not designated under the Ontario Heritage Act but is listed on the Heritage register, recognized as a Cultural heritage character area or identified as having potential cultural heritage value, the applicant shall submit a Cultural heritage impact assessment when: a. the proposal requires an Official Plan amendment, a zoning by-law amendment, a plan of subdivision, a plan of condominium, a minor variance or a site plan application; b. the proposal involves the demolition of a building or the removal of a building or part



thereof or a heritage landscape feature; or c. there is potential for adverse impact to a cultural heritage resource from the proposed development activities.

Section 6.2.3.2

That when development is proposed on a property adjacent to a property that is not designated under the Ontario Heritage Act but is listed on the Heritage register, recognized as a Cultural heritage character area, or identified as having potential cultural heritage value: b. the applicant shall submit a Cultural heritage impact assessment if through the development approval process it is determined that there is the potential for adverse impact on the adjacent heritage resource from the proposed development.

(City of Vaughan 2010)

1.2.6 Kleinburg-Nashville HCD Plan

The Kleinburg-Nashville HCD Plan contains policies for non-contributing properties within the HCD, as it is recognized that while the properties may not contribute to the HCD character in the same way that contributing properties do, alterations and additions over time can alter the character of the HCD and streetscape. The HCD plan states that alteration and additions to non-contributing properties “shall aim not to detract from the heritage character of the HCD overall and to adjacent properties” and that “any irreversible alterations or modifications proposed will require a Cultural Heritage Impact Assessment within the HCD”. Designs for non-contributing properties “shall be sympathetic in nature and materials without recreating heritage styles” (ARA et al 2021).

Individual policies for non-contributing buildings are discussed in Section 1.2.6 where the conformance of the proposed design to the HCD policies is assessed.

1.3 Assessment of Impacts

When determining the effects a development or site alteration may have on built heritage resources or cultural heritage landscapes (CHL), the MCM’s Info Sheet #5 advises that the following “negative impacts” should be considered:

- Direct Impacts:
 - *Destruction of any, or part of any, significant heritage attributes or features*
 - *Alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance*
- Indirect Impacts:
 - *Shadows that alter the appearance of a heritage attribute or change the viability of a natural feature or plantings, such as a garden*



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- *Isolation of a heritage attribute from its surrounding environment, context or a significant relationship*
- *Direct or indirect obstruction of significant views or vistas within, from, or of built and natural features*
- *A change in land use such as rezoning a battlefield from open space to residential use, allowing new development or site alteration to fill in the formerly open spaces*
- *Land disturbances such as a change in grade that alters soil, and drainage patterns that adversely affect an archaeological resource*

(Government of Ontario 2006)

Other potential impacts may also be considered, such as vibration. Vibration is categorized together with land disturbance. Although the effect of traffic and construction vibrations on historical period structures is not fully understood, vibrations may be perceptible in buildings with a setback of less than 40 metres from the curbside (Crispino and D'Apuzzo 2001; Ellis 1987; Rainer 1982; Wiss 1981). For this study, a 50-metre buffer is used to represent a conservative approach to delineate potential effects related to vibration. The proximity of the proposed development to heritage resources was considered in this assessment.

1.4 Mitigation Options

In addition to providing a framework to assess the impacts of a proposed undertaking, the MCM's Info Sheet #5 also provides methods to minimize or avoid impacts on cultural heritage resources. These include, but are not limited to:

- *Alternative development approaches*
- *Isolating development and site alteration from significant built and natural features and vistas*
- *Design guidelines that harmonize mass, setback, setting, and materials*
- *Limiting height and density*
- *Allowing only compatible infill and additions*
- *Reversible alterations*
- *Buffer zones, site plan control, and other planning mechanisms*

(Government of Ontario 2006)

In addition, this CHIA considers the mitigation options outlined in the City's Guidelines. These include:

- *Avoidance Mitigation*



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- *Salvage Mitigation*
- *Historical Commemoration*

(City of Vaughan 2019)





Legend
Study Area

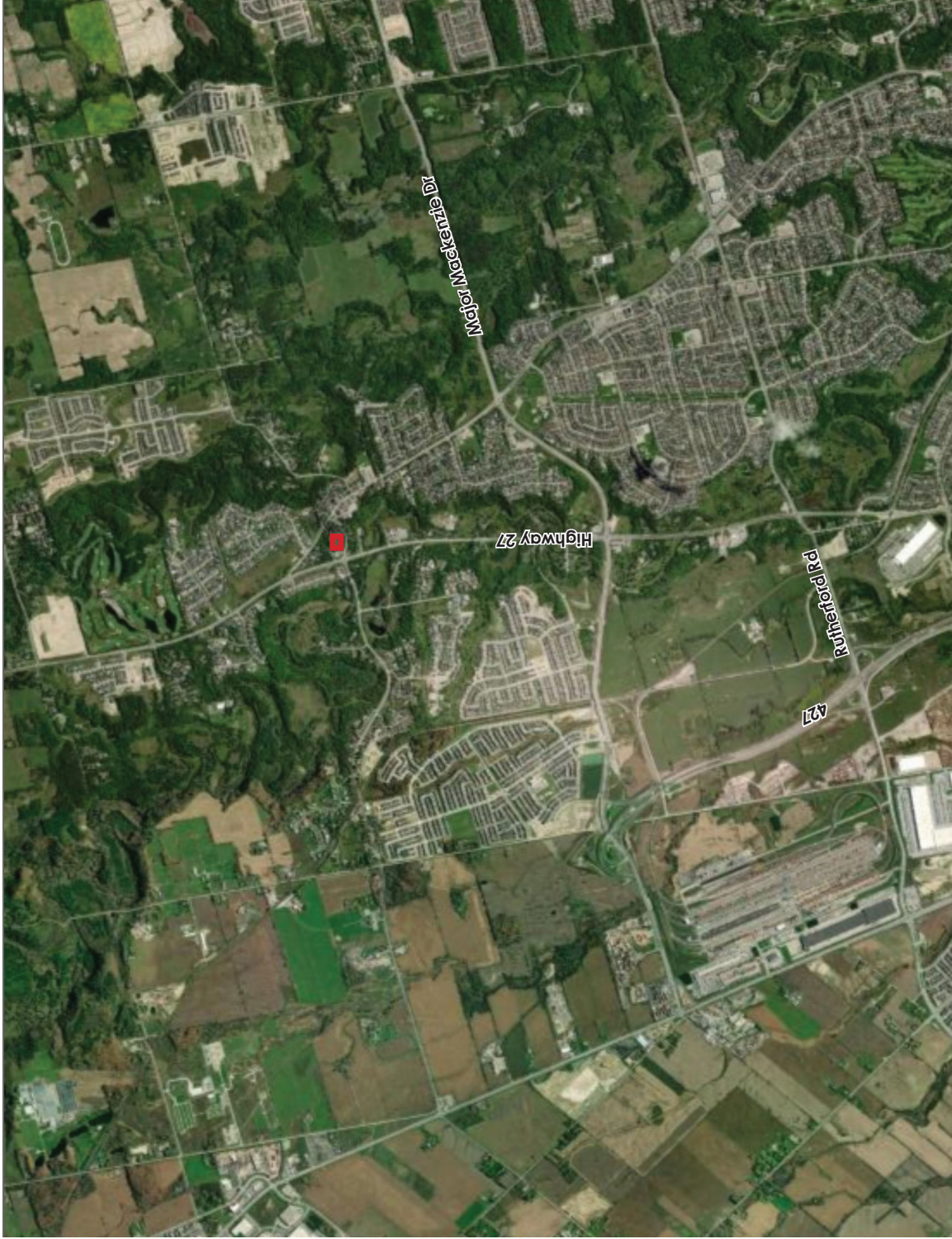
Notes

Project Location 1.6/94.005
Vaughan, Ontario Prepared by KC on 2023-08-15

Client/Project
Marilu Abreu
Cultural Heritage Impact Assessment -
8 Lester B. Pearson Street, Vaughan, ON L0J 1C0

Figure No. 1 **DRAFT**

Title
Location of Study Area





Legend
Study Area

Notes

Project Location 1.6294.0005
Vaughan, Ontario Prepared by KC on 2023-08-15

Client/Project
Marilu Abreu
Cultural Heritage Impact Assessment -
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Figure No. 2
DRAFT

Title
Study Area



2 Summary of Site and Historical Context

2.1 Kleinburg-Nashville Heritage Conservation District

The Kleinburg-Nashville HCD was designated in 2003 under Part V of the OHA. A Study and Plan for the HCD were prepared by Philip H. Carter Architect and Planner (in association with Paul Oberst, Nicholas Holman, and Harrington Hoyle) to provide policies and guidelines for the conservation of heritage resources and district character. Beginning in 2019, the City of Vaughan began a process to update the Kleinburg-Nashville HCD Plan to meet the changing policy framework and review the boundary of the HCD. An updated HCD Study and Plan were prepared in 2021 by Archaeological Research Associates Ltd. (ARA), Architects Rasch Eckler Associates (AREA), and Dillon Consulting (ARA et al 2021) which included boundary revisions from the original HCD. The revised HCD Plan was adopted by Council in 2023.

The Kleinburg-Nashville HCD contains an area that encompasses rural villages established in the Township of Vaughan in the 19th century. The area contains the two former villages of Kleinburg and Nashville, which grew around mill sites on the Humber River and the Canadian Pacific railway line. The former villages are linked together by Nashville Road. The road alignments of the former villages are influenced by the Humber River Valley topography (ARA et al 2021).

The HCD has CHVI for its design value, historical value, and contextual value. Its design value is reflective of a “pair of organically evolved historic village communities dating from the mid-19th century” with a variety of architectural styles that contribute to a varied streetscape and demonstrate the growth over time (ARA et al 2021). The historical value of the HCD is linked to the people, companies, and organisations that contributed to the development of the villages over time including John Kline, the Howland Brothers, the McMichaels, and Pierre Berton (ARA et al 2021). The contextual value of the HCD relates to its historical and functional link to its surroundings, namely the Humber River valley, Nashville Road, and the natural setting of the river valley. The HCD is also noted as a local landmark.

2.1.1 Heritage Attributes

The following heritage attributes were identified in the Kleinburg-Nashville HCD Plan for the HCD:

- Landmark properties:
 - Pierre Berton Heritage Centre, 10418 Islington Avenue, (Former Kleinburg United Church Building)
 - McMichael Art Gallery, 10365 Islington Avenue



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- Railway Station, 10415 Islington Avenue (By-law 144-78)
- 10535 Islington Avenue (By-law 30-85)
- 10483 Islington Avenue (By-law 32-85)
- Arthur McNeil House, 10499 Islington Avenue (By-law 39-88)
- Doctor's House, 21 Nashville Road (By-law 48-79)
- Kline House, 8 Nashville Road (By-law 73-83)
- Cultural Heritage Landscapes including:
 - Humber River and Valleys
 - McMichael Canadian Collection Property (10365 Islington Avenue)
 - Historic Village Core of Kleinburg
 - Historic Village Core of Nashville
 - Windrush Co-operative (properties on Valley Road, Windrush Road, and No. 30 Stegman's Mill Road)
 - Kleinburg Cemetery (59 Nashville Road)
- Mature trees in front, side and rear yards of residential and commercial properties;
- Collection of structures dating from the mid-19th to early-20th century, representing various architectural styles and materials expressed in rural Ontario villages during this era;
- Collection of modernist architecture;
- Commercial core of Kleinburg that is pedestrian oriented with narrow setbacks from the street, and the building entrances that face the street;
- Variety of setbacks in the residential areas;
- Islington Avenue as a remnant of the Carrying Place Trail;
- Nashville Road as an historic link between Kleinburg and Nashville;
- Rural curbless cross-section, with drainage ditches on both sides of the roadway of Islington Avenue from Major Mackenzie to Pennon Road, and Nashville Road intermittently from Lester B. Pearson Street to Highway 27, and west of the bridge along Nashville Road to Huntington Road;
- Low-density scale and massing of structures ranging from one to two-and-a-half storeys in building heights; and
- Views to/from heritage attributes including:
 - Classic village views exist along Islington Avenue within the business district of Kleinburg generally extending between Redcroft House (west side) and the McMichael Canadian Art Collection (east side) to the



intersection with Nashville Road. In particular the views looking north in the vicinity of Stegman’s Road and south from Nashville Road.

- Between Howland Road and Klein’s Ridge Road, Nashville Road curves northward and crosses the Humber River affording views up and down the valley, particularly to the north. Driving eastward through this area gives long range views to the hilly terrain that surrounds Kleinburg.
- View directly south from the Nashville Road along the railway to the relic of the grain elevator that portrays the early industrial history of Nashville.
- Highway 27, at the crossing of the Humber River, views of the river and valley, particularly to the west.

(ARA et al 2021)

2.1.2 Kleinburg Village Core CHL/Character Area

The property at 8 Lester B. Pearson Street is located within the Historic Village Core of Kleinburg Character Area and Cultural Heritage Landscape. The HCD Study does not provide heritage attributes, but the original HCD Plan characterised the CHL as consisting of the:

“... properties fronting on Islington Avenue between the McMichael Gallery to the intersection with Highway 27, Nashville Road from Islington to the swale just north of Lester B. Pearson, Stegman’s Mill Road to the far bank of the East Humber, and the roads opening off of those previously listed”.

The area is noted to continue to portray a historic village core, with heritage buildings and a mix of “commercial and residential building types with varied setbacks” (ARA et al 2021). Landscape elements include front yard delineation with fences and hedges on some properties, and mature vegetation found in front and side yards (ARA et al 2021).

2.2 Site Description

2.2.1 Landscape Setting

The property is located in the northwest quadrant of the intersection of Lester B. Pearson Street and Nashville Road. Nashville Road increases in slope from Hwy 27 to Islington Avenue. The property at 8 Lester B. Pearson also follows the sloping topography, with the west property boundary lower than the east. The property is relatively level where the house is located (east side), and gradually declines in the back (west side) and towards Nashville Road (south side).

Entering the property from Lester B. Pearson Street, the residence is on the north side, with a strip of lawn and a mature tree line along the south property line. The mature tree



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line is a mix of coniferous and deciduous species. An interlocking brick pathway on the south side of the residence leads to the backyard. The first section of the backyard is a rectangular lawn, with a square interlock patio abutting the west elevation of the residence. The mature tree line on the south property line comes inward slightly lining the maintained lawn, just before the backyard slopes downward. At the base of the slope is another lawn with a shed in the centre. The mature tree line runs parallel along Nashville Road, wrapping around the bottom lawn and west property line. The north property boundary, abutting the neighbour's property, is lined with a shrub border.

2.2.2 Residence and Summary of Renovations

The property at 8 Lester B. Pearson Street is identified in the HCD Study and Plan as having been constructed in 1950, as a “suburban Victorian inspired” structure. The 2007 HCD inventory identified the structure as a “modest bungalow” with white horizontal aluminum siding, clay brick chimney with upper corbels, a lean-to carport on the south side of the building, and vinyl windows and doors. A flat roof addition was noted on the north side of the structure (Plate 1). The 2007 inventory suggested that while cladding materials were contemporary, it may have been an “older house” (Carter et al 2007).

Information from the City of Vaughan notes that the residence was extensively renovated in 2012. This included the replacement of aluminum siding with horizontal board and batten style vinyl siding, vinyl double hung heritage style windows with internal muntins simulating a 6/6 sash window, a poured concrete porch foundation with white timber trimmed columns supporting a gable roof overhang (Plate 2).



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**Plate 1: Image of 8 Lester B. Pearson Street with horizontal siding, 2007
(Source: City of Vaughan)**



Plate 2: View of 8 Lester B, Pearson Street, 2023 (Stantec 2023)



3 Overview of Proposed Work

The Client is proposing to remove the existing dwelling at 8 Lester B. Pearson Street. This includes removal of the existing residence to the foundation level and construction of a two and one half storey, single detached dwelling on portions of the existing foundation (Appendix B). The roof is proposed to be a side facing gable with rear hip section, asphalt shingles, and three hip roof dormers on the front façade. Decorative brick chimney caps are proposed to bookend either side of the house. The foundation is to be faced with stone. A detached double car garage is proposed to the west of the residence.

The new dwelling will continue to front on Lester B. Pearson Street, although comprise a larger 42-foot-wide façade with a five bay arrangement and central entrance. The front entrance is proposed to consist of a single glazed door with sidelights and transom, with a front portico supported by twinned polyvinyl chloride (PVC) pillars. The windows are proposed to be single or double hung with exterior simulated muntins providing a 6/6 sash window appearance. Each window will have a cut limestone sill.

The south elevation, fronting on Nashville Street, is proposed to contain a walk-out basement with a French-style single door flanked by matching windows and the same 6/6 sash style windows as the east (front) façade. A rear section of the building is proposed to be clad in composite horizontal cladding, with a small porch area supported by squared PVC columns. The windows on this section of the building are not proposed to contain the stone trim at the top of the windows.

The west (rear) façade is proposed to contain wooden clapboard cladding, 6/6 sash style windows without top trim, and a porch extension. The porch will be supported by squared wooden columns and accessed via double French style doors. The central section of the porch is screened in, with wooden balustrade on the lower section and screen above. A brick exterior gas fireplace is proposed to be located in the centre of the screened porch area, with an exposed chimney area.

The north façade is proposed to contain 6/6 sash style windows on the brick portion of the house, and narrower 4/4 style sash windows on the rear siding-clad portion. A single glazed entrance door with transom is proposed to provide access to the interior from the driveway area.

The garage is proposed to be a detached one and one half storey structure with a side gable roof clad in asphalt shingles. The garage is proposed to have a walkout basement, composite horizontal cladding, and stone-faced concrete foundation. The east (front) façade is proposed to contain a single unglazed panel door with transom and double paneled garage doors with upper glazing. The half storey is proposed to contain a shed dormer with two central 6/6 style sash windows flanked by narrower 4/4 style sash windows.



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The north elevation of the garage is proposed to have no windows or doors while the west (rear) elevation basement level is proposed to have a single unglazed panel door and 6/6 style sash windows with concrete lintels. The first storey is proposed to contain three 6-pane windows with external simulated muntins windows, and the shed dormer in the half storey with 6/6 style sash windows and simulated external muntins.

The property is proposed to have an interlocking brick driveway access along the north side of the lot to provide access to the house and garage. An interlocking brick patio with fire pit is proposed behind the garage, with landscaped area to the north along the lot line. Interlocking brick paths connect the driveway and patio area to the rear porch and south walkout basement entrance, with landscaped beds along the porch area. The remainder of the yard will contain soft landscaping and trees (Appendix B).

The proposed alterations will use 25% of the existing foundation that requires limited excavation. While some site grading is required for the new driveway allowance, it is expected to be maintained at the standard grade of between 2%-5%. The machinery is anticipated to be required for demolition and construction is anticipated to be temporary in nature and be limited to small scale machinery that could appropriately access the property.



4 Assessment of Impacts

The property at 8 Lester B. Pearson Street is a non-contributing property located in the Kleinburg-Nashville HCD. Given the non-contributing status, an assessment of potential impacts has been limited to the attributes of the HCD (see Section 2.1.1 for identification of heritage attributes). Impacts are defined by Info Sheet #5 and discussed in Table 1 and Table 2 below.

Table 1: Evaluation of Potential Direct Impacts

Direct Impact	Impact Anticipated	Relevance to the Kleinburg-Nashville HCD
Destruction of any, or part of any, <i>significant heritage attributes</i> or features.	No	The proposed renovations will not directly impact the heritage attributes of the Kleinburg-Nashville HCD or Village Core CHL/Character Area. The property is a non-contributing property in the HCD and is not considered to be a heritage attribute. The property contains intermediate front and side yard trees but no mature trees. The HCD Plan does not identify significant views of the property. Therefore, mitigation measures are not required.
Alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance.	No	The development proposal does not include alterations to the line of trees and shrubs along Nashville Road. As such, there will be no incompatible alterations to the historic fabric and appearance of the HCD. Therefore, mitigation measures are not required.



Table 2: Evaluation of Potential Indirect Impacts

Indirect Impact	Impact Anticipated	Relevance to the Property
<p>Shadows created that alter the appearance of a <i>heritage attribute</i> or change the viability of a natural feature or plantings, such as a garden.</p>	<p>No</p>	<p>The proposed design is two and one half storeys in height and is located beside another non-contributing 20th century property of a similar height. Shadows created by the proposed design would not alter the appearance of HCD attributes. Therefore, mitigation measures are not required.</p>
<p>Isolation of a <i>heritage attribute</i> from its surrounding environment, context, or a <i>significant relationship</i>.</p>	<p>No</p>	<p>The existing property and adjacent property are both non-contributing resources. The proposed design will not result in isolation of heritage attributes of the HCD from their context, environment, or relationships. Therefore, mitigation measures are not required.</p>
<p>Direct or indirect obstruction of <i>significant views</i> or vistas within, from, or of built and natural features.</p>	<p>No</p>	<p>Views of (or including) the property were not identified as a heritage attribute of the HCD. Therefore, mitigation measures are not required.</p>
<p>A change in land use such as rezoning a battlefield from open space to residential use, allowing new <i>development</i> or <i>site alteration</i> to fill in the formerly open spaces.</p>	<p>No</p>	<p>The use of the property will remain residential. No changes in land use are proposed. Therefore, mitigation measures are not required.</p>
<p>Land disturbances such as a change in grade that alters soil, and drainage patterns that adversely affect an</p>	<p>No</p>	<p>Typically, indirect impacts resulting from land disturbances apply to archaeological resources, which are beyond the scope of this report. Standard residential construction does not usually require vibration assessment or</p>



Indirect Impact	Impact Anticipated	Relevance to the Property
<i>archaeological resource.</i>		monitoring in the manner that large-scale development or urban infrastructure changes do. Therefore, mitigation measures are not required.

4.1 Discussion of Impacts

4.1.1 Direct Impacts

Direct impacts to the property, the heritage attributes of the HCD, or the Village Core Character Area/CHL of the HCD are not anticipated. This includes impacts associated with destruction or alteration of heritage attributes, neither of which are anticipated as part of this project.

4.1.2 Indirect Impacts

Indirect impacts to the property, heritage attributes of the HCD, or the Village Core Character Area/CHL of the HCD are not anticipated. This includes impacts associated with shadows, obstruction of significant views, isolation of heritage resources, or changes in land use, none of which are anticipated or applicable as part of this Project. Given the nature of construction, the proposed undertaking is unlikely to result in land disturbance associated with vibration effects. Standard residential construction does not typically require vibration assessments or monitoring unless required through municipal by-law. Should the project contractor or engineers identify concerns during construction, an engineer or qualified building specialist could be retained to determine if additional action is required.

4.2 Conformance with the Heritage Conservation District Plan Guidelines

The Kleinburg-Nashville HCD Plan contains several design guidelines for non-contributing properties in the HCD, specifically those related to historical conversions and additions. As the project is neither a historical conversion nor an addition, guidelines for new development will be applied. The following sections discuss the compatibility of the proposed design to the HCD guidelines for new construction.

4.2.1 Setbacks

The proposed design uses part of the existing foundation and maintains the existing setbacks from the street. As shown in the proposed plans (Appendix B), the footprint of the dwelling will align with the setback of the existing dwelling.



4.2.2 Scale and Massing

The proposed residence is approximately 9.7 metres tall from the beginning of the main floor to the roof peak, and approximately 10.9 metres tall from the base of the average grade. This is between 0.2 and 1.4 metres higher than the guidelines in the HCD Plan permit for new residences. In this regard, the proposed design is not compatible with the HCD guidelines. However, the adjacent property at 12 Lester B. Pearson Street is a tall two storey structure with steeply pitched roof, and as a result, the proposed residence would be in keeping with the scale of the adjacent building. The proposed design preserves the side yard on both side of the property, with driveway or lawn on either side of the residence. The building fronts Lester B. Pearson Street and retains the typical emphasis of the building from the streetscape. Designs showing both sides of the residence have been prepared, as it is located on a corner lot. As the proposed design of the residence is taller than the guidelines in the HCD Plan, mitigation measures are recommended.

4.2.3 Architectural Styles

The proposed design reflects a Georgian/Neoclassical design, which is identified as one of the historic contributing styles within the HCD. The proposed design is not a replica of the style as it does not use the same classical proportions and contains a rear addition, porches, walk-out basement, and side entrance that are not found in the historic styles. Nonetheless, the proposed design is consistent in its reference to Georgian and Neoclassical styles and does not mix or match with other styles. It is not identical to adjacent houses, which are a postmodern at 12 Lester B. Pearson Street and a 1990s dwelling with some Georgian influences at 40 Nashville Road. The Georgian influences proposed are different in nature than the adjacent property and would not be read distinct of each other.

4.2.4 Roof Form, Materials and Features, and Dormers

The proposed design uses a side gable and hipped roof, with a predominant side gable section on the main house facing Lester B. Pearson Street. This is consistent with the Georgian and Neoclassical architectural styles. Hip roof dormers of an appropriate scale (smaller than the primary windows) are located on the front roof section. The proposed design uses asphalt shingles which is acceptable in the HCD Design Guidelines. Decorative brick chimneys bookend the front elevation in a manner consistent with the historical architectural styles. Eavestrough, flashing, and caulking colours have not been identified in the proposed design. Downspouts are not shown on the proposed plan. It is anticipated that the colours of the eavestrough, flashing and caulking will be compatible with the surrounding finishes of the residence.



4.2.5 Windows

The simulated light 6/6 windows shown in the proposed design are an appropriate style and proportion to historical architectural styles, with cut limestone trim surrounding the windows. The proposed design will include aluminum or metal framed windows, which will conform with the HCD Plan. Windows will be selected so that their appearance will be in line with the design guidelines of the HCD Plan.

4.2.6 Doors

The proposed design uses a single glazed door with sidelights and transom. This is consistent with the historical Georgian and Neoclassical architectural styles. The proposed materials are fibreglass or steel which is consistent with the approved materials for the new buildings in the HCD.

4.2.7 Wall Materials

The proposed design includes exterior walls primarily clad in brick, the colour of which has not yet been determined. The brick will be of a standard size and the brick coursing will reflect traditional patterns and alignments. Portions of the rear of the building and the garage will be clad in composite horizontal siding, with composite shingles on the house dormers. The proposed wall materials are consistent with the design guidelines of the HCD Plan.

4.2.8 Porches and Verandahs

The proposed design features an open front portico with three squared support columns on both sides. The back porch proposes the same squared columns and a squared spindle. These are proposed to be made of PVC material. The style of portico and porch is consistent the architectural style of the dwelling and is therefore compatible with the HCD Plan. Required materials for porches are not specified in the HCD Plan.

4.2.9 Foundations

The HCD Plan requires foundations to be an appropriate height to the historic architectural forms of the HCD and appear in a traditional stone pattern. The proposed design would face the foundation with a thin layer of stone veneer to provide the look of a rubble stone foundation, in line with the HCD Plan guidelines.

4.2.10 Landscape

The HCD Plan encourages generous setbacks between buildings and preservation of mature trees. The proposed design would provide or maintain lawn and landscaped space on the south, east, and west sides of the property. Existing trees and shrubs on



the south side of the property would remain and screen the walk-out basement entrance from Nashville Road. No fencing is proposed as part of the proposed works.

4.2.11 Garages and Outbuildings

The HCD Plan requires garages and outbuildings to be lower in profile than the principal building. The proposed detached garage would be half the height of the residence, in keeping with the guidelines of the HCD Plan, and would be set back from the house so as not to be the main focal point of the lot. The materials, windows, and garage door materials and styles are consistent with the design of the house and compliment its architectural style in keeping with the guidelines of the HCD Plan.



5 Mitigation Measures

While the proposed design does not result in direct or indirect impacts to the Kleinburg-Nashville HCD, mitigation measures are required for conformance with the HCD Plan guidelines. As such, the mitigation options identified in Info Sheet #5 (see Section 2.4) have been explored below in Table 3.

Table 3: InfoSheet #5 Mitigation Options

Mitigation Option	Discussion
Alternative development approaches	Alternative development approaches that retain the vegetation have been considered and implemented into the project design in order to avoid impacts to the Kleinburg-Nashville HCD.
Isolating development and site alteration from significant built and natural features and vistas	The proposed development has been designed to avoid the trees and shrubs along Nashville Road as shown in Appendix B. This design approach has isolated the development from the significant natural features and heritage attributes associated with the Kleinburg-Nashville HCD.
Design guidelines that harmonize mass, setback, setting, and materials	Design guidelines for vegetation in the HCD Plan should be followed during replanting to harmonize with the character of the HCD, including providing a ratio of vegetation to building mass that is consistent with adjacent properties.
Limiting height and density	Height and density of the building are related to conformance with the HCD Plan. As further discussed below, the additional height of the residence is mitigated through its architectural style and finishes. The height of the residence is also comparable to surrounding residences.
Allowing only compatible infill	The proposed residence is compatible with the HCD plan with regard to its design, and the proposed additional plantings are compatible with the HCD character.
Reversible alterations	Alterations to heritage attributes of the Kleinburg-Nashville HCD are not anticipated. As such, this mitigation measure is not applicable.



**Scoped Cultural Heritage Impact Assessment, 8 Lester B. Pearson Street,
Vaughan, ON**

5 Mitigation Measures

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Mitigation Option	Discussion
Buffer zones, site plan controls, and other planning mechanisms	Throughout construction, vegetative buffers and screens should be installed to protect the trees and shrubs that will not be removed during construction.

It should be noted that the proposed design is taller than the 9.5 metre height restriction identified in the HCD Plan. While the building would be taller than what the HCD permits, it would be in keeping with properties in close proximity and would still be of a style that is consistent with the HCD overall. If height of the building could be reduced to meet the limits then this would mitigate the minor non-conformance. The reduction of the height was explored and it was determined that it was not feasible to meet the functional requirements of the residence and conform with the HCD Plan. However, due to the proposed design of the residence and the compatible style, the overall HCD character would not be adversely impacted in a manner than affected its heritage attributes and could be mitigated with the retention or planting of tall canopy trees in the front yard to screen the house and provide an element of larger scale.



6 Conclusions and Recommendations

Based on the assessment of impacts, the following recommendations are made for the proposed development at 8 Lester B. Pearson Street:

- Retain existing side yard on the south side yard if feasible. If not feasible, then replacement plantings of the same or similar species should be installed following construction.
- Decrease the height of the building by 0.5 to 1.0 metres to meet the height requirements of the HCD plan, if feasible. If height reductions are not feasible, consider planting large deciduous or coniferous canopy trees in the front yard to partially screen the residence from the street and provide a counterpoint to the building height when the trees reach maturity.
- Where materials or colours have not been determined in the design, or if materials or colours may be subject to change during the design process, select materials and palettes that are in keeping with the HCD design guidelines.
- While machinery is anticipated to be required for demolition and construction, this is anticipated to be temporary in nature and be limited to small scale machinery that could appropriately access the property. Given the nature of construction, the proposed undertaking is unlikely to result in land disturbance that impact attributes of the HCD. Typical residential construction does not usually require vibration assessment or monitoring in the manner that large-scale development or urban infrastructure changes do. Should the project contractor or engineers identify concerns during construction, an engineer or qualified building specialist should be retained to determine if additional action is required.



7 References

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Vaughan, ON**

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Appendices



**Scoped Cultural Heritage Impact Assessment, 8 Lester B. Pearson Street,
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Appendix A Guidelines for Cultural Heritage Impact Assessments

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Appendix A Guidelines for Cultural Heritage Impact Assessments



GUIDELINES FOR PREPARING A CULTURAL HERITAGE IMPACT ASSESSMENT

PURPOSE

The purpose of a **Cultural Heritage Impact Assessment (CHIA)** report is to identify and evaluate heritage resources and cultural landscapes in a given area (i.e. “subject property”), and to assess the impacts on the cultural heritage attributes that may result from a proposed development or alteration on the subject property. The CHIA report assists staff in the evaluation of development and heritage permit applications, including the determination of compliance with all applicable cultural heritage policies.

GOOD HERITAGE CONSERVATION PRACTICE

The CHIA report shall be conducted and based on good heritage conservation practice aligned with international, federal, provincial, and municipal statutes and guidelines. This includes (but is not limited to):

- Venice Charter 1964
- Appleton Charter 1983
- Burra Charter 1999
- ICOMOS Charter 2003
- UNESCO’s Recommendation on the Historic Urban Landscape 2011
- Park Canada’s Standards and Guidelines for the Conservation of Historic Places in Canada 2nd Edition
- Ministry of Tourism, Culture and Sport’s Ontario Heritage Toolkit - Heritage Property Evaluation section
- Ministry of Tourism, Culture and Sport’s Eight Guiding Principles in the Conservation of Built Heritage Properties 2007
- Applicable Heritage Conservation District Guidelines

CULTURAL HERITAGE LANDSCAPES

Cultural heritage landscapes include neighbourhoods, landforms, roadways, waterways and other landscapes. These cultural heritage resources are often included on or adjacent to properties identified on the City’s built heritage inventory. Should the proposed alteration or development be deemed to impact the known or potential cultural heritage landscape, as determined by Cultural Heritage staff, the CHIA report requirements for the landscape component shall include the following:

- A site plan drawing/survey of existing conditions (reviewed by a licensed Landscape Architect), including buildings, structures, roadways, driveways, drainage features, trees and tree canopy, fencing, and topographical features of the subject property.
- A written and visual inventory of all elements of the subject property that contribute to its cultural heritage value, including overall site views. For buildings, internal and external photographs and measured floor plans to scale are also required.
- For cultural heritage landscapes or features that transcend a single property, a tree inventory and streetscape measured drawing is required, in addition to photographs of the adjacent properties.

a. Addressing the Cultural Heritage Landscape or Feature Criteria

The CHIA report for a potential cultural heritage landscape must demonstrate how the proposed development will preserve/conservate the criteria that render the landscape a cultural heritage landscape and/or feature. Each cultural heritage landscape and feature includes a checklist of criteria. The CHIA report need only address the checked criteria for the pertinent cultural heritage landscapes or features. Please note, some properties constitute more than one cultural heritage landscape. Criteria include the following:

b. Landscape Environment

1. Scenic and visual quality
2. Natural environment
3. Horticultural interest
4. Cemeteries
5. Landscape design, type and technological interest

c. Built Environment

1. Aesthetic/visual quality
2. Consistent scale of built features
3. Unique architectural features/buildings
4. Designated structures

d. Historical Associations

1. Illustrates a style, trend or pattern
2. Direct association with important person or event
3. Illustrates an important phase of social or physical development
4. Illustrates the work of an important designer

e. Other

1. Historical or archaeological interest and/or value
2. Outstanding features/interest and/or value
3. Significant ecological interest and/or value
4. Landmark value

REQUIREMENTS OF A CULTURAL HERITAGE IMPACT ASSESSMENT

The requirement to submit a CHIA report will be identified by Cultural Heritage staff during the Pre-Application Consultation (PAC) meeting for the proposed development. Cultural Heritage staff will identify the known cultural heritage resources on a subject property that are of interest or concern (based on criteria listed in O.Reg. 9/06). Where there are the potential archaeological resources noted by Cultural Heritage staff (based on available GIS information), an Archaeological Resources Assessment must also be undertaken as an additional study.

The following items are considered the required components of a CHIA report. Additional information may be required by Cultural Heritage staff based on their initial review of the CHIA report.

1. The CHIA report must be prepared by a **qualified heritage specialist**. Refer to the Canadian Association of Heritage Professionals (CAHP) which lists members by their specialization. (<https://cahp-acecp.ca/>)

2. Applicant and owner **contact information**.
3. A **description of the subject property**, both built form and landscape features, and its context including nearby cultural heritage resources. If the requirement for the CHIA is to evaluate potential a cultural heritage landscape, a topographic map will be required within this report.
4. A chronological description of the **history of the subject property** to date and past owners, supported by archival and historical material.
5. A **development history** and **architectural evaluation** of the built cultural heritage resources found on the subject property, the site's physical features, and their heritage significance within the local context.
6. A **condition assessment** of the cultural heritage resources found on the subject property.
7. The **documentation** of all cultural heritage resources on the subject property by way of photographs (interior and exterior) and /or measured drawings, and by mapping the context and setting of the cultural heritage resource. For properties located within Heritage Conservation Districts, include documentation of contributing character attributes regarding massing, mature landscaping and trees and how it contributes the heritage streetscape within the Heritage Conservation District.
8. A **statement of cultural heritage value** if one does not already exist.
 - a. Part IV individually designated properties will have statements provided in the existing City by-law. For older designation statements, a new statement may be requested.
 - b. Part V properties will have an inventory entry that identifies features of interest on the property. Also identify the property's contributing status in the applicable HCD Plan. An updated statement of cultural heritage value that reflects any new information about the property may be requested.
 - c. For non-designated built heritage resources, this statement shall be based on *Ontario Regulation 9/06 – Criteria for Determining Cultural Heritage Value or Interest*.
 - d. For, Cultural Heritage Landscapes and Character Areas, this evaluation should analyze the findings of the possible heritage resource against the policy criteria outlined above in the "Provincial and Municipal Heritage Policies" section.
9. An **summary of the development proposal** for the subject property and the potential impact, both adverse and beneficial, the proposed development will have on identified cultural heritage resources and/or the surrounding heritage conservation district. The proposed alteration and/or development should be assessed to determine how closely it follows the heritage conservation principles as outlined in Sections 6.2.2.6-6.2.2.9 of the Vaughan Official Plan 2010. A site plan and tree inventory/arborist report are required for this section.

Adverse impacts on a cultural heritage resource(s) as stated in the Ontario Heritage Tool Kit include, but are not limited to:

- Destruction of any, or part of any, significant heritage attributes or features;
- Removal of natural heritage features, including trees;
- Alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance;
- Shadows created that alter the appearance of a heritage attribute or change the viability of an associated natural feature, or plantings, such as a garden;
- Isolation of a heritage attribute from its surrounding environment, context or a significant relationship;
- Direct or indirect obstruction of significant views or vistas within, from, or of built and natural features;
- A change in land use where the change in use negates the subject property's cultural heritage value, and
- Land disturbances such as change in grade that alter soils, and drainage patterns that adversely affect cultural heritage resources.

10. An **assessment of alternative options, mitigation measures, and conservation methods** that may be considered to avoid or limit the negative impact on the cultural heritage resource(s). Methods of minimizing or avoiding a negative impact on a cultural heritage resource(s) as stated in the *Ontario Heritage Tool Kit* include, but are not limited to:

- Alternative development approaches
- Isolating development and site alteration from significant built and natural features and vistas
- Design guidelines that harmonize mass, setback, setting, and materials
- Limiting height and density
- Allowing only compatible infill and additions
- Reversible alterations

The preferred strategy would be directed at conservation should any impact be discerned. Conservation strategies may include the following:

- A mitigation strategy including the proposed methods
- A conservation scope of work including the proposed methods
- An implementation and monitoring plan

Recommendations for additional studies/plans related to, but not limited to conservation, site specific design guidelines, interpretation/commemoration, lighting, signage, landscape, stabilization, additional record and documentation prior to demolition, and long-term maintenance.

Avoidance Mitigation

Avoidance mitigation may allow the alterations or proposed development to proceed while retaining the cultural heritage resources in situ and intact. Avoidance strategies for heritage resources typically would require provisions for maintaining the integrity of the cultural heritage resource and to ensure it does not become structurally unsound or otherwise compromised. Feasible options for the adaptive re-use of built heritage structure or cultural heritage resources should be clearly outlined.

Where conservation of the entire structure is not feasible, consideration may be given to the conservation of the heritage structure/resource in part, such as the main portion of a building without its rear, wing or lateral addition.

Salvage Mitigation

In situations where cultural heritage resources are evaluated as being of minor significance or the conservation of the heritage resource in its original location is not considered feasible on reasonable and justifiable grounds, the relocation of a structure or (as a last resort) the salvaging of its architectural components may be considered. This option is often accompanied by the recording of the structure through photographs and measured drawings.

Historical Commemoration

While this option is not encouraged and does not conserve the cultural heritage of the subject property or structure, historical commemoration by way of interpretive plaques, the incorporation of reproduced heritage architectural features in new development, or erecting a monument-like structure commemorating the history of the subject property may be considered as a final mitigating solution. This option may be accompanied by the recording of the structure through photographs and measured drawings.

REVIEW / APPROVAL PROCESS

CHIA reports must be completed to the satisfaction of the City. Cultural Heritage staff will review the submitted documentation and determine whether the minimum requirements of the CHIA report have been met and to review the conclusions and recommendations outlined in the CHIA report. Revisions and amendments to the CHIA report will be required if the guidelines are not met. Cultural Heritage staff may meet with the owner/applicant to discuss the CHIA report and recommendations contained therein. CHIA reports that are not completed to the satisfaction of the Cultural Heritage staff will be subject to revision and resubmission and may be subject to critique by peer review (at the expense of the owner/applicant) or a similar process to determine if the report meets recognized standards and practices.

The preparation and submission of a CHIA report may be a required as a condition of approval for Site Development and Draft Plan of Subdivision applications.

Two hard copies plus two digital copies of the CHIA report shall be distributed to the City of Vaughan:

- one hard copy plus one digital copy to the Development Planning Department, and
- one hard copy plus one digital copy to the Urban Design and Cultural Heritage Division

Any questions or comments relating to these guidelines may be directed to the Urban Design and Cultural Heritage Division, Development Planning Department, City of Vaughan.

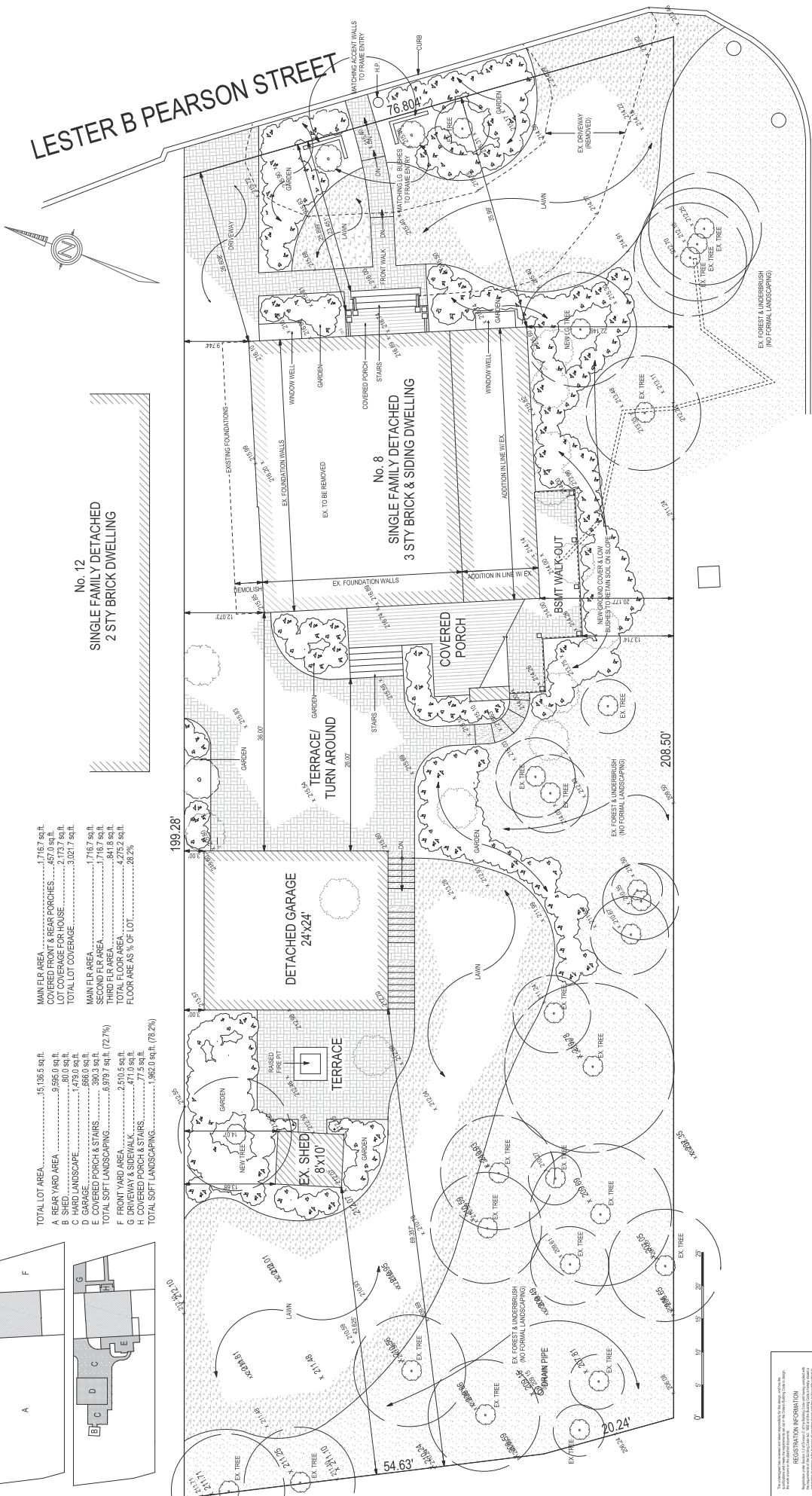
**Scoped Cultural Heritage Impact Assessment, 8 Lester B. Pearson Street,
Vaughan, ON**

Appendix B Proposed Plans

October 18, 2023

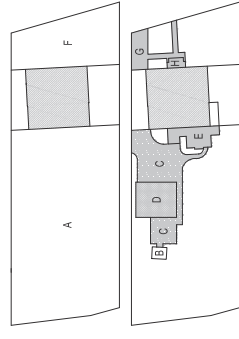
Appendix B Proposed Plans





No. 12
SINGLE FAMILY DETACHED
2 STY BRICK DWELLING

MAIN FLR AREA.....	1,716.7 sq.ft.
COVERED FRONT & REAR PORCHES.....	467.0 sq.ft.
LOT COVERAGE FOR HOUSE.....	2,173.7 sq.ft.
TOTAL LOT COVERAGE.....	3,021.7 sq.ft.
MAIN FLR AREA.....	1,716.7 sq.ft.
SECOND FLR AREA.....	841.8 sq.ft.
THIRD FLR AREA.....	1,716.7 sq.ft.
TOTAL FLOOR AREA.....	4,275.2 sq.ft.
FLOOR AREA AS % OF LOT.....	26.2%



TOTAL LOT AREA.....	15,136.5 sq.ft.
A REAR YARD AREA.....	9,992.0 sq.ft.
B SHED.....	80.0 sq.ft.
C HARD LANDSCAPE.....	1,479.0 sq.ft.
D GARAGE.....	666.0 sq.ft.
E COVERED PORCH & STAIRS.....	390.0 sq.ft. (72.7%)
TOTAL SOFT LANDSCAPING.....	5,979.1 sq.ft. (72.7%)
F FRONT YARD AREA.....	2,510.5 sq.ft.
G COVERED PORCH & STAIRS.....	471.5 sq.ft.
TOTAL SOFT LANDSCAPING.....	1,962.0 sq.ft. (78.2%)

NASHVILLE ROAD

LESTER B PEARSON STREET

No. 8
SINGLE FAMILY DETACHED
3 STY BRICK & SIDING DWELLING

DETACHED GARAGE
24'X24'

TERRACE
8'X10'

TERRACE/
TURN AROUND

BSMT WALK-OUT

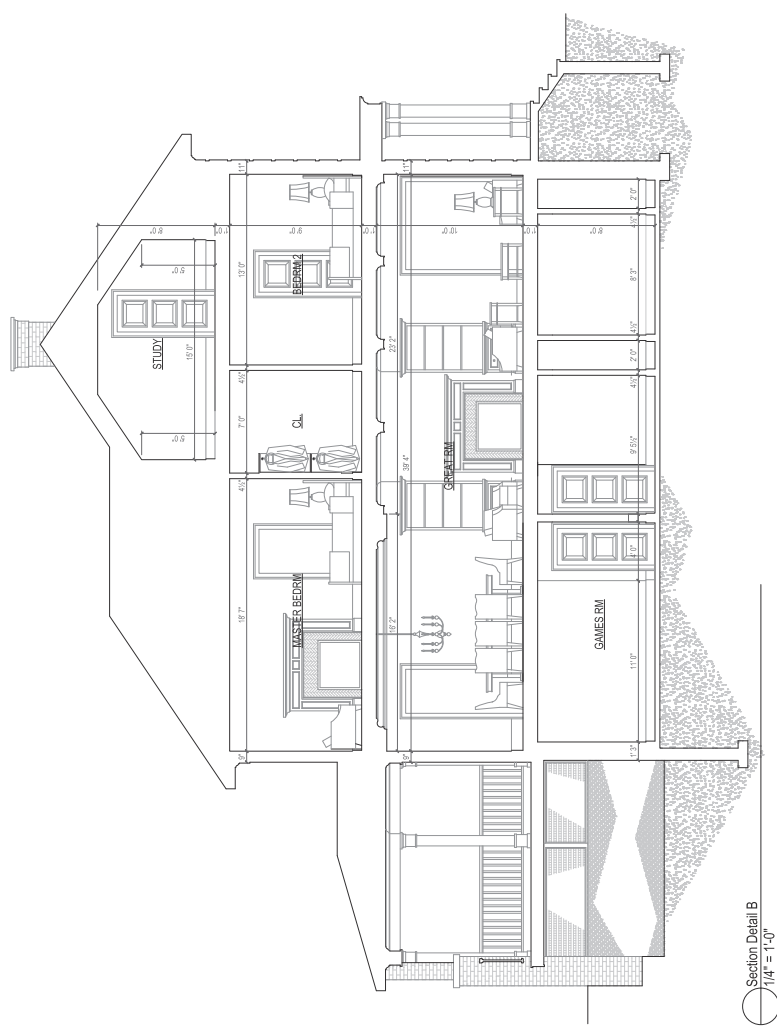
COVERED PORCH

COVERED PORCH

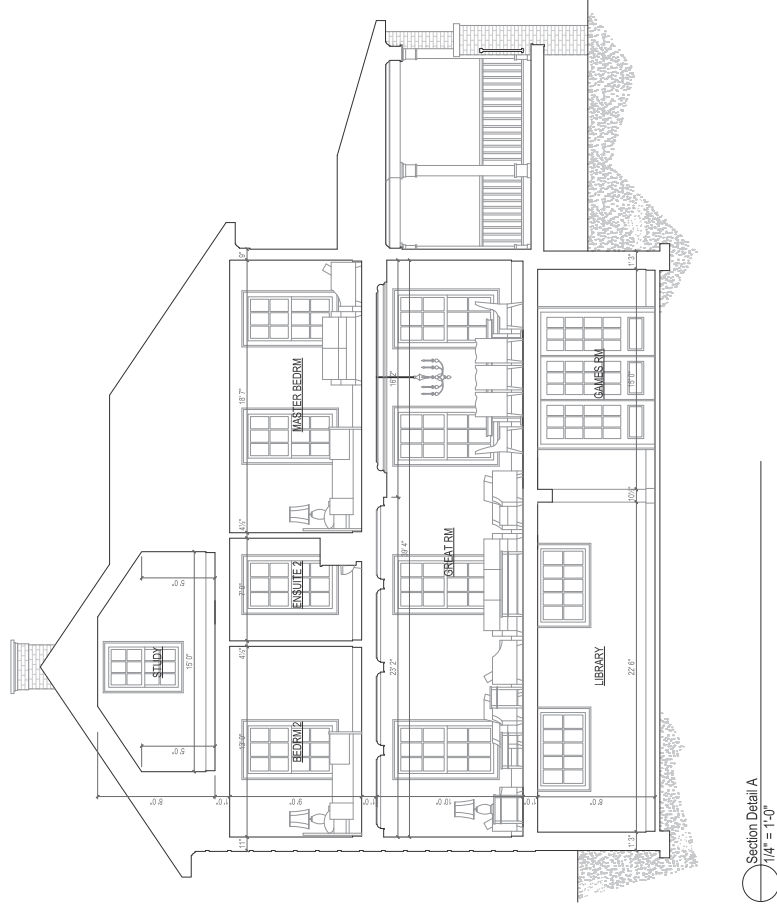
Project:	8 Lester B. Pearson St., Kleinberg, ON	Drawn By:	DH	Checked By:		Ex. not to scale. All drawings by computer generated means. Please refer to the site plan for all dimensions. All dimensions are in feet unless otherwise noted. All dimensions are in feet unless otherwise noted. All dimensions are in feet unless otherwise noted.
Drawing:	Renovations & addition to existing	Date:	25 Aug 2023	Scale:	As Noted	These drawings are prepared by copyright and may not be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of the copyright owner.
Client:		Reason:		No.:		
Design No.:	A1	Date:				

REGISTRATION INFORMATION
Dan Hutchinson Interior Design Inc. (Ontario) Inc. (2018)
444-188 Stephen Drive, Etobicoke, ON M9W 7N5
Email: dan@hutchinsondesign.com Tel: 416-234-1148

QUALIFICATION INFORMATION
Dan Hutchinson
2014



Section Detail A
1/4" = 1'-0"



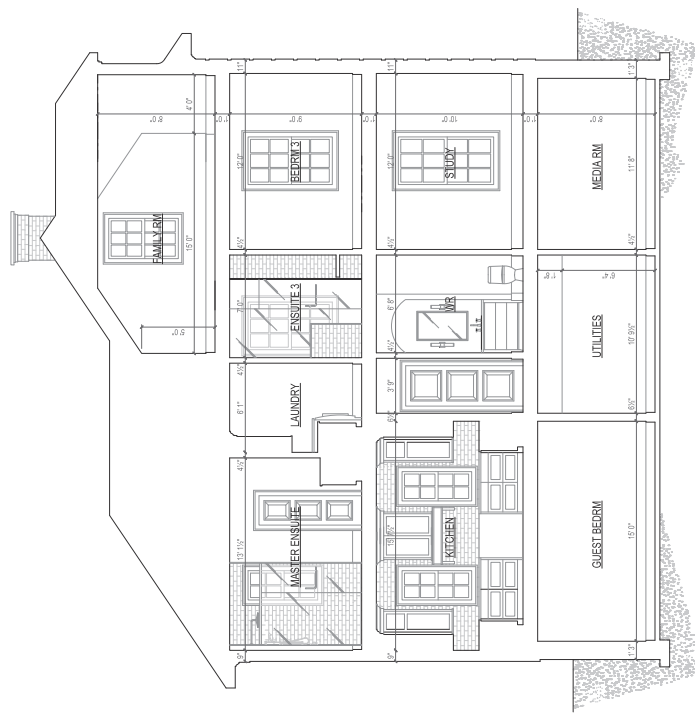
Section Detail B
1/4" = 1'-0"

Dan Hutchinso
 Interior Design
 404185 Steeles Drive, Eastchicks, ON M1V 7N5
 Email: danhutchinsonyvg@gmail.com Tel: 416-234-1148
 Dan Hutchinso Interior Design
 404185 Steeles Drive, Eastchicks, ON M1V 7N5
 REGISTRATION INFORMATION
 Dan Hutchinso is a registered interior designer in the Province of Ontario, Canada. His registration number is 12127. He is a member of the Ontario Association of Interior Designers (OAID) and the International Interior Design Association (IIDA).
 QUALIFICATION INFORMATION
 Dan Hutchinso has a Bachelor of Architecture degree from the University of Toronto, Ontario, Canada. He has over 15 years of professional experience in interior design.
 Dan Hutchinso
 2023

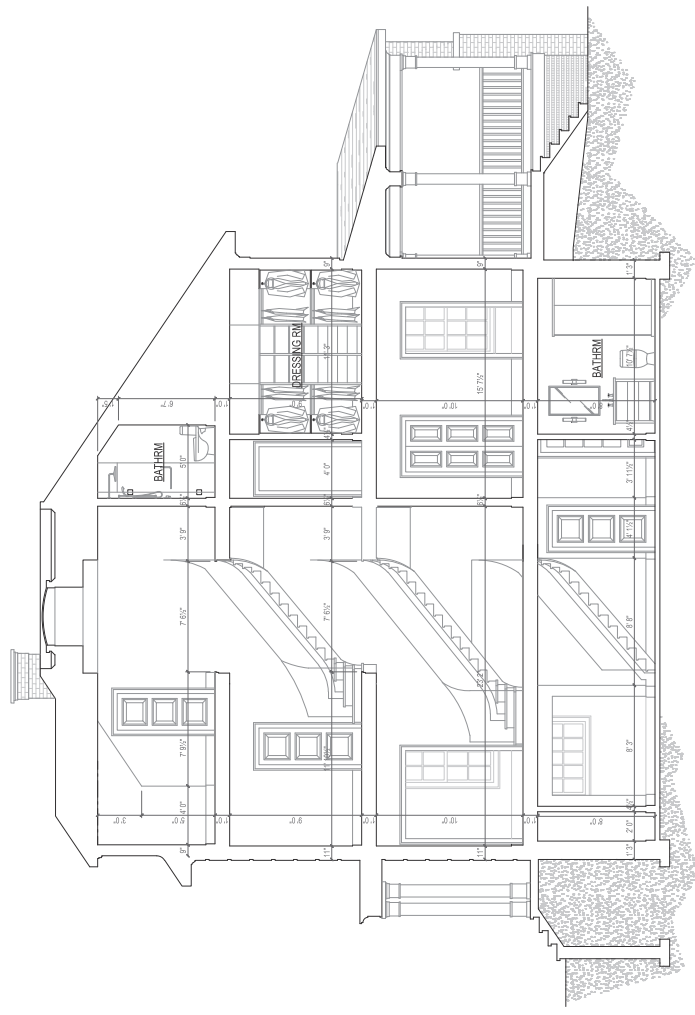
Project: 8 Lester B. Pearson St., Kleinberg, ON
 Drawing: Renovations & addition to existing
 Drawing Date: 25 Aug 2023
 Scale: 1/4" = 1'-0"
 Checked By: DH
 Drawn By: DH

Notes:
 1. See all notes, drawings, specifications, permits, etc.
 2. Please refer to the drawings for general information. O.C. and
 3. All dimensions are in feet and inches unless otherwise noted.
 4. These drawings are prepared by computer and may not be
 5. The printer is not responsible for any errors or omissions.

Drawing No:	A6
No.:	
Reason:	
Date:	



Section Detail D
1/4" = 1'-0"



Section Detail C
1/4" = 1'-0"

REGISTRATION INFORMATION
 Dan Hutchinson Interior Design Inc. is a member of the Ontario Association of Architects (OAA) and is registered as a Professional Architect under the Architects Act, R.S.O. 1990, Chapter A.01. The OAA is a self-regulating body that sets and enforces standards of practice and ethics for its members. Dan Hutchinson Interior Design Inc. is also a member of the Ontario Association of Professional Engineers (OAPE) and is registered as a Professional Engineer under the Engineers Act, R.S.O. 1990, Chapter O.1. The OAPE is a self-regulating body that sets and enforces standards of practice and ethics for its members. Dan Hutchinson Interior Design Inc. is also a member of the Ontario Association of Professional Planners (OAPP) and is registered as a Professional Planner under the Planners Act, R.S.O. 1990, Chapter O.2. The OAPP is a self-regulating body that sets and enforces standards of practice and ethics for its members.

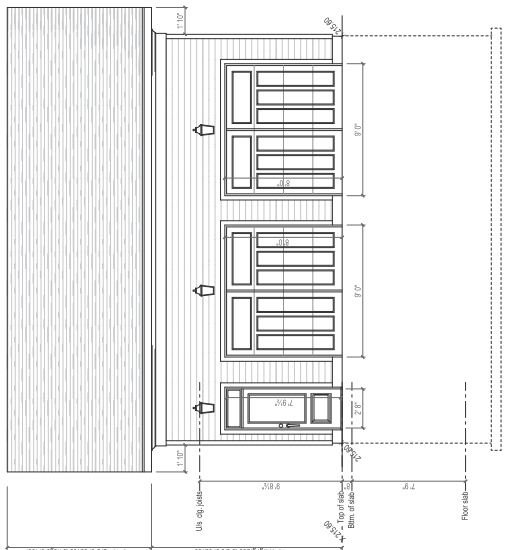
QUALIFICATION INFORMATION
 Dan Hutchinson Interior Design Inc. is a member of the Ontario Association of Architects (OAA) and is registered as a Professional Architect under the Architects Act, R.S.O. 1990, Chapter A.01. The OAA is a self-regulating body that sets and enforces standards of practice and ethics for its members. Dan Hutchinson Interior Design Inc. is also a member of the Ontario Association of Professional Engineers (OAPE) and is registered as a Professional Engineer under the Engineers Act, R.S.O. 1990, Chapter O.1. The OAPE is a self-regulating body that sets and enforces standards of practice and ethics for its members. Dan Hutchinson Interior Design Inc. is also a member of the Ontario Association of Professional Planners (OAPP) and is registered as a Professional Planner under the Planners Act, R.S.O. 1990, Chapter O.2. The OAPP is a self-regulating body that sets and enforces standards of practice and ethics for its members.

PROJECT INFORMATION
 Project: 8 Lester B. Pearson St., Kleinburg, ON
 Drawing: Renovations & addition to existing
 Drawing Date: 25 Aug 2023
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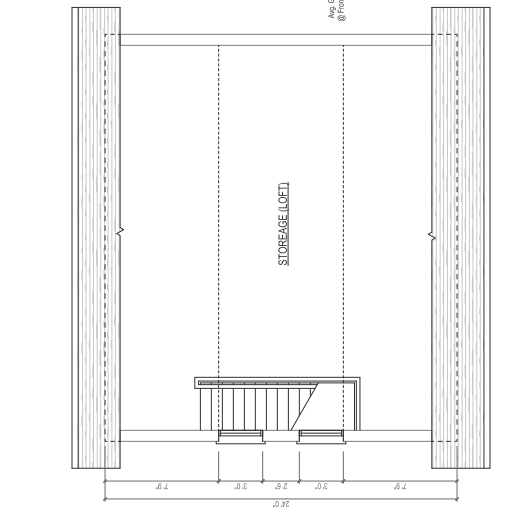
Dan Hutchinson Interior Design
 404-888-5888
 Email: dan@hutchinsoninteriordesign.com

Notes:
 1. See notes on drawings for construction materials.
 2. Please refer to the specifications for general notes, O.C. and submittals for details and notes on site.
 3. The drawings are prepared by computer and may not be printed at a different scale than indicated on the drawings.

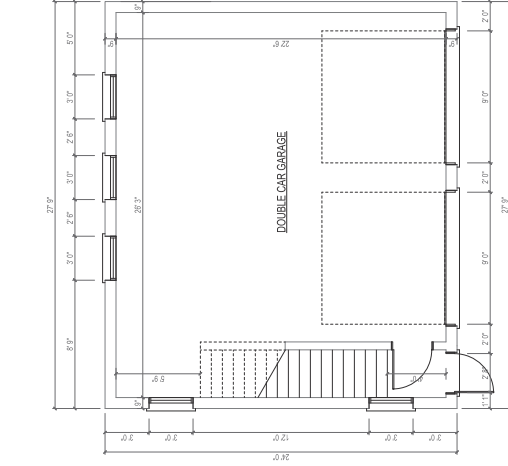
Drawing No: **A7**
 No. _____
 Reason: _____
 Date: _____



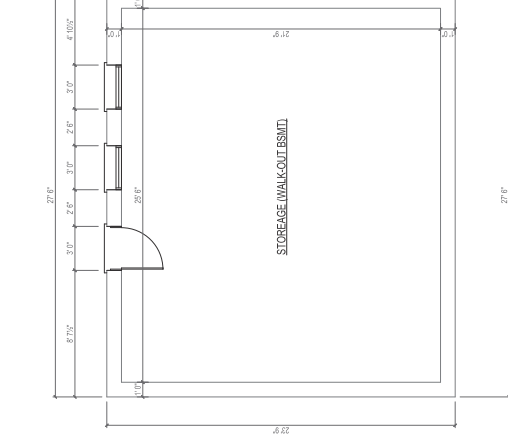
Front Elevation
1/4" = 1'-0"



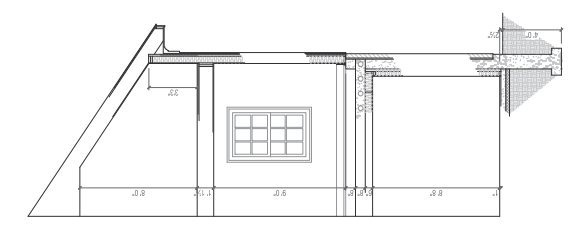
Garage - Second Floor Plan
1/4" = 1'-0"



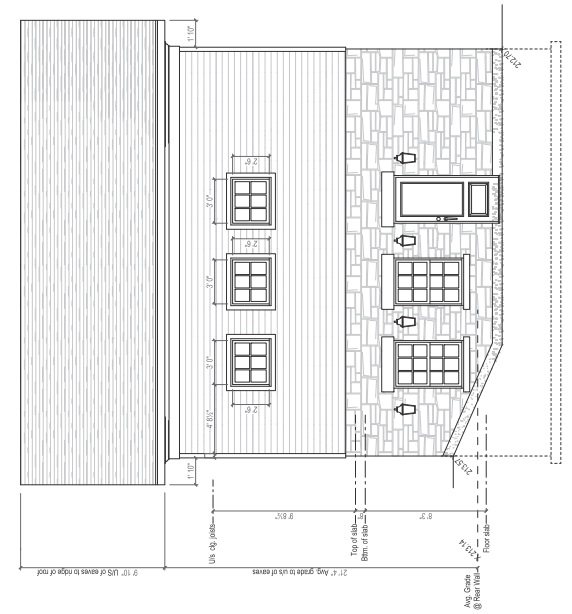
Garage - Main Floor Plan
1/4" = 1'-0"



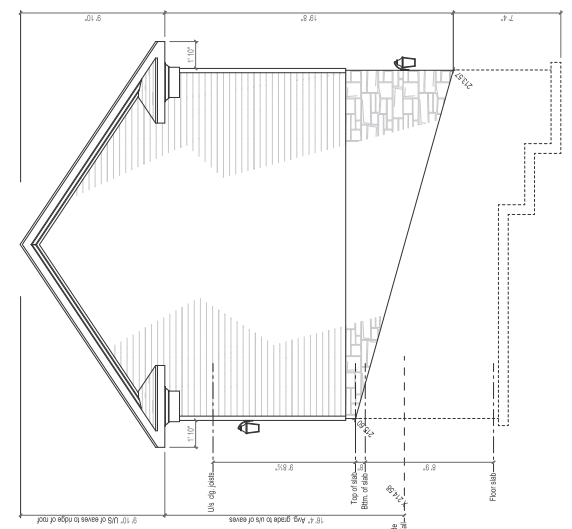
Garage - Bsmt. Plan
1/4" = 1'-0"



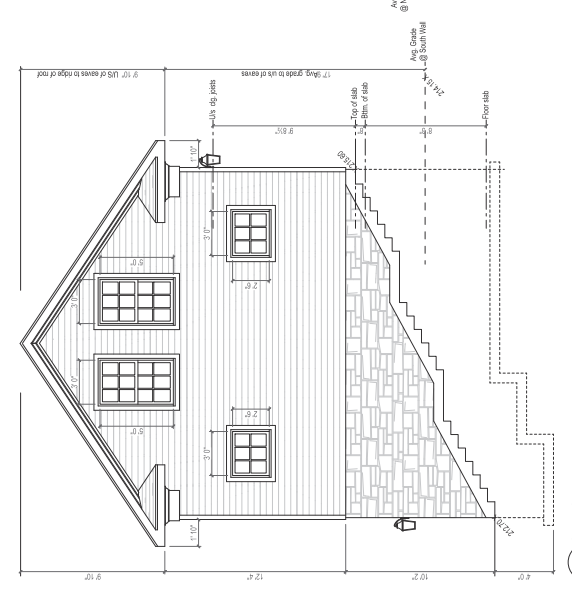
Typ. Section Detail
1/4" = 1'-0"



Rear Elevation
1/4" = 1'-0"



North Side Elevation
1/4" = 1'-0"



South Side Elevation
1/4" = 1'-0"

Project: 6 Lester B. Pearson St., Kleinberg, ON Drawing: Detached Garage		Drawing No: A9 No. _____ Reason: _____ Date: _____	
Drawing By: DH Date: 25 Aug 2023	Checked By: _____ Scale: 1/4" = 1'-0"	Notes: Do not make changes to construction materials without approval from the architect. Please refer to the specifications for material quantities and details. All dimensions are in feet and inches unless otherwise noted. The architect is not responsible for any errors or omissions in this drawing. The architect is not responsible for any errors or omissions in this drawing. The architect is not responsible for any errors or omissions in this drawing.	
Dan Hutchinson Interior Design 484-188 Steeles Drive, East Beaver Creek, Ontario, Canada Email: dan@hutchinsoninteriordesign.com Tel: 416-234-1188		Project: 6 Lester B. Pearson St., Kleinberg, ON Drawing: Detached Garage Drawing No: A9 No. _____ Reason: _____ Date: _____	

SURVEYOR'S REAL PROPERTY REPORT - PART 1
 PLAN OF PART OF LOT 1,
 REGISTERED PLAN 268
 CITY OF VAUGHAN
 REGIONAL MUNICIPALITY OF YORK

SCALE 1:250

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 ertl surveyors 2007
 Ontario Land Surveyors

Metric
 DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND
 CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

P.1.N. 03347 - 0213
 P.1.N. 03347 - 0203

Notes:

BEARINGS ARE ASTRONOMIC AND ARE REFERRED
 TO THE BEARING N 40°20'20"W OF THE WEST LIMIT OF
 LESTER B. PEARSON AS SHOWN ON PLAN 65R-17800


Denotes

- SURVEY MONUMENT FOUND
- SURVEY MONUMENT SET
- STANDARD IRON BAR
- P1 REGISTERED PLAN 268
- P2 PLAN 65R-17800
- P3 PLAN 65R-4672
- P4 PLAN 64R - 8419
- W.N. WILLOW O.L.S.
- W.L. WEST
- CONCRETE FOUNDATION
- ▲ FIRST FLOOR ELEVATION
- ▲ NORTH/SOUTH/EAST/WEST
- CONIFEROUS TREE
- DECIDUOUS TREE

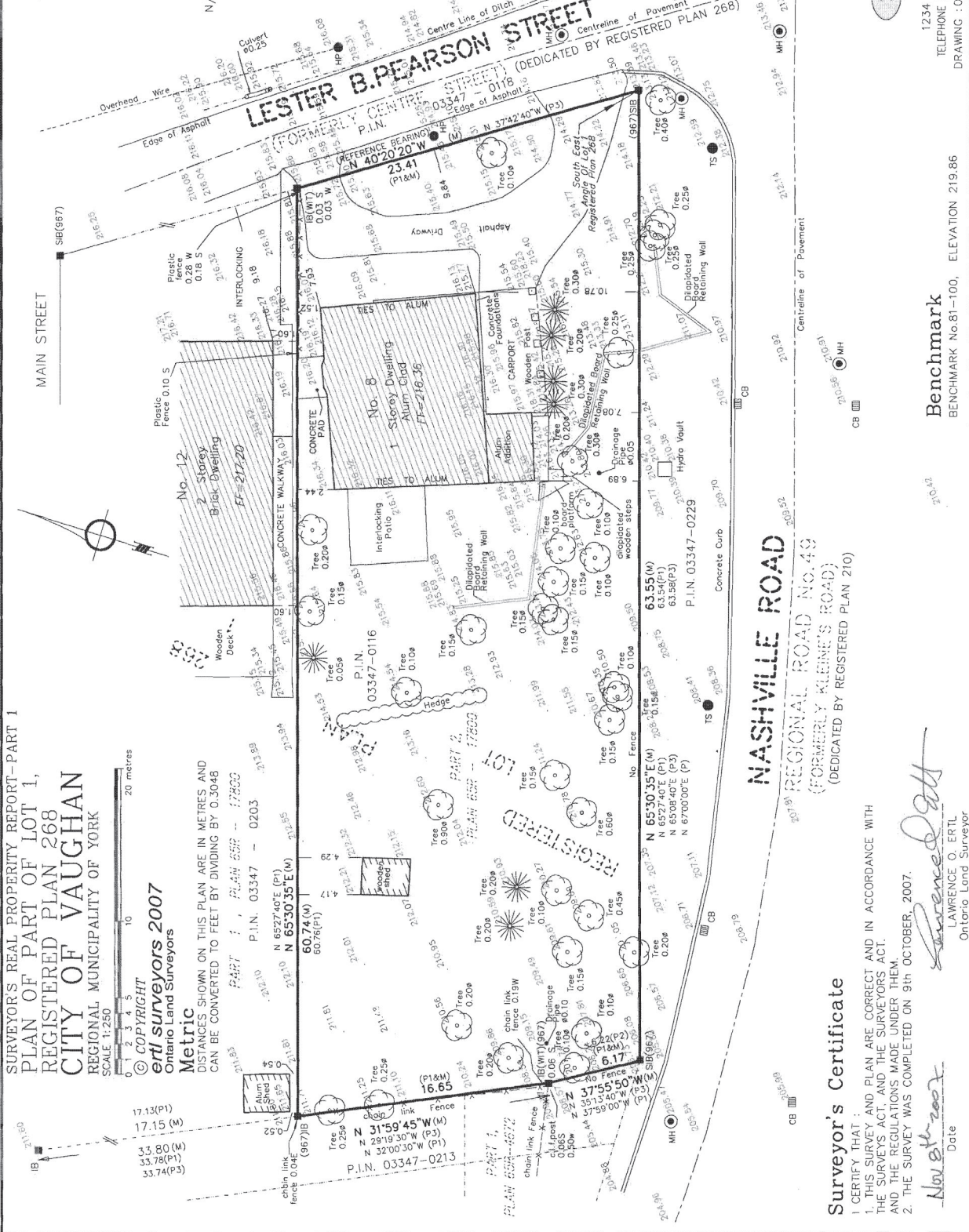
Part 2

NO REGISTERED EASEMENTS OR RIGHT OF WAYS.
 FENCES AS SHOWN
 SURVEY PREPARED FOR :
 FRANK AND MARILU ABREU

ASSOCIATION OF ONTARIO
 LAND SURVEYORS
 PLAN SUBMISSION FORM
 1671264



THIS PLAN IS NOT VALID
 UNLESS IT IS AN EMBOSSED
 COPY ISSUED BY THE SURVEYOR
 IN ACCORDANCE WITH
 Regulation 1025, Section 29(3).



Surveyor's Certificate

I CERTIFY THAT:
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH
 THE SURVEYS ACT, AND THE SURVEYORS ACT,
 AND THE REGULATIONS MADE UNDER THEM,
 2. THE SURVEY WAS COMPLETED ON 9th OCTOBER, 2007.

Lawrence O. Ertl
 Lawrence O. Ertl
 Ontario Land Surveyor
 Date Nov 8th 2007

Benchmark
 BENCHMARK No.81-100, ELEVATION 219.86



ertl surveyors
 Ontario Land Surveyors

1234 RED STREET, UNIT 10, RICHMOND HILL L4B 1C1
 TELEPHONE (905) 731-7834 FAX (905) 731-7852 EMAIL info@ertl.com
 DRAWING : 07167-8 L.B.Pearson-bo/Top.DWG PROJECT : 07167

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**GRADING PLAN OF
 #8 LESTER B. PEARSON STREET**
 (REGIONAL MUNICIPALITY OF YORK)
 SCALE: 1:200



- GENERAL NOTES**
1. GENERALLY, DRIVEWAY TO BE LOCATED TO MAXIMIZE SHEET FLOW DRAINAGE FROM HOUSE, DRIVEWAY, ETC.
 2. GUTTERS AND DOWNSPOUTS TO BE GRADED WITH 2.0% SLOPE AWAY FROM HOUSE.
 3. WHERE DITCHING IS REQUIRED, 9.0M MINIMUM 400MM LOHED EDUV. GSPS ARE TO BE INSTALLED.
 4. GENERALLY, HOUSE TO BE CONSTRUCTED UPON A 300MM (MIN. VERTICAL) APRON WITH THE TOE OF THE APRON MEETING EXISTING GRADE OF LOT.
 5. GRADE OF LOT TO BE MAINTAINED AT STANDARD BUILDING SHOULD BE MAINTAINED AT STANDARD GRADE OF BETWEEN 2% AND 5% (MIN.).
 6. AREAS DISTURBED BY LOT GRADING SHALL BE REVEGETATED WITH SEED OR TURF GRASS TO CONSTRUCT HOME, DRIVEWAY & SEPTIC BED.
 7. DOWNSPOTS TO BE CONSTRUCTED TO SPLASH INTO DRIVEWAY & SEPTIC BED.
 8. MAINTAIN MINIMUM 1.2M COVER FOR FOOTINGS.
 10. DRIVEWAYS TO DRAIN TO STREET.

PLAN NOTES

UNDERSIDE OF FOOTING MAY BE LOWER THAN ELEVATION NOTED DUE TO EXISTING CONDITIONS, EXCEPT FOR FOOTINGS TO BE DETERMINED ON SITE DURING EXCAVATION FOR FOOTINGS.

ELEVATIONS ARE GEODETIC AND REFERRED TO THE CITY OF VAUGHAN BENCHMARK No. 81-100. ELEVATION = 219.86 m.

ALL DIMENSIONS ARE METRIC AND CAN BE CHECKED ON THIS PLAN BY DIVIDING BY 0.3048.

PROPERTY DIMENSIONS SHOWN HEREON ARE IN ACCORDANCE WITH IBI SURVEYORS RECORDS. (PROJECT NUMBER OF 167).

REVISIONS

REV.	Date	COMMENTS
1	2023/JUNE/09	ISSUED FOR REVIEW
2	1999/m/d	
3	1999/m/d	

LEGEND

FFE	FIRST FLOOR ELEVATION
TW	TERRACE WALL ELEVATION
CW	CRAWL SPACE ELEVATION
BS	BASEMENT BAR
UFE	UNDERSIDE OF FOOTING ELEVATION
42245	PROPOSED ELEVATION
DSE	DOOR SILL ELEVATION
NSW	NORTH/SOUTH/WEST/EAST
NSWB	NORTH/SOUTH/WEST/EAST BOTTOM GRADE
SD	SHEET DRAINAGE
RL	ROOF LEADER
MH	MANHOLE
CB	CATCH BASIN
UP	UTILITY POLE
WV	WATER VALVE
FH	FIRE HYDRANT
FD	FLOOR DRAIN
DT	DECK/DOOR TREE
CT	COMBUSTIBLE TREE

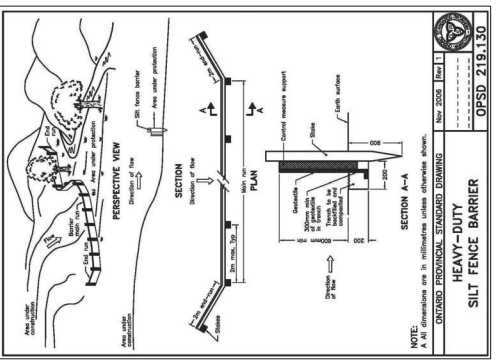
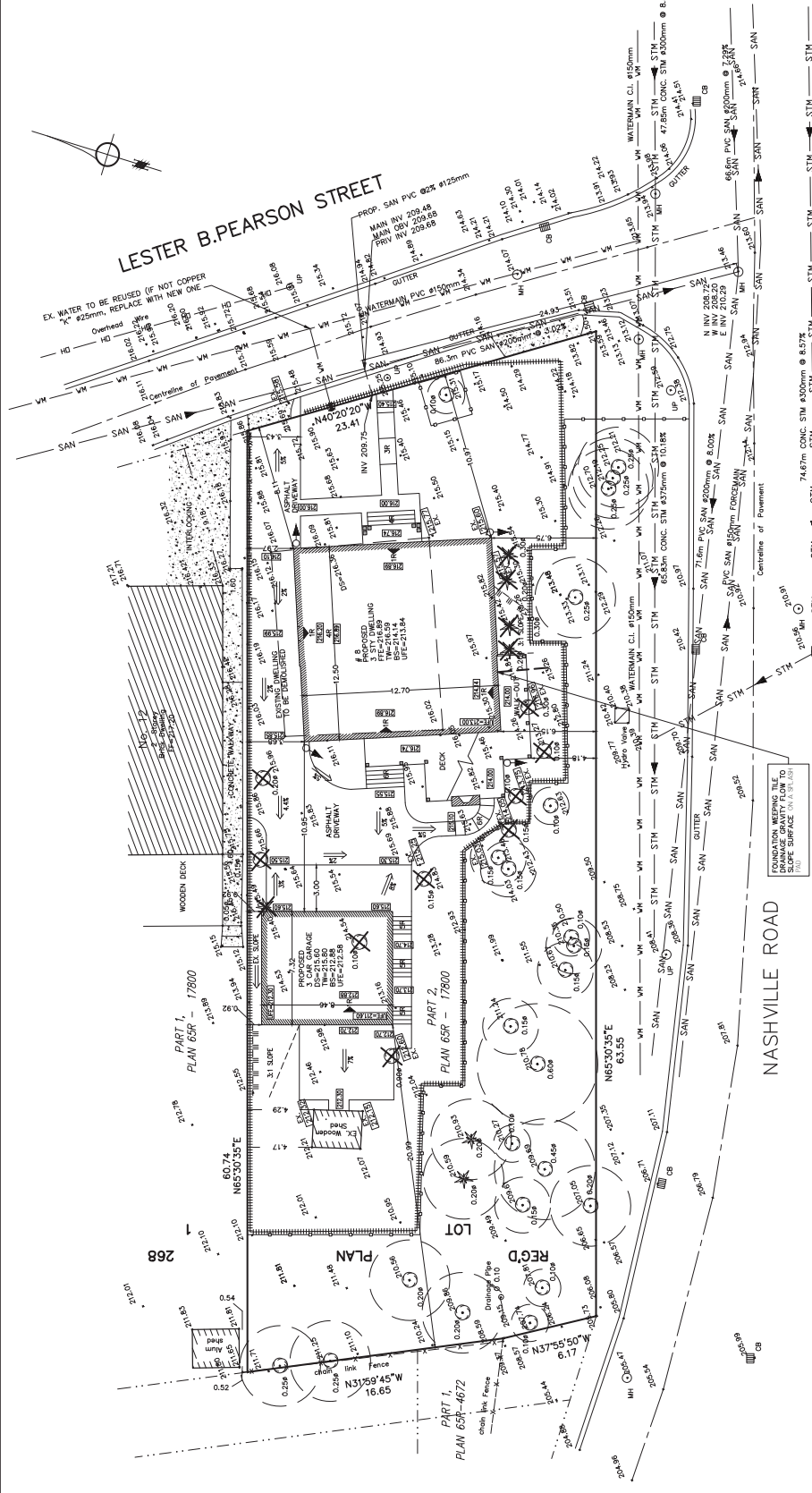
SURVEYOR'S CERTIFICATE

I HAVE REVIEWED THIS GRADING PLAN FOR THE DWELLING (#8 LESTER B. PEARSON STREET). IT IS MY BELIEF THAT THE GRADES AS SHOWN WILL PRODUCE A SUFFICIENT DRAINAGE SYSTEM WITHOUT DETRIMENTAL EFFECT ON ADJACENT PROPERTIES.

LAWRENCE O. ERTL
 Ontario Land Surveyor

JUNE 09, 2023
 Date

ERTL-HUNT
 SURVEYORS
 A Division of IBI Surveyors Ltd.
 IBI SURVEYORS.COM | 1-800-667-0696
 DRAWN BY: JF
 CHECKED BY: JC



CAUTION
 THIS IS NOT A LEGAL LAND SURVEY AND SHALL NOT BE USED EXCEPT FOR THE PURPOSE INDICATED IN THE TITLE BLOCK. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR OBTAINING EXCLUSIVE USE OF OUR CLIENT AND NO LIABILITY IS ASSUMED TO ANY THIRD PARTIES OF SUBSEQUENT OWNERS.

NOTE:
 All dimensions are in millimetres unless otherwise shown.

ONTARIO PROVISIONAL STANDARD DRAWINGS
 New 2006
 Heavy-Duty Silt Fence Barrier
 OPSSD 219.1.30