

ITEM: 6.9	COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A135/23 101 EDGELEY BLVD, CONCORD
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**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES:**

*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

PUBLIC & APPLICANT CORRESPONDENCE

*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant				Application Cover Letter

PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

File Number	Date of Decision MM/DD/YYYY	Decision Outcome
A365/05	12/08/2005	APPROVED

ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

None	
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**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A135/23
101 EDGELEY BLVD, CONCORD**

ITEM NUMBER: 6.9	CITY WARD #: 4
APPLICANT:	SmartVMC Residences (One) Inc.
AGENT:	Matthew Kruger
PROPERTY:	101 Edgeley Blvd, Concord
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	City of Vaughan Official Plan 2010 ('VOP 2010'): "Station Precinct" in Section 11.12 Vaughan Metropolitan Centre Secondary Plan
RELATED DEVELOPMENT APPLICATIONS:	DA.20.052
PURPOSE OF APPLICATION:	<p>Relief from the Zoning By-law is being requested to permit to following changes to the design of the ArtWalk, located within the Vaughan Metropolitan Centre:</p> <p>Building A – Addition of one new residential floors, comprising of a two-storey residential loft in place of the space previously occupied by the Mechanical Penthouse (MPH). Accordingly, the new MPH is now located on Building B;</p> <p>Building B – Taller Mechanical Penthouse to facilitate the District Energy System;</p> <p>Building C – New four storey office building, in place of previous six storey residential condominium;</p> <p>Underground Parkade – One additional level of below-grade parking, resulting in an increase from two to three levels.</p> <p>Relief is also required to facilitate related Site Development Application DA.20.052.</p>

The following variances are being requested from the City's Zoning By-law to accommodate the above proposal:

The subject lands are zoned **V1 – Vaughan Metropolitan Centre Station Zone, S(5-25)-D(2.5-4.5)**, and subject to the provisions of **Exception 14.1018 under Zoning By-law 001-2021**, as amended.

#	Zoning By-law 01-2021	Variance requested
1	This application is deemed to be Transitioned under section 1.6.3.2.1.	

The subject lands are zoned **C10 – Corporate District Zone** and subject to the provisions of **Exception 9(1528) under Zoning By-law 1-88**, as amended.

	Zoning By-law 1-88	Variance requested
1	The minimum yard from the west lot line to any building or structure shall be 19.0 m [Exception 9(1528) ji)v].	To permit a minimum yard of 18.7 m from the west lot line to the building.
2	The maximum gross floor area of a storey in Building B shall be 770 m ² above a building height of 14 m [Exception 9(1528) ji)vii].	To permit a maximum gross floor area of a storey in Building B of 773.2 m ² above a building height of 14 m.
3	The maximum building height (exclusive of all mechanical equipment and architectural features) shall be 122 m for Building A [Exception 9(1528) ji)i].	To permit a maximum building height of 128.5 m for Building A.
4	A total of 69 Short Term bicycle parking spaces are required for the development [Section 3.8.2].	To permit a minimum of 63 Short Term bicycle parking spaces.
5	A total of 293 Long Term bicycle parking spaces are required for the development [Section 3.8.2].	To permit a minimum of 283 Long Term bicycle parking spaces.

HEARING INFORMATION

DATE OF MEETING: Thursday, October 19, 2023

TIME: 6:00 p.m.

MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive

LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT COMMENTS

Date Public Notice Mailed:	October 5, 2023	
Date Applicant Confirmed Posting of Sign:	September 29, 2023	
Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small>	Increase the permitted height and GFA provisions for ZBL 124-2021	
Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	None	
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice. *A revised submission may be required to address staff / agency comments received as part of the application review process. *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>	No	
Adjournment Fees: In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice. An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice.		
Committee of Adjustment Comments:	None	
Committee of Adjustment Recommended Conditions of Approval:	None	

BUILDING STANDARDS (ZONING) COMMENTS

**See Schedule B for Building Standards (Zoning) Comments

Building Standards Recommended Conditions of Approval:	None
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DEVELOPMENT PLANNING COMMENTS

**See Schedule B for Development Planning Comments.

Development Planning Recommended Conditions of Approval:	None
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DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

The Development Engineering (DE) Department does not object to variance application A135/23

Development Engineering Recommended Conditions of Approval:	None
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PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

Forestry has no comment.

PFH Recommended Conditions of Approval:	None
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DEVELOPMENT FINANCE COMMENTS

No comment no concerns

Development Finance Recommended Conditions of Approval:	None
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BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

No Comments Received to Date

BCLPS Recommended Conditions of Approval:	None
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BUILDING INSPECTION (SEPTIC) COMMENTS

No Comments Received to Date

Building Inspection Recommended Conditions of Approval:	None
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FIRE DEPARTMENT COMMENTS

No Comments Received to Date

Fire Department Recommended Conditions of Approval:	None
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SCHEDULES TO STAFF REPORT

*See Schedule for list of correspondence

Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Staff & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
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SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “**if required**”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

None

IMPORTANT INFORMATION – PLEASE READ

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City’s Development Charges By-law in effect at the time of payment.

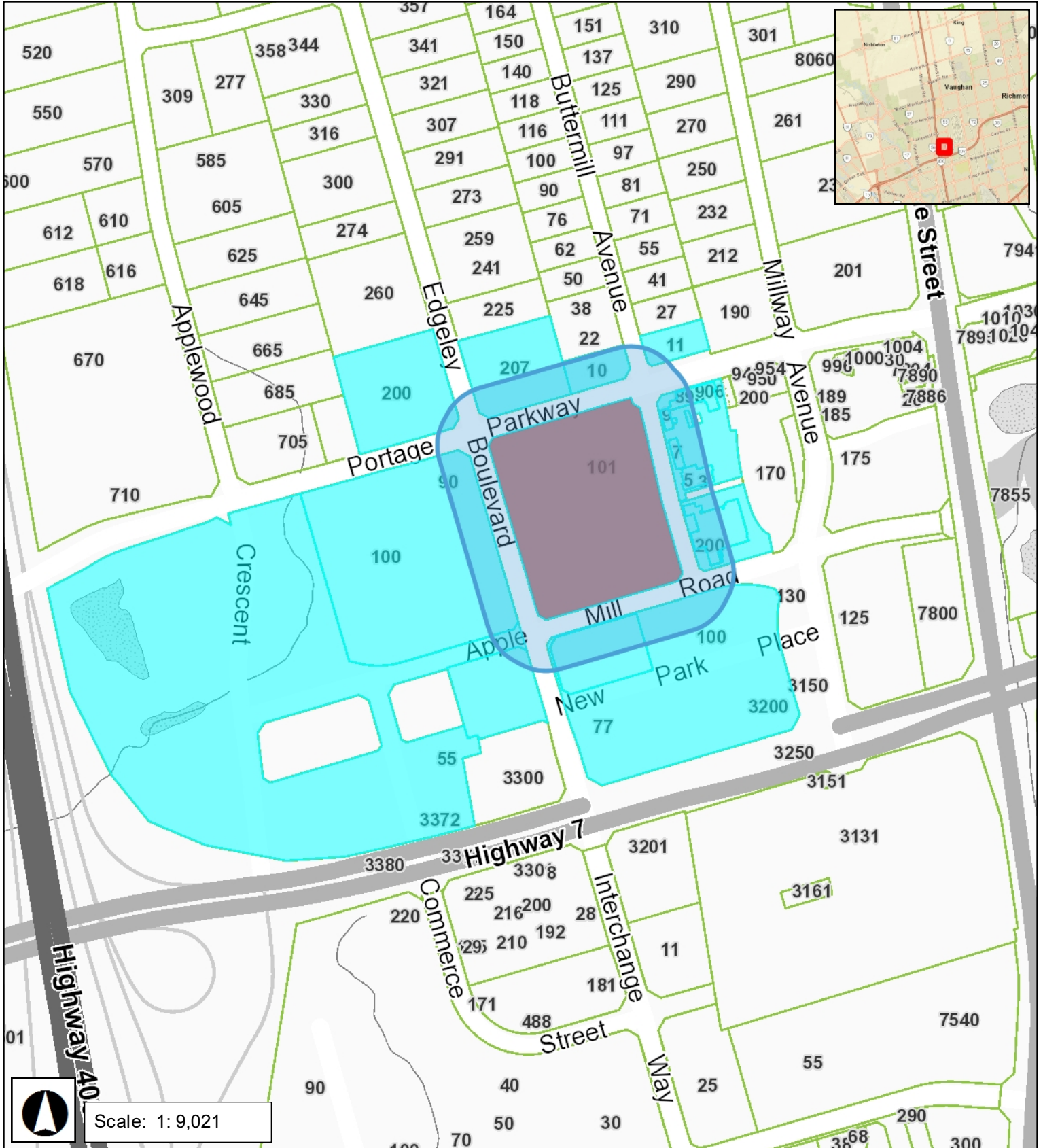
That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City’s Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

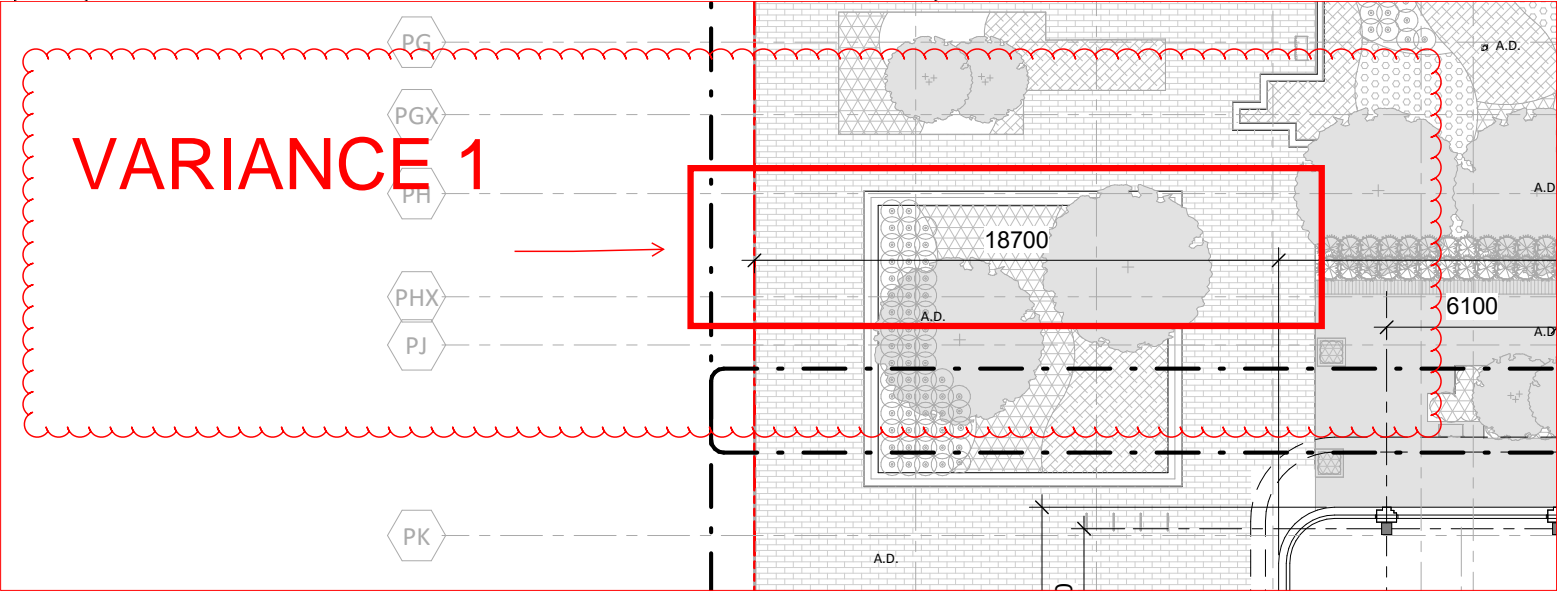
NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS

101 Edgeley Boulevard, Woodbridge



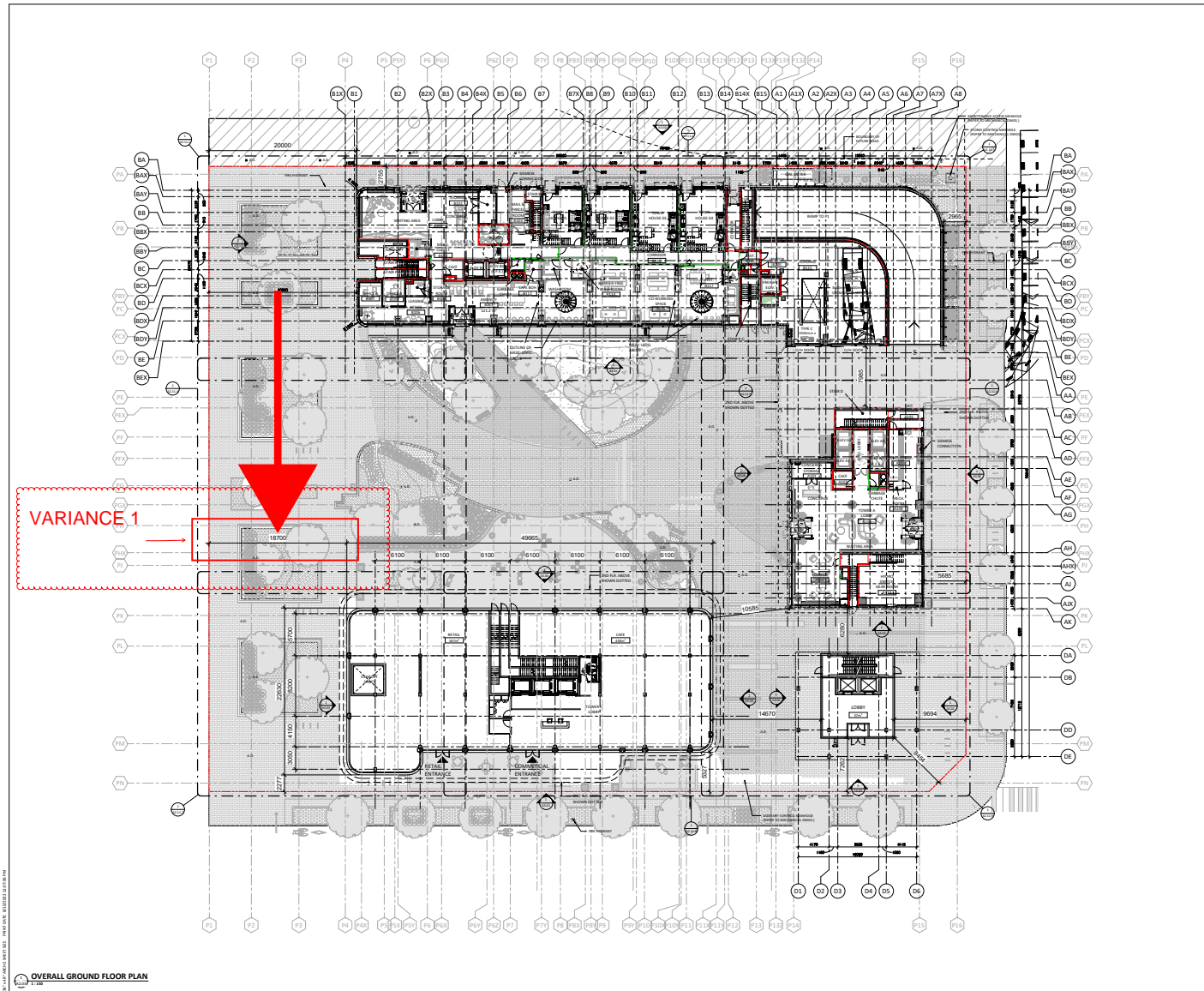
Zoning By-law 1-88		Variance requested
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Reference:
A2.03
Pg. 7

PLANS PREPARED AND VARIANCES IDENTIFIED BY APPLICANT

A135/23



LEGEND

KEYPLAN

FIRE RATING LEGEND - PARTITIONS

AS INDICATED ON PLANS AND SECTION TITLE TABLES FOR THE FIRE RATED PARTITIONS AND AS NOTED ON THE PARTITION SCHEDULE AND PARTITION SCHEDULE FOR PARTITIONS.

FIRE 0.30H
 FIRE 0.30V
 FIRE 0.60H
 FIRE 0.60V
 FIRE 1.00H
 FIRE 1.00V

NOTES

FOR ALL PARTS OF THE FIRE RATED PARTITIONS, REFER TO THE FIRE RATED PARTITION SCHEDULE AND PARTITION SCHEDULE FOR PARTITIONS ON THE PARTITION ACTUAL DRAWINGS FOR THE PARTITION ACTUAL DRAWINGS. THE PARTITION ACTUAL DRAWINGS SHALL BE BASED ON THE ACTUAL PARTITION ACTUAL DRAWINGS.

REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR CONSTRUCTION PERMIT	2023-04-14
2	ISSUED FOR CONSTRUCTION PERMIT	2023-04-14
3	ISSUED FOR CONSTRUCTION PERMIT	2023-04-14
4	ISSUED FOR CONSTRUCTION PERMIT	2023-04-14
5	ISSUED FOR CONSTRUCTION PERMIT	2023-04-14
6	ISSUED FOR CONSTRUCTION PERMIT	2023-04-14

Architect of Record:
KARBI PONTARI ARCHITECTS

Project Name:
VMC BLOCK AS

Overall Ground Floor Plan

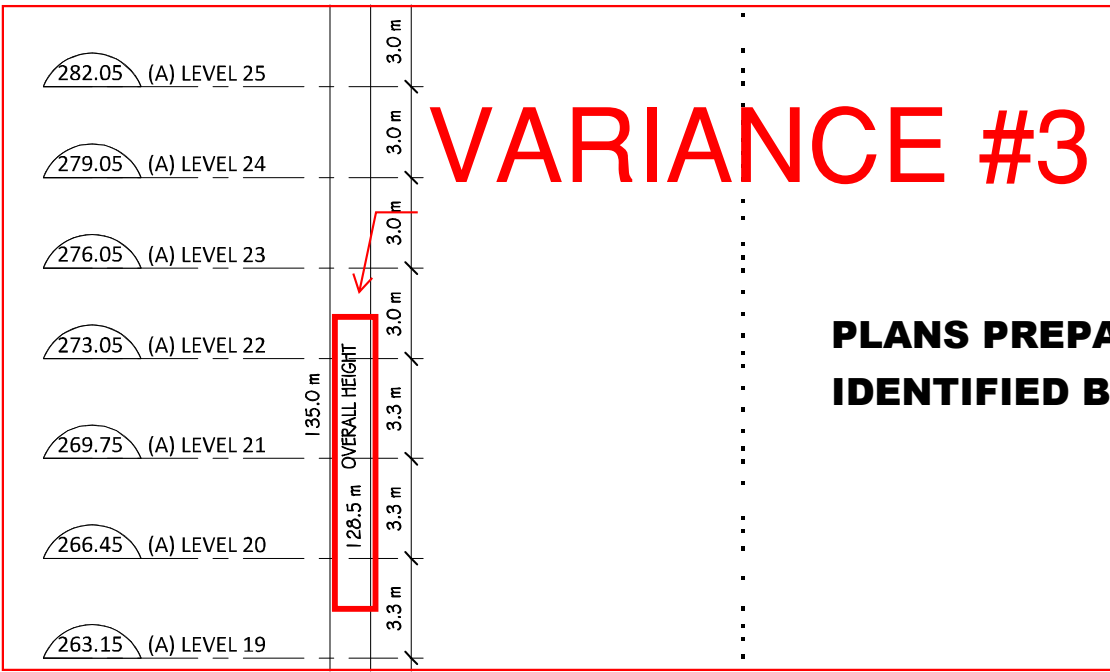
Project Number: 2023-04-14

Date: 2023-04-14

Scale: 1/8" = 1'-0"

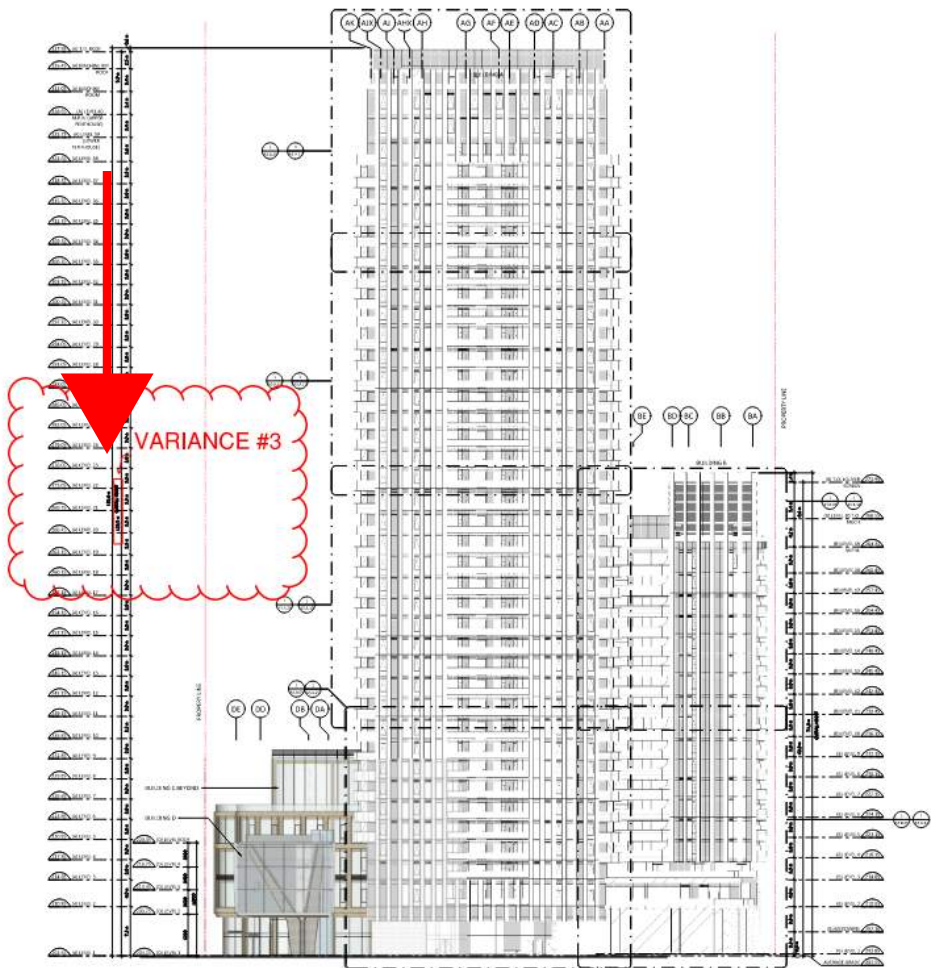
A2.03

Zoning By-law 1-88		Variance requested
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PLANS PREPARED AND VARIANCES IDENTIFIED BY APPLICANT

Reference:
A3.02
Pg. 16



NO.	DESCRIPTION	DATE
1	PRELIMINARY	2023.08.15
2	REVISED	2023.09.01
3	REVISED	2023.09.15
4	REVISED	2023.10.01
5	REVISED	2023.10.15
6	REVISED	2023.11.01
7	REVISED	2023.11.15
8	REVISED	2023.12.01
9	REVISED	2023.12.15
10	REVISED	2024.01.01

Architect of Record
HARVEY PORTER ARCHITECTS
1000-1000
1000-1000
1000-1000
1000-1000
1000-1000

Project No.
VMC BLOCK AS

Site No.
OVERALL EAST ELEVATION - TOWER A, B, AND D

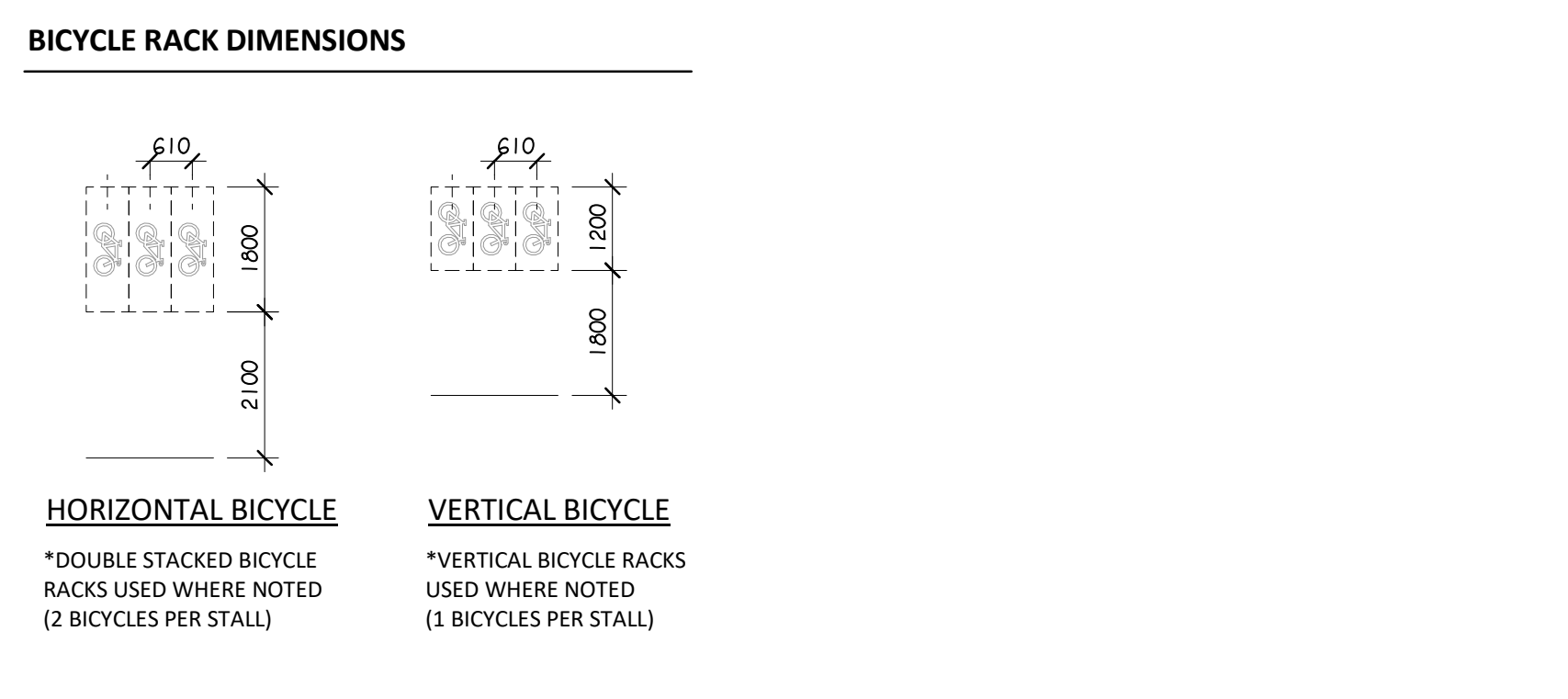
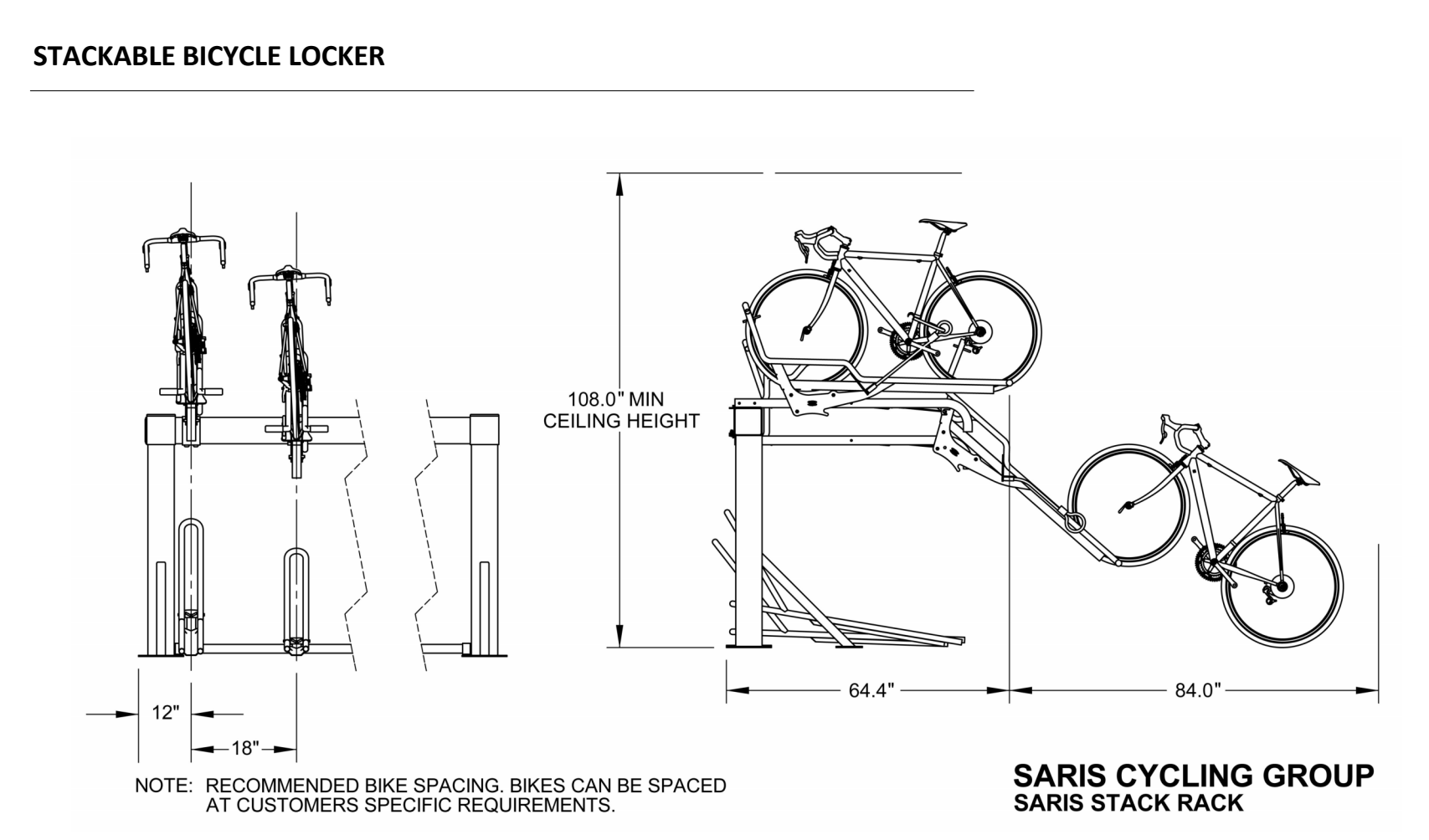
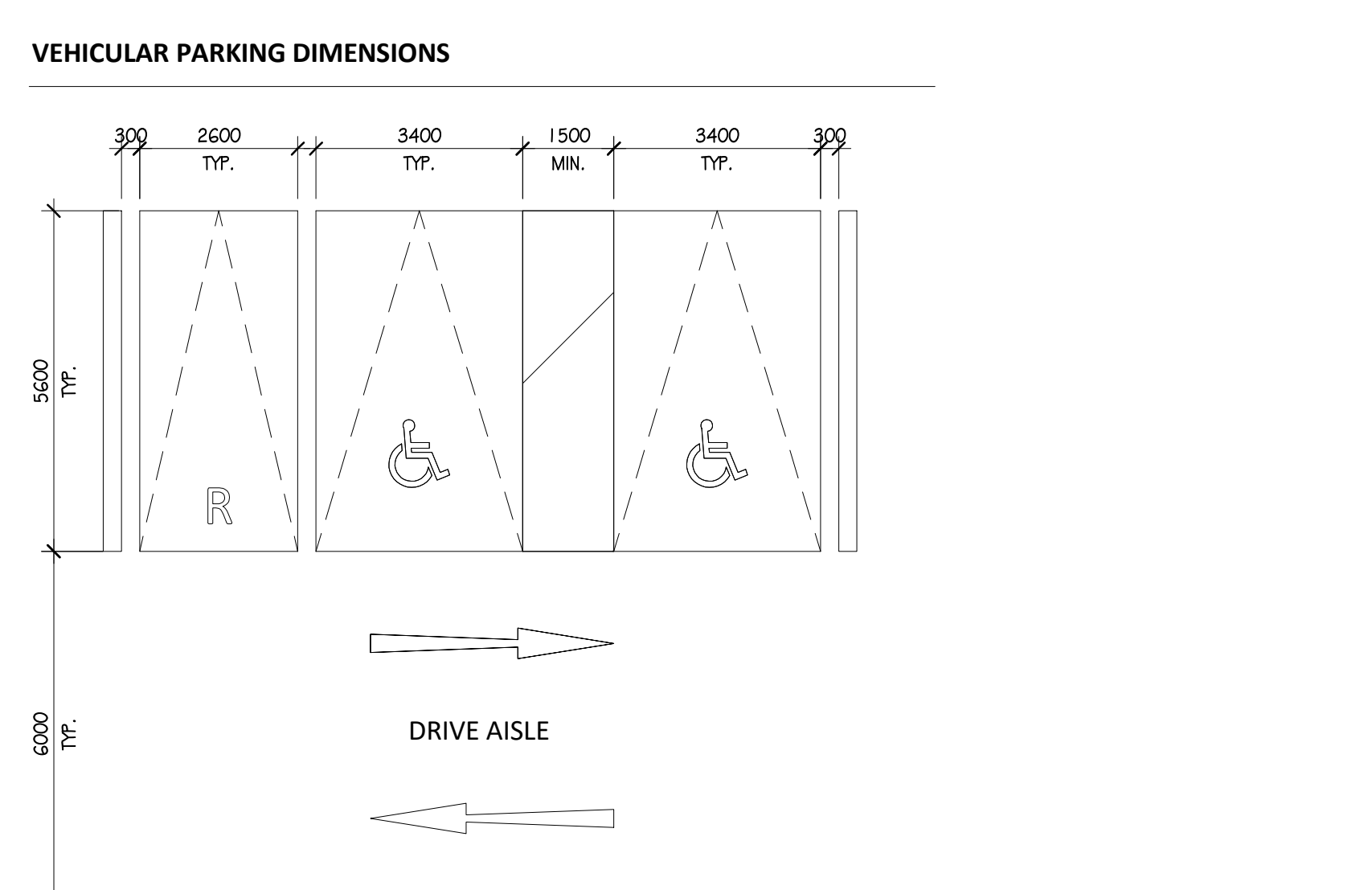
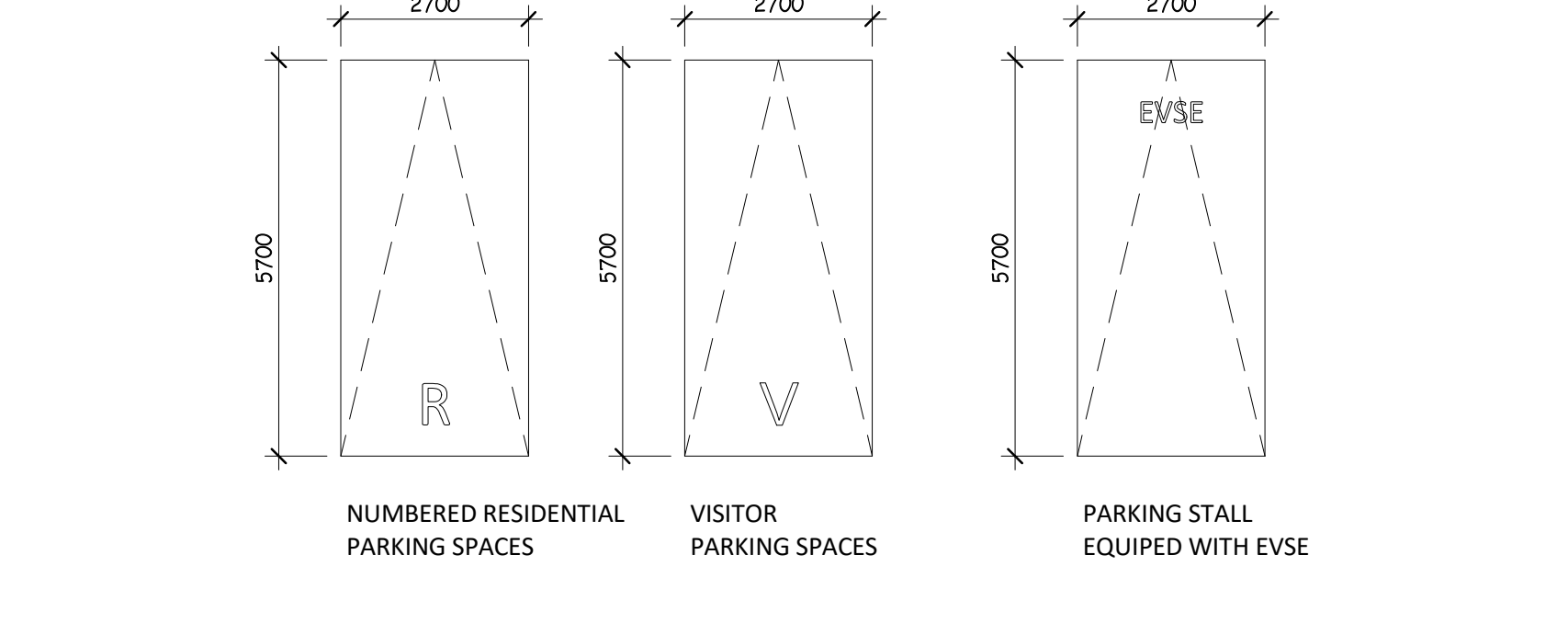
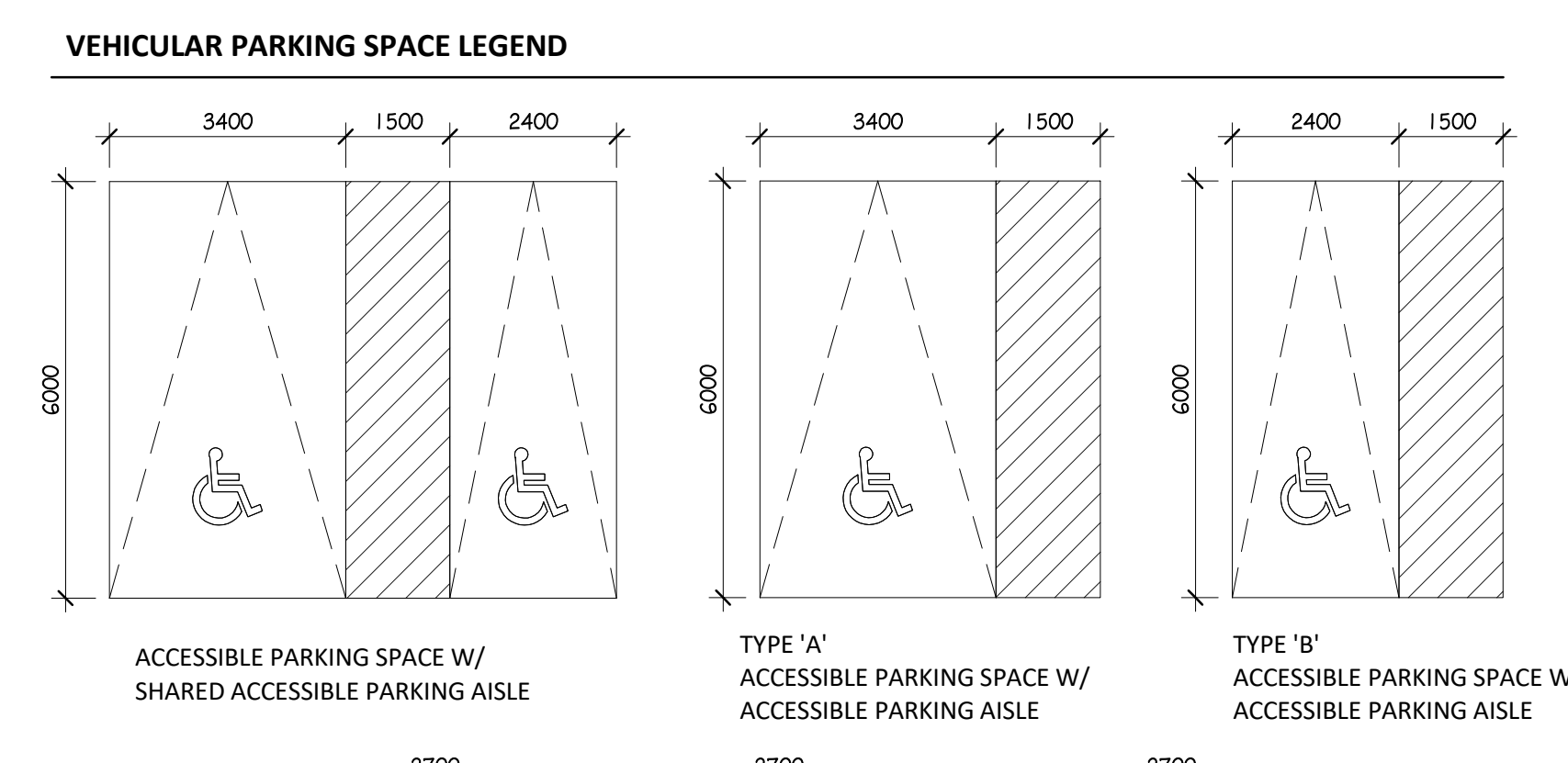
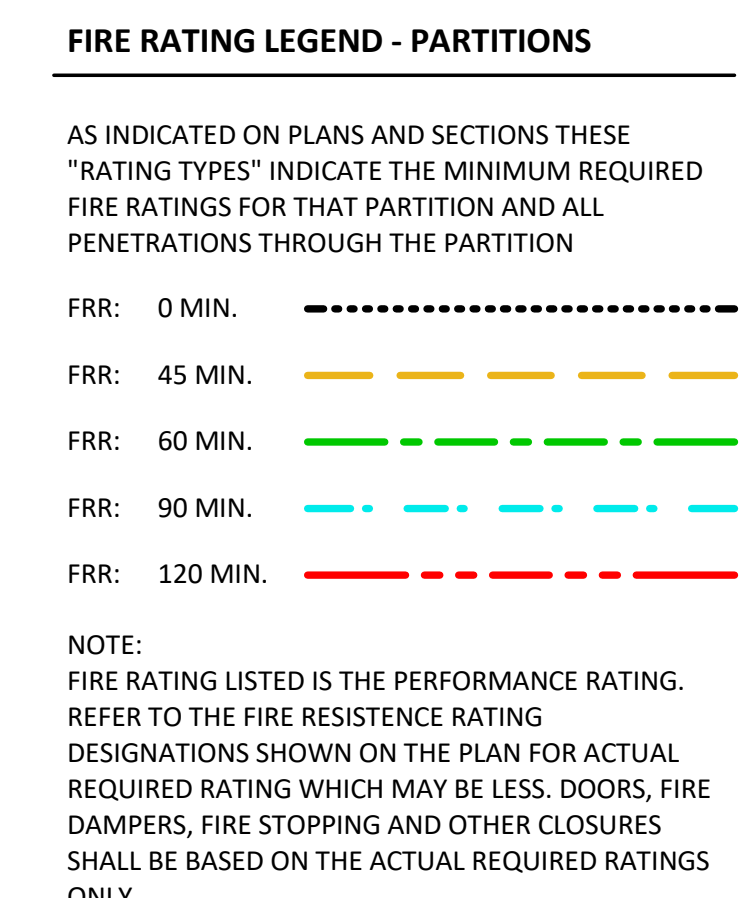
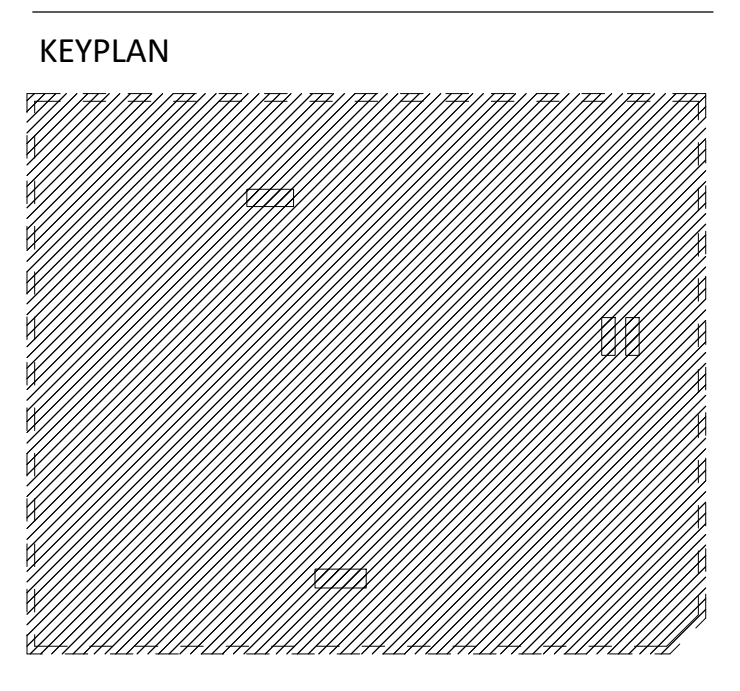
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Sheet No.
A3.02

Date
2024.01.01

Author
[Signature]

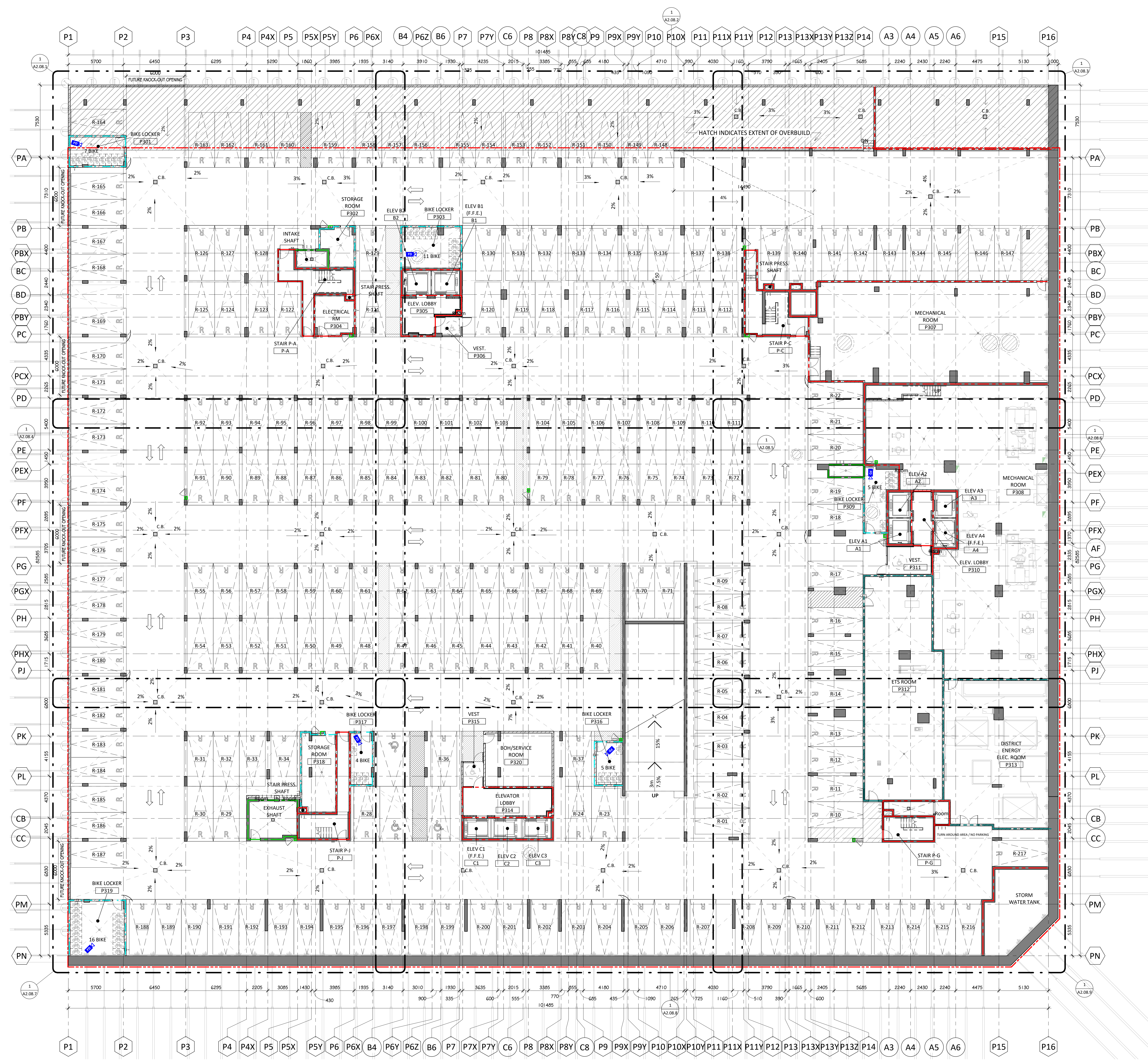
- General Notes
- These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretation of these documents by the contractor. Upon written application the architect will provide written clarification or supplementary information regarding the intent of the Contract Documents. The Architect will review Shop Drawings submitted by the Contractor for design conformance only.
 - Drawings are not to be scaled for construction. Contractor to verify all existing conditions and dimensions required to perform the Work and report any discrepancies with the Contract Documents to the Architect before commencing work.
 - Positions of exposed or finished mechanical or electrical devices, fittings, and fixtures are indicated on the Architectural drawings. The locations shown on the Architectural drawings govern over the Mechanical and Electrical drawings. These items not clearly located will be located as directed by the Architect.



Parking Count - P3

PARKING TYPE	Count
RESIDENTIAL	211
RESIDENTIAL - HANDICAPPED	3
Grand total:	214

BICYCLE PARKING P3 LEVEL - 74



RECEIVED
 By Christine Vigneault at 10:48 am, Oct 02, 2023

Security Cameras shown

Rev.	Issue/Description	Date
M	ISSUED FOR MINOR VARIANCE APPLICATION	23-08-10
L	ISSUED FOR CONSTRUCTION BELOW GRADE	23-06-16
K	ISSUED FOR 95% PROGRESS	23-05-30
J	ISSUED FOR 90% PROGRESS	23-01-30
I	ISSUED FOR PROGRESS NO. 2	22-12-12
H	ISSUED FOR PROGRESS	22-10-17

Architect of Record:
HARRI PONTARINI ARCHITECTS
 Suite 301
 235 Carlaw Avenue
 Toronto, Canada M4M 2S1
 Tel: 416 929 4901
 Fax: 416 929 9924
 info@hp-arch.com
 harripontarini.com

Project Title:
VMC BLOCK A5

VAUGHAN, ONTARIO
 Drawing Title:
OVERALL P3 FLOOR PLAN

Project number: 2021
 Scale: As indicated
 Date: 10/28/21
 Drawn / Checked by: HPA HPA
 Drawing No.: Revision:

3P: A48 ARCHITECTURE SHEET PRINT DATE: 2023/08/10 10:29:00 AM

VMC BLOCK A5

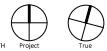
VAUGHAN, ONTARIO

ISSUED FOR MINOR VARIANCE APPLICATION - AUGUST 10, 2023

CLIENT / DEVELOPER	CONSTRUCTION MANAGER
SMART CENTRES 3300 HIGHWAY 7 VAUGHAN, ONTARIO, L4K 5Z5 TEL: 905 305-6800 FAX: 905 326-0783	NAME ADDRESS ADDRESS TEL. FAX: CONTACTS:
ARCHITECT	INTERIOR DESIGNER
HARIRI PONTARINI ARCHITECTS 235 CARLAW AVENUE, SUITE 303 TORONTO, ON, M4M 2S1 TEL: 416 539 8901 FAX: 416 529 8924 CONTACTS: PROJECT MANAGER	HARIRI PONTARINI ARCHITECTS 235 CARLAW AVENUE, SUITE 303 TORONTO, ON, M4M 2S1 TEL: 416 539 8901 FAX: 416 529 8924 CONTACTS: PROJECT MANAGER
STRUCTURAL ENGINEER	MECHANICAL ENGINEER
JABLONSKY ASH AND PARTNERS 1 CONCORDE GATE, 4TH FLOOR TORONTO, ON M3C 1K7 TEL: 416-463-7465	ABLE ENGINEERING 30 GERRARD AVENUE TORONTO, ONTARIO, M5A 3R1 TEL: 416 239 1370
ELECTRICAL ENGINEER	LANDSCAPE ARCHITECT
ABLE ENGINEERING 30 GERRARD AVENUE TORONTO, ONTARIO, M5A 3R1 TEL: 416 239 1370	MHBC PLANNING, URBAN DESIGN & LANDSCAPE 7050 WESTON ROAD, SUITE 230 WOODBRIDGE, ON L4L 8P7 TEL: 905 761 5388
BUILDING CODE CONSULTANT	TRAFFIC AND PARKING CONSULTANT
VORTEX FINE 60 BROADVIEW AVENUE, SUITE 200 TORONTO, ON M4X 1A9 TEL: 416 581 8303	BA CONSULTING GROUP LTD. 300 45 ST. CLAIR AVE. W. TORONTO, ON M4V 1K9 TEL: 416 961 7110
ACOUSTICAL CONSULTANT	ELEVATOR CONSULTANT
NAME ADDRESS ADDRESS TEL. FAX: CONTACTS:	NATIONAL ELEVATOR CONSULTING 3325 HARBINE AVE EAST SUITE 310, NORTH YORK ON M2K 3R3 TEL: 416 777 8660

General Notes

- These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretation of these documents by the contractor. Upon written application the Architect will provide written clarification of any ambiguity or inconsistency regarding the intent of the Contract Documents. The Architect will not provide drawings submitted to an authority for their interpretation.
- Drawings are not to be used for construction. Contractor is solely responsible for any drawings required to perform the Work and report any discrepancies with the Contract Documents to the Architect before commencing work.
- Portions of approved or finished mechanical or electrical systems, fittings, and fixtures are indicated on the Architectural drawings. The locations shown on the Architectural drawings govern over the Mechanical and Electrical drawings. These items are clearly located and labeled as indicated by the contract.



M	ISSUED FOR MINOR VARIANCE APPLICATION	21-08-10
L	ISSUED FOR CONSTRUCTION BELOW BRIDGE	23-06-16
K	ISSUED FOR 90% PROGRESS	23-05-30
J	ISSUED FOR 90% PROGRESS	23-01-30
I	ISSUED FOR PROGRESS NO. 2	22-12-22
H	ISSUED FOR PROGRESS	22-10-17
G	ISSUED FOR BUILDING PERMIT	22-07-21
Rev.	Issue/Description	Date

Architect of Record:
HARIRI PONTARINI ARCHITECTS
 235 Carlaw Avenue
 Suite 303
 Toronto, Canada M4M 2S1
 Tel: 416 539 8901
 Fax: 416 529 8924
 hariri@ponti.com
 hariponti.com



Project Title:
VMC BLOCK A5

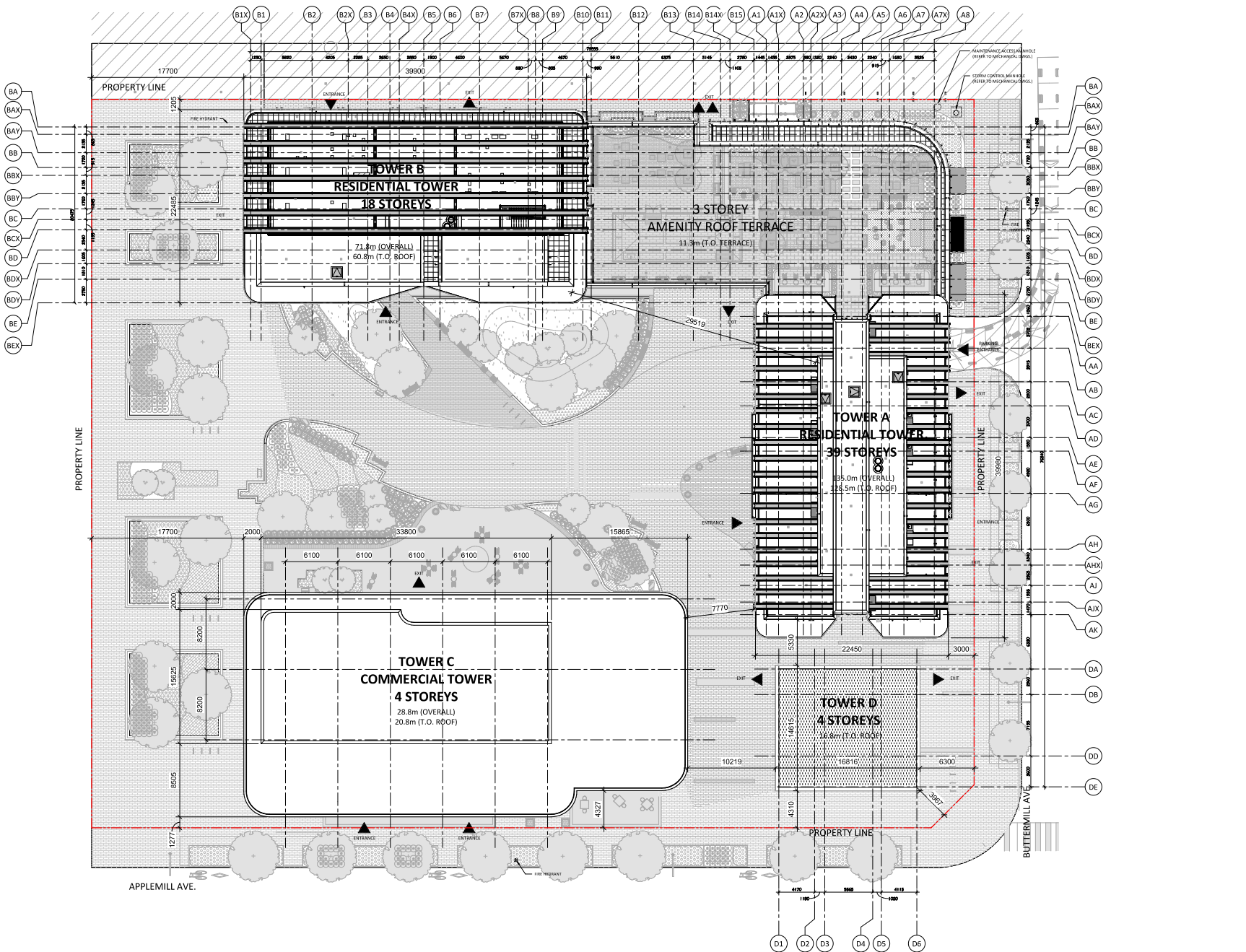
VAUGHAN, ONTARIO

Drawing Title:
COVER SHEET / CONSULTANT LIST

Project number: 2021
 Scale:
 Date: JAN 01, 2021
 Drawn / Checked by: HPA HPA
 Drawing No. Revision:

A0





- General Notes**
- These Contract Documents on the property of the Architect. The Architect bears no responsibility for the consequences of these documents to the contractor. Upon written application the Architect will provide photographic duplication of supplementary information regarding the terms of the Contract Documents. The Architect will not provide drawings submitted to an authority for their certification. Drawings are not to be used for construction. Contractor to verify all existing conditions and dimensions required to perform the Work and report any discrepancies with the Contract Documents to the Architect before commencing work.
 - Positions of approved or finished mechanical or electrical services, fixtures, and fixtures are indicated on the Architectural drawings. The locations shown on the Architectural drawings govern over the Mechanical and Electrical drawings. These items are clearly located and labeled as indicated by the drawings.



Rev.	Issue/Description	Date
M	ISSUED FOR VARIANCE APPLICATION	21-08-10
L	ISSUED FOR CONSTRUCTION BELOW SCOPE	23-06-16
K	ISSUED FOR 90% PROGRESS	23-05-30
J	ISSUED FOR 90% PROGRESS	21-01-30
I	ISSUED FOR PROGRESS NO. 2	22-12-22
H	ISSUED FOR PROGRESS	22-10-17
G	ISSUED FOR BUILDING PERMIT	22-03-21

Architect of Record:
HARIRI PONTARINI ARCHITECTS
 211 Colborne Avenue
 Suite 301
 Toronto, Canada M4M 2E1
 Tel: 416-429-9100
 Fax: 416-429-9104
 hariri@parchi.com
 haririarchitects.com

Project Title:
VMC BLOCK A5

VAUGHAN, ONTARIO
 Drawing Title:
SITE PLAN AND OBC MATRIX

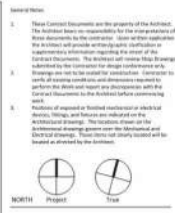
Project number: 2021
 Scale: 1:150
 Date: 04/28/21
 Drawn / Checked by: HPA HPA
 Drawing No. _____

A0.02

Item	Unit	Value	Notes
Area	m ²	1,200.00	Net Area
Volume	m ³	1,200.00	Net Volume
Weight	kg	1,200.00	Net Weight
Cost	\$	1,200.00	Net Cost

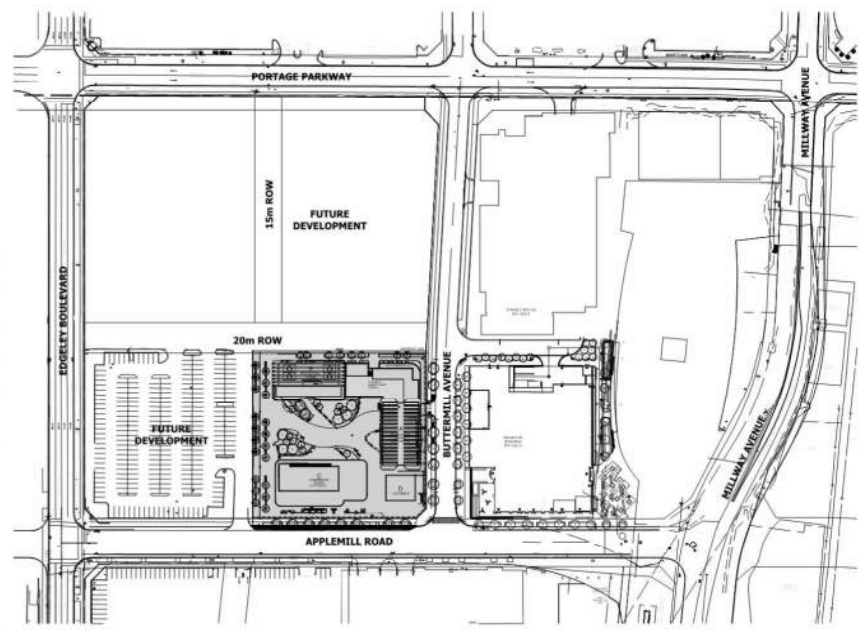
VARIANCES
4 & 5

RECEIVED
By Christine Vigneault at 10:13 am, Sep 07, 2023



LEVEL	RESIDENTIAL										RETAIL			COMMERCIAL			ALL USES			RESIDENTIAL UNIT MIX					TOTAL COUNTS		
	GROSS BUILDING AREA (GSA)	BALCONIES	PARKING	GROSS FLOOR AREA (GFA)	STAIRS / ELEVATORS / MEP	RECOR AMENITY	CORRIDOR LOBBY	LOADING DOCK	NET SALEABLE AREA (NSA)	GROSS BUILDING AREA (GSA)	GROSS FLOOR AREA (GFA)	NET SALEABLE AREA (NSA)	GROSS BUILDING AREA (GSA)	GROSS FLOOR AREA (GFA)	NET SALEABLE AREA (NSA)	TOTAL GSA	TOTAL GFA	TOTAL NSA	1 BED	2 BED	3 BED + DEN	3 BED + DEN	PARKING	BICYCLE	STORAGE		
F3	8,268.4	0.0	0.0	8,268.4	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	8,268.4	0.0	0.0	0	0	0	0	0	214	40	0		
F2	8,268.4	0.0	0.0	8,268.4	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	8,268.4	0.0	0.0	0	0	0	0	0	207	50	0		
F1	8,268.4	0.0	0.0	8,268.4	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	8,268.4	0.0	0.0	0	0	0	0	0	188	18	0		
TOTAL	24,805.2	0.0	0.0	24,805.2	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	24,805.2	0.0	0.0	0	0	0	0	0	611	108	0		

LEVEL	GROSS BUILDING AREA (GSA)	BALCONIES	PARKING	GROSS FLOOR AREA (GFA)	STAIRS / ELEVATORS / MEP	RECOR AMENITY	CORRIDOR LOBBY	LOADING DOCK	NET SALEABLE AREA (NSA)	GROSS BUILDING AREA (GSA)	GROSS FLOOR AREA (GFA)	NET SALEABLE AREA (NSA)	GROSS BUILDING AREA (GSA)	GROSS FLOOR AREA (GFA)	NET SALEABLE AREA (NSA)	TOTAL GSA	TOTAL GFA	TOTAL NSA	1 BED	2 BED	3 BED + DEN	3 BED + DEN	PARKING	BICYCLE	STORAGE
F3	8,268.4	0.0	0.0	8,268.4	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	8,268.4	0.0	0.0	0	0	0	0	0	214	40	0
F2	8,268.4	0.0	0.0	8,268.4	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	8,268.4	0.0	0.0	0	0	0	0	0	207	50	0
F1	8,268.4	0.0	0.0	8,268.4	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	8,268.4	0.0	0.0	0	0	0	0	0	188	18	0
TOTAL	24,805.2	0.0	0.0	24,805.2	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	24,805.2	0.0	0.0	0	0	0	0	0	611	108	0



Rev.	Description	Date
M	COLLECTOR: TYPICAL VARIANCE APPLICATION	23-08-23
L	COLLECTOR: TYPICAL CONSTRUCTION BYLAW	23-08-23
K	ISSUED FOR PERMITS PRELIMINARY	23-05-23
J	ISSUED FOR PERMITS PRELIMINARY	23-01-23
I	ISSUED FOR PERMITS PRELIMINARY	22-12-22
H	ISSUED FOR PERMITS PRELIMINARY	22-12-22
G	ISSUED FOR PERMITS PRELIMINARY	22-07-22

Architect of Record:
HARIRI PONTARINI ARCHITECTS
215 Queen Avenue
Toronto, Ontario M5H 2B1
Tel: 416-593-9161
Fax: 416-593-9162
hpa@hpa.ca
www.hpa.ca

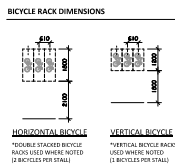
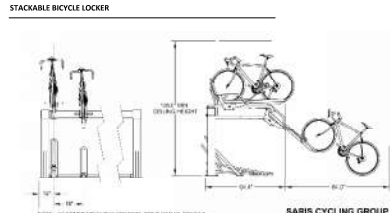
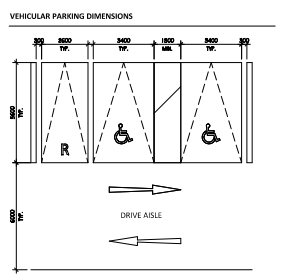
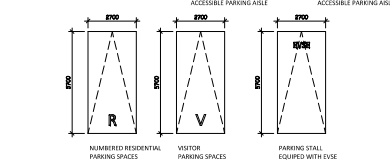
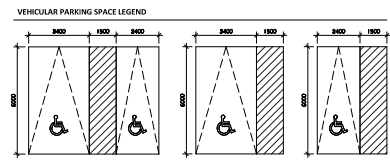
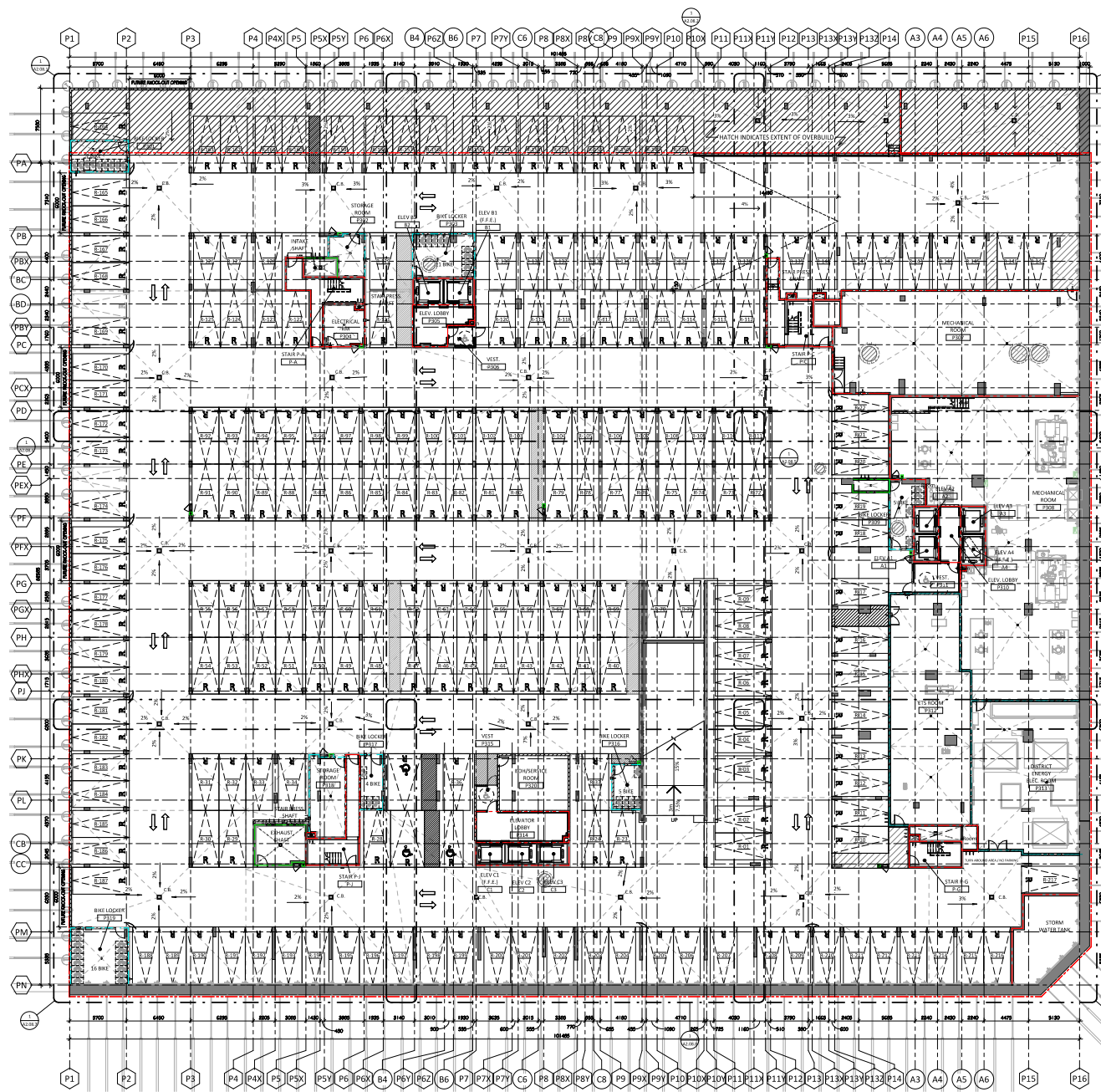
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VAUGHAN, ONTARIO

Drawing Title: **CONTEXT PLAN AND PROJECT STATISTICS**

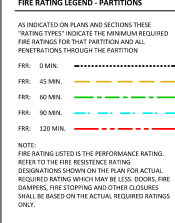
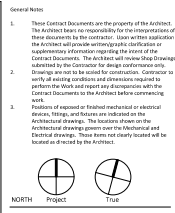
Project number: 2021
Scale: 1:1000
Date: 04/26/21
Drawn / Checked by: HPA / HPA
Drawing by: HPA

A0.03



Parking Type	Count
RESIDENTIAL	211
RESIDENTIAL - HANDICAPPED	3
COMM - BIKE	3

VEHICULAR PARKING P3 LEVEL - 114



Rev.	Issue/Description	Date
M	ISSUED FOR MINOR VARIANCE APPLICATION	23-08-10
L	ISSUED FOR CONSTRUCTION BELOW GRADE	23-06-16
K	ISSUED FOR 90% PROGRESS	23-05-30
J	ISSUED FOR 90% PROGRESS	23-01-30
I	ISSUED FOR PROGRESS NO. 2	22-12-12
H	ISSUED FOR PROGRESS	22-10-27

Architect of Record:
HARIRI PONTARINI ARCHITECTS
 215 Adelaide Street
 Suite 301
 Toronto, Canada M4H 2E1
 Tel: 416-597-9100
 Fax: 416-597-9104
 hariri@hpa.com
 haririarchitects.com

Project Title:
VMC BLOCK A5

VAUGHAN, ONTARIO

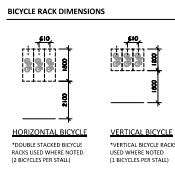
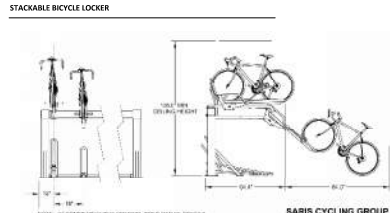
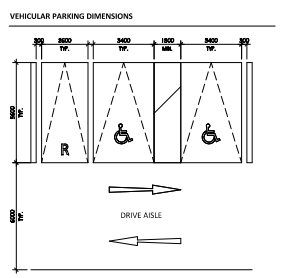
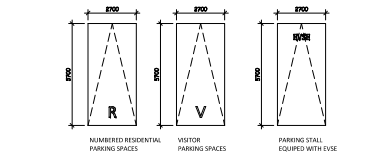
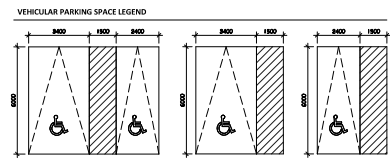
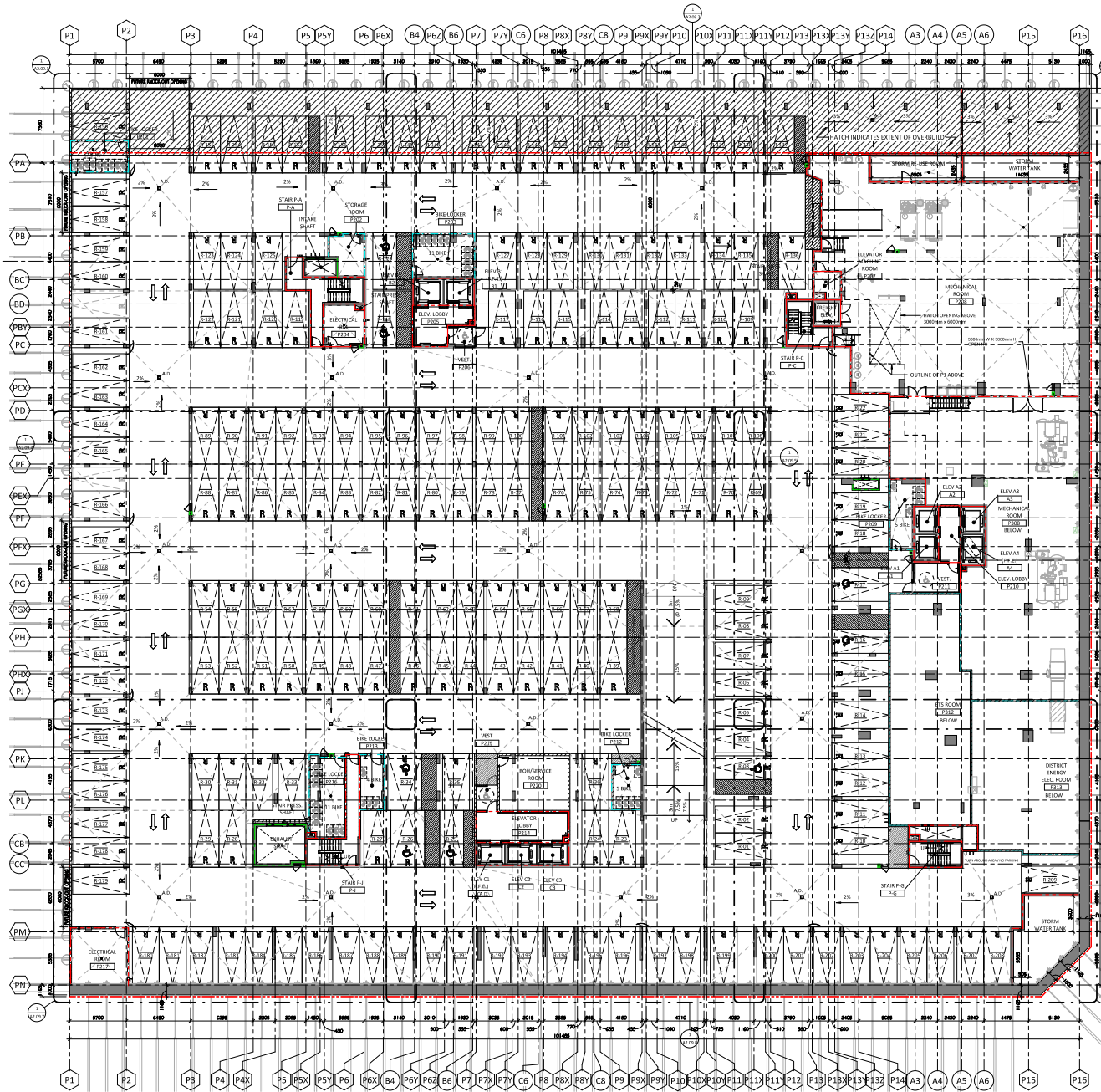
Drawing Title:
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Project number: 2021
 Scale: As indicated
 Date: 10/28/21
 Design / Checked by: HPA HPA
 Drawing No. _____

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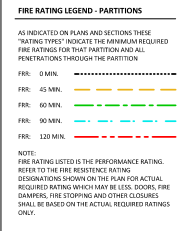
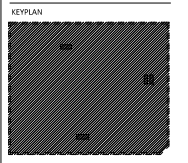
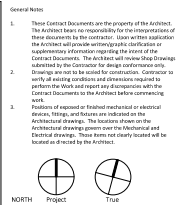
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OVERALL P3 FLOOR PLAN
 1/25.00 1/150



Parking Count - P2	
PARKING TYPE	Count
RESIDENTIAL	199
RESIDENTIAL - HANDICAPPED	8
Grand Total	207

BICYCLE PARKING PG LEVEL - 08



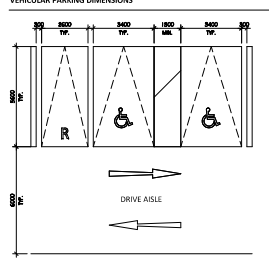
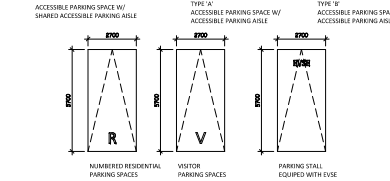
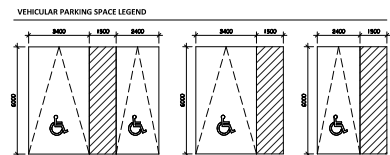
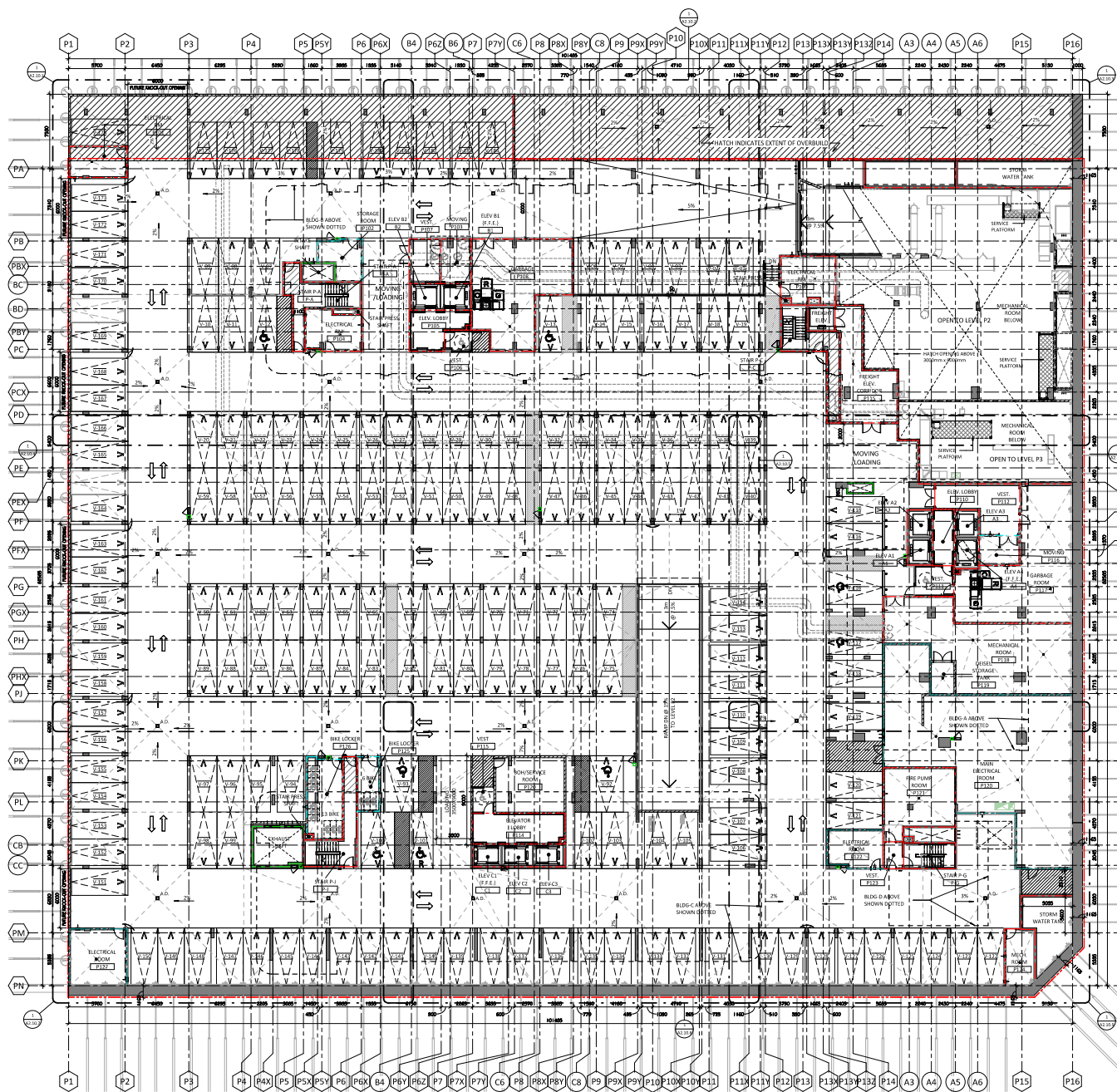
Rev.	Issue/Description	Date
M	ISSUED FOR WINDOW VARIANCE APPLICATION	21-08-10
L	ISSUED FOR CONSTRUCTION BELOW SCOPE	23-06-16
K	ISSUED FOR 90% PROGRESS	23-05-30
J	ISSUED FOR 90% PROGRESS	23-01-30
I	ISSUED FOR PROGRESS 100.2	22-12-12
H	ISSUED FOR PROGRESS	22-03-17
G	ISSUED FOR BUILDING PERMIT	22-03-21

Architect of Record:
HARIRI PONTARINI ARCHITECTS
 215 Adelaide Avenue
 Suite 301
 Toronto, Canada M4M 2M1
 Tel: 416-479-9100
 Fax: 416-479-9104
 hariri@hpa.com
 haririarchitects.com

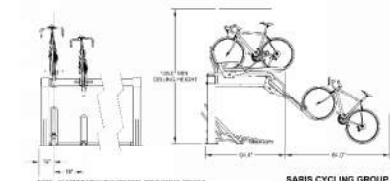
Project Title:
VMC BLOCK A5

VAUGHAN, ONTARIO
 Drawing Title:
OVERALL P2 FLOOR PLAN

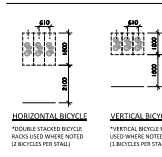
Project number: 2021
 Scale: As indicated
 Date: 10/28/21
 Drawn / Checked by: MPA MPA
 Drawing No. Revision:



Stackable Bicycle Locker

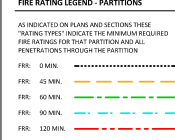
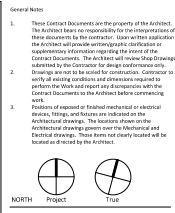


Bicycle Rack Dimensions



Parking Count - P1	
Parking Type	Count
RESIDENTIAL - HANDICAPPED	1
VISITOR	175
VISITOR - HANDICAPPED	7
Grand Total	183

BICYCLE PARKING P1 LEVEL + 06



NOTE: FIRE RATING LISTED IS THE PERFORMANCE RATING. REFER TO THE FIRE RESISTANCE RATING DESIGNATIONS SHOWN ON THE PLAN FOR ACTUAL REQUIRED RATING WHICH MAY BE LESS. DOORS, FIRE DAMPERS, FIRE STOPPING AND OTHER CLLOSURES SHALL BE BASED ON THE ACTUAL REQUIRED RATINGS ONLY.

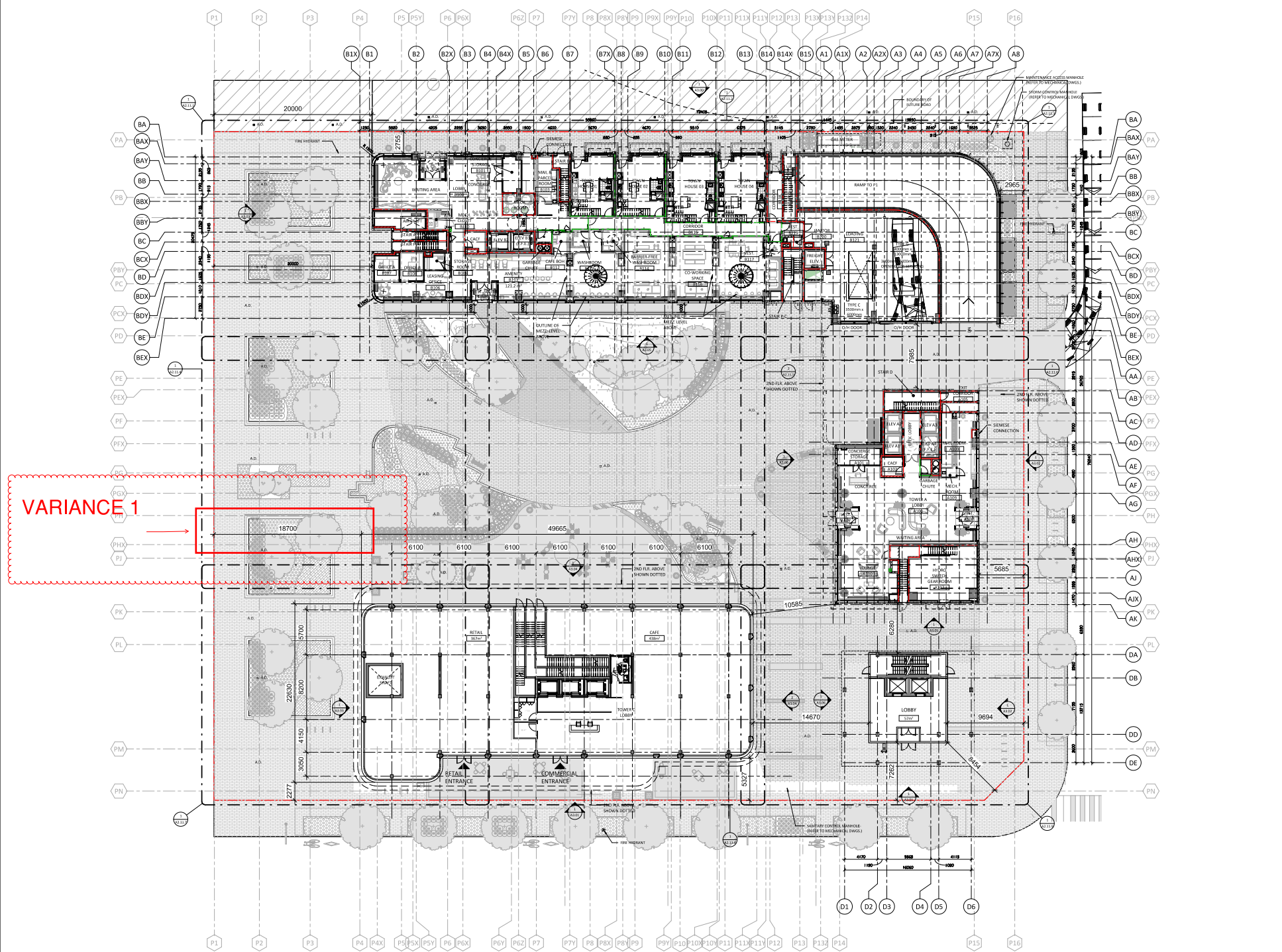
Rev.	Issue/Description	Date
M	ISSUED FOR WINDOW VARIANCE APPLICATION	21-08-10
L	ISSUED FOR CONSTRUCTION BELOW SCOPE	23-06-16
K	ISSUED FOR 50% PROGRESS	23-05-30
J	ISSUED FOR 50% PROGRESS	23-01-30
I	ISSUED FOR PROGRESS 100.2	22-12-12
H	ISSUED FOR PROGRESS	22-10-17
G	ISSUED FOR BUILDING PERMIT	22-07-21

Architect of Record:
HARIRI PONTARINI ARCHITECTS
 215 College Avenue
 Suite 301
 Toronto, Canada M4W 2E1
 Tel: 416-329-9100
 Fax: 416-329-9104
 hariri@hpa.com
 haripontarini.com

Project Title:
VMC BLOCK A5

VAUGHAN, ONTARIO
 Drawing Title:
OVERALL P1 FLOOR PLAN

Project number: 2021
 Scale: As indicated
 Date: 09/08/21
 Design / Checked by: MPA MPA
 Drawing No. _____

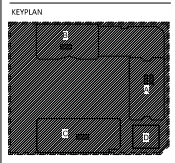


VARIANCE 1

General Notes

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NORTH Project True



FIRE RATING LEGEND - PARTITIONS

AS INDICATED ON PLANS AND SECTIONS THESE "RATING TYPES" INDICATE THE MINIMUM REQUIRED FIRE RATINGS FOR THAT PARTITION AND ALL PENETRATIONS THROUGH THE PARTITION

FR: 0 MIN.	-----
FR: 45 MIN.	-----
FR: 60 MIN.	-----
FR: 90 MIN.	-----
FR: 120 MIN.	-----

NOTE:
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Rev.	Issue/Description	Date
M	ISSUED FOR VARIANCE APPLICATION	23-08-10
L	ISSUED FOR CONSTRUCTION BELOW SCOPE	23-06-16
K	ISSUED FOR 90% PROGRESS	23-05-30
J	ISSUED FOR 90% PROGRESS	23-01-30
I	ISSUED FOR PROGRESS NO. 2	22-12-12
H	ISSUED FOR PROGRESS	22-10-17
G	ISSUED FOR BUILDING PERMIT	22-03-21

Architect of Record:
HARIRI PONTARINI ARCHITECTS
221 College Street
Suite 301
Toronto, Canada M4W 2E1
Tel: 416-479-9100
Fax: 416-479-9104
hariri@hpa.com
hpa.ca

Project Title:
VMC BLOCK A5

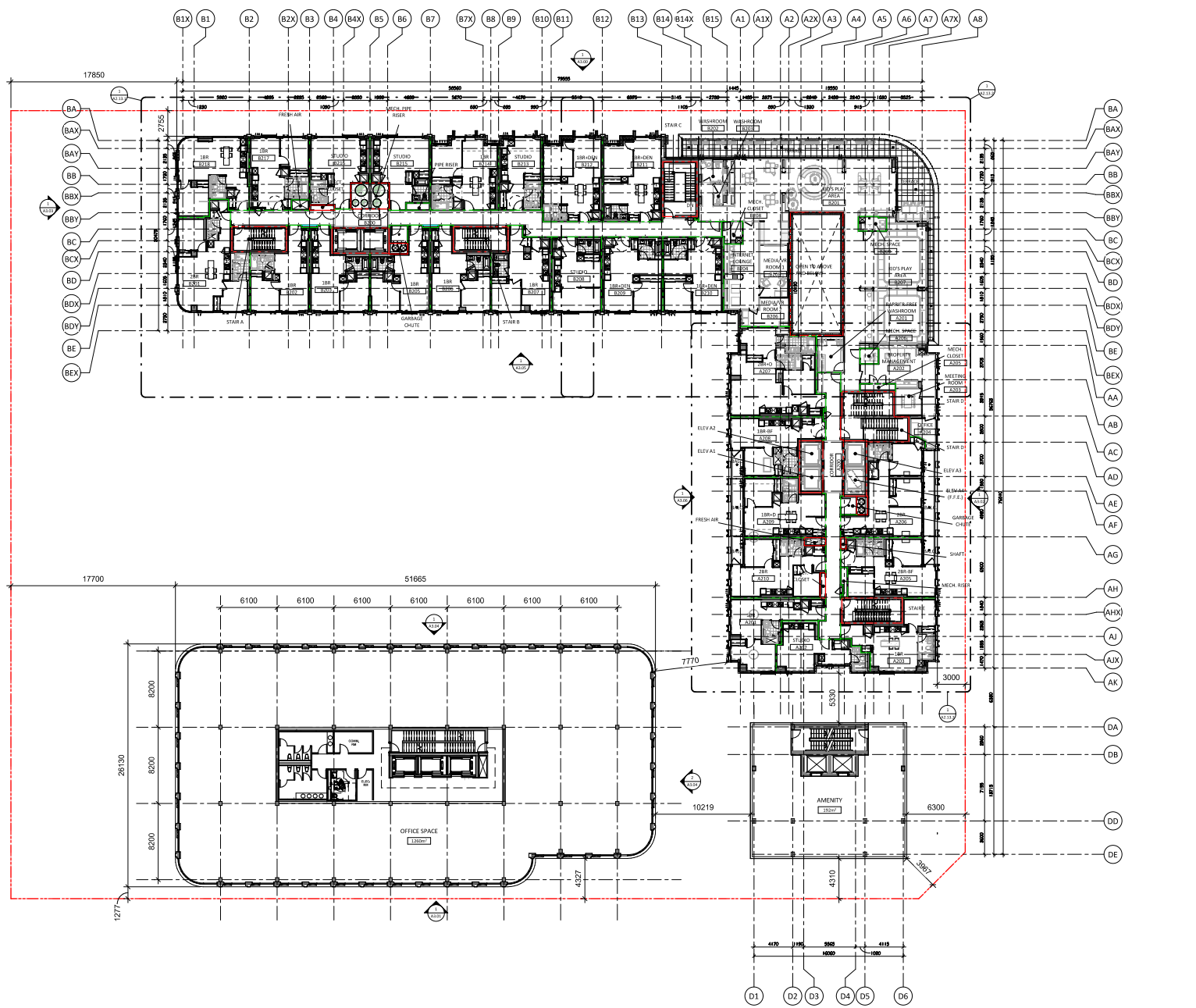
VAUGHAN, ONTARIO

Drawing Title:
OVERALL GROUND FLOOR PLAN

Project number:	2021
Scale:	As indicated
Date:	09/08/21
Drawn / Checked by:	HFA / HFA
Drawing No.:	
Revision:	

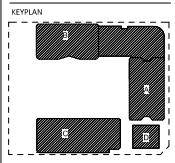
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OVERALL 2ND FLOOR PLAN



General Notes

1. These General Notes are on the property of the Architect. The Architect bears no responsibility for the interpretation of these documents by the contractor. Upon written application the Architect will provide preliminary clarification of supplementary information regarding the terms of the General Documents. The Architect will not provide clarification or advice by email or by telephone. The Architect will not be held responsible for any errors or omissions in the drawings or specifications. Contractor to verify all existing conditions and dimensions required to perform the Work and report any discrepancies with the General Documents to the Architect before commencing work.
2. Portions of approved or finished mechanical or electrical systems, fixtures, and finishes are indicated on the Architectural drawings. The locations shown on the Architectural drawings govern over the Mechanical and Electrical drawings. These items are clearly located and labeled as indicated by the contract.



FIRE RATING LEGEND - PARTITIONS

AS INDICATED ON PLANS AND SECTIONS THESE "FIRE RATING TYPES" INDICATE THE MINIMUM REQUIRED FIRE RATINGS FOR THAT PARTITION AND ALL PENETRATIONS THROUGH THE PARTITION

FRS: 0 MIN. ————
 FRS: 45 MIN. - - - - -
 FRS: 60 MIN. ————
 FRS: 90 MIN. - - - - -
 FRS: 120 MIN. ————

NOTE:
 FIRE RATINGS LISTED IS THE PERFORMANCE RATING. REFER TO THE FIRE RESISTANCE RATING DESIGNATIONS SHOWN ON THE PLAN FOR ACTUAL REQUIRED RATINGS WHICH MAY BE LESS. DOORS, FIRE DAMPERS, FIRE STOPPING AND OTHER CLOSURES SHALL BE INDEXED ON THE ACTUAL REQUIRED RATINGS ONLY.

Rev.	Issue/Description	Date
M	ISSUED FOR MINOR VARIANCE APPLICATION	23-08-10
K	ISSUED FOR 90% PROGRESS	23-05-30
J	ISSUED FOR 90% PROGRESS	22-11-30
I	ISSUED FOR PROGRESS NO. 2	22-12-12
H	ISSUED FOR PROGRESS	22-10-17
G	ISSUED FOR BILLING PERMIT	22-07-21
F	ISSUED FOR TENDER NO. 2	22-07-26
E	ISSUED FOR BILLING PERMIT	22-05-27

Architect of Record:
HARIRI PONTARINI ARCHITECTS
 211 Colborne Avenue
 Suite 301
 Toronto, Canada M4M 2E1
 Tel: 416-429-9100
 Fax: 416-429-9104
 hariri@hpa.com
 haripontarini.com

Project Title:
VMC BLOCK A5

VAUGHAN, ONTARIO

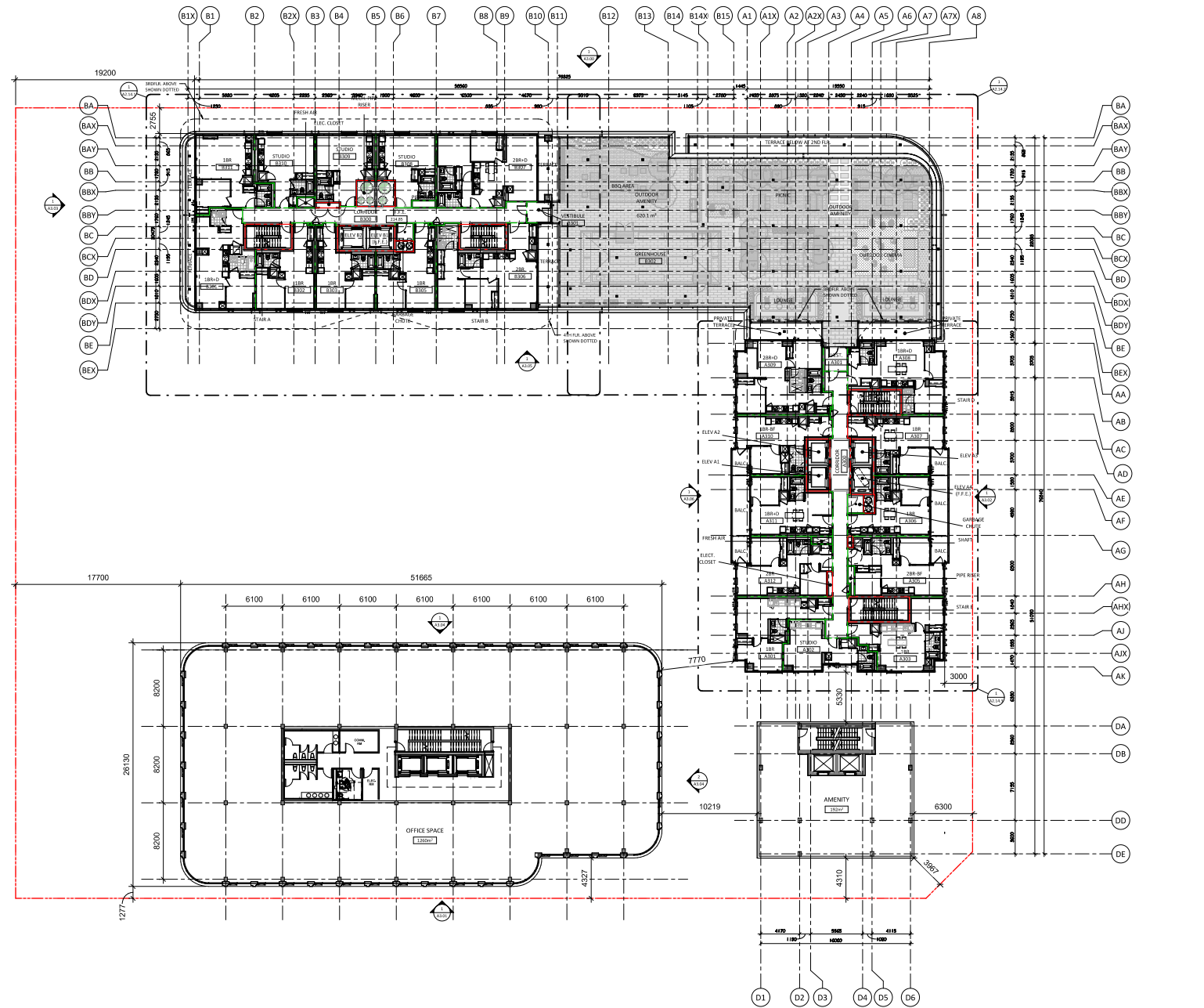
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Project number: 2021
 Scale: As indicated
 Date: 09/08/21
 Drawn / Checked by: MPA MPA
 Drawing No. Revision:

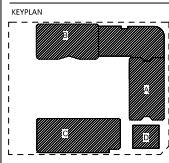
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OVERALL 3RD FLOOR PLAN



- General Notes**
- These General Notes are on the property of the Architect. The Architect does not assume responsibility for the interpretation of these documents by the contractor. Upon action application the architect will provide preliminary clarification of supplementary information regarding the items of the General Documents. The architect will cooperate in drawings submitted to an authority for their approval.
 - Drawings are not to be used for construction. Contractor to verify all existing conditions and dimensions required to perform the Work and report any discrepancies with the General Documents to the Architect before commencing work.
 - Positions of approved or finished mechanical or electrical devices, fixtures, and fixtures are indicated on the Architectural drawings. The locations shown on the Architectural drawings govern over the Mechanical and Electrical drawings. These items are clearly located and labeled as indicated by the architect.



FIRE RATING LEGEND - PARTITIONS

AS INDICATED ON PLANS AND SECTIONS THESE "RATING TYPES" INDICATE THE MINIMUM REQUIRED FIRE RATINGS FOR THAT PARTITION AND ALL PENETRATIONS THROUGH THE PARTITION

FRR: 0 MIN.	-----
FRR: 45 MIN.	-----
FRR: 60 MIN.	-----
FRR: 90 MIN.	-----
FRR: 120 MIN.	-----

NOTE:
FIRE RATING LISTED IS THE PERFORMANCE RATING. REFER TO THE FIRE RESISTANCE RATING DESIGNATIONS SHOWN ON THE PLAN FOR ACTUAL REQUIRED RATINGS WHICH MAY BE LESS. DOORS, FIRE DAMPERS, FIRE STOPPING AND OTHER CLOSURES SHALL BE INDEXED ON THE ACTUAL REQUIRED RATINGS ONLY.

Rev.	Issue/Description	Date
M	ISSUED FOR MINOR VARIANCE APPLICATION	23-08-10
K	ISSUED FOR 90% PROGRESS	24-05-20
J	ISSUED FOR 90% PROGRESS	24-01-20
I	ISSUED FOR PROGRESS NO. 2	22-12-12
H	ISSUED FOR PROGRESS	22-10-12
G	ISSUED FOR BUILDING PERMIT	22-07-12
F	ISSUED FOR TENDER NO. 2	22-07-20
E	ISSUED FOR BUILDING PERMIT	22-06-22

Architect of Record:
HARIRI PONTARINI ARCHITECTS
 211 Colborne Avenue
 Suite 301
 Toronto, Canada M4W 2E1
 Tel: 416-429-9100
 Fax: 416-429-9104
 info@hparch.com
 haripontarini.com

Project Title:
VMC BLOCK A5

VAUGHAN, ONTARIO

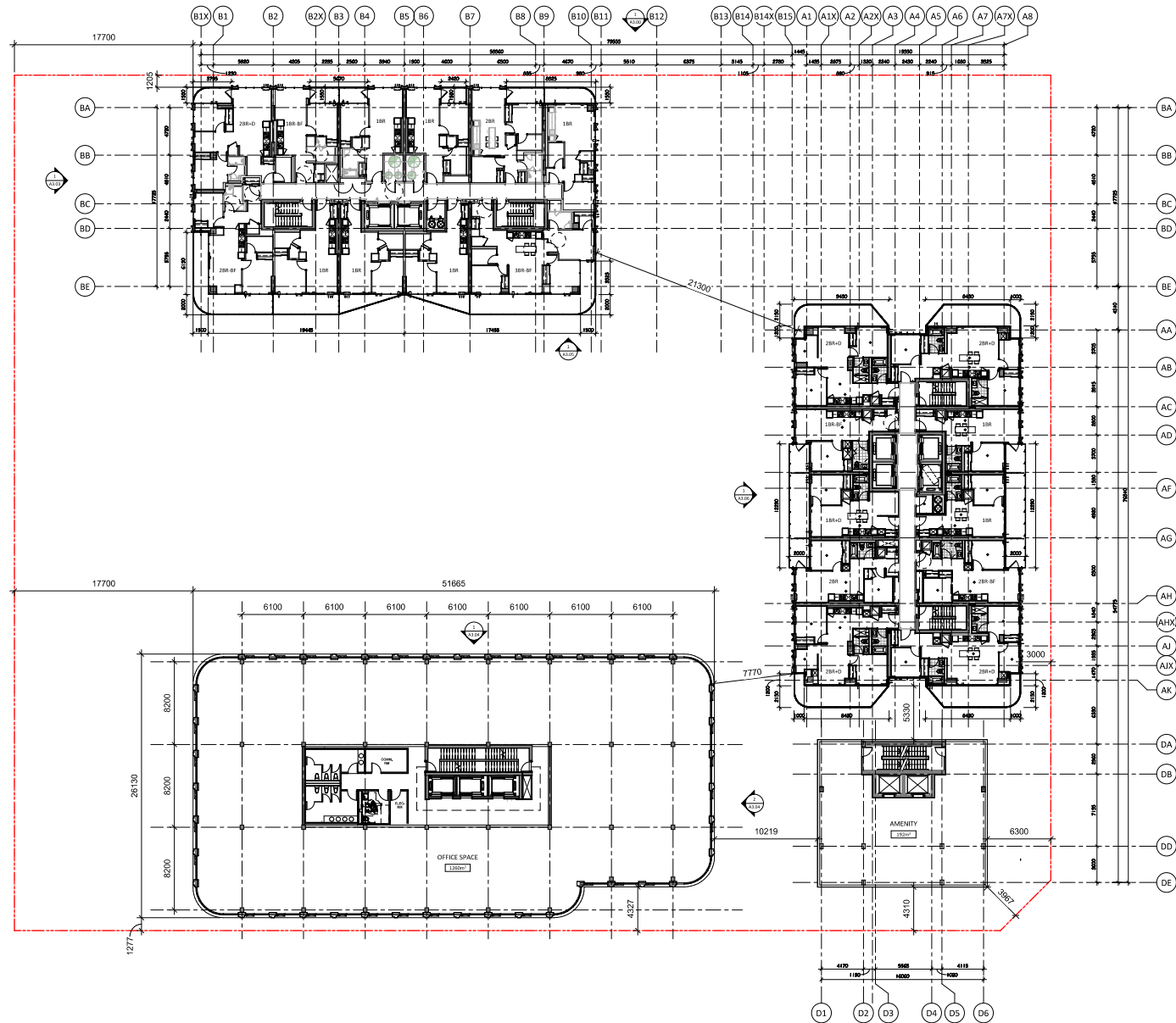
Drawing Title:
OVERALL 3RD FLOOR PLAN

Project number: 2021
 Scale: As indicated
 Date: 09/08/21
 Drawn / Checked by: MPA MPA
 Drawing No. Revision:

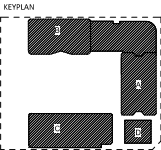
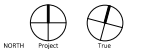
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36" x 48" ARCHITECTURE SIZE PRINT DATE: 04/20/2021 1:38:48 PM

OVERALL 4TH FLOOR PLAN



- General Notes**
1. These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretation of these documents by the contractor. Upon written application the Architect will provide written clarification of any ambiguity or contradiction. Drawings are not to be used for construction. Contractor to verify all existing conditions and dimensions required to perform the Work and report any discrepancies with the General Documents to the Architect before commencing work.
 2. Products of approved or finished mechanical or electrical systems, fixtures, and finishes are indicated on the Architectural drawings. The locations shown on the Architectural drawings govern over the Mechanical and Electrical drawings. These items are clearly located and labeled as required by the contract.



Rev.	Issue/Description	Date
M	ISSUED FOR MINOR VARIANCE APPLICATION	23-08-10
K	ISSUED FOR 90% PROGRESS	23-05-30
J	ISSUED FOR 80% PROGRESS	22-11-30
I	ISSUED FOR PROGRESS NO. 2	22-12-12
H	ISSUED FOR PROGRESS	22-10-17
G	ISSUED FOR BUILDING PERMIT	22-07-21
F	ISSUED FOR TENDER NO. 2	22-07-26
E	REV ISSUED FOR BUILDING PERMIT	22-05-27

Architect of Record:
HARIRI PONTARINI ARCHITECTS
 211 Colborne Avenue
 Suite 301
 Toronto, Canada M4M 2S1
 Tel: 416-479-9100
 Fax: 416-479-9104
 hariri@hparch.com
 haripontarini.com

Project Title:
VMC BLOCK A5

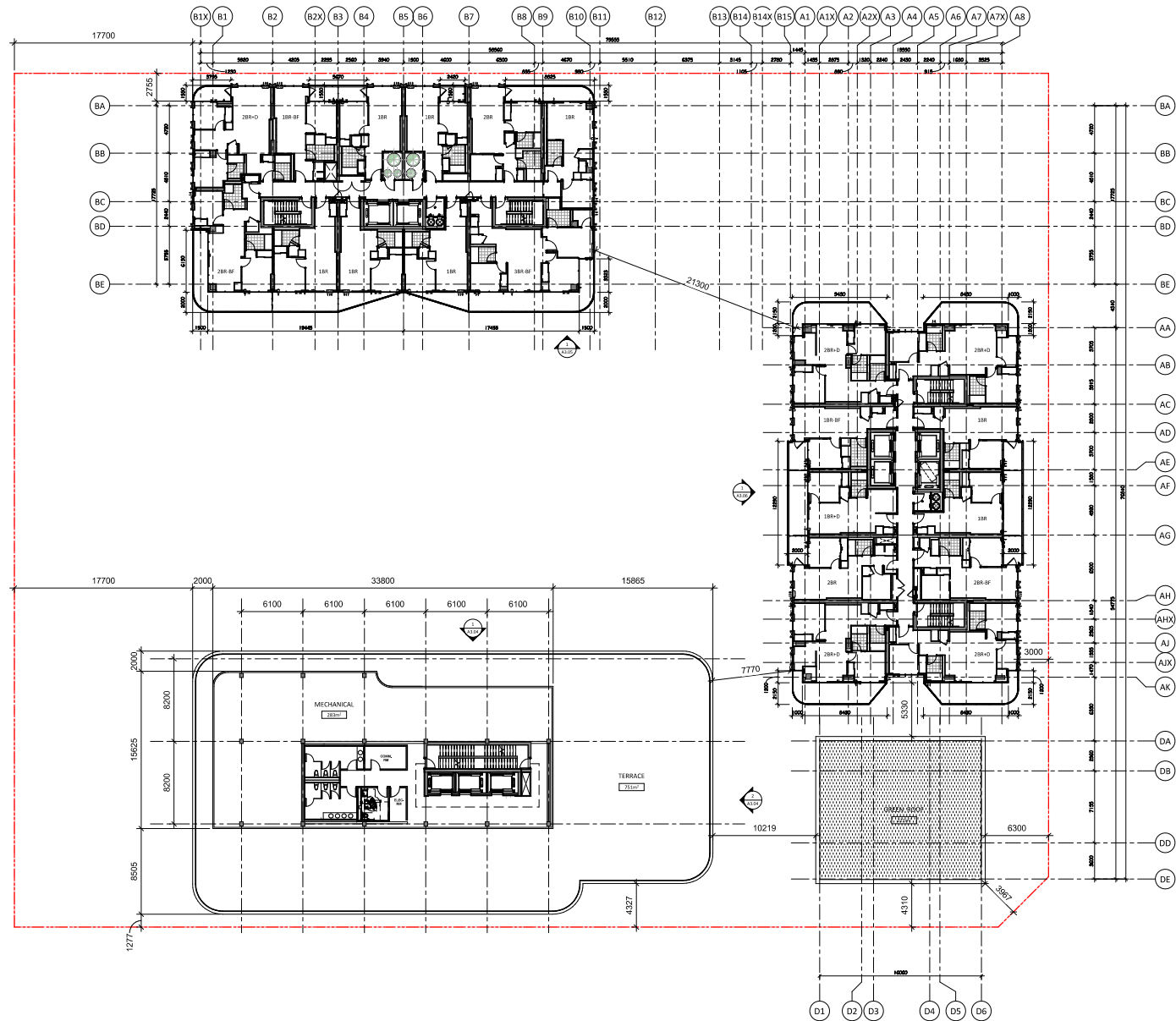
VAUGHAN, ONTARIO
 Drawing Title:
OVERALL 4TH FLOOR PLAN

Project number: 2021
 Scale: 1:150
 Date: 09/08/21
 Drawn / Checked by: MPA MPA
 Drawing No. _____ Revision: _____

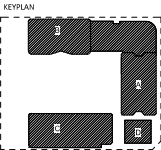
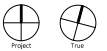
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36" x 48" ARCHITECT SHEET SIZE PRINT DATE: 04/20/2021 1:38:11 PM

OVERALL 5TH FLOOR PLAN



- General Note
1. These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretation of these documents by the contractor. Upon written application the Architect will provide preliminary interpretations of the documents for informational purposes only. Drawings are not to be used for construction. Contractor to verify all existing conditions and dimensions required to perform the Work and report any discrepancies with the General Documents to the Architect before commencing work.
 2. Products of approved or finished mechanical or electrical systems, fittings, and fixtures are indicated on the Architectural drawings. The locations shown on the Architectural drawings govern over the Mechanical and Electrical drawings. These items are clearly located and labeled as indicated by the contract.



Rev.	Issue/Description	Date
M	ISSUED FOR MINOR VARIANCE APPLICATION	23-08-10
K	ISSUED FOR 90% PROGRESS	23-05-30
J	ISSUED FOR 80% PROGRESS	23-01-30
I	ISSUED FOR PROGRESS NO. 2	22-12-12
H	ISSUED FOR PROGRESS	22-10-17
G	ISSUED FOR BUILDING PERMIT	22-07-21
F	ISSUED FOR TENDER NO. 2	22-07-26
E	REV ISSUED FOR BUILDING PERMIT	22-06-27

Architect of Record:
HARIRI PONTARINI ARCHITECTS
 231 Colborne Avenue
 Suite 301
 Toronto, Canada M4M 2E1
 Tel: 416-429-9100
 Fax: 416-429-9104
 hariri@hpa.com
 haripontarini.com

Project Title:
VMC BLOCK A5

VAUGHAN, ONTARIO

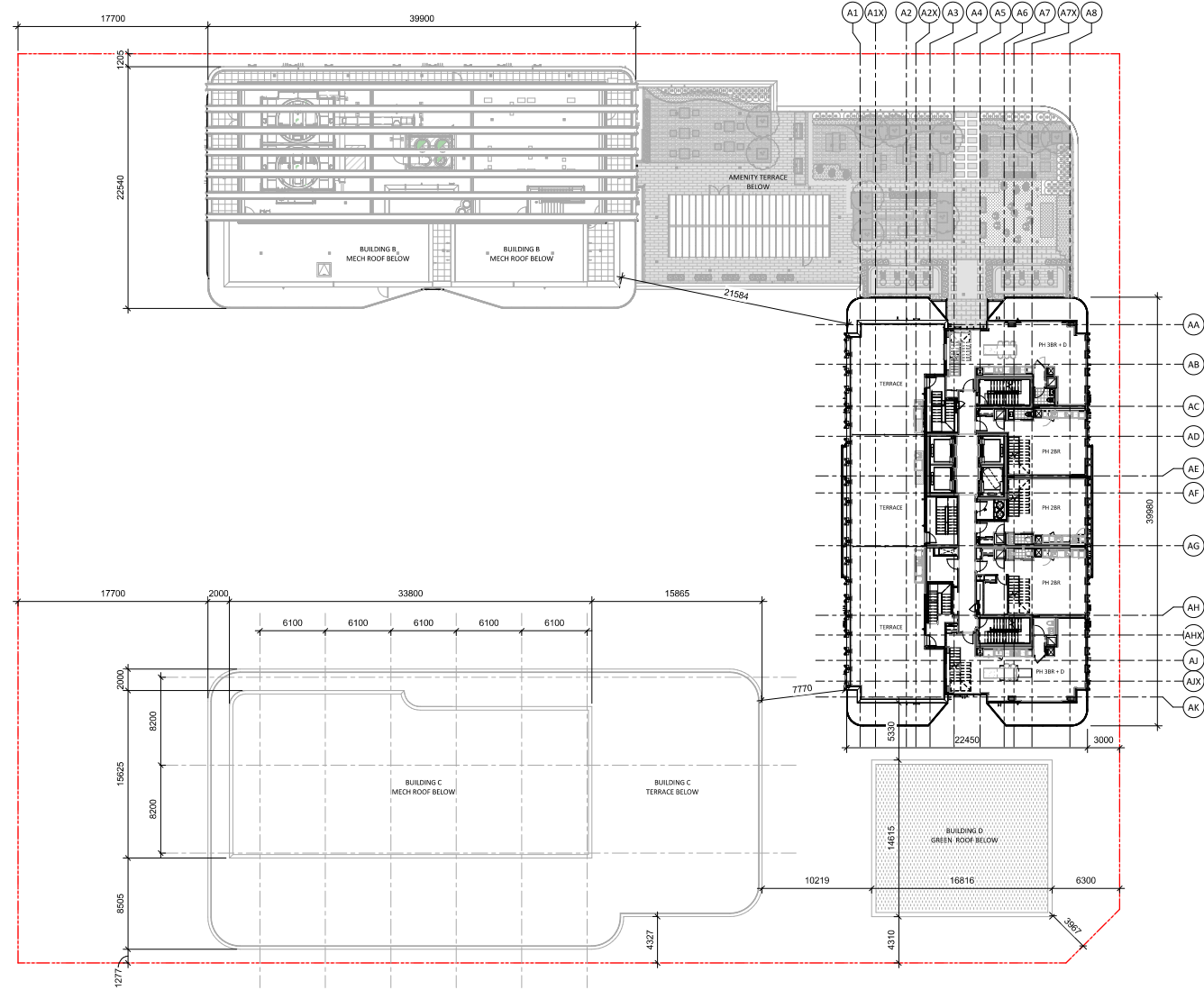
Drawing Title:
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Project number: 2021
 Scale: 1:150
 Date: 09/08/21
 Drawn / Checked by: MPA MPA
 Drawing No. _____

A2.08

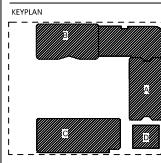
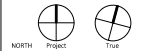
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(A) LEVEL 39



General Note

- These Contract Documents are the property of the Architect. The Architect bears no responsibility for the reproduction of these documents by the contractor. Upon written application the Architect will provide electronic copies of these documents to the contractor for their use on the project. Drawings are not to be used for construction. Contractor to verify all existing conditions and dimensions required to perform the Work and report any discrepancies with the General Contract Documents to the Architect before commencing work.
- Portions of approved or finished mechanical or electrical systems, including, but not limited to, shall be shown on the Architectural drawings. The locations shown on the Architectural drawings govern over the Mechanical and Electrical drawings. These items are clearly located and will be located or located by the contractor.



Rev.	Issue/Description	Date
M	ISSUED FOR MINOR VARIANCE APPLICATION	23-08-20
K	ISSUED FOR RFP PROGRESS	23-05-20
J	ISSUED FOR RFP PROGRESS	23-01-20
I	ISSUED FOR PROGRESS NO. 2	22-12-12
H	ISSUED FOR PROGRESS	22-10-12
G	ISSUED FOR BILLING PERMIT	22-07-12
F	ISSUED FOR TENDER NO. 2	22-07-26
E	REV ISSUED FOR BILLING PERMIT	22-05-27

Architect of Record:
HARIRI PONTARINI ARCHITECTS
 211 Colborne Avenue
 Suite 301
 Toronto, Canada M4M 2L1
 Tel: 416-429-9100
 Fax: 416-429-9104
 hariri@hpa.ca
 haririarchitects.com

Project Title:
VMC BLOCK A5

VAUGHAN, ONTARIO

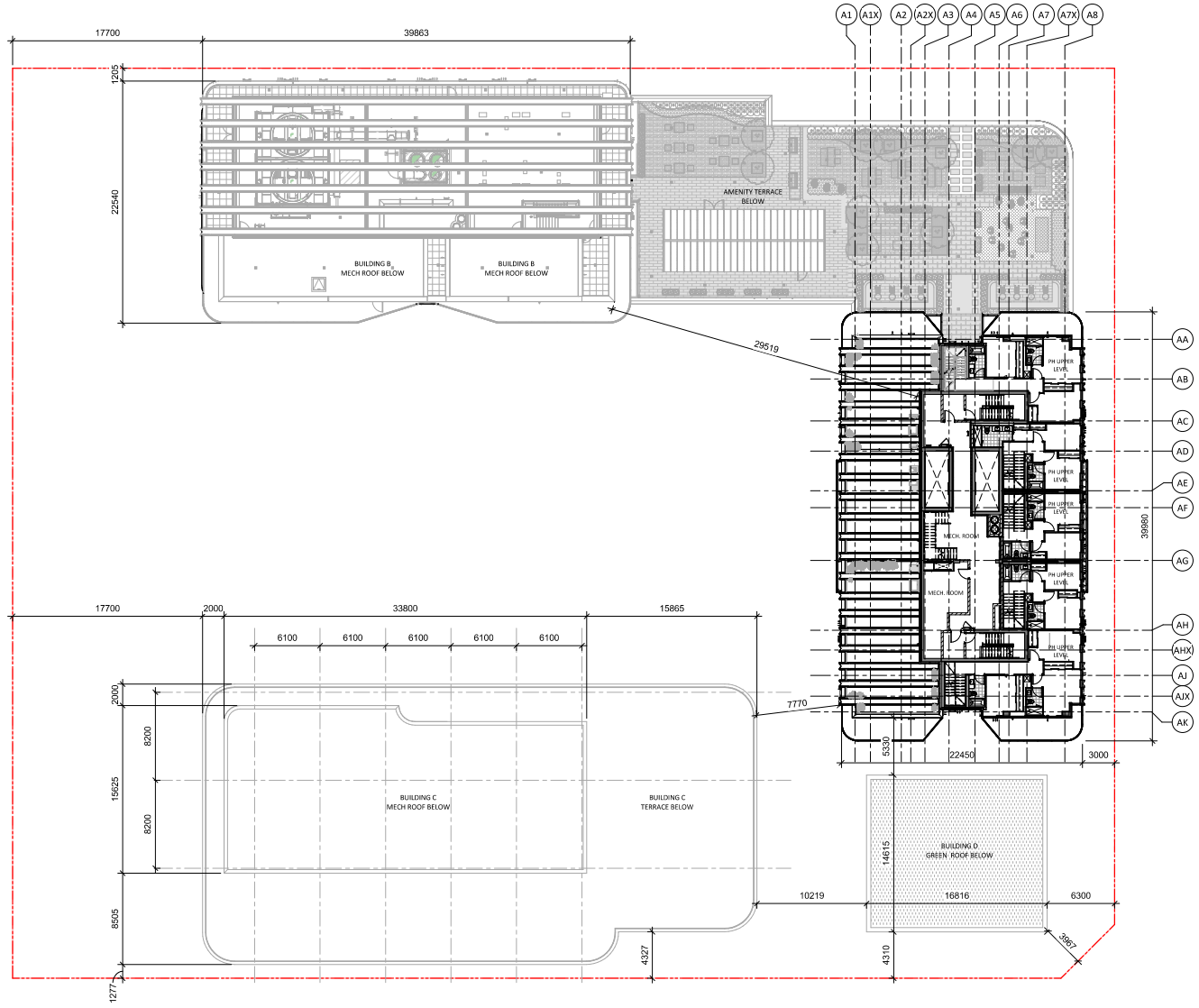
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OVERALL 39TH FLOOR PLAN

Project number: 2021
 Scale: 1 : 150
 Date: 09/08/21
 Drawn / Checked by: HPA / HPA
 Drawing No. _____

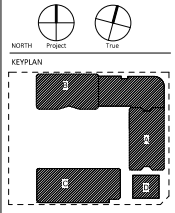
A2.08a

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(A) LEVEL 40 M.P.H.



- General Note**
- These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretation of these documents by the contractor. Upon written application the Architect will provide written clarification or supplementary information regarding the intent of the Contract Documents. The architect will not provide drawings submitted to an authority for permit applications. Drawings are not to be used for construction. Contractor to verify all existing conditions and dimensions against the General Documents to the Architect before commencing work.
 - Positions of exposed or finished mechanical or electrical services, fittings, and fixtures are indicated on the Architectural drawings. The locations shown on the Architectural drawings govern over the Mechanical and Electrical drawings. These items are clearly located and labeled as directed by the contract.



Rev.	Issue/Description	Date
M	ISSUED FOR MINOR VARIANCE APPLICATION	23-08-10
K	ISSUED FOR 90% PROGRESS	23-05-10
J	ISSUED FOR 80% PROGRESS	23-01-10
I	ISSUED FOR PROGRESS NO. 2	22-12-12
H	ISSUED FOR PROGRESS	22-10-12
G	ISSUED FOR BUILDING PERMIT	22-07-12
F	ISSUED FOR TENDER NO. 2	22-07-26
E	REV ISSUED FOR BUILDING PERMIT	22-05-27

Architect of Record:
HARIRI PONTARINI ARCHITECTS
 231 Colborne Avenue
 Suite 301
 Toronto, Canada M4M 2S1
 Tel: 416-329-9100
 Fax: 416-329-9104
 info@hpa.ca
 hpa.ca



Project Title:
VMC BLOCK A5

VAUGHAN, ONTARIO
 Drawing Title:
OVERALL 40TH M.P.H. FLOOR PLAN

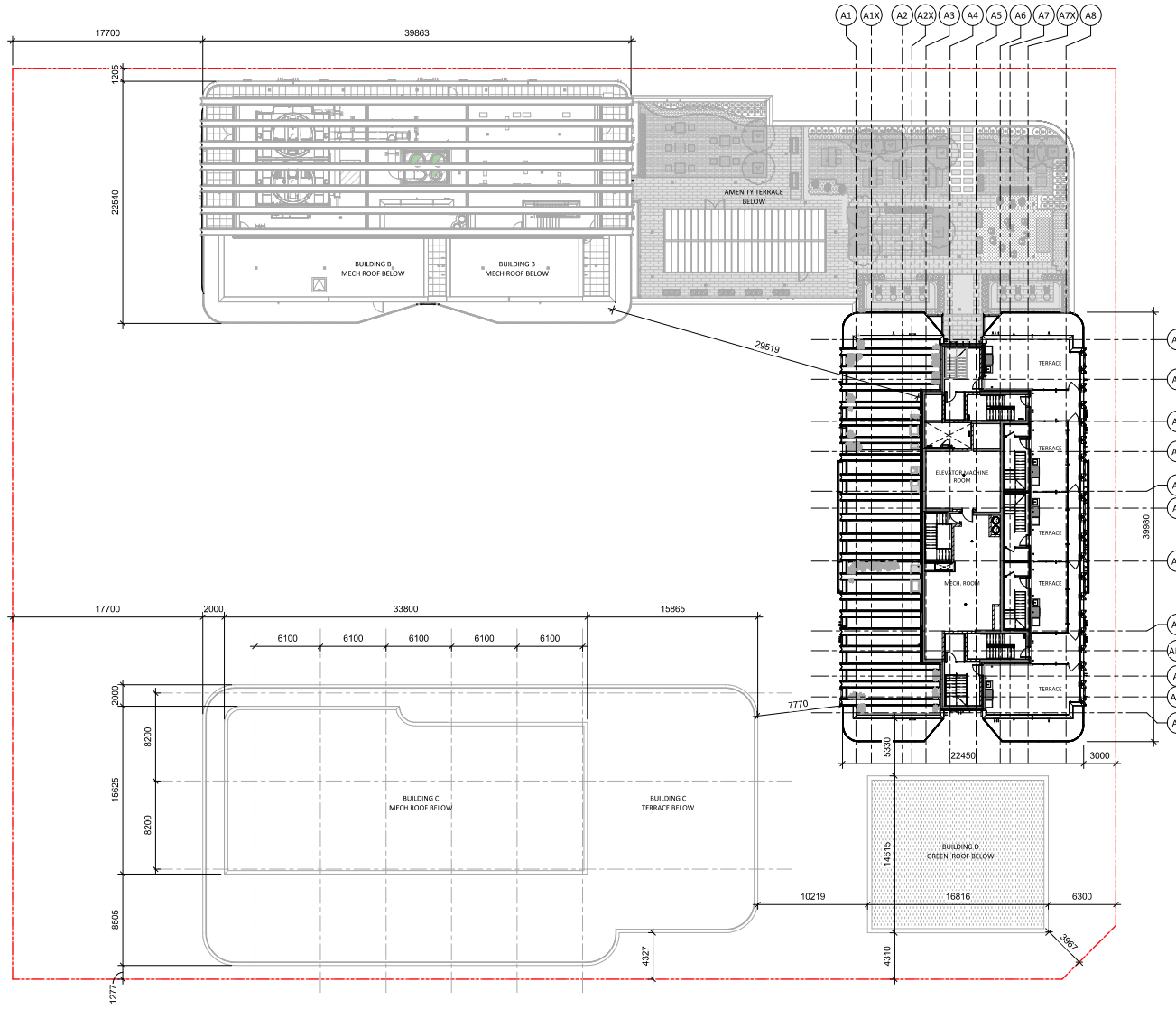
Project number: 2021
 Scale: 1:150
 Date: 09/08/21
 Drawn / Checked by: HPA HPA
 Drawing No. _____ Revision: _____

A2.08b

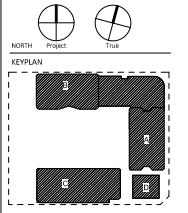


3P, 4.87 ARCHITECTURE SIZE PRINT DATE: 04/03/2021 12:25:53 PM

(A) MACHINE ROOM



- General Note**
- These Contract Documents are the property of the Architect. The Architect bears no responsibility for the reproduction of these documents by the contractor. Upon written application the Architect will provide electronic copies for the contractor's use. The contractor shall be responsible for any supplementary information regarding the terms of the Contract Documents. The contractor shall coordinate drawings submitted to the contractor for design coordination with the contractor. Drawings are not to be used for construction. Contractor to verify all existing conditions and dimensions required to perform the Work and report any discrepancies with the General Documents to the Architect before commencing work.
 - Positions of exposed or finished mechanical or electrical ductwork, piping, and fixtures are indicated on the Architectural drawings. The locations shown on the Architectural drawings govern over the Mechanical and Electrical drawings. These items are clearly located and labeled as directed by the contract.



Rev.	Issue/Description	Date
M	ISSUED FOR MINOR VARIANCE APPLICATION	23-08-10
K	ISSUED FOR RFP PROGRESS	23-05-30
J	ISSUED FOR RFP PROGRESS	23-01-30
I	ISSUED FOR PROGRESS NO. 2	22-12-12
H	ISSUED FOR PROGRESS	22-10-17
G	ISSUED FOR BILLBOARD PERMIT	22-07-21
F	ISSUED FOR TENDER NO. 2	22-07-26
E	ISSUED FOR BILLBOARD PERMIT	22-05-27

Architect of Record:
HARIRI PONTARINI ARCHITECTS
 231 Colborne Avenue
 Suite 301
 Toronto, Canada M4M 2S1
 Tel: 416-329-9100
 Fax: 416-329-9104
 info@hparch.com
 haripontarini.com

Project Title:
VMC BLOCK A5

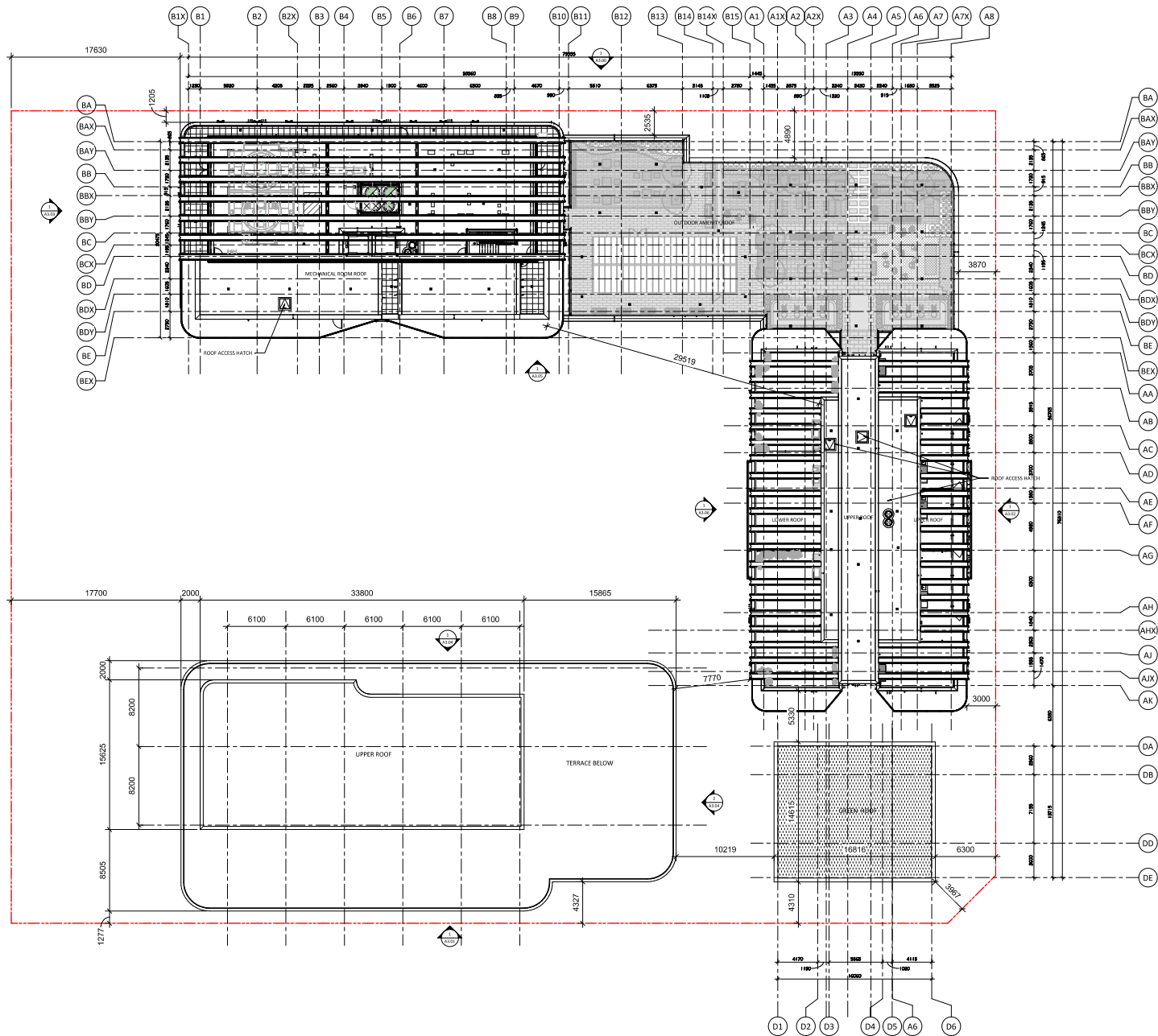
VAUGHAN, ONTARIO
 Drawing Title:
OVERALL ELEVATOR MACHINE ROOM FLOOR PLAN

Project number: 2021
 Scale: 1:150
 Date: 09/08/21
 Drawn / Checked by: MPA MPA
 Drawing No. Revision:

A2.08c

3P, 48" ARCHITECT SHEET SIZE PRINT DATE: 04/02/2021 11:29:29 AM

OVERALL ROOF PLAN



General Notes

- These Contract Documents are the property of the Architect. The Architect shall be responsible for the interpretation of these documents to the contractor. Upon written application the Architect will provide interpretations and clarifications of the Contract Documents. The Architect will not be responsible for any interpretation or clarification regarding the intent of the Contract Documents. The Architect will not be responsible for any interpretation or clarification regarding the intent of the Contract Documents. The Architect will not be responsible for any interpretation or clarification regarding the intent of the Contract Documents.
- Drawings are not to be used for construction. Contractor to verify all existing conditions and dimensions required to perform the Work and report any discrepancies with the General Contract Documents to the Architect before commencing work.
- Positions of omitted or finished mechanical or electrical systems, fixtures, and fixtures are indicated on the Architectural drawings. The locations shown on the Architectural drawings govern over the Mechanical and Electrical drawings. These items not clearly located will be located as indicated by the Architect.

KEYPLAN

FIRE RATING LEGEND - PARTITIONS

AS INDICATED ON PLANS AND SECTIONS THESE "RATING TYPES" INDICATE THE MINIMUM REQUIRED FIRE RATINGS FOR THAT PARTITION AND ALL PENETRATIONS THROUGH THE PARTITION

FRR: 0 MIN.	-----
FRR: 45 MIN.	-----
FRR: 60 MIN.	-----
FRR: 90 MIN.	-----
FRR: 120 MIN.	-----

NOTE:
FIRE RATING LISTED IS THE PERFORMANCE RATING. REFER TO THE FIRE RESISTANCE RATING DESIGNATIONS SHOWN ON THE PLAN FOR ACTUAL REQUIRED RATINGS WHICH MAY BE LESS. DOORS, FIRE DAMPERS, FIRE STOPPING AND OTHER CLLOSURES SHALL BE RATED ON THE ACTUAL REQUIRED RATINGS ONLY.

Rev.	Issue/Description	Date
M	ISSUED FOR MINOR VARIANCE APPLICATION	23-08-10
K	ISSUED FOR RFP PROGRESS	23-05-30
J	ISSUED FOR RFP PROGRESS	23-01-30
I	ISSUED FOR PROGRESS NO. 2	22-12-12
H	ISSUED FOR PROGRESS	22-10-17
G	ISSUED FOR BILLING PERMIT	22-07-21
F	ISSUED FOR TENDER NO. 2	22-07-26
E	ISSUED FOR BILLING PERMIT	22-05-27

Architect of Record:
HARIRI PONTARINI ARCHITECTS
 211 Colborne Avenue
 Suite 301
 Toronto, Canada M4M 2E1
 Tel: 416-479-4900
 Fax: 416-479-9004
 hariri@hpa.com
 haririarchitects.com

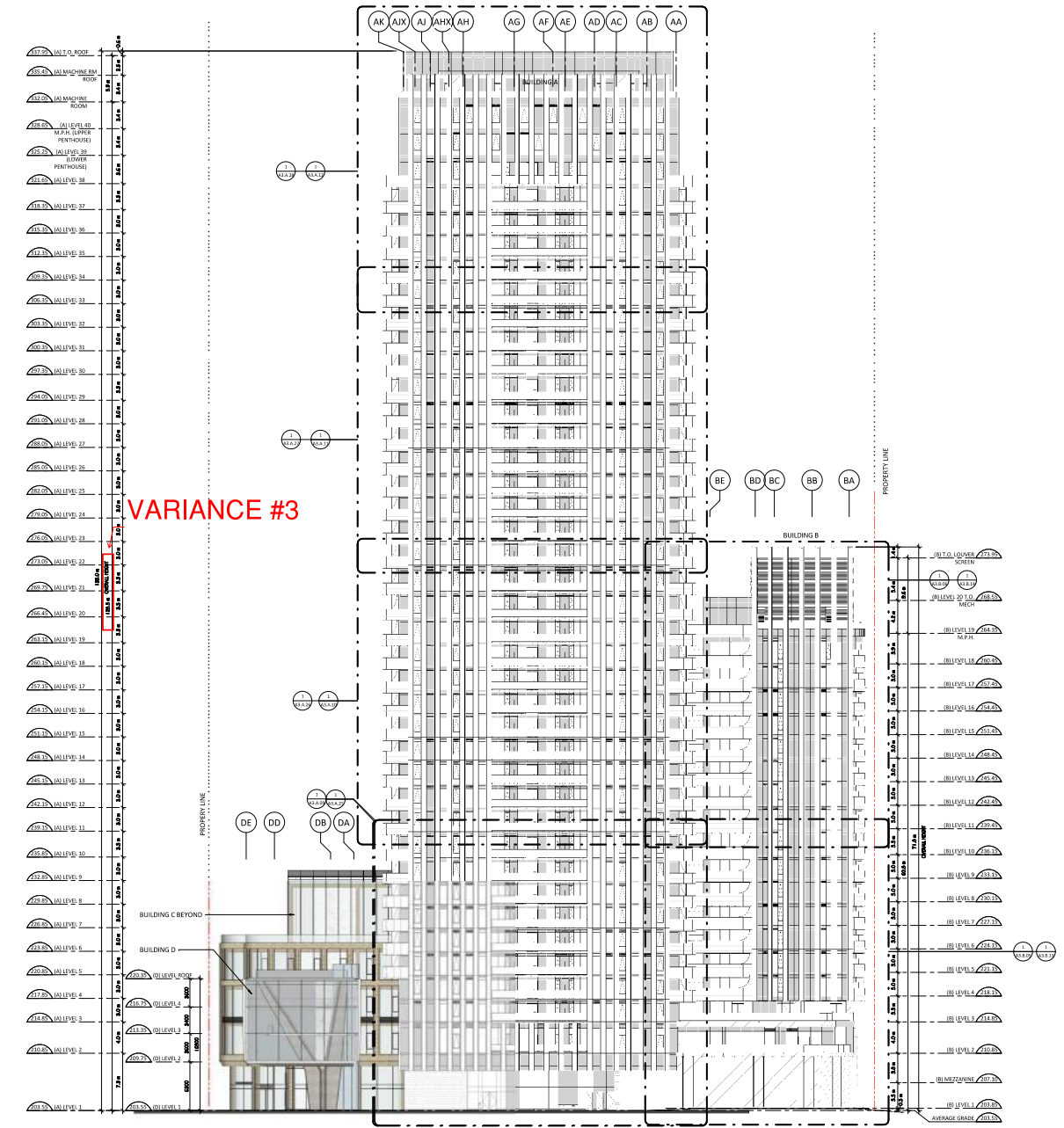
Project Title:
VMC BLOCK A5

VAUGHAN, ONTARIO
 Drawing Title:
OVERALL ROOF PLAN

Project number: 2021
 Scale: As indicated
 Date: 09/08/21
 Drawn / Checked by: MPA / MPA
 Drawing No. _____ Revision: _____

36" x 48" ARCHITECTURAL SIZE PRINT DATE: 04/20/2021 11:24:00 AM

OVERALL EAST ELEVATION - TOWER A, B, AND D



General Notes

1. These Contract Documents are the property of the Architect. The Architect bears no responsibility for the incorporation of these documents by the contractor. Upon written application the architect will provide electronic distribution of supplementary information regarding the terms of the Contract Documents. The architect will cooperate in drawings submitted by the contractor for design coordination. Drawings are not to be used for construction. Contractor to verify all existing conditions and dimensions required to perform the Work and report any discrepancies with the Contract Documents to the Architect before commencing work.
2. Portions of exposed or finished mechanical or electrical systems, fittings, and fixtures are indicated on the Architectural drawings. The locations shown on the Architectural drawings govern over the Mechanical and Electrical drawings. These items are clearly located and labeled as indicated by the contract.

NORTH

Rev.	Issue/Description	Date
M	ISSUED FOR MINOR VARIANCE APPLICATION	23-08-10
K	ISSUED FOR 90% PROGRESS	24-05-10
J	ISSUED FOR 80% PROGRESS	23-01-10
I	ISSUED FOR PROGRESS NO. 2	22-12-12
H	ISSUED FOR PROGRESS	22-10-12
G	ISSUED FOR BUILDING PERMIT	22-07-12
F	ISSUED FOR TENDER NO. 2	22-07-26
E	REV ISSUED FOR BUILDING PERMIT	22-05-27

Architect of Record:

HARIRI PONTARINI ARCHITECTS
 215 Adelaide Street
 Suite 301
 Toronto, Canada M4H 2E1
 Tel: 416-929-9100
 Fax: 416-929-9104
 hariri@hpa.com
 haripontarini.com



Project Title: VMC BLOCK A5

VAUGHAN, ONTARIO

Drawing Title:

OVERALL EAST ELEVATION - TOWER A, B, AND D

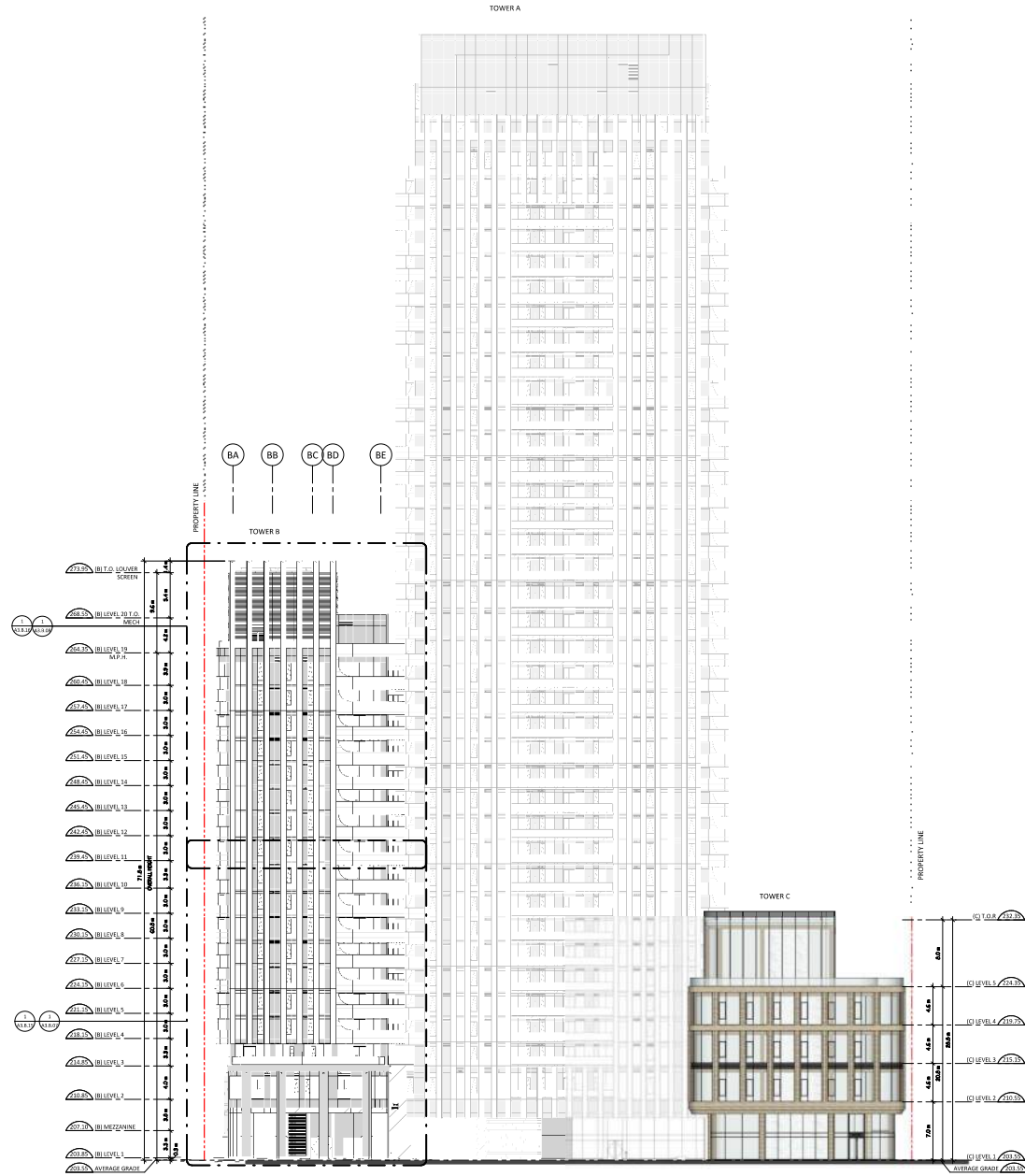
Project number: 2021
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 Date: 09/08/21
 Drawn / Checked by: HPA HPA
 Drawing No. Revision:

A3.02



36" x 48" ARCHITECTURAL SIZE PRINT DATE: 09/08/21 14:42:02 AM

OVERALL WEST ELEVATION - TOWER B AND C



General Note
NORTH

- These Contract Documents are the property of the Architect. The Architect bears no responsibility for the reproduction of these documents by the contractor. Upon written application the Architect will provide electronic digital distribution of supplementary information regarding the terms of the Contract Documents. The work here will incorporate drawings submitted by an contractor for design coordination. Drawings are not to be used for construction. Contractor to verify all existing conditions and dimensions required to perform the Work and report any discrepancies with the Contract Documents to the Architect before commencing work.
- Portions of exposed or finished mechanical or electrical systems, fittings, and fixtures are indicated on the Architectural drawings. The locations shown on the Architectural drawings govern over the Mechanical and Electrical drawings. These items are clearly located will be located as indicated by the contract.

Rev.	Issue/Description	Date
M	ISSUED FOR MINOR VARIANCE APPLICATION	23-08-10
K	ISSUED FOR 90% PROGRESS	23-05-30
J	ISSUED FOR 80% PROGRESS	22-11-30
I	ISSUED FOR PROGRESS NO. 2	22-12-12
H	ISSUED FOR PROGRESS	22-10-17
G	ISSUED FOR BUILDING PERMIT	22-07-26
F	ISSUED FOR TENDER NO. 2	22-07-26
E	REV ISSUED FOR BUILDING PERMIT	22-05-27

Architect of Record:

HARIRI PONTARINI ARCHITECTS
231 Colborne Avenue
Suite 301
Toronto, Canada M4M 2K1
Tel: 416-429-9100
Fax: 416-429-9104
info@hparch.com
haripontarini.com



Project Title:
VMC BLOCK A5

VAUGHAN, ONTARIO

Drawing Title:

OVERALL WEST ELEVATION - TOWER B AND C

Project number: 2021
Scale: 1:200
Date: 09/08/21
Drawn / Checked by: MPA MPA
Drawing No. _____

A3.03



SCHEDULE B: STAFF & AGENCY COMMENTS				
DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Ministry of Transportation (MTO) *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York *Schedule B	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra *Schedule B	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada *Schedule B	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline *Schedule B	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/no conditions
Building Standards (Zoning)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Date: September 21st 2023

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A135-23**

Related Files:

Applicant Matthew Kruger

Location 101 Edgeley Boulevard



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

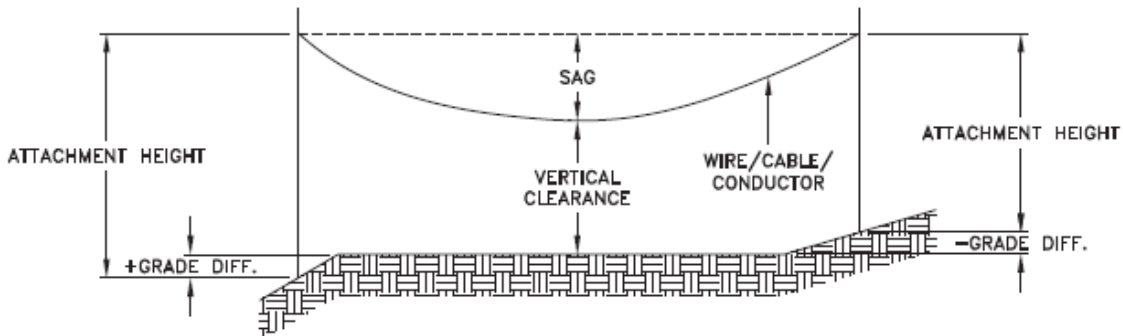
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

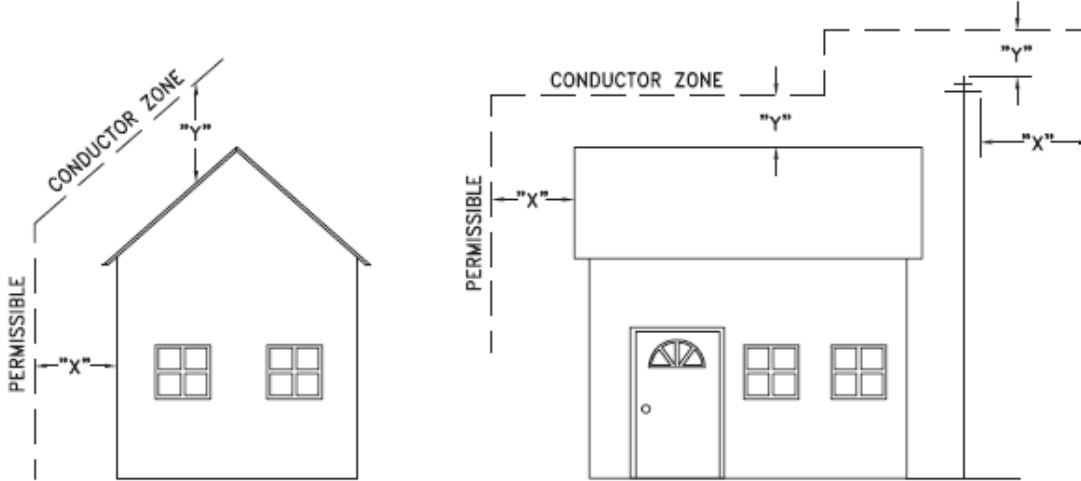
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

To: Committee of Adjustment
From: Lindsay Haviland, Building Standards Department
Date: September 11, 2023
Applicant: Matthew Kruger
Location: 101 Edgeley Boulevard
 PLAN 65R19190 Part 5,8,9,14,19
 CONC 5 Part of Lot 6
File No.(s): A135/23

Zoning Classification:

The subject lands are zoned V1 – Vaughan Metropolitan Centre Station Zone, S(5-25)-D(2.5-4.5), and subject to the provisions of Exception 14.1018 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 01-2021	Variance requested
1	This application is deemed to be Transitioned under section 1.6.3.2.1.	

The subject lands are zoned C10 – Corporate District Zone and subject to the provisions of Exception 9(1528) under Zoning By-law 1-88, as amended.

#	Zoning By-law 1-88	Variance requested
1	The minimum yard from the west lot line to any building or structure shall be 19.0 m [Exception 9(1528) ji)v)].	To permit a minimum yard of 18.7 m from the west lot line to the building.
2	The maximum gross floor area of a storey in Building B shall be 770 m ² above a building height of 14 m [Exception 9(1528) ji)vii)].	To permit a maximum gross floor area of a storey in Building B of 773.2 m ² above a building height of 14 m.
3	The maximum building height (exclusive of all mechanical equipment and architectural features) shall be 122 m for Building A [Exception 9(1528) ji)i)].	To permit a maximum building height of 128.5 m for Building A.
4	A total of 69 Short Term bicycle parking spaces are required for the development [Section 3.8.2].	To permit a minimum of 63 Short Term bicycle parking spaces.
5	A total of 293 Long Term bicycle parking spaces are required for the development [Section 3.8.2].	To permit a minimum of 283 Long Term bicycle parking spaces.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file.

Building Permit(s) Issued:

Building Permit No. 22-135091 for Excavation & Shoring - New, Issue Date: Aug 29, 2023

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
2	This review is based on the proposed lot as shown on the provided drawings. A future application for consent or plan of subdivision is required for the development.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Christina Bruce, Director of Policy Planning & Special Programs
Date: September 28, 2023
Name of Owner: Smartvmc Residences (One) Gp Inc.
Location: 101 Edgeley Boulevard
File No.(s): A135/23

By-Law Requirement(s) (By-law 001-2021):

1. This application is deemed to be Transitioned under section 1.6.3.2.1.

Proposed Variance(s) (By-law 1-88):

1. To permit a minimum yard of 18.7 m from the west lot line to the building.
2. To permit a maximum gross floor area ('GFA') of a storey in Building B of 773.2 m² above a building height of 14 m.
3. To permit a maximum building height of 128.5 m for Building A.
4. To permit a minimum of 63 Short Term bicycle parking spaces.
5. To permit a minimum of 283 Long Term bicycle parking spaces.

By-Law Requirement(s) (By-law 1-88):

1. The minimum yard from the west lot line to any building or structure shall be 19.0 m.
2. The maximum GFA of a storey in Building B shall be 770 m² above a building height of 14 m.
3. The maximum building height (exclusive of all mechanical equipment and architectural features) shall be 122 m for Building A.
4. A total of 69 Short Term bicycle parking spaces are required for the development.
5. A total of 293 Long Term bicycle parking spaces are required for the development.

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'), Volume 2: Vaughan Metropolitan Centre Secondary Plan ('VMCSP'): "Station Precinct"

Comments:

The Owner is requesting relief to permit revisions to short and long term bicycle parking provisions and to make site-specific adjustments to Buildings A, B, and C, which are part of the previously approved mixed-use development, with the above noted variances.

Official Plan Amendment Application OP.20.013 (By-law 125-2021) and Zoning By-law Amendment Application Z.20.029 (By-law 124-2021) were approved in principle by the Committee of the Whole on September 14, 2021, and the decision was ratified by Council on September 27, 2021. The approvals permitted a mixed-use development within the Vaughan Metropolitan Centre ('VMC') consisting of: 38-storey (Building A) and 18-storey (Building B) residential apartment buildings on a shared podium, a 7-storey residential building (Building C) with ground floor retail, and a standalone 4-storey commercial building (Building D) (the 'Development'). Site Development Application DA.20.052 was draft approved by Committee of the Whole on June 21, 2022, and the decision was ratified by Council on June 28, 2022.

The current Minor Variance application seeks relief to facilitate updates to the Development including:

1. Shifting a portion of the mechanical penthouse ('MPH') from Building A to an enlarged MPH in Building B as Building B is proposed to contain a District Energy System for the Development,
2. Repurposing a portion of the MPH in Building A to residential space, and
3. Replacing Building C with a new 4-storey Office Building.

The VMC Program has no objection to Variance 1 to permit a minimum yard of 18.7 m from the west lot line to Building C. The 0.3 m reduction to the minimum yard from the west lot line to Building C is not anticipated to be perceptible, is minor in nature and maintains appropriate space for safe access and maintenance.

The VMC Program has no objection to Variance 2 to increase the maximum GFA of the storeys above a building height of 14 m for Building B. The requested increase from 770 m² to 773.2 m² represents a modest increase, does not substantially impact the design of the tower as originally approved, maintains a slender high-rise tower built-form that allows for an optimal floor plan, and maintains required tower separation distances.

The VMC Program has no objection to Variance 3 to permit a maximum building height of 128.5 m for Building A. The additional height of 6.5 m results from the conversion of a portion of the MPH to 2-storey residential lofts as some mechanical functions are being relocated to Building B to facilitate a District Energy System. The Variance is appropriate within the context of adjacent existing and planned development, and in fact, the new proposed height remains within the previously approved Building A tower height envelope (which previously contained the MPH). Further, the VMCSPP provides that where 10,000 m² of office space is provided on a lot, the maximum permitted height may be exceeded by one-storey for every storey of Office uses (up to a maximum of five additional storeys). Variance 3 yields a height increase of two-storeys, and the Owner is proposing to replace Building C on the plan with a 4-storey, 4,594 m² Office building. This update ensures a comparable ratio in relation to the VMCSPP policy to support the resulting increase in height.

The VMC Program has no objection to Variances 4 and 5 for the reduction in short-term and long-term bicycle parking spaces given that the proposal has been reviewed by the Transportation Engineering Division of the Development Engineering Department and they have no concerns.

Accordingly, the VMC Program can support the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The VMC Program recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None

Comments Prepared by:

Matthew Peverini, Senior Planner – VMC Program

Prabhdeep Kaur

From: Kristen Regier <Kristen.Regier@trca.ca>
Sent: Thursday, September 21, 2023 2:18 PM
To: Committee of Adjustment
Cc: Pravina Attwala; Christine Vigneault
Subject: [External] RE: A135/23 (101 EDGELEY BLVD) - REQUEST FOR COMMENTS

Hello,

The subject property at 101 Edgeley Blvd, Vaughan is not located within TRCA's Regulated Area. TRCA's Planning and Regulatory policy interests are not impacted.

As such, TRCA has no comments on the application.

Best,

Kristen Regier, MA (she / her)

Planner I

Development Planning and Permits | Development and Engineering Services

Toronto and Region Conservation Authority (TRCA)

T: [437-880-2129](tel:437-880-2129)

E: kristen.regier@trca.ca

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca) | [trca.ca](https://www.trca.ca)



Pravina Attwala

Subject: FW: [External] RE: A135/23 (101 EDGELEY BLVD) - REQUEST FOR COMMENTS

From: Development Services <developmentsservices@york.ca>
Sent: October-10-23 5:29 PM
To: Pravina Attwala <Pravina.Attwala@vaughan.ca>
Cc: Committee of Adjustment <CofA@vaughan.ca>
Subject: [External] RE: A135/23 (101 EDGELEY BLVD) - REQUEST FOR COMMENTS

Hi Pravina,

The Regional Municipality of York has completed its review of the minor variance application – A135/23 (101 Edgeley Boulevard) and has no comment.

Please note regional comments will continue to be submitted through the associated Site Plan application (SP.20.V.0239 – DA.20.052).

Please provide us with a copy of the notice of decision for our records.

Many thanks,

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Development Services, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

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SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant				Application Cover Letter



August 10, 2023

Matthew Peverini, RPP, MCIP
Senior Planner, VMC
City of Vaughan | Planning and Growth Management Portfolio
2141 Major Mackenzie Drive
Vaughan, ON L6A 1T1

Dear Mr. Peverini:

**RE: MINOR VARIANCE APPLICATION
 101 EDGELEY BOULEVARD (Block A5)
 OP.20.013, Z.20.029, and DA.20.052
 VAUGHAN METROPOLITAN CENTRE, VAUGHAN, ON**

We are pleased to submit the enclosed Minor Variance Application for the lands municipally known as 101 Edgeley Boulevard, located within the Vaughan Metropolitan Centre (“VMC”) also referred to as Block A5 or “ArtWalk”. The site is approximately 2.2 acres in size and is located on the northwest corner of Apple Mill Road and Buttermill Avenue.

Further to our discussions, we are proud to provide further information on our changes to the design of ArtWalk, which are necessitated by the additions of both a new office (Building C) and a District Energy System.

PROPOSED MODIFICATIONS

In summary, the following changes are proposed:

- **Building A** – Addition of one new residential floors, comprising of a two-storey residential loft in place of the space previously occupied by the Mechanical Penthouse. Accordingly, the new MPH is now located on Building B;
- **Building B** – Taller Mechanical Penthouse to facilitate the District Energy System;
- **Building C** – New four storey office building, in place of previous six storey residential condominium;
- **Building D** – No changes are proposed; and
- **Underground Parkade** – One additional level of below-grade parking, resulting in an increase from two to three levels.



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We specifically note that the above noted changes, as further discussed below, do not in any way, shape, or form, change the spirit and intent of the Council approvals for the OPA & ZBA in September of 2021, and SPA in March of 2022.

Addition of Office Building

To achieve a complete community and introduce a new mix of land uses in the VMC, Building C has been changed to a new four-storey office building which was previously proposed as a residential use. Due to the change in the building use, the floor-to-floor heights have increased from 3.0m to 4.6m, along with a 7.0m Ground Floor. Additionally, the mechanical penthouse has increased from 4.5m to 8.0m resulting in an overall height decrease from 29.1m to 20.8m (excluding 8.0m MPH). The elevation design and proportion have been adjusted to accommodate office floor-to-floor height increase and floor plate modifications. The façade design language stays consistent with the approved submission in September 2021. The office floor plate proportions have been modified to 51.6m by 26.1m for an efficient office layout with minor increase of floor plate size from 1,130 sq.m. to 1,260 sq.m. In addition, the total GFA for office Building C is 4,594 sq.m. and the parking for office use will be provided on level 1 below grade.

District Energy

To promote energy efficiency and resilience for the community, a district energy system is introduced to the development. As a result, a portion of the mechanical penthouse for Building A is relocated to Building B and replaced with five family-friendly housing units. In Building A, the number of residential levels increases from 38 storeys approved in the OPA to 40 storeys while maintaining the total metric height of the building (MPH included) as 135m which is permitted in the approved ZBA. In addition, it is important to note that the approved density decreases from 5.09 FSI to 4.93 FSI.

Modifications of the Building Height/MPH

Building A: As mentioned previously, three two-bedroom units and two three-bedroom units are added on Level 39, replacing the previously proposed mechanical penthouse area. The total metric height of residential levels increases from 122.0m to 128.5m while the total building height (MPH included) remains the same as 135m approved in the Zoning By-law 124-2021.

Building B: With the relocation of the portion of MPH from Building A to Building B, the height of the MPH in Building B increases to 11.0. As a result, the total building height (MPH included) of Building B increases from 65.6m approved in the Zoning By-law 124-2021 to 71.8m.

Building C: To accommodate office use in building C, the total building height has decreased from 29.1m approved in the Zoning By-law 124-2021 to 20.8m.

Building D: No changes are proposed.



Below Grade Parking and Amenity Area(s)

The new design has added one additional below-grade parking level increasing the total number of below-grade levels from two in the approved submission in September 2021 to three levels.

These revisions have not resulted in reducing the amenity provision for residential uses. The proposed plan provides 1.6 sq.m. per unit for indoor amenity, and 2.0 sq.m. per unit for outdoor amenity, both of which is higher than the required 1 sq.m. per unit approved in the Zoning By-law 124-2021.

Unit Breakdown

The proposed development will provide 49.4% one-bedroom (280 units), 47.5% two-bedroom (271 units), and 3.1% three-bedroom units (18 units) which presents over 50% two-bedroom and three-bedroom units of the total unit count and contribute to a diverse housing stock in York Region near higher-order transit options.

Building Name	Current Residential Unit Mix							Total
	Studio	1B	1B+D	2B	2B+D	3B	3B+D	
A	2	112	37	78	140	1	2	373
B	7	117	5	36	16	15	0	196
C	0	0	0	0	0	0	0	0
D	0	0	0	0	0	0	0	0
Total	9	229	42	115	156	16	2	569
% Per Building	1.6%	40.2%	7.4%	20.2%	27.4%	2.8%	0.4%	100.0%
% Total		49.4%		47.5%		3.1%		

Summary of Requested Minor Variances

The list below summarizes the two minor adjustments to the approved Zoning By-laws that we have identified, in order to accommodate the design improvements mentioned above including the district energy design, more family-friendly units, and new office use to the site.

- **Variance No. 1:** for the maximum building height exclusive of all mechanical equipment and architectural features for Building A, the Zoning by-law 124-2021 requires maximum 122m, whereas 128.5m is proposed.
- **Variance No. 2:** for a long-term bicycle parking space required for a dwelling unit, the City of Vaughan By-law No. 001-2021 only permits location on the first or second storey below grade, whereas long-term bicycle parking spaces are proposed on the third floor below grade.

We are pleased to submit the complete architectural drawing package, which corresponds with this letter.



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SECTION 45(1) TESTS OF THE PLANNING ACT HAVE BEEN ADDRESSED

The proposed variances meet the four-part test found in Section 45(1) of the Planning Act as follows.

1. The variances maintain the general intent and purpose of the Official Plan by allowing for the lands to be developed for a high-quality mixed-use community, utilizing an efficient use of the lands and surrounding infrastructure.
2. The variances maintain the general intent and purpose of the Zoning By-law as they implement the land use permissions envisioned for the lands.
 - a. **Building Height:** Approved Zoning By-law 124-2021 permits a building height of 122m + 13m MPH, resulting in a total metric height of 135m at 38-storeys. While we are now proposing a 40-storey building at a height of 128.5m, we are maintaining the original intent of the Council approvals by remaining at the 135m height maximum, effectively leaving the approved building height unchanged, in metres. We are simply filling in the extra space, now vacated by the MPH, due to the District Energy system's re-location to Building B. The lands are now benefitting from five new family-friendly units located on Level 39.
3. The variances are appropriate and desirable as they will enable the site to be developed for high quality, new employment uses as envisioned by the City.
4. The variances are minor in nature when considering the technicality of the requested changes. Further they are minor in nature in terms of an impact perspective (i.e., there are no negative impacts anticipated, and no change to the approved metric height). The proposed development is consistent with the goals of Provincial Policy and the Official Plan to intensify lands located near transit stations and to optimize land and infrastructure.

We look forward to working with the City in the processing of this application. Should you have any questions or require additional copies of the items, please feel free to contact the SmartCentres team at the contact information provided below.

Respectfully Submitted,

SmartCentres

Matthew Kruger
Director, Development
mkruger@smartcentres.com
m. 416-797-5269

SCHEDULE D: PREVIOUS COA DECISIONS ON THE SUBJECT LAND		
File Number	Date of Decision MM/DD/YYYY	Decision Outcome
A365/05	12/08/2005	APPROVED

NOTICE OF DECISION

FILE NO: A365/05

IN THE MATTER OF Subsection 45 of the Planning Act.

IN THE MATTER OF an application by **CALLOWAY REIT (Sevenbridge) INC.**, Part of Lots 6 and 7, Concession 5 (Blocks 83, 84 and Part of Blocks 79-82 on Registered Plan No. 65M-2545. Municipally known as 101 Edgeley Boulevard, Concord).

The subject lands are zoned C10, C10-H Corporate District Zone, under By-Law 1-88 as amended and further subject to Exception 9(989).

The applicant is requesting a variance to permit the **construction of a proposed one-storey addition** to an existing one-storey commercial building, notwithstanding, the proposed changes to the existing By-Law & current By-Law requirements are as follows:

Proposal:	By-Law Requirements:
1. Minimum parking required 995 spaces.	1. Minimum parking required 1092 spaces.

A sketch is attached illustrating the request.

Other Planning act Applications

The land which is the subject in this application is also the subject of an application under the Planning act for:

- Consent Applications File **B21/99** **APPROVED – Mar. 11/99**, FILE LAPSED.
- File **B22/02** **APPROVED – Mar. 11/99. CERTIFICATES ISSUED Jul. 20/99**, lease to Walmart.
- Minor Variance File **A64/00** **FILE CLOSED- Feb. 23/05**
- Site Plan Amendment File **DA.05.036**.

Moved by: _____

Seconded by: _____

THAT the Committee is of the opinion that the variance sought can be considered minor and is desirable for the appropriate development and use of the land. The general intent and purpose of the By-law and the Official Plan will be maintained.

AND THAT Application No. **A365/05, CALLOWAY REIT (Sevenbridge) INC.**, be **APPROVED in accordance with the sketch attached**

THIS MINOR VARIANCE DECISION IS NOT A BUILDING PERMIT AUTHORIZING CONSTRUCTION UNDER THE BUILDING CODE ACT, R.S.O. 1990, AS AMENDED. A BUILDING PERMIT MAY BE REQUIRED. PLEASE CONTACT THE BUILDING STANDARDS DEPARTMENT IN THE EVENT THAT YOU REQUIRE FURTHER CLARIFICATION.

CARRIED.

CHAIR: _____

Signed by all members present who concur in this decision:

M. Mauti,
Chair,

T. DeCicco
Vice Chair,

L. Fluxgold,
Member,

D. H. Kang,
Member,

M. S. Panicali,
Member,

CERTIFICATION

I hereby certify this to be a true copy of the decision of the Committee of Adjustment, and this decision was concurred in by a majority of the members who heard this application.

Dianne E. L. Grout, A.M.C.T.,
Manager of Development Services and
Secretary-Treasurer to Committee of
Adjustment
City of Vaughan

DATE OF HEARING:
LAST DATE OF APPEAL:

DECEMBER 8, 2005
DECEMBER 28, 2005

APPEALS MUST BE RECEIVED BY THIS OFFICE NO LATER THAN 4:30P.M . ON DECEMBER 28, 2005.
NOTE:The Planning Act provides for appeals to be filed by "persons". As groups or associations, such as residents or ratepayers groups which do not have incorporated status, may not be considered "persons" for the purposes of the Act, groups wishing to appeal this decision should do so in the name of individual group members, and not in the name of the group.

**NOTE: IF ANY CONDITIONS ARE IMPOSED ON THIS APPLICATION,
THE FINAL DATE FOR FULFILLING THEM IS:
* * * DECEMBER 28, 2006 * * ***