

ITEM: 6.16	COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A246/22 49 NASHVILLE RD, KLEINBURG
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**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES:**

*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Planning	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Application Under Review
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	General Comments w/Conditions
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

PUBLIC & APPLICANT CORRESPONDENCE

*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant				Application Cover Letter

PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

File Number	Date of Decision MM/DD/YYYY	Decision Outcome
None		

ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

March 16, 2023	Minor Variance Application A246/22 was adjourned by the Committee of Adjustment to permit time to address review staff comments.
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**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A246/22
49 NASHVILLE RD, KLEINBURG**

ITEM NUMBER: 6.16	CITY WARD #: 1
APPLICANT:	Rosedale Media Group Inc.
AGENT:	IBI Group Professional Services (Canada) Inc.
PROPERTY:	49 Nashville Rd, Kleinburg
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Mixed-Use" and "Natural Areas"
RELATED DEVELOPMENT APPLICATIONS:	DA.22.063
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit micromanufacturing uses on the subject land (in the form of a distillery) and to facilitate related Site Plan Application DA.22.063.

The following variances are being requested from the City's Zoning By-law to accommodate the above proposal:

The subject lands are zoned KMS and subject to the provisions of Exception 14.971 under Zoning By-law 001-2021, as amended.

The subject lands are zoned KMS and subject to the provisions of Exception 14.971 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	Minimum required landscape strip on an interior side lot line or rear lot line abutting a Residential Zone or an Open Space Zone is 3.0m. Section 8.3.2 Table 8-5	To permit a landscape strip on the interior side lot line abutting an open space zone of 1.5m.
2	Surface parking is permitted in the rear yard only. Section 8.3.2 Table 8-5	To permit surface parking in the front yard.

HEARING INFORMATION

DATE OF MEETING: Thursday, October 19, 2023
TIME: 6:00 p.m.
MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive
LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

That the general intent and purpose of the by-law will be maintained.

That the general intent and purpose of the official plan will be maintained.

That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.

That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT COMMENTS

Date Public Notice Mailed:	October 5, 2023
Date Applicant Confirmed Posting of Sign:	September 29, 2023
Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small>	Zoning By-law 1-88 is in-effect for the site and does not conform to current Official Plan direction. The new Zoning By-law 001-2021 permits the requested uses on the subject site, in conformity with the Official Plan.
Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	None
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice. *A revised submission may be required to address staff / agency comments received as part of the application review process. *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>	No
Adjournment Fees: In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice. An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice.	
Committee of Adjustment Comments:	None
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING) COMMENTS

**See Schedule B for Building Standards (Zoning) Comments

Building Standards Recommended Conditions of Approval:	None
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DEVELOPMENT PLANNING COMMENTS

**See Schedule B for Development Planning Comments.

Development Planning Recommended Conditions of Approval:	TBD
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DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

Transportation Engineering has reviewed Minor Variance Application A246/22 and have no concerns with the proposed parking reduction and dimension reduction.

This Minor Variance Application is related to DA.22.063, that is currently being reviewed by The Development Engineering Department.

DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#)
 [Link to Pool Permit](#)
 [Link to Curb Curt Permit](#)
 [Link Culvert Installation](#)

The Development Engineering (DE) Department does not object to the variance application A246/22.

Development Engineering Recommended Conditions of Approval:	The Owner/applicant shall obtain approval for the related Site Development Application (DA.22.063) from the Development Engineering (DE) Department.
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PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

Forestry has no comment.

PFH Recommended Conditions of Approval:	A Private Property Tree Removal & Protection Permit (Construction/Infill) is required for the removal/injury to trees (over 20cm DBH) on the subject property or municipally owned trees of any size and trees located within 6 meters of the subject property, as per By-Law 052-2018. If entering into a TPA (Tree protection Agreement) with Development Planning, please provide a copy of the agreement.
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DEVELOPMENT FINANCE COMMENTS

That the payment of the City Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and City-wide Development Charge By-law in effect at time of payment.

That the payment of Region of York Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Regional Development Charges By-laws in effect at time of payment.

That the payment of Education Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Education Act and York Region District School Board and York Catholic District School Board Development Charges By-laws in effect at time of payment.

That the payment of applicable Area Specific Development Charges are payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Area Specific Development Charge By-laws in effect at time of payment.

Development Finance Recommended Conditions of Approval:	None
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BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

No Comments Received to Date

BCLPS Recommended Conditions of Approval:	None
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BUILDING INSPECTION (SEPTIC) COMMENTS

No Comments Received to Date

Building Inspection Recommended Conditions of Approval:	None
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FIRE DEPARTMENT COMMENTS

At this point it is the owner or owner's responsibility to obtain all required permits before any construction takes place.

Fire Department Recommended Conditions of Approval:	None
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SCHEDULES TO STAFF REPORT

*See Schedule for list of correspondence

Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Staff & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL		
All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.		
#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Engineering Rex.bondad@vaughan.ca	The Owner/applicant shall obtain approval for the related Site Development Application (DA.22.063) from the Development Engineering (DE) Department.
2	Parks, Forestry and Horticulture Operations zachary.quizzetti@vaughan.ca	A Private Property Tree Removal & Protection Permit (Construction/Infill) is required for the removal/injury to trees (over 20cm DBH) on the subject property or municipally owned trees of any size and trees located within 6 meters of the subject property, as per By-Law 052-2018. If entering into a TPA (Tree protection Agreement) with Development Planning, please provide a copy of the agreement.
3	Development Planning Joshua.cipolletta@vaughan.ca	TBD
4	TRCA Kristen.Regier@trca.ca	That the applicant provides the required fee amount of \$610.00 payable to the Toronto and Region Conservation Authority.

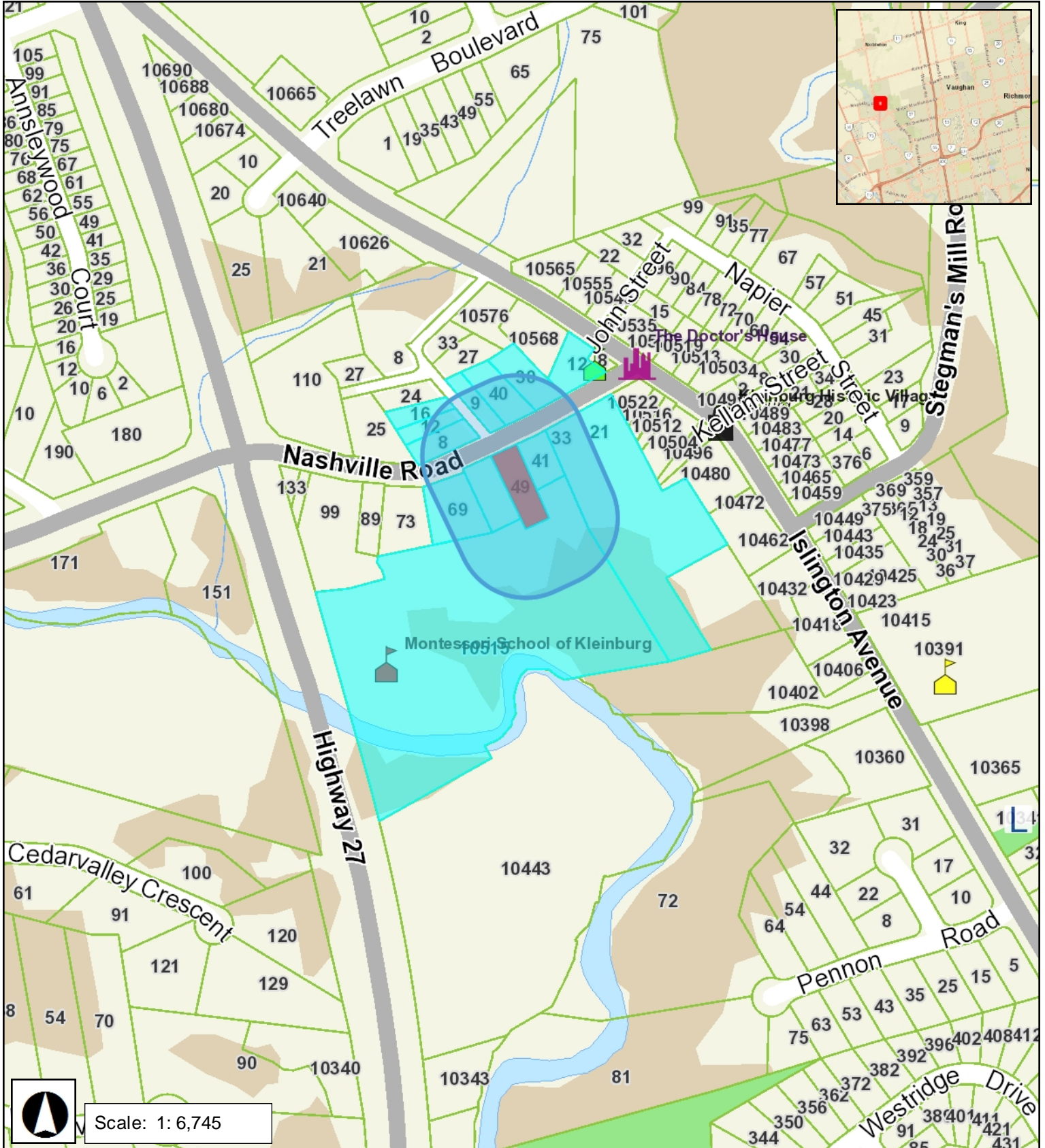
IMPORTANT INFORMATION – PLEASE READ
<p>CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (see condition chart above for contact). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.</p>
<p>APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.</p> <p>An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.</p> <p>A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.</p> <p>Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.</p> <p>Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.</p>
<p>DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City’s Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment</p> <p>That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City’s Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.</p>

IMPORTANT INFORMATION – PLEASE READ

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS

49 Nashville Road, Kleinburg

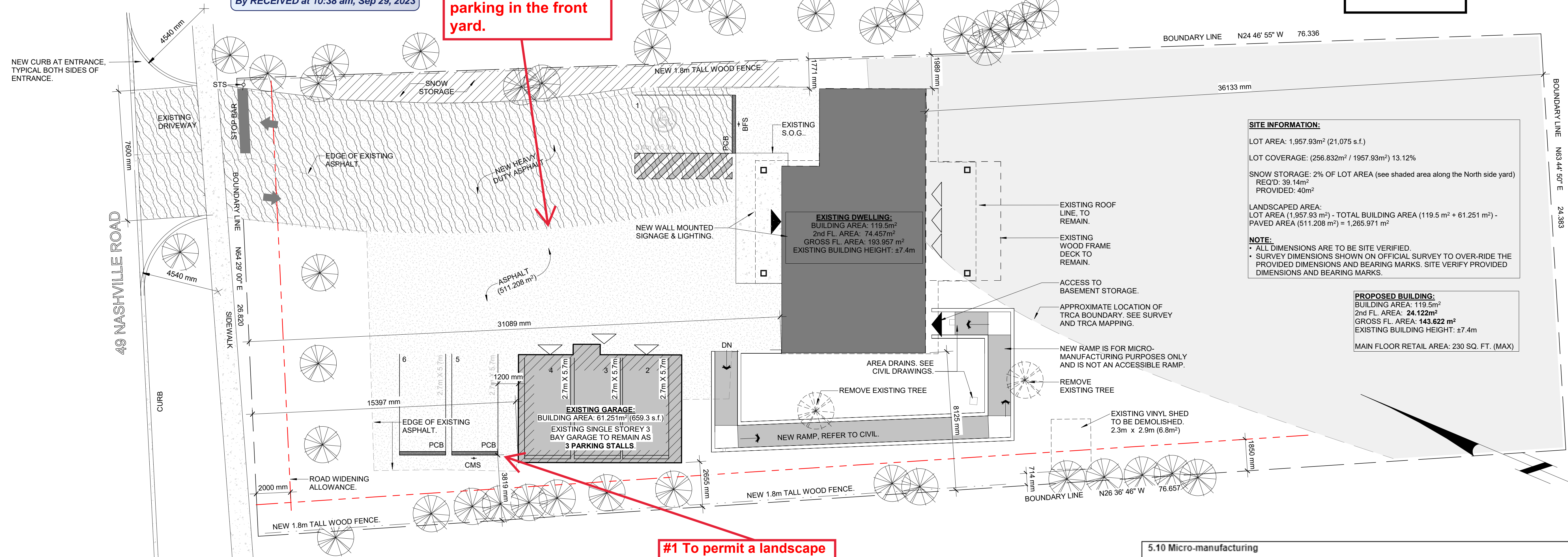


PLANS PREPARED BY APPLICANT

RECEIVED
By RECEIVED at 10:38 am, Sep 29, 2023

#2 To permit surface parking in the front yard.

A246/22



SITE INFORMATION:
 LOT AREA: 1,957.93m² (21,075 s.f.)
 LOT COVERAGE: (256.832m² / 1957.93m²) 13.12%
 SNOW STORAGE: 2% OF LOT AREA (see shaded area along the North side yard)
 REQ'D: 39.14m²
 PROVIDED: 40m²
 LANDSCAPED AREA:
 LOT AREA (1,957.93 m²) - TOTAL BUILDING AREA (119.5 m² + 61,251 m²) -
 PAVED AREA (511,208 m²) = 1,265.971 m²

NOTE:
 • ALL DIMENSIONS ARE TO BE SITE VERIFIED.
 • SURVEY DIMENSIONS SHOWN ON OFFICIAL SURVEY TO OVER-RIDE THE PROVIDED DIMENSIONS AND BEARING MARKS. SITE VERIFY PROVIDED DIMENSIONS AND BEARING MARKS.

PROPOSED BUILDING:
 BUILDING AREA: 119.5m²
 2nd FL. AREA: 24.122m²
 GROSS FL. AREA: 143.622 m²
 EXISTING BUILDING HEIGHT: ±7.4m
 MAIN FLOOR RETAIL AREA: 230 SQ. FT. (MAX)

ALL DIMENSIONS SHALL BE VERIFIED BY THE CONTRACTOR IN THE COURSE OF WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE LIC. TECH. OAA (DESIGNER), PRIOR TO THE COMMENCEMENT OF WORK. ALL DRAWINGS, SPECIFICATIONS ETC PREPARED BY THE DESIGNER ARE HIS PROPERTY AS INSTRUMENTS OF SERVICE TO BE RETURNED AT HIS REQUEST.

PROPERTY LINE	---
BUILDING SETBACKS	---
CONC. CURB	---
CONC. CURB & GUTTER	---
MANHOLE	○ MH#1
CATCH BASIN	○ CB#1
CATCH BASIN/MANHOLE	○ CB-MH# 1
FIRE HYDRANT	⊕ FH
HYDRO POLE	○ HP
LIGHT STANDARD	○ LS
LIGHT STANDARD	● □
BUILDING ENTRANCE	◀
BARRIER FREE PARKING SPACE	⊕
PRE-CAST BUMPER	PCB
BARRIER FREE PARKING SIGN	⊕ BFS
BARRIER FREE PARKING SIGN	⊕ CMS
STOP SIGN	⊕ STS

PLANS PREPARED AND VARIANCES IDENTIFIED BY APPLICANT

1 04 - SITE PLAN
A1.1 1:125

#1 To permit a landscape strip on the interior side lot line abutting an open space zone of 1.5m.

5.10 Micro-manufacturing

1. Micro-manufacturing shall only be permitted in association with a retail use or restaurant use, and where products or goods manufactured on the same lot as the principal use are available for sale or consumption.	Proposed micro-manufacturing use is being proposed in association for a retail use.
2. The maximum gross floor area of a retail use or restaurant use in association with micro-manufacturing shall be 15% of the total area of the principal use.	Total Area of Principal Use: 143.622 m ² Total Area of Retail Use: 21.543 m ² (15%)
3. Production and retailing incidental to micro-manufacturing shall only be permitted within a principal building on a lot.	Retail space to be provided within the principal building on a lot.
4. Micro-manufacturing shall only be permitted in association with a retail use or restaurant use, and where products or goods manufactured on the same lot as the principal use are available for sale or consumption.	Micro-manufacturing and associated retail use to be manufacturing use on the same lot.
5. A micro-manufacturing use that includes an obnoxious use shall be prohibited.	No obnoxious uses are proposed.
6. Outside storage in association with micro-manufacturing shall be prohibited, unless expressly permitted by the zone in which the micro-manufacturing use is located.	No outside storage is proposed.
7. An outdoor patio in association with micro-manufacturing shall be prohibited, unless expressly permitted by the zone in which the micro-manufacturing use is located.	No outdoor patio is proposed.

No.	Description	Date
9	Minor SPA Application	2023-06-03
8	Re-issued for SPA	2023-03-31
7	CoFA - Application	2023-03-07
6	CoFA - Application	2023-01-14
5	SPA Revisions	2022-10-17
4	SPA Revisions	2022-09-26
3	SPA Revisions	2022-09-12
2	SPA Revisions	2022-08-19
1	Site Plan Approval	2022-08-05

FORTÉ PLANS INC.
 RESIDENTIAL DESIGN
 CONSULTING
 CONTRACT ADMINISTRATION
 www.fortepans.ca



FRONT ELEVATION FRONT ELEVATION RIGHT SIDE / REAR ELEVATION FRONT ELEVATION - EXISTING GARAGE



REAR ELEVATION REAR ELEVATION REAR ELEVATION REAR ELEVATION

49 Nashville Road - Site Information Matrix:

PROVISION	ZBL 1-88 REQUIRED	ZBL 001-2021 REQUIRED	EXISTING	PROVIDED
ZONE CATEGORY	R1	KMS	-	-
MIN. LOT AREA	700 m ²	*	1,958 m ²	1,958 m ²
FLOOR SPACE INDEX	0.13	-	0.13	0.13
MAX. COVERAGE	30%	30%	13.12%	13.12%
MIN. LOT FRONTAGE	18m	16.5 m	26.74 m	26.74 m
MIN. FRONT YARD	7.5m	2 m	15.39 m	30.09 m
MAX. FRONT YARD	-	6 m	15.39 m	30.09 m
MIN. REAR YARD	7.5m	15 m	36.13 m	36.13 m
MIN. INT. YARD	1.5m	1.8 m	1.85 m	1.85 m
MIN. EXT. YARD	4.5m	4.5 m	N/A	N/A
MAX. BLDG. HEIGHT	9.5m	9.5 m/ 2.5m STOREYS	7.4 m	7.4 m
MIN. LANDSCAPE AREA	10%	10%	1,357 m ²	1,265.971 m ²
MIN. PARKING	N/A	6 SPACES	4	6 SPACES

** SITE DATA INFORMATION PROVIDED BY IBI**

PROJECT OVERALL NAME
DR. HOUSE RENOVATION
 49 NASHVILLE RD.
 VAUGHAN ONTARIO

SHEET TITLE
SITE PLAN

PROJ. NO.	22-022	DATE	Issue Date
DRAWN BY	GRB	SCALE	As Indicated
CHECKED	GRB	DATE PLOTTED	2023-07-11 10:43:11 AM
DRAWING NO.			

A1.1

SCHEDULE B: STAFF & AGENCY COMMENTS				
DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Ministry of Transportation (MTO) *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York *Schedule B	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra *Schedule B	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada *Schedule B	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline *Schedule B	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Development Planning	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Application Under Review
Building Standards (Zoning)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments

Date: October 18th , 2022

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A246-22**

Related Files:

Applicant Rosedale Media Group Inc. c/o Ben Graci

Location 49 Nashville Road



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

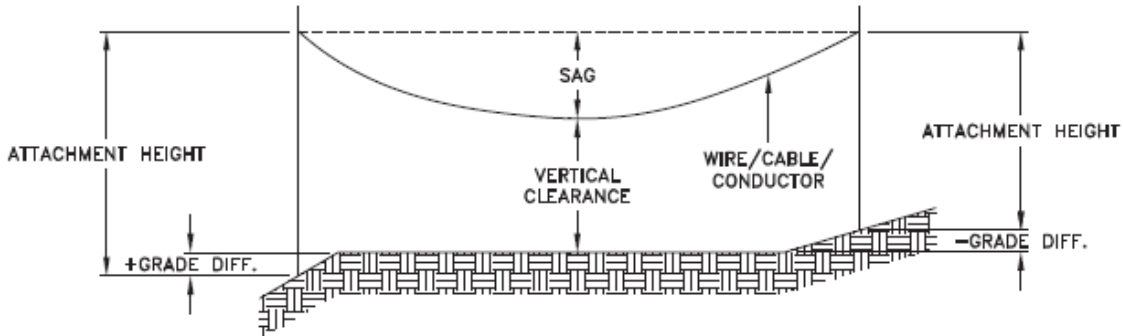
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

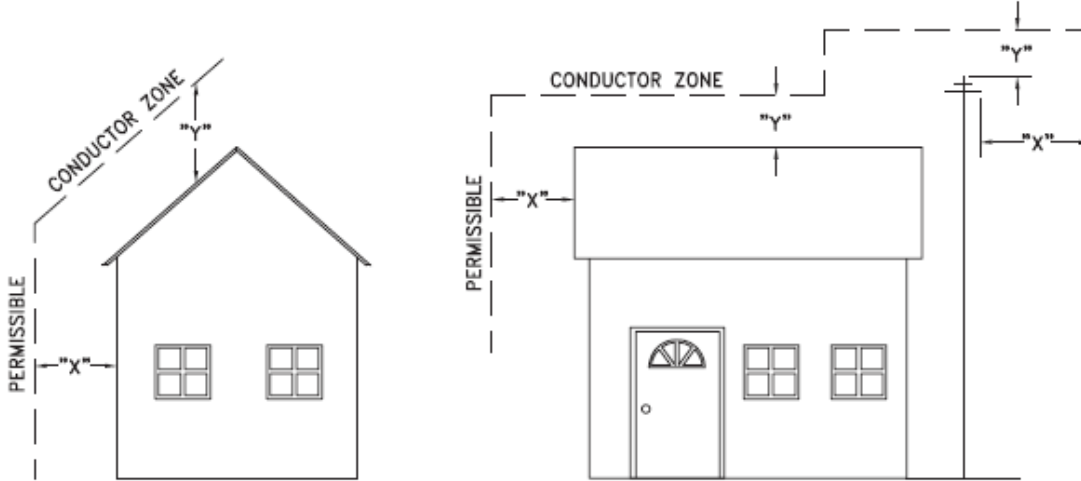
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

To: Committee of Adjustment
From: Bernd Paessler, Building Standards Department
Date: September 18, 2023
Applicant: Rosedale Media Group Inc.
Location: 49 Nashville Road
 PLAN RP9 Part of Lot 47
 PLAN RP9 Part of Lot 46
File No.(s): A246/22

Zoning Classification:

The subject lands are zoned KMS and subject to the provisions of Exception 14.971 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	Minimum required landscape strip on an interior side lot line or rear lot line abutting a Residential Zone or an Open Space Zone is 3.0m. Section 8.3.2 Table 8-5	To permit a landscape strip on the interior side lot line abutting an open space zone of 1.5m.
2	Surface parking is permitted in the rear yard only. Section 8.3.2 Table 8-5	To permit surface parking in the front yard.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

Building Permit No. 19-000744 for Detached Garage - New, Issue Date: Apr 01, 2020

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
2	The subject lands may be subject to Ontario Regulation 166/06 (TRCA - Toronto and Region Conservation Authority).
3	The subject lands are located in the Kleinburg-Nashville heritage conservation district. Approval will be required.

4	The proposal will be subject to site plan control please check with Please contact the Development Planning Department at 905-832-8565.
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Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

October 20, 2022

CFN 66448.29

SENT BY E-MAIL: Christine.Vigneault@vaughan.ca

Christine Vigneault
Secretary Treasurer
Committee of Adjustment
City of Vaughan
2141 Major Mackenzie Drive
Vaughan, Ontario L6A 1T1

Dear Christine:

**Re: Minor Variance Application A246/22
Part of Lot 24, Concession 8
49 Nashville Road
City of Vaughan, Region of York
Owner: Rose Media Group Inc. c/o Ben Graci
Agent: IBI Group Professional Services (Canada) Inc. c/o Catriona Moggach**

This letter acknowledges receipt of the above-noted application circulated by the City of Vaughan. The materials were received by Toronto and Region Conservation Authority (TRCA) on October 17, 2022. TRCA staff has reviewed the above noted application, and as per the “Living City Policies for Planning and Development within the Watersheds of the TRCA” (LCP), provides the following comments as part of TRCA’s commenting role under the *Planning Act*; the Authority’s delegated responsibility of representing the provincial interest on natural hazards encompassed by Section 3.1 of the *Provincial Policy Statement, 2020*; TRCA’s Regulatory Authority under Ontario Regulation 166/06, *Development, Interference with Wetlands and Alterations to Shorelines and Watercourses*; and, our Memorandum of Understanding (MOU) with the Region of York, wherein we provide technical environmental advice related to provincial plans.

Purpose of the Application

It is our understanding that the purpose of the above noted application is to request the following variances under both Zoning By-Law 01-2021 and By-Law 1-88:

By-Law 01-2021

1. To permit a retail store that is not part of a mixed use development, whereas the proposed retail store is only permitted as part of a mixed use development
2. To permit the accessory structure to be used incidental to the micro-manufacturing use, whereas production and retailing incidental to micro-manufacturing shall only be permitted within the principal building on a lot
3. To permit a minimum of 10 parking spaces, whereas the minimum required parking spaces is 12 spaces
4. To permit a parking aisle width of 4.1 m, whereas the minimum required parking aisle width is 6.0 m

By-Law 1-88

5. To permit a retail store and micro manufacturing use on the subject lands, whereas proposed use of retail store and micro manufacturing is not a permitted use in an R1 zone

The noted variances are being requested to permit the addition of a micro-manufacturing use and a restaurant use as permitted uses on the site.

Ontario Regulation 166/06

A portion of the subject lands are located within TRCA's Regulated Area due to a valley corridor associated with a tributary of the Humber River. In accordance with Ontario Regulation 166/06 (Regulation of Development, Interference with Wetlands and Alterations to Shorelines and Watercourses), development, interference or alteration may be permitted in the Regulated Area where it can be demonstrated to TRCA's satisfaction that the control of flooding, erosion, dynamic beaches, pollution, or the conservation of land will not be affected.

Application-Specific Comments

Based on a review of the submitted materials, the proposed works are not located within TRCA's Regulated Area. As such, it is the opinion of TRCA staff that the current proposal will not impact any natural features or associated hazards and TRCA's policy interests are not affected. TRCA staff have no concerns with the proposed variances.

Fees

By copy of this letter, the applicant is advised that the TRCA has implemented a fee schedule for our planning application review services. This application is subject to a \$610.00 (Variance-Residential-Minor) review fee. The applicant is responsible for fee payment and should forward the application fee to this office as soon as possible.

Recommendations

Based on the comments noted above, TRCA has **no objection** to the approval of Minor Variance Application A246.22 subject to the following condition:

1. That the applicant provides the required fee amount of \$610.00 payable to the Toronto and Region Conservation Authority.

We trust these comments are of assistance. Should you have any questions, please contact me at 437-880-2129 or at Kristen.Regier@trca.ca

Sincerely,

Kristen Regier

Kristen Regier
Planner I
Development Planning and Permits

KR/sb

From: [Development Services](#)
To: [Lenore Providence](#); [Committee of Adjustment](#)
Subject: [External] RE: A246/22 - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Thursday, November 3, 2022 9:46:52 AM
Attachments: [image003.png](#)
[image005.png](#)
[image006.png](#)

Hi Lenore,

The Regional Municipality of York has completed its review of the above minor variance (A246/22) and has no comment.

Many thanks,
Niranjan

Niranjan Rajevan, M.Pl. | Associate Planner, Programs and Process Improvement, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

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Please consider the environment before printing this email.

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant				Application Cover Letter

RECEIVED

By Christine Vigneault at 3:53 pm, Sep 11, 2023



Ms. Christine Vigneault
Secretary Treasurer
Committee of Adjustment
City of Vaughan
2141 Major Mackenzie Drive
Vaughan, ON
L6A 1T1

Arcadis Professional Services
(Canada) Inc.
55 St. Clair Avenue West
7th Floor
Toronto, Ontario M4V 2Y7
Canada
Phone: 416 596 1930
www.arcadis.com

Date: September 11, 2023

Subject: MINOR VARIANCE APPLICATION – FILE #246/22 - 49 NASHVILLE ROAD, RE-SUBMISSION FOR PL 9 PT LTS 46 & 47 (49 NASHVILLE ROAD, KLEINBURG)

Dear Ms. Vigneault:

Arcadis Professional Services Canada Inc., (previously IBI Group Professional Services (Canada) Inc.) hereinafter referred to as Arcadis, on behalf of Rosedale Media Group, is pleased to re-submit this Minor Variance Application (File #246/22 – 49 Nashville Road) to the City for the lands legally described as PL 9 PT LTS 46 & 47, Vaughan, City of Vaughan, Regional Municipality of York, and municipally known as 49 Nashville Road in the community of Kleinburg. The site consists of a single-detached dwelling and a detached three-door garage, which support the operations of The Doctor's House event venue.

Arcadis has been working closely with the City through this process to resolve site plan issues, including revising the plan to protect the trees fronting Nashville Road and utilizing the garage for parking, thus reducing the overall GFA of the site, helping to meet the parking requirements under the Zoning By-law. Two variances are required to formalize existing site conditions and help facilitate the new proposed micro-manufacturing use which is permitted under Zoning By-law 001-2021. The requested variances relate to providing parking in the front yard and modifying the setback to the west property line. These variances are considered minor in nature and represented a formalization of existing site conditions. In support of this re-submission, the following materials have been included with the submission:

- Revised Submission Form, prepared by Arcadis;
- Revised Chart – Confirm Variances Requested, prepared by Arcadis;
- Site Plan, prepared by Forte Plans, dated July 11, 2023;
- Requested Variance Table, prepared by Arcadis;
- Revised Chart – Property Setbacks, prepared by Arcadis;
- Revised Chart – Size of All Existing and Proposed Structures, prepared by Arcadis; and
- Variance Mark-Up, prepared by Arcadis.

We look forward to continuing our work with the City of Vaughan on this application. Please do not hesitate to contact the undersigned should you require clarification or additional information.

Sincerely,

Arcadis Professional Services (Canada) Inc.

A handwritten signature in blue ink, appearing to read "Catriona Moggach".

Catriona Moggach MCIP RPP

Email: catriona.moggach@arcadis.com

Direct Line: 1 416 596 1930 ext 61561

Ms. Christine Vigneault
 Secretary Treasurer
 Committee of Adjustment
 City of Vaughan
 2141 Major Mackenzie Drive
 Vaughan, ON
 L6A 1T1

Phone:
 Fax: www.arcadis.com

Date: September 11, 2023
 Subject: MINOR VARIANCE APPLICATION – FILE #246/22 - 49 NASHVILLE ROAD, RE-SUBMISSION FOR PL 9 PT LTS 46 & 47 (49 NASHVILLE ROAD, KLEINBURG)

Dear Ms. Vigneault:

Arcadis Professional Services Canada Inc., (previously IBI Group Professional Services (Canada) Inc.) hereinafter referred to as Arcadis, on behalf of Rosedale Media Group, is pleased to re-submit this Minor Variance Application (File #246/22 – 49 Nashville Road), related to the lands legally described as PL 9 PT LTS 46 & 47, Vaughan, City of Vaughan, Regional Municipality of York, and municipally known as 49 Nashville Road in the community of Kleinburg. Further to the Variance Chart provided as part of the revised submission, Table 1 outlines the variances from Zoning By-law 01-2021 that are being requested. Please refer to the Marked-Up Site Plan that identifies the proposed variances. Provision Requested Variances Ancillary Uses (Section 5.10, By-law 01-2021)

Provision	Requested Variances
Location of Parking Spaces (Section 8.3.2, Table 8-5, By-law 01-2021)	1. Permit surface parking in portions of the lot other than in the rear yard.
Landscape Strips (Exception 971)	2. Permit a reduced interior side yard landscape strip of 1.5 m.

Sincerely,
 Arcadis Professional Services (Canada) Inc.



Catriona Moggach MCIP RPP
 Email: catriona.moggach@arcadis.com
 Direct Line: 1 416 596 1930 ext 61561

SCHEDULE D: PREVIOUS COA DECISIONS ON THE SUBJECT LAND

None