

ITEM: 6.12	COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A145/23 435 CITYVIEW BLVD, WOODBRIDGE
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**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES:**

*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

PUBLIC & APPLICANT CORRESPONDENCE

*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant			09/08/2023	Application Cover Letter

PREVIOUS COA DECISIONS ON THE SUBJECT LAND SUBJECT TO BY-LAW 001-2021

*Please see **Schedule D** for a copy of the Decisions listed below

File Number	Date of Decision	Decision Outcome
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PREVIOUS COA DECISIONS ON THE SUBJECT LAND SUBJECT TO BY-LAW 001-2021

*Please see **Schedule D** for a copy of the Decisions listed below

	MM/DD/YYYY	
None		

ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

None	
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**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A145/23
435 CITYVIEW BLVD, WOODBRIDGE**

ITEM NUMBER: 6.12	CITY WARD #: 3
APPLICANT:	435 Cityview Inc.
AGENT:	Brutto Consulting
PROPERTY:	435 Cityview Blvd, Woodbridge
ZONING DESIGNATION:	See Below
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Prestige Employment"
RELATED DEVELOPMENT APPLICATIONS:	DA.22.078
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit the development of a two-storey industrial/office building and to facilitate related Site Plan Application DA.22.078.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned EM1 – PRESTIGE EMPLOYMENT ZONE, and subject to the provisions of Exceptions 14.862 and 14.868 under Zoning By-law 001-2021.

#	Zoning By-law 001-2021	Variance requested
1	A minimum landscape strip width of 6.0 m is required. [14.862.2b]	To permit a minimum 1.5 m wide landscape strip abutting Street "B".
2	The use of the "Industrial Mall" parking requirement for the purposes of calculating parking on the subject lands is not permitted. [Table 11-2 and 6.2.1]	To permit the use of the "Industrial Mall" parking requirement for the purposes of calculating parking on the subject lands.
3	A minimum of 4 long-term bicycle parking spaces are required. [Table 6-8 and 6.5.3.1]	To permit a minimum of 0 long term bicycle parking spaces.

HEARING INFORMATION

DATE OF MEETING: Thursday, October 19, 2023
TIME: 6:00 p.m.
MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive
LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

INTRODUCTION

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT COMMENTS

Date Public Notice Mailed:	October 5, 2023
Date Applicant Confirmed Posting of Sign:	September 22, 2023
Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small>	See application cover letter.
Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	None
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice. *A revised submission may be required to address staff / agency comments received as part of the application review process. *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>	No
Adjournment Fees: In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice. An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice.	
Committee of Adjustment Comments:	None
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING) COMMENTS

**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING COMMENTS

**See Schedule B for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	That all comments including the provision of 4 long term bicycle parking spaces on Site Development Application DA.22.078, be addressed to the satisfaction of the Development Planning Department.

DEVELOPMENT ENGINEERING COMMENTS

Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation	
<p>Trasportation Engineering does not object to the proposal to apply the use of "Industrial Mall" for the purposes of calculating the minimum parking requirements, the use of the Industrial Mall rate requirement of 70 spaces for the industrial component, and the prevailing office rate requirement of an additional 24 spaces.</p> <p>The Development Engineering (DE) Department does not object to variance application A145/23.</p>	

DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#)
 [Link to Pool Permit](#)
 [Link to Curb Curt Permit](#)
 [Link Culvert Installation](#)

Development Engineering Recommended Conditions of Approval:	None
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PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

Forestry has no comment	
PFH Recommended Conditions of Approval:	None

DEVELOPMENT FINANCE COMMENTS

No comment no concerns	
Development Finance Recommended Conditions of Approval:	None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

No comments or active files.	
BCLPS Recommended Conditions of Approval:	None

BUILDING INSPECTION (SEPTIC) COMMENTS

No comments received to date.	
Building Inspection Recommended Conditions of Approval:	None

FIRE DEPARTMENT COMMENTS

No comments received to date.	
Fire Department Recommended Conditions of Approval:	None

SCHEDULES TO STAFF REPORT

*See Schedule for list of correspondence

Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Staff & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Planning Nicholas.delprete@vaughan.ca	That all comments including the provision of 4 long term bicycle parking spaces on Site Development Application DA.22.078, be addressed to the satisfaction of the Development Planning Department.

IMPORTANT INFORMATION – PLEASE READ

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

IMPORTANT INFORMATION – PLEASE READ

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

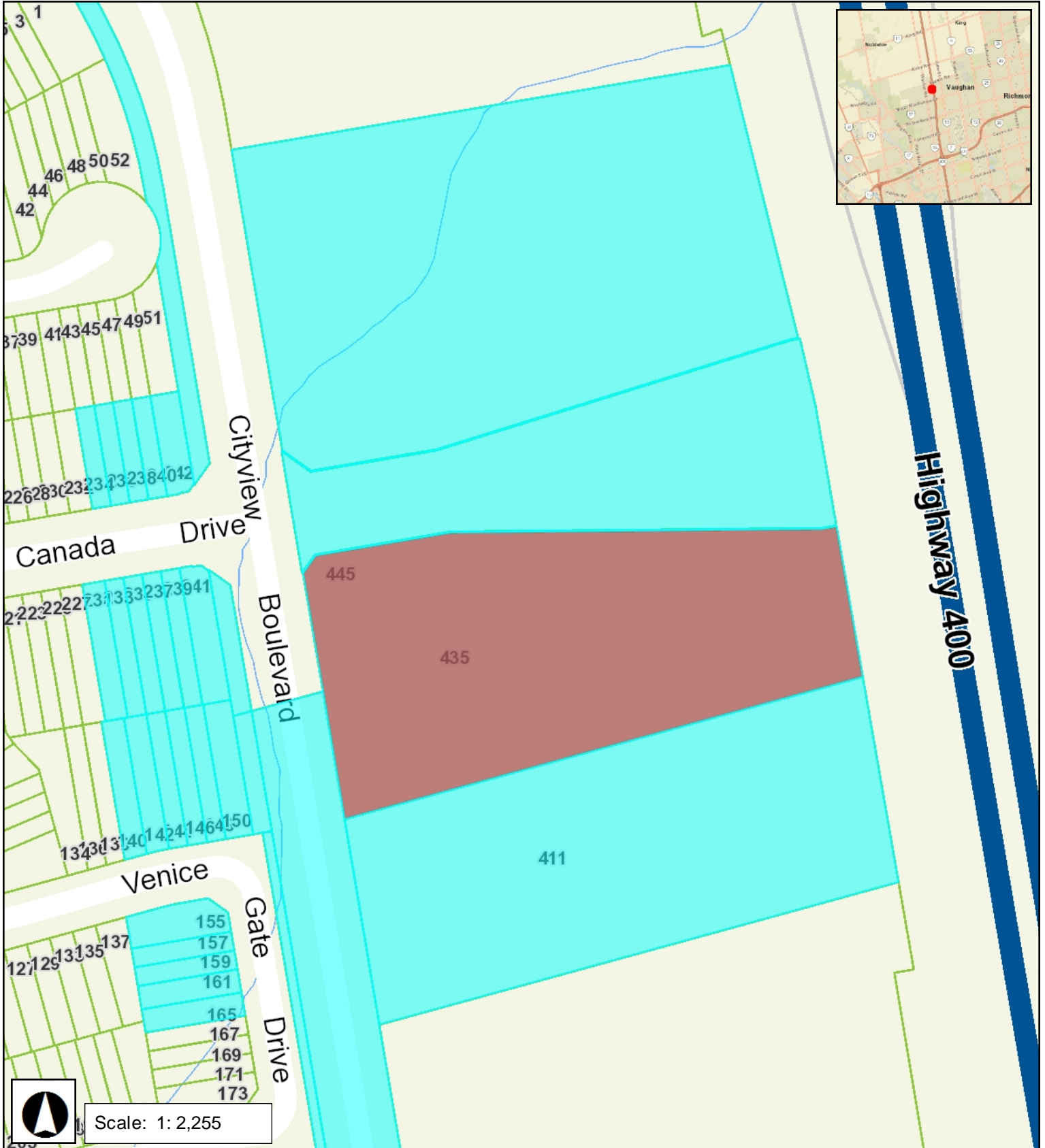
That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS

435 Cityview Boulevard, Woodbridge



LEGEND

- DEPRESSED CURB (C/W 600mm WIDE T.W.S.I. STRIP - SEE A1.03 FOR DETAILS)
- EGRESS / OVERHEAD DOOR
- EXISTING / PROPOSED GRADE
- CATCH BASIN
- STORM MANHOLE
- DIRECTIONAL ARROW
- WALL PAC (SEE ELECTRICAL)
- LIGHT POLE (SEE ELECTRICAL)
- BARRIER-FREE PARKING SPACE
- FIRE HYDRANT
- BIASE CONNECTION
- TRAFFIC / BARRIER-FREE PARKING SPACE SIGNAGE POLE
- GAS METER
- SNOW STORAGE AREA

PLANS PREPARED AND VARIANCES IDENTIFIED BY APPLICANT

PARKING / LOADING STATISTICS

PARKING STANDARD SPACES (2.7M x 6.0M)	PROVIDED 93	REQUIRED 70 (@ 1.5 spaces / 100 sqm GFA) FOR INDUSTRIAL MALL
BARRIER FREE SPACES	6 (**)	24 (@ 3.0 spaces / 100 sqm GFA) FOR OFFICE
TOTAL	99	94

(*) BARRIER FREE REQUIREMENT ASSUMED @ 5% OF TOTAL (EQUAL NUMBERS OF TYPE 'A' (3.65M WIDE) AND 3 TYPE 'B' (2.7M WIDE) SPACES REQUIRED)
 (**) 3 TYPE 'A' AND 3 TYPE 'B' BARRIER FREE SPACES

LOADING TYPE B (3.5m x 11m)	PROVIDED 2	REQUIRED 3
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(*) BY LAW 01-2021

BIKE PARKING SHORT-TERM SPACES	PROVIDED 9	REQUIRED 8
LONG-TERM SPACES	0 (**FIT-OUT)	6*

(*) BY LAW 01-2021 (1) 3 SPACES / 100 sqm OR 3 SPACES, WHICHEVER IS GREATER
 (**) TENANT FIT-OUT NOT PART OF THIS APPLICATION / BUILDING SHELL APPLICATION ONLY

BUILDING STATISTICS

BUILDING AREA (INDUSTRIAL):	4,606.18 sqm
BUILDING AREA (OFFICE):	778.50 sqm
EXCLUSIONS:	39.73 sqm
G.F.A.:	5,425.41 sqm
HEIGHT:	14.5 m

SITE STATISTICS

AREAS	SqM	[SqF]	%
GROSS (TOTAL) SITE AREA:	11,513.72	[123,933]	100
BUILDING (TOTAL) AREA:	5,425.41	[58,399]	100
TOTAL AREA / SITE COVERAGE	11,513.72	[123,933]	47 (0.47x)
TOTAL LANDSCAPE AREA	1,417.57	[15,259]	12.3
PAVED AREA	4,670.74	[50,275]	40.5
SNOW STORAGE AREA	232.15	[2,499]	2.0
MTO SETBACK	690.93	[7,437]	6.0
CITYVIEW BLVD EASEMENT	462.92	[4,983]	4.0
UTILITY BLDG EASEMENT	96.95	[1,044]	0.8
LOT FRONTAGE (CITYVIEW BLVD)	83.50 M		
LOT FRONTAGE (HWY 400)	48.16 M		
LOT FRONTAGE (SOUTH)	169.95 M		



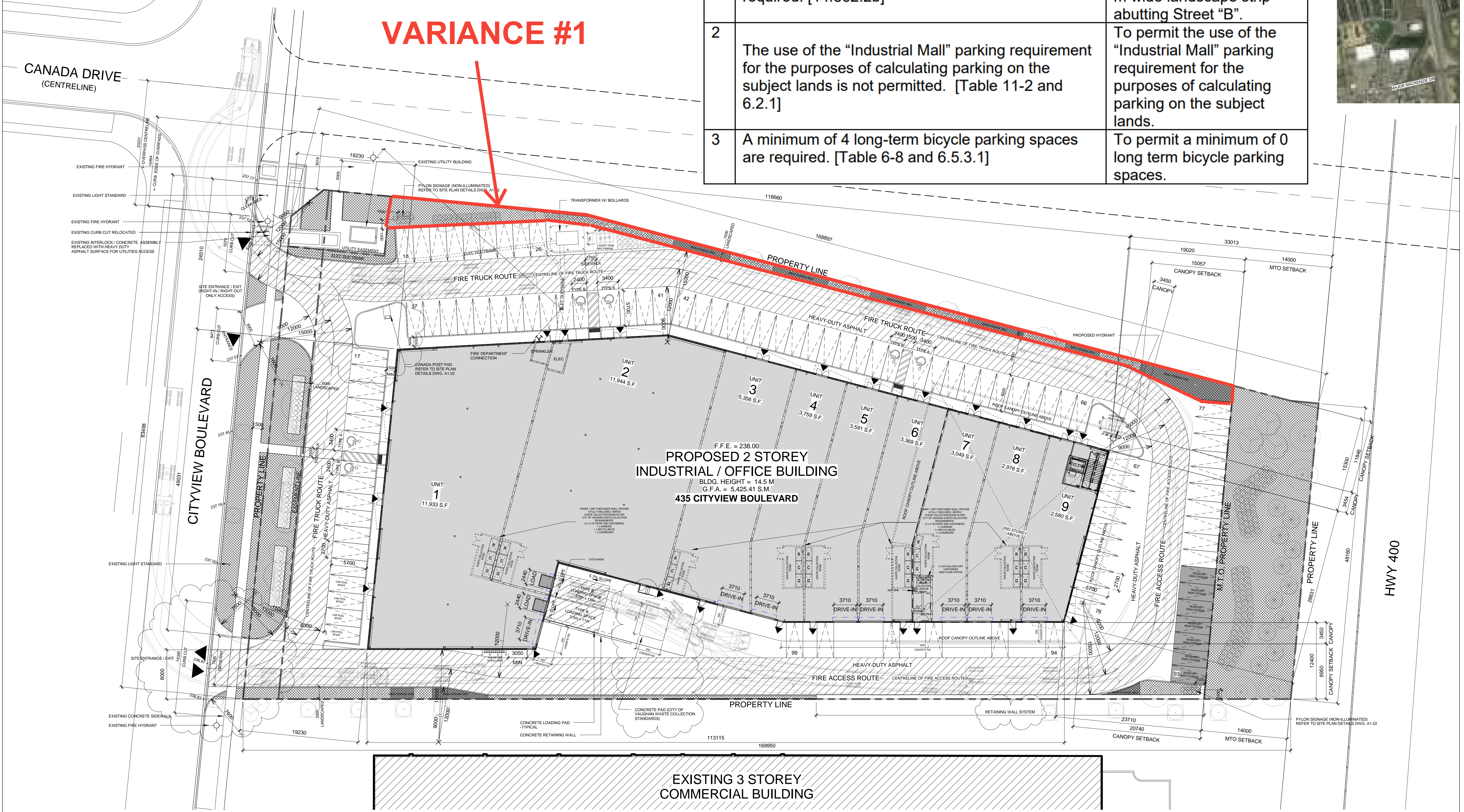
A145/23

All drawings, specifications, related documents and design are the copyright property of the Architect and must be retained upon request. Reproduction of the drawings, specifications, related documents and design in whole or in part is strictly prohibited without the architect's written permission.
 This drawing shall not be used for construction purposes unless countersigned by:
 Signature: *Giovanni A. Tassone*
 Giovanni A. Tassone

NOT ISSUED FOR CONSTRUCTION

#	Zoning By-law 001-2021	Variance requested
1	A minimum landscape strip width of 6.0 m is required. [14.862.2b]	To permit a minimum 1.5 m wide landscape strip abutting Street "B".
2	The use of the "Industrial Mall" parking requirement for the purposes of calculating parking on the subject lands is not permitted. [Table 11-2 and 6.2.1]	To permit the use of the "Industrial Mall" parking requirement for the purposes of calculating parking on the subject lands.
3	A minimum of 4 long-term bicycle parking spaces are required. [Table 6-8 and 6.5.3.1]	To permit a minimum of 0 long term bicycle parking spaces.

VARIANCE #1



Revisions

0	
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09/_/23 05 REISSUED FOR S.P.A.
 06/23/23 04 REISSUED FOR S.P.A.
 12/12/22 03 ISSUED FOR SITE PLAN APPROVAL
 04/27/22 02 ISSUED FOR P.A.C.
 04/27/22 01 ISSUED FOR COMMIT. ADJUST.
 Date Issued No. Description
 Issue Date



Architect Inc.
GIOVANNI A. TASSONE
 185 BridgeRoad, Suite 107
 Toronto, Ontario M6A 1T7
 (416) 794-3520
 (416) 793-3100 fax

APPLICATION # DA.22.078

OFFICE / INDUSTRIAL DEVELOPMENT

435 CITYVIEW BLVD
 VAUGHAN, ON

Project No. 22015
 Design: As indicated
 Drawn by: HA
 Reviewed by: GAT
 Title: SITE PLAN
 Drawing No.:

A1.01

LEGEND

- DEPRESSED CURB (C/W 600mm WIDE T.W.S.I. STRIP - SEE A1.03 FOR DETAILS)
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PLANS PREPARED AND VARIANCES IDENTIFIED BY APPLICANT

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BARRIER FREE SPACES	6 (**)	24 (@ 3.0 spaces / 100 sqm GFA) for OFFICE
TOTAL	99	94

(*) BARRIER FREE REQUIREMENT ASSUMED @ 5% OF TOTAL (EQUAL NUMBERS OF TYPE 'A' (3.65M WIDE) AND 3 TYPE 'B' (2.7M WIDE) SPACES REQUIRED)
 (**) 3 TYPE 'A' AND 3 TYPE 'B' BARRIER FREE SPACES

LOADING TYPE B (3.5m x 11m)	PROVIDED 2	REQUIRED 3
-----------------------------	------------	------------

(*) BY LAW 01-2021

BIKE PARKING SHORT-TERM SPACES	PROVIDED 9	REQUIRED 8'
LONG-TERM SPACES	0 (**FIT-OUT)	6'

(*) BY LAW 01-2021 (1) 3 SPACES / 100 sqm OR 3 SPACES, WHICHEVER IS GREATER
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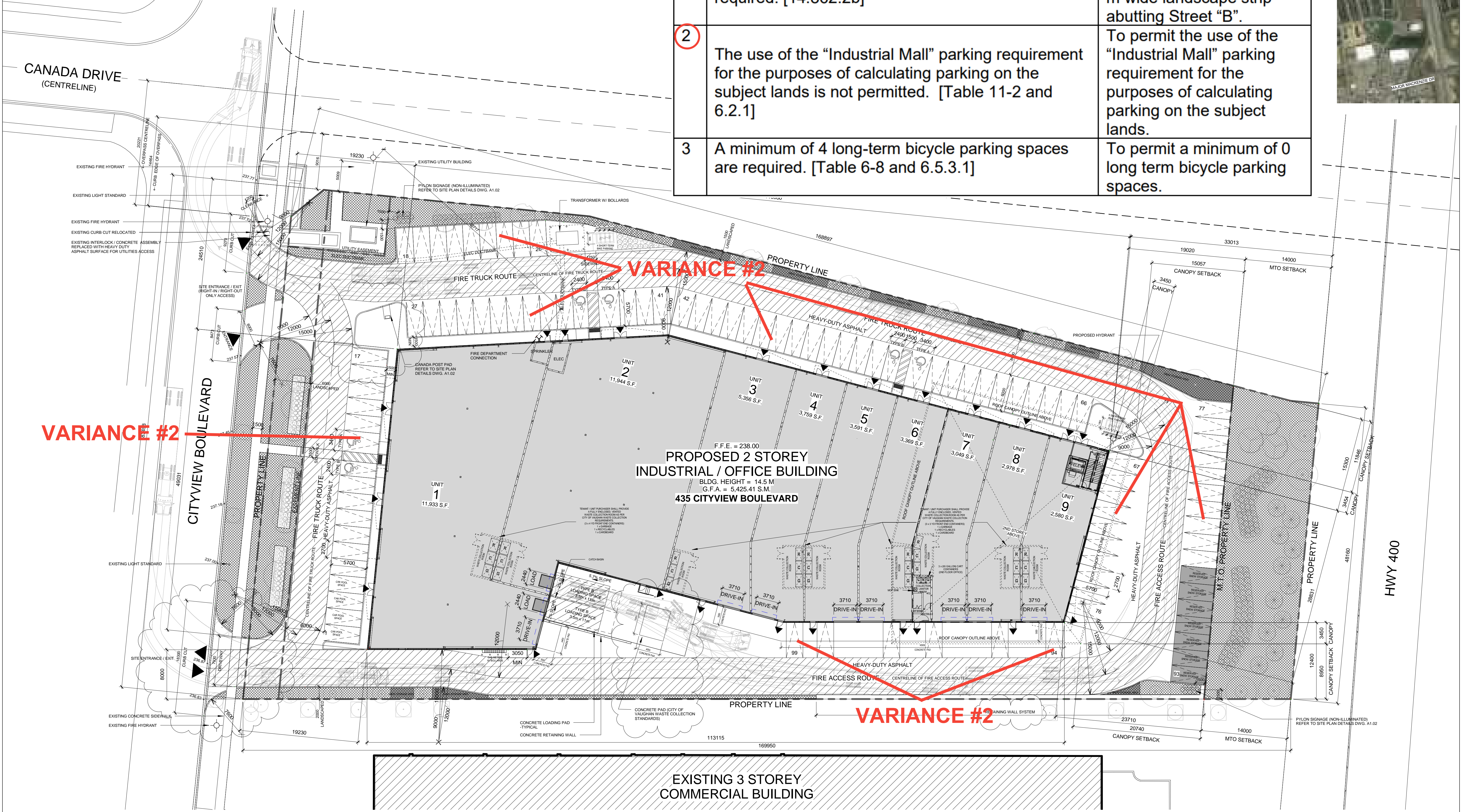
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This drawing shall not be used for construction purposes unless countersigned by:

Signature: *Giovanni A. Tassone*
 Giovanni A. Tassone

NOT ISSUED FOR CONSTRUCTION

CELITE CONSTRUCTION

Revisions	Date Issued	Issue Date	Description
0			

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12/12/22	03	ISSUED FOR SITE PLAN APPROVAL
04/27/22	02	ISSUED FOR P.A.C.
04/27/22	01	ISSUED FOR COMMIT. ADJUST.

Date Issued: No. Description
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PLAN NORTH

ONTARIO ASSOCIATION OF ARCHITECTS
 GIOVANNI A. TASSONE
 LICENCE 12323

Architect Inc.
GIOVANNI A. TASSONE

185 BridgeRoad, Suite 107
 Toronto, Ontario M6A 1T7
 (416) 794-3520
 (416) 793-3100 fax

APPLICATION # DA.22.078

OFFICE / INDUSTRIAL DEVELOPMENT

435 CITYVIEW BLVD
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Project No. 22015
 Design: As indicated
 Drawn by: HA
 Reviewed by: GAT
 Title: SITE PLAN
 Drawing No. A1.01

A1.01

Note: This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.

SITE PLAN
 1 - 300

LEGEND

- DEPRESSED CURB (C/W 600mm WIDE T.W.S.I. STRIP - SEE A1.03 FOR DETAILS)
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PAVED AREA	4,670.74	[50,275]	40.5
SNOW STORAGE AREA	232.15	[2,499]	2.0
MTO SETBACK	690.93	[7,437]	6.0
CITYVIEW BLVD EASEMENT	462.92	[4,983]	4.0
UTILITY BLDG EASEMENT	96.95	[1,044]	0.8
LOT FRONTAGE (CITYVIEW BLVD)	83.50 M		
LOT FRONTAGE (HWY 400)	48.16 M		
LOT FRONTAGE (SOUTH)	169.95 M		



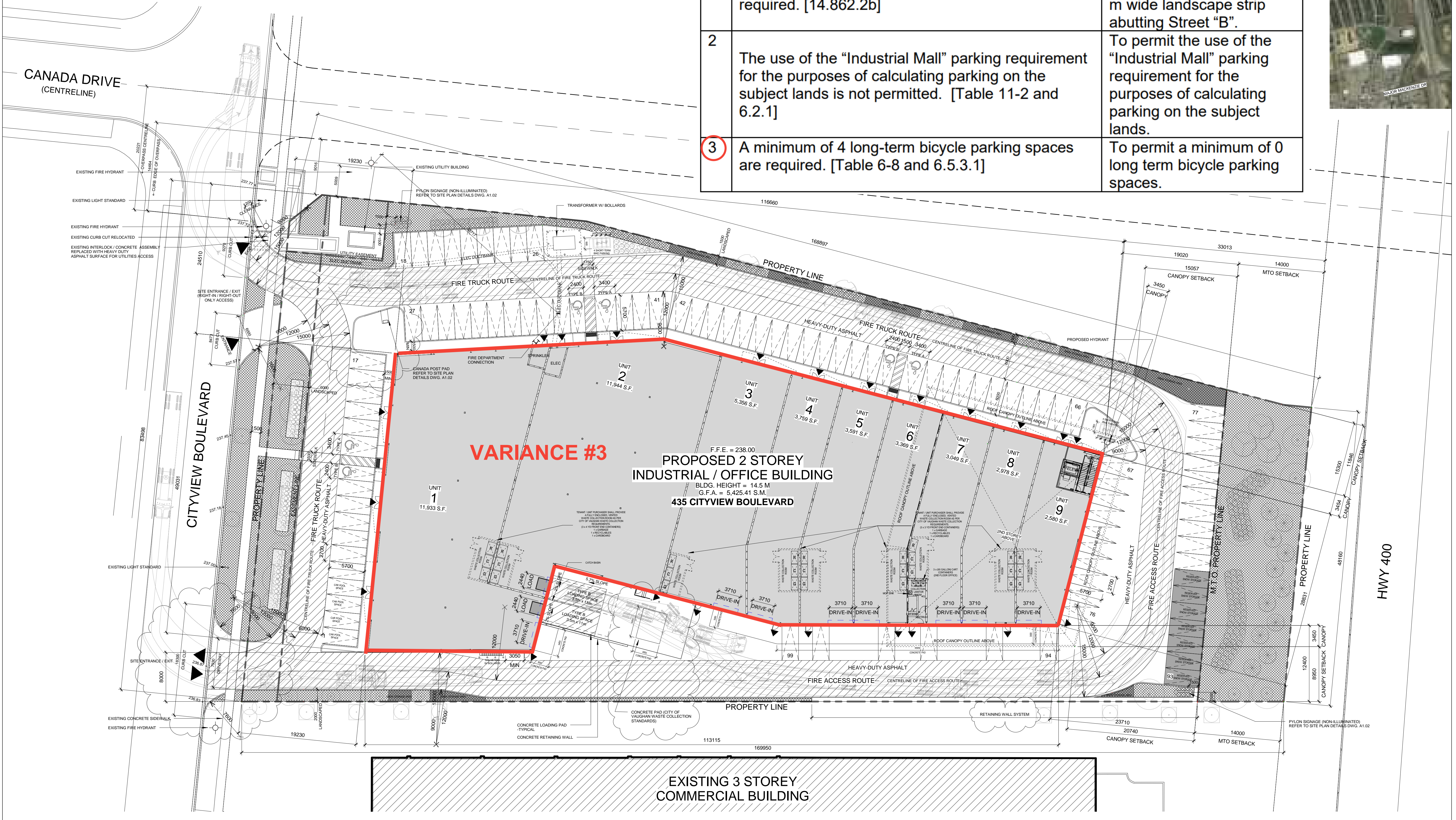
This drawing shall not be used for construction purposes unless countersigned by:

Signature: *Giovanni A. Tassone*
 Giovanni A. Tassone

NOT ISSUED FOR CONSTRUCTION

A145/23

#	Zoning By-law 001-2021	Variance requested
1	A minimum landscape strip width of 6.0 m is required. [14.862.2b]	To permit a minimum 1.5 m wide landscape strip abutting Street "B".
2	The use of the "Industrial Mall" parking requirement for the purposes of calculating parking on the subject lands is not permitted. [Table 11-2 and 6.2.1]	To permit the use of the "Industrial Mall" parking requirement for the purposes of calculating parking on the subject lands.
3	A minimum of 4 long-term bicycle parking spaces are required. [Table 6-8 and 6.5.3.1]	To permit a minimum of 0 long term bicycle parking spaces.



CELITE CONSTRUCTION

Revisions

09/23	05	REISSUED FOR S.P.A.
06/23/23	04	REISSUED FOR S.P.A.
12/12/22	03	ISSUED FOR SITE PLAN APPROVAL
04/27/22	02	ISSUED FOR P.A.C.
04/27/22	01	ISSUED FOR COMMIT. ADJUST.

Date Issued: No. Description
 Issue Date

PLAN NORTH

ONTARIO ASSOCIATION OF ARCHITECTS
 GIOVANNI A. TASSONE
 LICENCE 12323

Architect Inc.
GIOVANNI A. TASSONE

185 BridgeRoad, Suite 107
 Toronto, Ontario M6A 1T7
 (416) 794-3520
 (416) 793-3100 fax

APPLICATION # DA.22.078

Project: **OFFICE / INDUSTRIAL DEVELOPMENT**

435 CITYVIEW BLVD
 VAUGHAN, ON

22015 As indicated

Drawn by: HA Reviewed by: GAT

Title: **SITE PLAN**

A1.01

Name of Practice:
Giovanni A. Architect Inc.
185 Bridgeland Ave., Suite 107
Toronto, Ontario
M6A 1Y7

Name of Project:
Proposed Industrial Development – Cityview Building

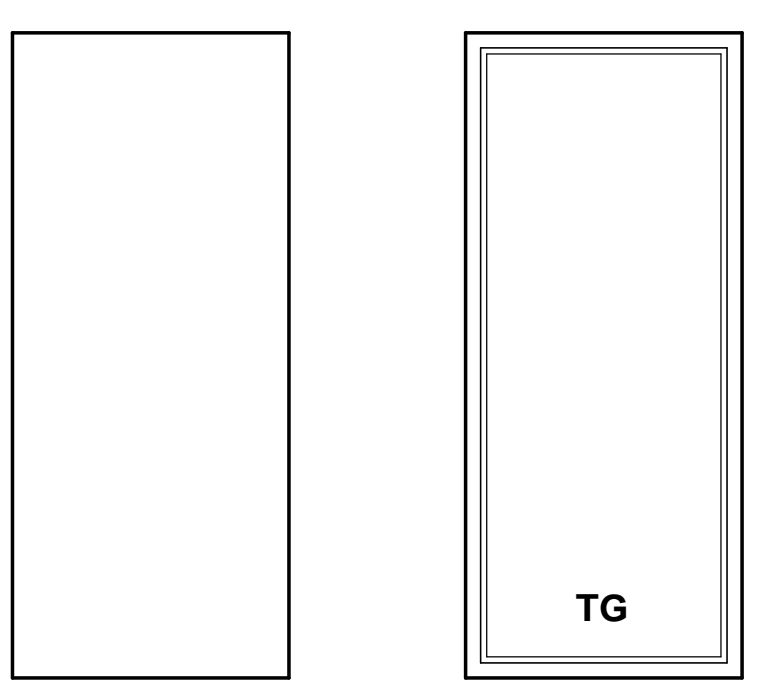
Location:
435 Cityview Boulevard
Vaughan, Ontario.



Item	Ontario's 2012 Building Code Data Matrix Part 3 or 9				BC Reference						
	References are to Division B unless noted [A] for Division A or [C] for Division C.				Part 3	Part 9					
1	Project Description: New Industrial Development <input type="checkbox"/> Change of Use <input type="checkbox"/> Alteration	<input checked="" type="checkbox"/> New <input type="checkbox"/> Addition	<input type="checkbox"/> Part 11 11.1 to 11.4	<input checked="" type="checkbox"/> Part 3 1.1.2. [A]	<input type="checkbox"/> Part 9 1.1.2. [A] & 9.10.1.3.						
2	Major Occupancy(s) Group F2			3.1.2.1.(1)	9.10.2.						
3	Building Area (m ²) Ext. 0.00 m ² New 4,606.2 m ² Total 4,606.2 m ²			1.4.1.2. [A]	1.4.1.2. [A]						
4	Gross Areas Ext. 0.00 m ² New 4,606.2 m ² Total 5,425.41 m ²			1.4.1.2. [A]	1.4.1.2. [A]						
5	Number of Storeys Above grade 2 Below grade 0			1.4.1.2. [A] & 3.2.1.1.	1.4.1.2[A] & 9.10.4						
6	Number of Streets/Fire Fighter Access 1			3.2.2.10. & 3.2.5.	9.10.20.						
7	Building Classification Group F2 3.2.2.70			3.2.2.20-.83	9.10.2.						
8	Sprinkler System <input checked="" type="checkbox"/> entire building <input type="checkbox"/> selected compartments <input type="checkbox"/> selected floor areas <input type="checkbox"/> basement <input type="checkbox"/> in lieu of roof rating <input type="checkbox"/> not required			3.2.2.20-.83 3.2.1.5. 3.2.2.17. INDEX	9.10.8.2. INDEX						
9	Standpipe required <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			3.2.9.	N/A						
10	Fire Alarm required <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			3.2.4.	9.10.18.						
11	Water Service/Supply is Adequate <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No			3.2.5.7.	N/A						
12	High Building <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			3.2.6.	N/A						
13	Construction Restrictions <input type="checkbox"/> Combustible permitted <input type="checkbox"/> Combustible <input checked="" type="checkbox"/> Non-combustible	<input type="checkbox"/> Non-combustible <input checked="" type="checkbox"/> Both		3.2.2.20-.83	9.10.6.						
14	Mezzanine(s) Area m ² N/A			3.2.1.1.(3)-(8)	9.10.4.1.						
15	Occupant load based on NOTE: UNOCCUPIED SHELL BUILDING PERMIT Load 0 persons	<input type="checkbox"/> m ² /person <input checked="" type="checkbox"/> design of building TENANT FIT OUT WILL DETERMINE OCCUPANT LOAD		3.1.17.	9.9.1.3.						
16	Barrier-free Design <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No (Explain) Fewer than 8 boarders or roomers.			3.8.	9.5.2.						
17	Hazardous Substances <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			3.3.1.2. & 3.3.1.19.	9.10.1.3.(4)						
18	Required Fire Resistance Rating (FRR) Horizontal Assemblies FRR (Hours) Floors = 0 Hours Roof = 0 Hours Mezzanine = N/A FRR of Supporting Members Floors = 0 Hours Roof = 0 Hours Mezzanine = N/A	Listed Design No. or Description (SG-2) SB-2-2.1.1-Table 2.1.1. SB-2-2.1.1-Table 2.1.1. SB-2-2.1.1-Table 2.1.1. Listed Design No. Or Description (SG-2) SB-2-2.2.1-Table 2.2.1-A & B SB-2-2.2.1-Table 2.2.1-A & B SB-2-2.2.1-Table 2.2.1-A & B		3.2.2.20-.83 & 3.2.1.4.	9.10.8. 9.10.9.						
19	Spatial Separation – Construction of Exterior Walls			3.2.3.	9.10.14.						
	Wall	Area of EBF (m ²)	L.D. (m)	L/H or H/L	Permitted Max. % of Openings	Proposed % of Openings	FRR (Hours)	Listed Design or Description	Comb. Const.	Comb. Const. None-Cladding	Non-comb. Const.
	North	1,119 m ²	15.3		100 %	— %	1 Hour			X	X
	South	1,043 m ²	8.0		34 %	6 %	1 Hour			X	X
	West	466 m ²	19.2		100 %	— %	1 Hour			X	X
	East	272 m ²	33.0		100 %	— %	1 Hour			X	X

EXTERIOR WALL TYPES:						
W1	RATING	TYPICAL PRECAST PANEL ASSEMBLY 225mm INSULATED PRECAST PANEL (R15) INTERIOR DRYWALL ASSEMBLY AS PER _____ FIT-OUT DWGS.		ULC DESIGN #	OBC WALL #	STC CLASS
W2	RATING 2 HR FRR (Based on OBC SB2 2.1.1 - Table 2.1.1)	HOLLOW, LIGHT WEIGHT CONCRETE BLOCK WALL 240mm HOLLOW, LIGHT-WEIGHT CONCRETE BLOCK MASONRY		-	-	50 MIN
W2a	RATING 2 HR FRR (Based on OBC SB2 2.1.1 - Table 2.1.1)	HOLLOW, LIGHT WEIGHT CONCRETE BLOCK WALL 290mm HOLLOW, LIGHT-WEIGHT CONCRETE BLOCK MASONRY AS INDICATED ON PLANS. REFER TO STRUCTURAL DWGS.		-	-	50 MIN
W2b	RATING *****2 HR FRR (Based on OBC SB2 2.1.1 - Table 2.1.1)	HOLLOW, LIGHT WEIGHT CONCRETE BLOCK WALL 190mm HOLLOW, LIGHT-WEIGHT CONCRETE BLOCK MASONRY AS INDICATED ON PLANS. REFER TO STRUCTURAL DWGS.		-	-	*** MIN
ROOF TYPES:						
R1	RATING NON RATED	TYPICAL ROOFING ASSEMBLY 40-60mm HIGH ALBEDO (WHITE REFLECTIVE PEA GRAVEL EMBEDDED INTO HOT ASPHALT 3 PLY TYPE IV GLASS FELTS 1 PLY 150 PERFORATED FELT 12.7mm FIBRE BOARD (1200mm x 2400mm SHEETS) 130mm 2 LAYERS (65mm) POLYISOCYANURATE INSULATION (R-30) (1200mm x 2400mm SHEETS) FASTENED TO STEELDECK W/ 8 FASTENERS PER SHEET AIR VAPOUR BARRIER LOOSE LAID C/W 100mm SIDE & 150mm END LAPS SEALED METAL DECK OVER OWSJ STEEL JOISTS AS PER STRUCTURAL DWGS.		OBC ASSEMBLY #	STC RATING	IIC RATING
F1	RATING	POURED CONCRETE SLAB ON GRADE ASHFORD CONCRETE SEALER POURED CONCRETE SLAB-ON-GRADE AS PER STRUCTURAL DWGS. PERIMETER INSULATION (610mm PERIMETER BAND PER DETAIL _____) 50mm CRUSHER RUN AS PER GEOTECHNICAL REPORT		-	-	-
F2	RATING 2 HR FRR	COMPOSITE DECK ASSEMBLY ON FIRE PROTECTED STEEL FRAMING. STEEL BEAM W150x18 & W150x37 MIN. SIZE W/ (THIN FILM INTUMESCENT COATING - FIRE PROTECTION) NORMAL DENSITY OR LOW-DENSITY CONCRETE W/ 152 x 152 WIRE MESH STEEL DECK		ULC DESIGN # F906	STC RATING	IIC RATING

DOOR TYPES



TYPE A TYPE B TYPE C TYPE F01

FRAME TYPES

SEE DOOR SCHEDULE

LOCATIO N		DOOR					FRAME			RATING	NOTES	
DOOR NO.	LOCATION	TYPE	HEIGHT	WIDTH	MAT.	FIN.	DETAIL	TYPE	MAT.	FIN.		
D01	MAIN ENTRY	B	2390	965	AL	PF		F01	AL	PF	-	PUSH / PULL, CLOSER, DEAD LOCK, THRESHOLD, WEATHER STRIPPING, POWER DOOR OPERATOR
D02	LOADING BAY	A	2135	915	HM-i	PT		F01	PS	PT	-	LOCK SET, CLOSER, DEAD LOCK, THRESHOLD, WEATHER STRIPPING. POWER DOOR OPERATOR
D03	OVERHEAD DOOR	C	3050	2440	-	PF		-	-	PF	-	45mm THICK INSULATED OH SECTIONAL DOOR (R-16) - SEE SPECS FOR HARDWARE REQUIREMENTS
D04	OVERHEAD DOOR	C	4270	3660	-	PF		-	-	PF	-	45mm THICK INSULATED OH SECTIONAL DOOR (R-16) - SEE SPECS FOR HARDWARE REQUIREMENTS
D05	SPRINKLER ROOM	A	2440	915	HM-i	PT		F01	PS	PT	-	LOCK SET, CLOSER, THRESHOLD, WEATHER STRIPPING
D06	ELECTRICAL ROOM	A	2440	1100	HM-i	PT		F01	PS	PT	-	LOCK SET, CLOSER, THRESHOLD, WEATHER STRIPPING

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Signature: *Giovanni A. Tassone*
Giovanni A. Tassone

NOT ISSUED FOR CONSTRUCTION



Date Issued	Issue Date	Description
06/23/23	03	REISSUED FOR SPA
12/12/22	02	ISSUED FOR SITE PLAN APPROVAL
04/27/22	01	ISSUED FOR COMMIT. ADJUST.



Architect Inc.
GIOVANNI A. TASSONE

185 Bridgeland Ave., Suite 107
Toronto, Ontario M6A 1Y7
(416) 784-5222
(416) 783-3100 fax

APPLICATION # DA.22.078

Project
OFFICE / INDUSTRIAL DEVELOPMENT
435 CITYVIEW BLVD
VAUGHAN, ON

Project No. **22015** Scale: **1 : 25**
Drawn by **HA** Reviewed by **GAT**

Title: **OBC MATRIX, ASSEMBLIES & SCHEDULES**

A0.02

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LEGEND

- DEPRESSED CURB (C/W 600mm WIDE T.W.S.I. STRIP - SEE A1.02 FOR DETAILS)
- EGRESS / OVERHEAD DOOR
- EXISTING / PROPOSED GRADE
- CATCH BASIN
- STORM MANHOLE
- DIRECTIONAL ARROW
- WALL PAC (SEE ELECTRICAL)
- LIGHT POLE (SEE ELECTRICAL)
- BARRIER-FREE PARKING SPACE
- FIRE HYDRANT
- BIASED CONNECTION
- TRAFFIC / BARRIER-FREE PARKING SPACE SIGNAGE POLE
- GAS METER
- SNOW STORAGE AREA

RECEIVED
By Prabhdeep Kaur at 9:54 am, Sep 25, 2023

PARKING / LOADING STATISTICS

PARKING STANDARD SPACES (2.7M x 6.0M)	PROVIDED 94	REQUIRED 70 (@ 1.5 spaces / 100 sqm GFA) for INDUSTRIAL MALL
STANDARD SPACE (BELL CANADA)	1	24 (@ 3.0 spaces / 100 sqm GFA) for OFFICE
BARRIER FREE SPACES	6 (*)	5 (*)
TOTAL	99	94

(*) BARRIER FREE REQUIREMENT ASSUMED @ 5% OF TOTAL (EQUAL NUMBERS OF TYPE 'A' (3.0M WIDE) AND 3 TYPE 'B' (2.7M WIDE) SPACES REQUIRED)
(**) 3 TYPE 'A' AND 3 TYPE 'B' BARRIER FREE SPACES

LOADING TYPE B (3.5m x 11m)	PROVIDED 2	REQUIRED 3
-----------------------------	------------	------------

(*) BY LAW 01-2021

BIKE PARKING SHORT-TERM SPACES	PROVIDED 8	REQUIRED 8*
LONG-TERM SPACES	PROVIDED 0	REQUIRED 4*

(*) BY LAW 01-2021 (0.1 SPACES / 100 sqm OR 3 SPACES, WHICHEVER IS GREATER)
(**) TENANT FIT OUT NOT PART OF THIS APPLICATION / BUILDING SHELL APPLICATION ONLY

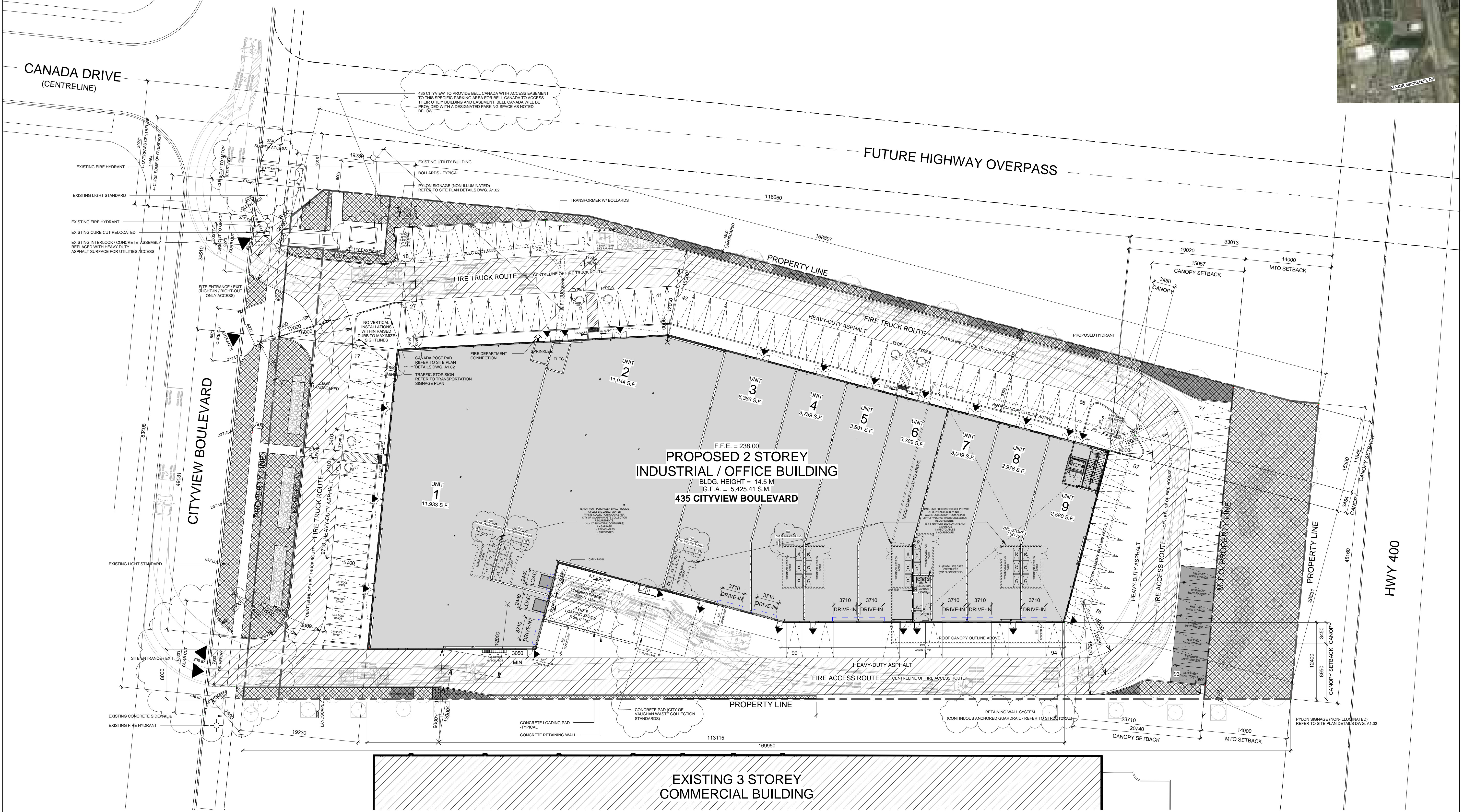
BUILDING STATISTICS

BUILDING AREA (INDUSTRIAL):	4,606.18 sqm
BUILDING AREA (OFFICE):	778.50 sqm
EXCLUSIONS:	39.73 sqm
G.F.A.:	5,425.41 sqm
HEIGHT:	14.5 m

SITE STATISTICS

AREAS	SqM	[SqF]	%
GROSS (TOTAL) SITE AREA:	11,513.72	[123,833]	100
(1.15 Ha/ 2.85 Ac)			
BUILDING (TOTAL) AREA:	5,425.41	[58,399]	100
TOTAL AREA / SITE COVERAGE	11,513.72	[123,833]	47.1 (0.47x)
TOTAL LANDSCAPE AREA	1,428.43	[15,376]	12.5
PAVED AREA	3,409.08	[36,559]	29.6
*SNOW STORAGE AREA	232.15	[2,499]	
MTO SETBACK	690.93	[7,437]	6.0
CITYVIEW BLVD EASEMENT	462.92	[4,983]	4.0
UTILITY BLDG EASEMENT	96.95	[1,044]	0.8
LOT FRONTAGE (CITYVIEW BLVD)	83.50 M		
LOT FRONTAGE (HWY 400)	48.16 M		
LOT FRONTAGE (SOUTH)	169.95 M		

(*) SNOW STORAGE AREA IS INCLUDED IN TOTAL LANDSCAPE AREA



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Signature: *Giovanni A. Tassone*
Giovanni A. Tassone

NOT ISSUED FOR CONSTRUCTION

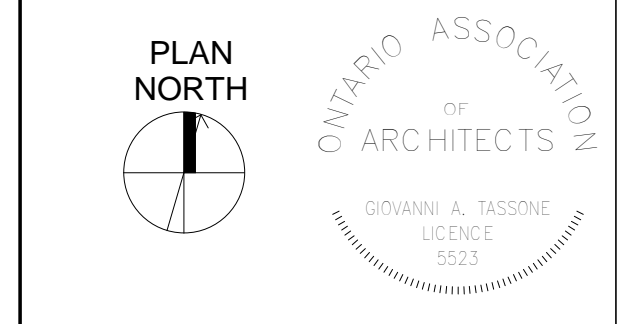


Revisions

No.	Description
0	

Date Issued / Issue Date

Date Issued	No.	Description
09/18/23	05	REISSUED FOR S.P.A.
06/23/23	04	REISSUED FOR S.P.A.
12/12/22	03	ISSUED FOR SITE PLAN APPROVAL
04/27/22	02	ISSUED FOR P.A.C.
04/27/22	01	ISSUED FOR COMMIT. ADJUST.



Architect Inc.
GIOVANNI A. TASSONE

185 BridgeRoad, Suite 107
Toronto, Ontario M6A 1T7
(416) 794-9520
(416) 793-3100 fax

APPLICATION # DA.22.078

OFFICE / INDUSTRIAL DEVELOPMENT

435 CITYVIEW BLVD
VAUGHAN, ON

Project No: 22015
Scale: As indicated
Drawn by: HA
Reviewed by: GAT
Title: SITE PLAN

A1.01

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ROOF PLAN 1
1 : 200

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No.	Description
0	

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12/12/22	02	ISSUED FOR SITE PLAN APPROVAL	
04/27/22	01	ISSUED FOR COMMIT. ADJUST.	

Date Issued: 06/23/23
Issue Date: 03



Architect Inc.
GIOVANNI A. TASSONE
185 BridgeRoad, Suite 107
Toronto, Ontario M6A 1T7
(416) 794-5520
(416) 793-3100 fax

APPLICATION # DA.22.078

Project:
OFFICE / INDUSTRIAL DEVELOPMENT

435 CITYVIEW BLVD
VAUGHAN, ON

Project No: 22015
Scale: 1 : 200
Drawn by: HA
Reviewed by: GAT

Title: **ROOF PLAN**
A2.03

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Revisions

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GIOVANNI A. TASSONE
 185 BridgeRoad, Suite 107
 Toronto, Ontario M6A 1T7
 (416) 794-5520
 (416) 793-3100 fax

APPLICATION # DA.22.078

Project: **OFFICE / INDUSTRIAL DEVELOPMENT**
 435 CITYVIEW BLVD
 VAUGHAN, ON

Approved By: **22015** Date: **As indicated**
 Drawn by: **HA** Reviewed by: **GAT**

Title: **BUILDING ELEVATIONS**
A3.01

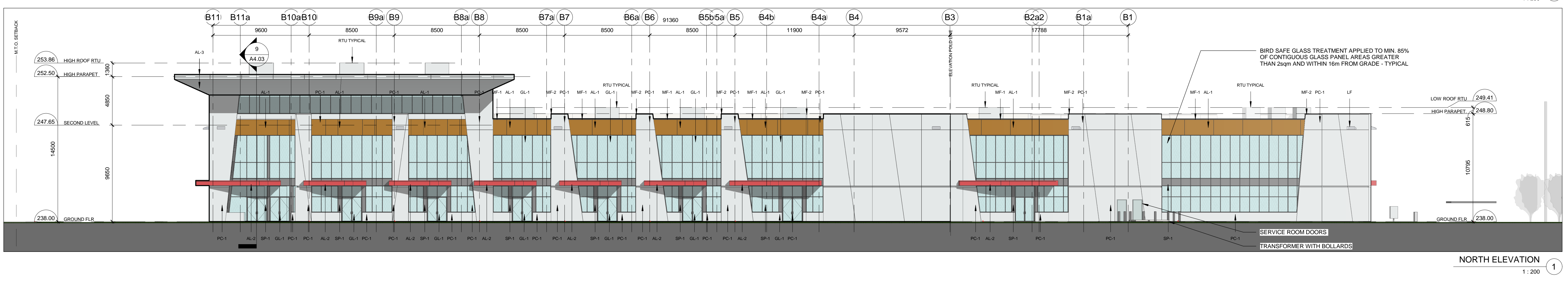
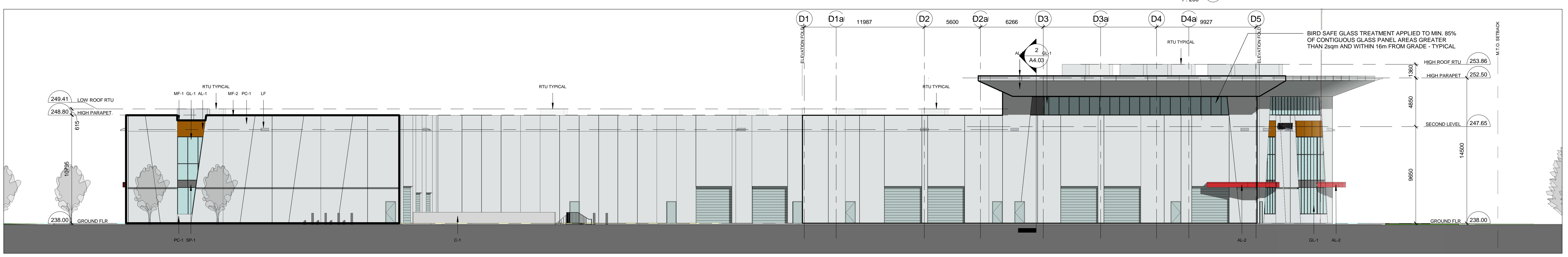
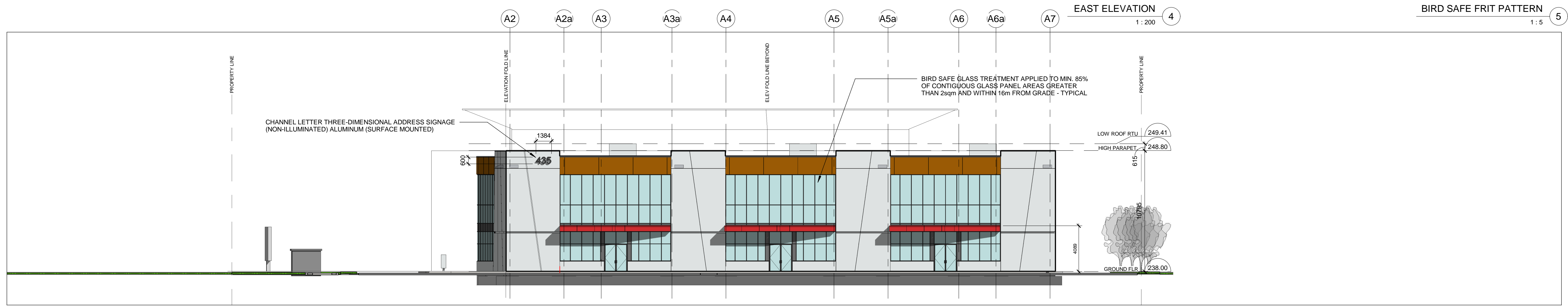
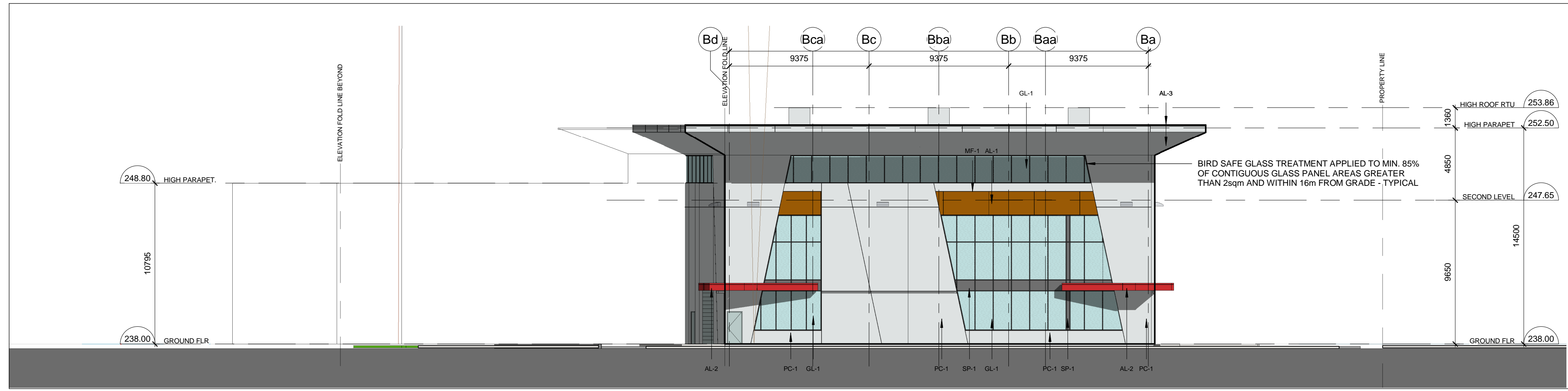
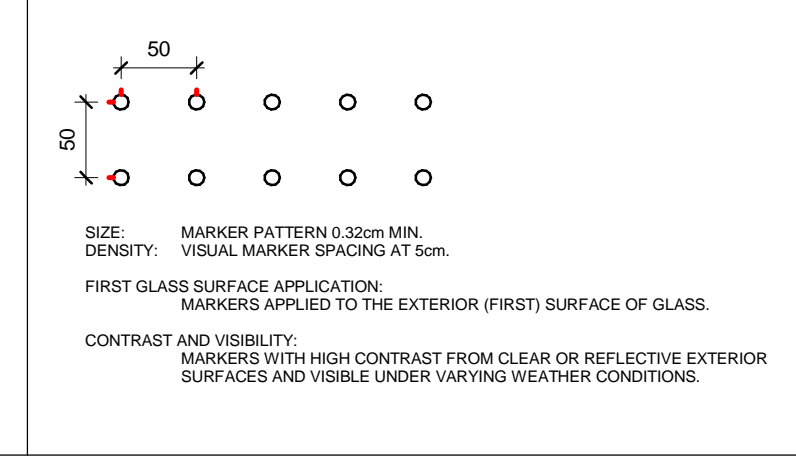
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MATERIAL LEGEND

MATERIAL

- PC-1 PRECAST CONCRETE WALL PANELS - LIGHT GREY COLOUR (LIGHT SANDBLAST FINISH) (CLEAR ANODIZED FINISH)
- GL-1 INSULATED WINDOW/WALL SYSTEM (NOTE: 'TG' INDICATES TEMPERED GLAZING)
- SP-1 GLASS SPANDREL PANEL - SURFACE #2 OPACICOAT (SIGNAL GREY RAL 7004)
- AL-1 ALUMINUM COMPOSITE METAL PANEL (NATIVE COPPER MICA BY ALUCOBOND)
- AL-2 ALUMINUM COMPOSITE METAL PANEL (CARB RED BY ALUCOBOND)
- AL-3 ALUMINUM COMPOSITE METAL PANEL (ALABASTER BY ALUCOBOND)
- MF-1 PREFINISHED METAL FLASHING (COLOUR TO MATCH AL-1)
- MF-2 PREFINISHED METAL FLASHING (COLOUR TO MATCH PC-1)
- LF WALL MOUNTED LED LUMINAIRE FIXTURE
- SCUPPER SCUPPER
- C-1 EXPOSED CONCRETE (LIGHT SANDBLAST FINISH)

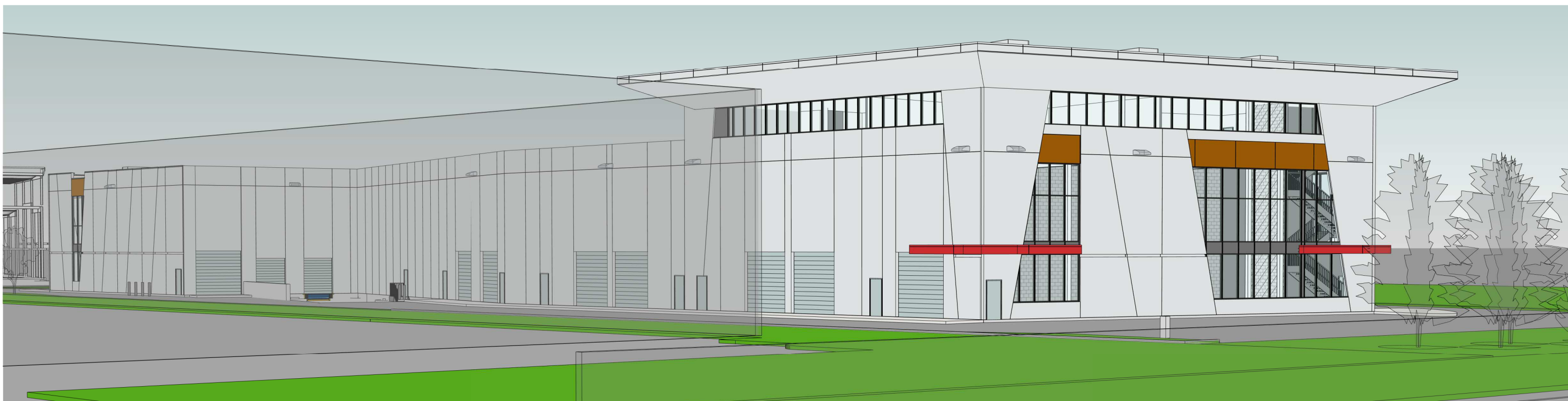
NOTE: FINAL COLOUR & FINISH SUBJECT TO APPROVAL OF SAMPLES



SERVICE ROOM DOORS
 TRANSFORMER WITH BOLLARDS



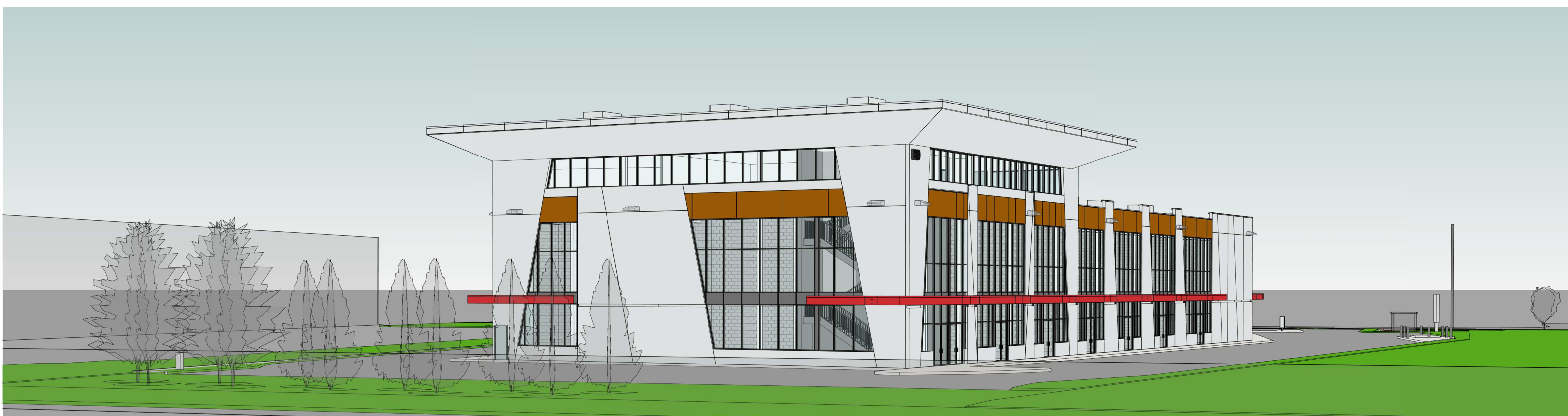
SOUTHWEST VIEW 5



SOUTHEAST VIEW 4



NORHTWEST AERIAL VIEW 7



EAST VIEW 3



NORTH VIEW 2



WEST VIEW 1

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This drawing shall not be used for construction purposes unless counter-signed by:

Signature *[Handwritten Signature]*

Giovanni A. Tassone

NOT ISSUED FOR CONSTRUCTION



Revisions

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12/12/22	03	ISSUED FOR SITE PLAN APPROVAL	
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04/27/22	01	ISSUED FOR COMMIT. ADJUST.	



Architect Inc.
GIOVANNI A. TASSONE
185 Bridlewood Ave, Suite 107
Toronto, Ontario M3A 1T7
(416) 784-5020
(416) 783-3100 fax

APPLICATION # DA.22.078

OFFICE / INDUSTRIAL DEVELOPMENT

435 CITYVIEW BLVD VAUGHAN, ON

Project No. **22015**

Drawn by **HA**

Reviewed by **GAT**

Title: **PERSPECTIVES**

A5.01

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SCHEDULE B: STAFF & AGENCY COMMENTS				
DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval/with conditions
Building Standards (Zoning)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		General Comments

Date: September 19th 2023

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A145-23**

Related Files:

Applicant Elite Construction

Location 435 Cityview Blvd



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

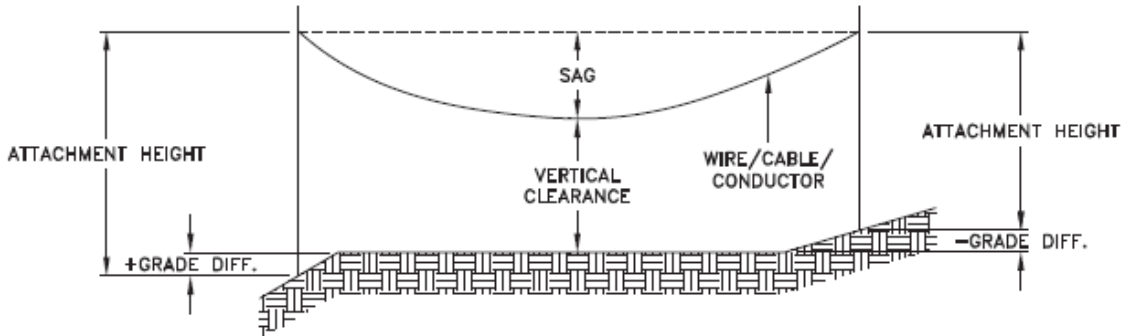
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

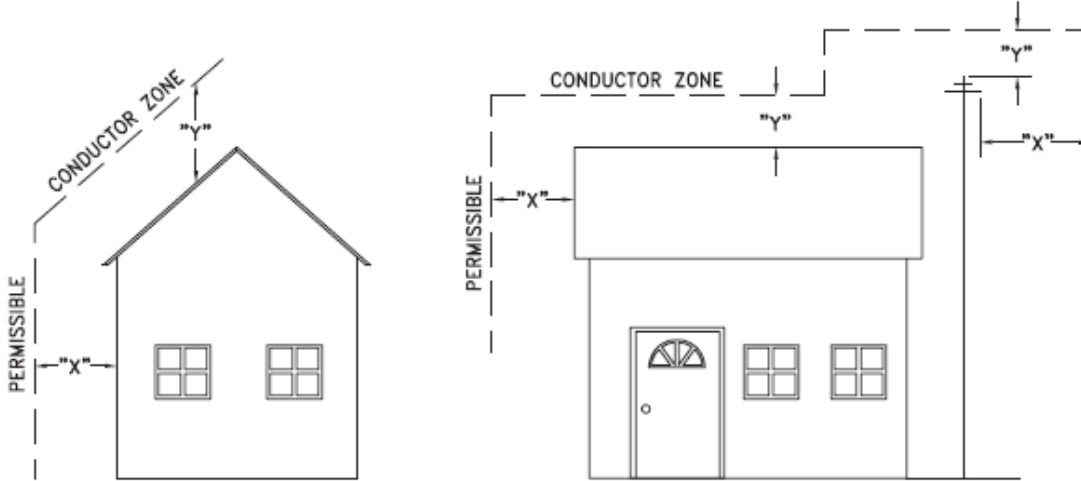
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

To: Committee of Adjustment
From: Catherine Saluri, Building Standards Department
Date: September 15, 2023
Applicant: Enrico Lisi (435 Cityview Inc.)
Location: 435 Cityview Blvd
 PLAN 65M3914 Block 203
 PLAN 65M3899 Part of Blocks 23-24
File No.(s): A145/23

Zoning Classification:

The subject lands are zoned EM1 – PRESTIGE EMPLOYMENT ZONE, and subject to the provisions of Exceptions 14.862 and 14.868 under Zoning By-law 001-2021.

#	Zoning By-law 001-2021	Variance requested
1	A minimum landscape strip width of 6.0 m is required. [14.862.2b]	To permit a minimum 1.5 m wide landscape strip abutting Street "B".
2	The use of the "Industrial Mall" parking requirement for the purposes of calculating parking on the subject lands is not permitted. [Table 11-2 and 6.2.1]	To permit the use of the "Industrial Mall" parking requirement for the purposes of calculating parking on the subject lands.
3	A minimum of 4 long-term bicycle parking spaces are required. [Table 6-8 and 6.5.3.1]	To permit a minimum of 0 long term bicycle parking spaces.

Staff Comments:

Other Comments:

General Comments	
1	The subject lands are currently being reviewed for development under Development Application No. DA.22.078.
2	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

None

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development Planning
Date: October 4, 2023
Name of Owner: 435 Cityview Inc. – Enrico Lisi
Location: 435 Cityview Boulevard
File No.(s): A145/23

Proposed Variance(s) (By-law 001-2021):

1. To permit a minimum 1.5 m wide landscape strip abutting Street “B”.
2. To permit the use of the “Industrial Mall” parking requirement for the purposes of calculating parking on the subject lands.
3. To permit a minimum of 0 long term bicycle parking spaces.

By-Law Requirement(s) (By-law 001-2021):

1. A minimum landscape strip width of 6.0 m is required.
2. The use of the “Industrial Mall” parking requirement for the purposes of calculating parking on the subject lands is not permitted.
3. A minimum of 4 long-term bicycle parking spaces are required.

Official Plan:

Vaughan Official Plan 2010 (‘VOP 2010’): “Prestige Employment”

Comments:

The Owner is requesting relief to permit the construction of a two-storey industrial/office building at 435 Cityview Boulevard with the above noted variances. The Owner has submitted Site Development Application DA.22.078 to facilitate the development, which is currently under review.

The Development Planning Department has no objection to Variance 1 to permit the proposed 1.5 m landscape strip abutting Street “B”. This requested variance was reviewed by Urban Design Staff through the supporting Site Development Application (File DA.22.078), who had no concerns with the proposed landscape strip width.

The Development Planning Department has no objection to Variance 2 to permit the use of the “Industrial Mall” parking requirement for the purposes of calculating parking on the subject lands. The proposed Standard Condominium tenure will allow industrial and commercial tenants to lease the units individually, similar to a shopping mall. Parking requirements for the individual units cannot be determined at this time, as the tenancy for the building has not yet been established. Applying the ‘Industrial Mall’ parking requirements to the subject lands allows for the application of a site-wide calculation as opposed to calculating the number of spaces required for the use in each unit. The subject lands are zoned “EM1 - Prestige Employment Zone” by Zoning By-law 001-2021 which does not permit an ‘Industrial Mall’. A recommendation from staff to permit the ‘Industrial Mall’ use within the EM1 Zone was adopted by Council on May 17, 2022, and is anticipated to go to a future Council Meeting for implementation as part of a general amendment. The proposed parking ratio will comply with Zoning By-law 001-2021 once the ‘Industrial Mall’ use is added to the EM1 Zone.

The Development Planning Department has no objection to Variance 3 to permit a minimum of 0 long-term bicycle parking spaces. The four (4) required long-term bicycle parking spaces will be provided but are to be accessed differently from what the by-law requires. The by-law requires the spaces to be located in a common area. The four largest units are proposed to have 1 space each. Therefore, the intent of the by-law to provide long term parking spaces at the correct number is being maintained. A condition is requested to ensure the parking is provided in light of the relief being sought.

Accordingly, the Development Planning Department can support the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application, subject to the following condition:

Condition of Approval:

If the Committee finds merit in the application, the following condition of approval is recommended:

1. That all comments including the provision of 4 long term bicycle parking spaces on Site Development Application DA.22.078, be addressed to the satisfaction of the Development Planning Department.

Comments Prepared by:

Nicholas Del Prete, Planner I
David Harding, Senior Planner

Prabhdeep Kaur

From: Kristen Regier <Kristen.Regier@trca.ca>
Sent: Monday, September 18, 2023 10:33 AM
To: Committee of Adjustment
Cc: Lenore Providence; Christine Vigneault
Subject: [External] RE: A145/23 (435 Cityview Blvd) - REQUEST FOR COMMENTS

Hello,

The subject property at 435 Cityview Blvd, Vaughan is not located within TRCA's Regulated Area. TRCA's Planning and Regulatory policy interests are not impacted.

As such, TRCA has no comments on the application.

Best,

Kristen Regier, MA (she / her)

Planner I

Development Planning and Permits | Development and Engineering Services

Toronto and Region Conservation Authority (TRCA)

T: [437-880-2129](tel:437-880-2129)

E: kristen.regier@trca.ca

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca) | [trca.ca](https://www.trca.ca)



Prabhdeep Kaur

From: Development Services <developmentservices@york.ca>
Sent: Monday, September 18, 2023 1:27 PM
To: Lenore Providence
Cc: Committee of Adjustment
Subject: [External] RE: A145/23 (435 Cityview Blvd) - REQUEST FOR COMMENTS

Hi Lenore,

The Regional Municipality of York has completed its review of the minor variance application – A145/23 (435 Cityview Blvd.) and has no comment.

Please note regional comments will continue to be submitted through the associated Site Plan (SP.23.V.0019 – DA.22.078).

Please provide us with a copy of the notice of decision for our records.

Many thanks,

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Development Services, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

Our Values: Integrity, Commitment, Accountability, Respect, Excellence

Your firewall doesn't appear to permit files greater than 10MB through. I've resent this request for comment and included a link to the application [A145 23 435 CITYVIEWBLVD](#)

Please email comments and recommendations on the above noted application to cofa@vaughan.ca. If you wish to be notified of the decision, please confirm in writing.

The deadline to submit comments on this application is **September 29, 2023**.

Should you have any questions or require additional information please contact the undersigned.

Regards

Lenore Providence
Development Services Administrative Coordinator
905-832-8585, ext. 8394 Lenore.providence@vaughan.ca

City of Vaughan | Office of the City Clerk
2141 Major Mackenzie Dr., Vaughan, ON L6A 1T1
vaughan.ca



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SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant			09/08/2023	Application Cover Letter

September 15th, 2023

Attention: Christine Vigneault

Manager Development Services & Secretary Treasurer Committee of Adjustment
City of Vaughan
2141 Major Mackenzie Drive
Vaughan, Ontario L6A 1T1

**Re: Minor Variance Application – 435 Cityview Boulevard, City of Vaughan
435 Cityview Inc. - Part of Block 133, Registered Plan 65R-3899
Related City File No: DA.22.078**

Brutto Consulting is pleased to submit this Minor Variance Application on behalf of our client, 435 Cityview Inc, to facilitate the development of a two-storey industrial/office building at 435 Cityview Boulevard in the City of Vaughan. The site will be accessed via two driveways from Cityview Boulevard. The proposed development includes a total of 99 parking spaces, 8 short-term bicycle spaces, seven (7) drive-in loading spaces, and two (2) loading spaces. The proposal would have frontage on Cityview Blvd and the ON-400.

The proposed development consists of an area of 11,513.72 sq. metres (2.85 acres). The Site has a lot frontage of 83.50 metres (273.95 feet) along Cityview Boulevard and a depth of 169.95 metres (557.58 feet). The Site Plan proposes the industrial portion of the building to have a total gross floor area (GFA) of 4,606.18 m² (49,580.51 ft²) and the office portion of the building to have a total GFA of 779.50 m² (8,390.47 ft²). The proposed building will have a total combined GFA of 5,425.41 m² (58,398.63 ft²). The proposed development will be provided with full municipal services existing on Cityview Boulevard including water supply, sanitary sewage, and storm sewers.

Requested Minor Variances:

The purpose of this Minor Variance Application to the Committee of Adjustment is to seek relief for the following zoning deficiencies:

- 1) To permit the use of the “Industrial Mall” parking requirement for the purposes of calculating parking on the site; whereas Zoning By-law 01-2021 bases parking requirements on the individual uses within each unit of the multi-unit development;
- 2) To permit a reduced landscape strip of 1.5 metres on the northerly property line; whereas Zoning By-law 01-2021 requires a minimum 6.0 metre landscape strip; and,
- 3) To permit a minimum of 0 long term bicycle parking spaces; whereas a minimum of 4 long-term bicycle parking spaces are required.

Reasons for Requested Variances:

The two minor variances noted above have been identified by the City as part of the zoning review for Site Plan Application No. DA.22.078. The variance for the proposed “Industrial Mall” parking supply has been identified based on the provisions of Zoning By-law 01-2021, which note that the parking requirements are based on the individual uses within each unit of the multi-unit building. The variance for the north landscape buffer has been identified based on Site Specific Exception 14.862.2.2(b) which requires a minimum landscape strip of 6.0 metres abutting Street “B” (Highway 400 Overpass). The variance for long-term bicycle parking has been identified as a result of our discussion with the Building Standards Department and its interpretation of the By-law for the proposed multi-unit building.

Four Tests of the Planning Act:

To assist in justifying the merit of the proposed variances and the four (4) tests set out by Section V, Subsection 45 (1), Powers of the Committee (of Adjustment), we reviewed all planning policies relevant to the site. It is our professional Planning opinion that the variances as currently constituted and filed with the City of Vaughan meet all four tests set out in the Planning Act, Part V, and Section 45 (1). Those four tests as set out in subsection 45(1) are articulated herein and addressed as required.

Test #1: Do the variances conform to the general intent of the City of Vaughan Official Plan?

The City of Vaughan Official Plan (VOP, 2010) situates the Subject Property within an “Employment Area” as per Schedule 1 – Urban Structure, which are areas intended to support economic growth by designating lands for a wide-range of industrial uses including manufacturing and processing facilities, warehousing, commercial schools, research and development facilities, and office uses in strategic locations. The Subject Property is also designated as “Prestige Employment” under Schedule 13 – Land Use, which permits the previously mentioned industrial uses as well as the type of employment/industrial building that is being proposed.

As such, in our opinion the intended use and built form of the proposed development conforms to the policies of the Vaughan Official Plan. The proposed employment industrial building utilizes the site to its highest and best use while providing an adequate parking supply of 99 parking spaces and enhanced landscaping on the exterior frontages of the site. The proposed development may be considered as a use that will not adversely affect or be affected by the surrounding land uses.

Overall, the proposed variances will maintain the general intent and purpose of the Official Plan.

Test #2: Do the Variances maintain the general and purpose of Vaughan Zoning By-law 01-2021?

The Subject property is currently zoned EM1 - Prestige Employment Zone and subject to Exception No's 14.862 and 14.868 under By-law 001-2021 as amended. The EM1 Zone permits the proposed type of employment industrial building on the Subject Property. The proposed development meets all of the zoning provisions of the EM1 Zone and Exceptions 14.862 and 14.868 under By-law 01-2021 except for the proposed landscape buffer strip on the north property boundary, the long-term bicycle parking, and for the proposed use of the "Industrial Mall" parking requirements.

The proposed development would meet the definition of an "Industrial Mall" under Zoning By-law 01-2021, which is defined as follows:

"Means a building or group of buildings designed, developed, and managed as a unit by a single owner or tenant, or by a group of owners or tenants."

The parking calculation rate for this use within the Zoning By-law 01-2021 is 1.5 spaces per 100 square metres of GFA. The proposed development is providing 4,606.18 m² for industrial uses and 779.50 m² for office uses. As such, based on the proposed Site Plan the proposed development would require a minimum of 70 parking spaces for industrial uses and 24 parking spaces for office uses, which amounts to a total of 94 required parking spaces for the entire site. This would result in a surplus of parking provided as a total of 99 parking spaces are being proposed.

Notwithstanding the above, Zoning By-law 01-2021 does not list the "Industrial Mall" use as a permitted use within the EM1 Zone. In our conversation with the City we understand that the definition of "Industrial Mall" does intend to provide a blended parking rate for permitted uses in industrial zones as long as the site is developed and managed as per the definition of "Industrial Mall", which is precisely the intent of the proposed development. We also understand that the intent of the "Industrial Mall" parking rate is to provide a minimum parking requirement for multi-unit industrial sites in order to avoid varying parking requirements as a result of changing tenants overtime.

In addition, our traffic engineer has prepared a Traffic Impact Study which includes a parking assessment that concludes that the proposed development would require a minimum of 94 parking spaces and would have a technical surplus parking supply.

As such, it is our opinion that seeking relief from the By-law to permit the use of the "Industrial Mall" parking rates meets the general intent and purpose of By-law 01-2021, and will allow the site to have a minimum parking rate and be able to calculate its parking requirements in a more orderly manner.

The proposed relief for 0 long-term bicycle parking spaces is being requested due to the industrial nature of the building. The proposed building will include 14 separate units which will be primarily used for manufacturing, processing, warehousing, office and related activities. The building will not be used for uses that tend to be attractive for cyclists. Unlike commercial or residential developments, multi-unit industrial facilities such as the proposed development tend to have fewer employees who use bicycles as their primary mode of transportation due to the typically large machinery and equipment involved in these operations. As such, the type of employment associated with manufacturing and warehousing uses often involve tasks that are not conducive to bicycle commuting for its employees. The physical demands and transportation requirements of these industrial uses are often better suited to other modes of transportation like automobiles, trucks, or public transit.

In addition, Section 6.5.3 of By-law 01-2021 does not specify whether the long-term bicycle parking spaces have to be allocated per unit or on a site-wide basis. If we calculated the long-term bicycle parking rate on an individual basis for the proposed development these would range from 0.55 spaces to 0.14 spaces per unit which means there would be limited cycling demand by employees to these units. However, as per Section 6.2.2 – Rounding of By-law 01-2021 if the calculation of a parking space results in a fraction, then the applicable requirement has to be rounded up to the next whole number. Thus, the purpose of the requested variance in this case is to avoid triggering additional long-term parking requirements on a per unit basis for a site that will not be attracting cyclists.

Notwithstanding the above, pursuant to our discussion with Transportation and Building Department staff we will commit to provide the 4 required long-term bicycle parking spaces on the 4 largest units of the proposed development. As such, while this variance is being sought as a safe approach to the interpretation of the new Zoning By-law 01-2021, the proposed development will meet the general intent and purpose of the By-law as the required 4 long-term bicycle spaces will be provided.

The proposed landscape strip reduction on the northerly property boundary seeks relief from By-law 01-2021 to permit a reduced 1.5 metre landscape strip whereas a minimum 6.0 metre landscape strip is required. It is our opinion that this proposed reduction is appropriate and maintains the intent of the Zoning By-law as the landscape strip will include an enhanced landscape design with 10 tree plantings and dense deciduous shrubs across the northerly site boundary.

It is also key to consider that the Subject Property has unique physical constraints, including limited available space due to the site's northerly boundary being adjacent to the future Canada Drive Overpass. The proposed landscape strip reduction is necessary to accommodate the development while adhering to the minimum building setback requirements. Nonetheless, we believe the reduced 1.5 m landscape buffer maintains compatibility with the surrounding built environment and has been designed with excellence to maximize the buffer zone with appropriate vegetation, attractive aesthetic appeal, and to ensure the

buffer meets its functional purpose. The proposed landscape strip has been refined through the Site Plan Application (DA.22.078) and will be planted as per the City requirements.

In light of these factors, we consider that the reduction of the landscape buffer width to 1.5 meters is a reasonable adjustment that balances the need for development with adequate landscaping and meets the general intent and purpose of Zoning By-law 01-2021.

Test #3: Are the variances minor in nature?

It is our opinion that the requested variances for Subject Property are minor in nature. The variances being sought for the Subject Property will not have any adverse impacts on adjacent properties or on the future Canada Drive Overpass. The uses adjacent to the Subject Site are Prestige Employment, with other nearby uses being residential on the west side of Cityview Boulevard. Aside from the proposed “Industrial Mall” parking requirement, the long-term bicycle parking spaces, and the reduced landscape buffer strip being sought, the proposed development does not exceed nor is deficient in any other provisions of the Zoning By-law.

We believe the requested variances are consistent with the existing physical character of the neighbourhood and with the pattern of development that has occurred with other Prestige Employment sites in the area. Overall, it is our opinion that the variances being sought for the Subject Property do not represent an isolated or outlier request.

Test #4: Are the variances desirable for the appropriate development of use of land?

In our opinion, the requested variances are desirable and appropriate for the development and use of the Subject Property. The proposed building on the subject property will operate without any negative impacts to the surrounding community, while utilizing the lands to its highest and best use.

As previously noted above, the Subject Property has been designated and identified for Prestige Employment uses by both the City Official Plan and the City’s Zoning By-law 01-2021. The proposed variances provide an opportunity to ensure the proposed development has a minimum parking requirement as well as adequate site circulation for the employment uses that will operate in the future. The proposed “Industrial Mall” use of the Subject Property is also compatible with the surrounding employment character of the area, while the proposed reduced landscape strip has been professionally designed to provide enhanced planting and screening to compliment the northerly edge of the site.

The development of these lands will provide the community with new job opportunities and services that currently do not exist and will significantly improve the presently unused parcel of land.

As such, we opine that the proposed variances are desirable for the appropriate development of the property. They will assist to maximize and efficiently use the lands and facilitate a compatible built form with the surrounding area.

Submission Materials:

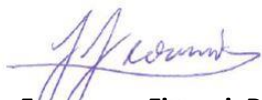
To assist the Committee of Adjustment with their review of this application, we hereby submit the following materials:

- Payment to the City of Vaughan in the amount of \$6,100.00 for the Minor Variance fee for Major Development;
- Signed Owner Authorization Form;
- Commissioned Sworn Declaration Form;
- Signed Authorizing Statements Form;
- Setback Chart, prepared by Brutto Consulting;
- Variance Chart, prepared by Brutto Consulting;
- Tree Declaration Form, prepared by Brutto Consulting;
- Architectural Drawings, prepared by Giovanni A. Tassone Architect Inc. which include the following:
 - Cover Sheet (A0.00);
 - Survey (A0.01);
 - OBC Matrix Assemblies & Schedules (A0.02);
 - Site Plan (A1.01);
 - Site Plan Details (A1.02);
 - Ground Floor Plan (A2.01);
 - Second Floor Plan (A2.02);
 - Roof Plan (A2.03);
 - Building Elevations (A3.01);
 - Building Sections (A4.01);
 - Perspectives (A5.01);
- Landscape Plan, prepared by Landscape Planning Ltd;
- Transportation Impact Study Addendum, prepared by Nextrans which includes the following:
 - Parking Study;
 - Loading Study;
 - Transportation Demand Management (TDM) Plan and Checklist;
 - Transportation Maneuverability Plans;

- Pavement Marking and Signage Plan; and,
- Building Standards Department comments (June 28, 2023) confirming required variances.

We trust that the information and materials provided are sufficient for your review and circulation to each commenting department. Should you have any questions or require any additional information please do not hesitate to contact me.

Yours Truly,



Francesco Fiorani, BURPI
Senior Planner and Project Manager
Brutto Planning Consultant Ltd.
ffiorani@bruttoconsulting.ca

CC Client: 435 Cityview Inc.
CC Claudio Brutto by email (cbrutto@bruttoconsulting.ca)

SCHEDULE D: PREVIOUS COA DECISIONS ON THE SUBJECT LAND

None