

ITEM: 6.4	COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A116/23 53 THORNRIE DRIVE, THORNHILL
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**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES:**

*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	General Comments w/condition
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/conditions
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

PUBLIC & APPLICANT CORRESPONDENCE

*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

PREVIOUS COA DECISIONS ON THE SUBJECT LAND SUBJECT TO BY-LAW 001-2021

*Please see **Schedule D** for a copy of the Decisions listed below

File Number	Date of Decision MM/DD/YYYY	Decision Outcome
None		

ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

None	
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**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A116/23
53 THORNTRIDGE DRIVE, THORNHILL**

ITEM NUMBER: 6.4	CITY WARD #: 5
APPLICANT:	Barsam Ghalyaee
AGENT:	Manarch Design
PROPERTY:	53 Thornridge Drive, Thornhill
ZONING DESIGNATION:	See Below
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit the construction of a proposed dwelling and accessory structure (a cabana to include covered sitting area, pool bathroom / change room and backyard storage).

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R1E(EN) – First Density Residential Zone (Established Neighborhood) and subject to the provisions of Exception 14.403 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	A minimum interior side yard setback of 2.5m is required to the principal dwelling. [14.403.2.2.b]	To permit a minimum interior side yard setback of 1.68m to the principal dwelling.
2	A maximum building height of 8.5m is permitted for the principal dwelling. [4.5.1.b]	To permit a maximum building height of 10.44m for the principal dwelling.
3	A minimum interior side yard setback of 2.4m is required to the residential accessory structure. [4.1.2.1.b]	To permit a minimum interior side yard setback of 1.83m for the residential accessory structure.
4	A maximum building height of 3.0m is permitted for the residential accessory structure. [4.1.4.1]	To permit a maximum height of 4.46m for the residential accessory structure.

HEARING INFORMATION

DATE OF MEETING: Thursday, October 19, 2023
TIME: 6:00 p.m.
MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive
LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

HEARING INFORMATION

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

That the general intent and purpose of the by-law will be maintained.

That the general intent and purpose of the official plan will be maintained.

That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.

That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT COMMENTS

Date Public Notice Mailed:	October 5, 2023
Date Applicant Confirmed Posting of Sign:	October 3, 2023
Applicant Justification for Variances: *As provided by Applicant in Application Form	New detached single family dwelling and accessory structure.
Adjournment Requests (from staff): *Adjournment requests provided to applicant prior to issuance of public notice	<p>On September 27, 2023, Development Planning provided:</p> <p>Development Planning has now completed our review of the above noted Minor Variance application. Development Planning would like to reiterate the recommendation for reducing the height of the proposed cabana. We do not believe an increase to 4.46 m for the cabana is minor in nature and a reduction can be made to alleviate the massing impact on the neighbouring properties.</p> <p>Please note that Urban Design comments may be forthcoming.</p> <p>On September 28, 2023, Development Planning provided:</p> <p>Urban Design Staff reviewed the 1st circulation of the proposed development concept for the above-mentioned site and provided the following comments.</p> <p>Site Plan</p> <ol style="list-style-type: none">1. A portion of the subject lands are located within the TRCA regulation limit. Depict the TRCA boundary on the site plan and note that any construction within the TRCA regulation limit should be coordinated with City's environment staff and get approval from TRCA. <p>We secured TRCA "approval in principle" to the proposed new dwelling, accessory structure, and swimming pool in advance of developing detailed plans for city submission and have already submitted for full TRCA permit.</p> <p>Landscape and Arborist Report</p> <ol style="list-style-type: none">1. Tree #12, #13, #14, #15, #16, #17, #18, #19, #20, #21 look like located on the neighbouring property. Please confirm this first, and if they are neighbouring trees, as identified on the arborist report, they have to be removed because the foundation of the new house would damage the roots. A consent letter from the owners is required prior to the approval of this application. City needs to confirm that the neighbours acknowledge this damage to their trees and have no objection to the removal of their trees. Although the preference is for the tree removal, in discussion with the arborist we are working on a plan for the trees to remain (injury only) in case the

COMMITTEE OF ADJUSTMENT COMMENTS

	<p>neighbour objects to the removal. The owner is in the process of reaching out to the neighbour to discuss this.</p> <p>2. Further to the above, if a consent letter can NOT be acquired due to the objection of the neighbours. The applicant needs to develop strategies that cause no damage to these trees. The strategies include but are not limited to hand digging on the foundation to avoid damage to the tree roots, asking the arborist on site to supervise the process and ensure the damage can be avoided, or worst case, revising the architectural plan to increase the side yard setback to avoid damaging the trees. In these cases, the City requires an update to the arborist report by adding a section specifically talking about the preservation of these neighbouring trees and identifying how they can be preserved. Refer to comment above</p> <p>3. Tree #1, #2, #3, #7, #8, #9, #10 are located on the neighbouring properties, and City requires consent letters from both neighbours to acknowledge that there may be minor impacts on their trees and certain preservation strategies have been implemented to minimize the damage. Trees are NOT being removed.</p> <p>Architecture</p> <p>4. The height of the proposed residential accessory structure far exceeded what the By-law permitted, particularly as it is located very close to the interior side yard. Staff is concerned about the negative visual impact on the neighbouring property. If changing to a flat roof and adjusting the height to comply with the By-law is not preferred, a landscape screening should be established as the markup below to mitigate the visual appearance of this structure and minimize the visual impact. Staff suggest planting a row of columnar trees such as cedar, cypress, which have small canopy, do not require large ground space, and can grow high enough to provide screening for the structure. Provide a landscape plan to demonstrate the landscape proposal, note that it can be overlayed on the site plan. Trees 29, 30 and 31 are to remain (between structure and east lot line) and we will be adding columnar beech trees for the remaining portion of exposed wall. As for changing to a flat roof design with a lesser height, respectively I submit this will be more imposing as the wall facing the neighbour will go from 9'-2" to approximately 11' in lieu of a shallow pitched roof (12/12) that recedes away.</p> <p>On September 28, 2023, the applicant advised they wish to proceed to the October 19 hearing.</p>
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<p>Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:</p> <p>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</p> <p>*A revised submission may be required to address staff / agency comments received as part of the application review process.</p> <p>*Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</p>	<p>No</p>
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Adjournment Fees:
 In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice.

COMMITTEE OF ADJUSTMENT COMMENTS

An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff **after** the issuance of public notice.

Committee of Adjustment Comments:	Should the application require adjournment from the October 19 hearing, an Adjournment Fee is required to reschedule the application.
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Committee of Adjustment Recommended Conditions of Approval:	None
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BUILDING STANDARDS (ZONING) COMMENTS

****See Schedule B for Building Standards (Zoning) Comments**

Building Standards Recommended Conditions of Approval:	None
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DEVELOPMENT PLANNING COMMENTS

****See Schedule B for Development Planning Comments.**

Development Planning Recommended Conditions of Approval:	<ol style="list-style-type: none"> 1. That the final Landscape Plan be approved to the satisfaction of the Development Planning Department. 2. That Consent Letters from the two neighbouring properties containing trees that will be impacted by the proposed construction, be provided to the satisfaction of the Development Planning Department.
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DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#)
 [Link to Pool Permit](#)
 [Link to Curb Curt Permit](#)
 [Link Culvert Installation](#)

The Owner/Applicant shall apply for a 'Pool Grading Permit' with the Development Engineering (DE) Department. Please visit the grading permits page at City of Vaughan website to learn how to apply for the Pool Permit. If you have any question about Pool Grading Permit, please contact the Development Engineering Department through email at DEPermits@vaughan.ca

As the proposed dwelling and accessory structure in the subject property are 359.15 m² and 65.4 m², the Owner/ Applicant needs to obtain a 'Lot Grading Permit' from the Development Inspection and Lot Grading Division of the City's Development Engineering Department. Please note any in-ground structure over 10 m² requires a 'Grading Permit'. Please contact the Development Engineering Reviewer after receiving the Grading Permit to clear the condition. (Condition attached)

The Owner/Applicant shall contact Transportation and Fleet Management Services if there is any work required related to the driveway culvert. Please visit the Culvert Installation page at City of Vaughan website for more information.

The proposed work by the Owner/Applicant is increasing the lot coverage on the subject property. The added hardscape may have impacts on the City's Storm Water management system. Development Engineering strongly encourages the Owner / Applicant introduce Low-Impact Development (LID) measures (e.g., bioswales, permeable pavers, rain gardens, rain barrels etc.) to reduce the impacts to the stormwater system. Should further information be required, please contact the Development Engineering COA reviewer.

The Owner/Applicant shall apply and obtain the necessary 'Curb Cut/Reinstating Permit' through the Transportation and Fleet Management Services. Please visit the Curb Cut Permits page at the City of Vaughan website to learn how to apply for the Curb Cut/ Reinstating Permit.

Development Engineering Recommended Conditions of Approval:	<p>The Owner / Applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading Division of the City's Development Engineering Department for final Lot Grading and/or Servicing Permit prior to any work being undertaken on the property. Please visit the Grading Permit page at City of Vaughan website to learn how to apply for the Grading Permit. If you have any questions about Grading Permit, please contact the Development Engineering Department by email at DEPermits@vaughan.ca</p> <p>The Owner/Applicant shall contact the Development Inspection and Lot Grading Division of the Development Engineering Department at serviceconnections@vaughan.ca to apply for the required service connections for the severed and</p>
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DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#)
 [Link to Pool Permit](#)
 [Link to Curb Curt Permit](#)
 [Link Culvert Installation](#)

retained lands as per the City's Design Criteria Standards, which must include the submission of a servicing and lot grading plan. The Development Inspection and Lot Grading Division will provide a cost estimate for the installation of the required services to the Owner/Applicant. The Owner/Applicant shall pay all applicable fee(s) including the servicing cost estimate and administrative fees to the Development Inspection and Lot Grading Division. The Owner/Applicant shall then provide confirmation to the COA application engineering reviewer that the applicable fees have been paid.

Note: The Owner/Applicant is strongly encouraged to initiate the service connection request as early as possible to allow sufficient time to complete the service connection application process. Please be advised there is an expiry timeline for the Owner/applicant to initiate the service connection for the quoted estimate to remain valid. This will be noted by the Development Inspection and Lot Grading Division.

PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

See recommended condition below.

PFH Recommended Conditions of Approval:

Obtain a tree removal permit from the Forestry division

DEVELOPMENT FINANCE COMMENTS

That the payment of the City Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and City-wide Development Charge By-law in effect at time of payment.

That the payment of Region of York Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Regional Development Charges By-laws in effect at time of payment.

That the payment of Education Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Education Act and York Region District School Board and York Catholic District School Board Development Charges By-laws in effect at time of payment.

That the payment of applicable Area Specific Development Charges are payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Area Specific Development Charge By-laws in effect at time of payment.

Demolition development charge credits valid for a period of 48 months from date of demolition permit issuance. After 48 months, full development charges apply as per by-laws.

Development Finance Recommended Conditions of Approval:

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

No comments received to date.

BCLPS Recommended Conditions of Approval:

None

BUILDING INSPECTION (SEPTIC) COMMENTS

No comments received to date.

Building Inspection Recommended Conditions of Approval:

None

FIRE DEPARTMENT COMMENTS

No comments received to date.

FIRE DEPARTMENT COMMENTS

Fire Department Recommended Conditions of Approval:	None
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SCHEDULES TO STAFF REPORT

*See Schedule for list of correspondence

Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Staff & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Planning Michelle.perrone@vaughan.ca	<ol style="list-style-type: none"> 1. That the final Landscape Plan be approved to the satisfaction of the Development Planning Department. 2. That Consent Letters from the two neighbouring properties containing trees that will be impacted by the proposed construction, be provided to the satisfaction of the Development Planning Department.
2	Development Engineering Jonal.hall@vaughan.ca	<p>The Owner / Applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading Division of the City’s Development Engineering Department for final Lot Grading and/or Servicing Permit prior to any work being undertaken on the property. Please visit the Grading Permit page at City of Vaughan website to learn how to apply for the Grading Permit. If you have any questions about Grading Permit, please contact the Development Engineering Department by email at DEPermits@vaughan.ca</p> <p>The Owner/Applicant shall contact the Development Inspection and Lot Grading Division of the Development Engineering Department at serviceconnections@vaughan.ca to apply for the required service connections for the severed and retained lands as per the City’s Design Criteria Standards, which must include the submission of a servicing and lot grading plan. The Development Inspection and Lot Grading Division will provide a cost estimate for the installation of the required services to the Owner/Applicant. The Owner/Applicant shall pay all applicable fee(s) including the servicing cost estimate and administrative fees to the Development Inspection and Lot Grading Division. The Owner/Applicant shall then provide confirmation to the COA application engineering reviewer that the applicable fees have been paid.</p> <p>Note: The Owner/Applicant is strongly encouraged to initiate the service connection request as early as possible to allow sufficient time to complete the service connection application process. Please be advised there is an expiry timeline for the Owner/applicant to</p>

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

		initiate the service connection for the quoted estimate to remain valid. This will be noted by the Development Inspection and Lot Grading Division.
3	Parks, Forestry and Horticulture Operations zachary.quizzetti@vaughan.ca	Obtain a tree removal permit from the Forestry division
4	TRCA Kristen.Regier@trca.ca	<ol style="list-style-type: none"> 1. That the applicant provides the required fee amount of \$950.00 payable to the Toronto and Region Conservation Authority. 2. That the applicant obtains a permit for the proposed works pursuant to Ontario Regulation 166/06.

IMPORTANT INFORMATION – PLEASE READ

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City’s Development Charges By-law in effect at the time of payment.

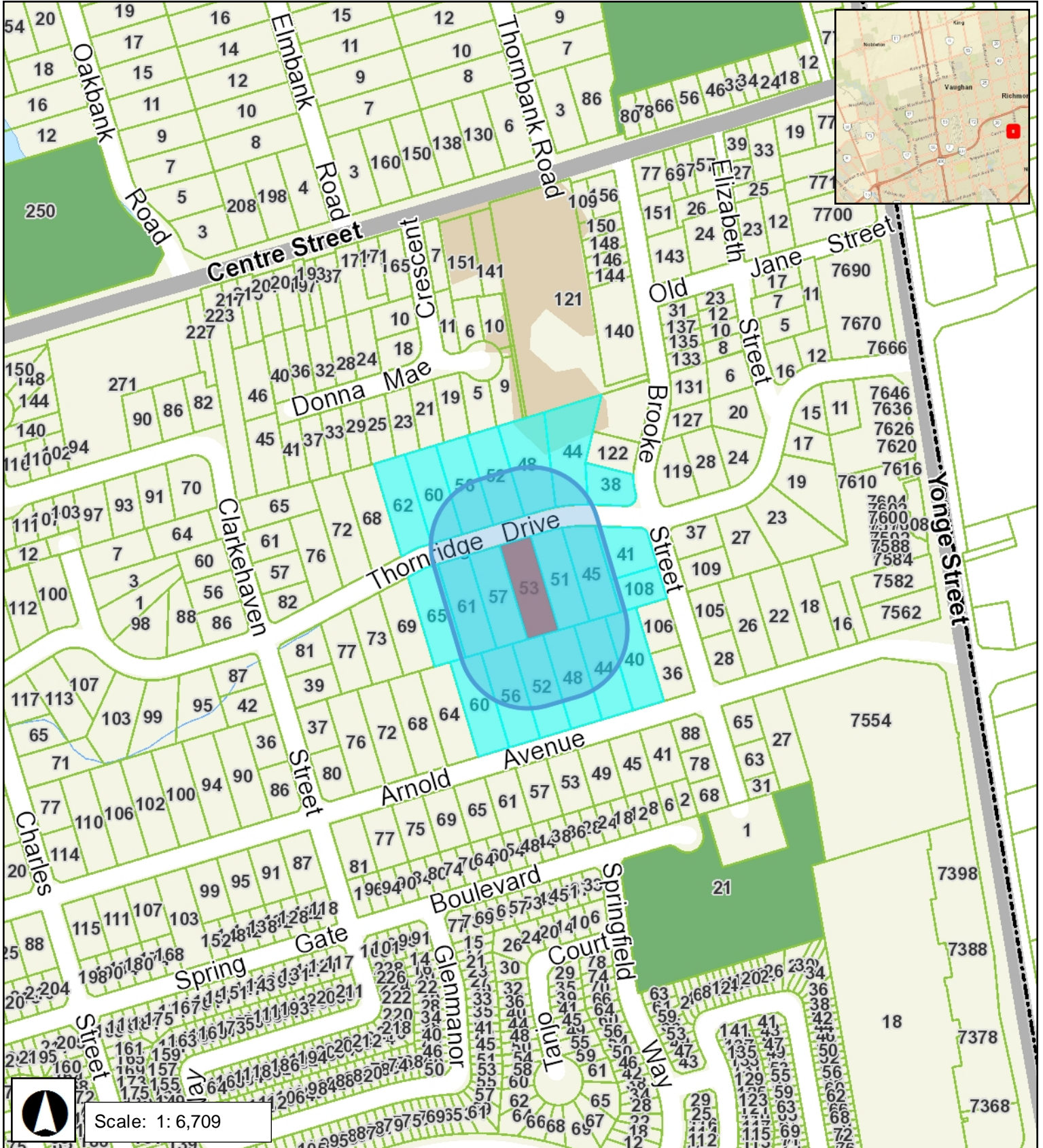
That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City’s Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS

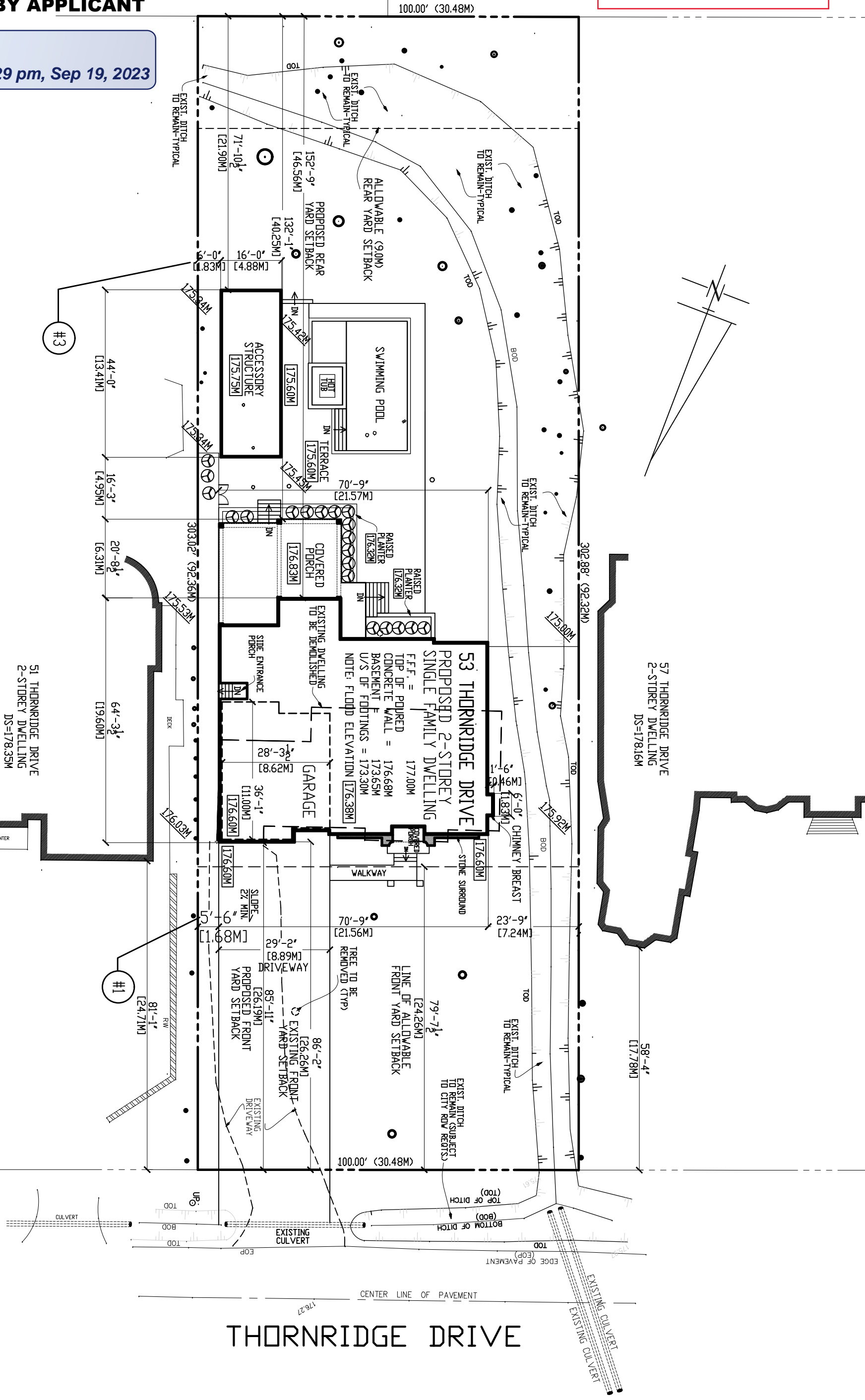
53 THORNRIDGE DRIVE, THORNHILL



PLANS PREPARED AND VARIANCES IDENTIFIED BY APPLICANT

RECEIVED

By providel at 3:29 pm, Sep 19, 2023



MD ManArch Design 1 Tedwood Court Toronto, Ont. M2B 2H9 Tel: (416) 414-2535 Website: manarch.ca Email: md@mmanarch.ca	
Firm Name and Address	Drawing: SITE PLAN
Date: REV SEPT 19, 2023	Project Name and Address: PROPOSED RESIDENCE AT 53 THORNRIDGE DRIVE THORNHILL, VAUGHAN
Scale: 1:300	Project No.: 020-22
Issue: CoFA/ZONING	A1

53 THORNRIDGE DRIVE

ZONING:	RIEKEN BYLAW 001-2021 / R1V BYLAW 1-88	
LOT AREA:	2814.44 SQ.M.	
MAX COVERAGE (20%)	562.89 SQ.M.	
EXISTING HOUSE FOOTPRINT	199.75 SQ.M.	
EXISTING GARAGE	23.22 SQ.M.	
EXISTING FIRST FL. HABITABLE SPACE	176.53 SQ.M.	
EXISTING BASEMENT	176.53 SQ.M.	
MAX. TRCA INCREASE IN HABITABLE SPACE	264.77 SQ.M.	(150%)
PROPOSED DWELLING FOOTPRINT*	359.15 SQ.M.	(INCL. GARAGES)
PROPOSED FIRST FL HABITABLE SPACE (149.9%)**	264.61 SQ.M.	
PROPOSED TOTAL SECOND FLOOR	309.79 SQ.M.	
PROPOSED SECOND FLOOR VOIDS	48.12 SQ.M.	
PROPOSED SECOND FLOOR HABITABLE SPACE (148%)**	261.67 SQ.M.	
PROPOSED GARAGES	94.54 SQ.M.	
COVERED PORCHES/PILATERS/ARCHITECTURAL FEATURES	80.20 SQ.M.	
PROPOSED BASEMENT	176.33 SQ.M.	
ACCESSORY STRUCTURE (2.3% LOT AREA)	65.40 SQ.M.	
PROPOSED GFA (HABITABLE SPACE)	526.28 SQ.M.	(EXCL. GARAGES)
PROPOSED COVERAGE (17.93%) ***	504.75 SQ.M.	

NOTES:
 * INCLUDES GARAGES
 ** % OF EXISTING FIRST FLOOR HABITABLE SPACE (TRCA)
 *** INCLUDES DWELLING, COVERED PORCHES AND ACCESSORY STRUCTURE
 **** AS PER EXISTING SETBACK

SETBACKS	ALLOWABLE	PROPOSED
FRONT	24.26M	26.19M
REAR (DWELLING)	7.50M	46.56M
REAR (COVERED PORCH)	7.50M	33.94M
SIDE (EAST)	2.50M	1.68M ****
SIDE (WEST)	2.50M	7.24M
AGGREGATE SIDEYARD SETBACKS (20%)	6.09M	8.92M
HEIGHT (ROOF PEAK)	8.50M	10.44M

FRONT YARD LANDSCAPE CALCULATION (BYLAW 1-88)

FRONT YARD AREA	815.02 sq.m.
ALLOWABLE FRONT YARD LANDSCAPING (50%)	407.51 sq.m.
ALLOWABLE FRONT YARD SOFT LANDSCAPING (60%)	244.51 sq.m.
PROPOSED DRIVEWAY	235.33 sq.m.
PROPOSED PORCH/WALKWAY	19.22 sq.m.
PROPOSED FRONT YARD LANDSCAPING	579.69 sq.m.
PROPOSED FRONT YARD SOFT LANDSCAPING	560.47 sq.m.

FRONT YARD LANDSCAPE CALCULATION (BYLAW 001-2021)

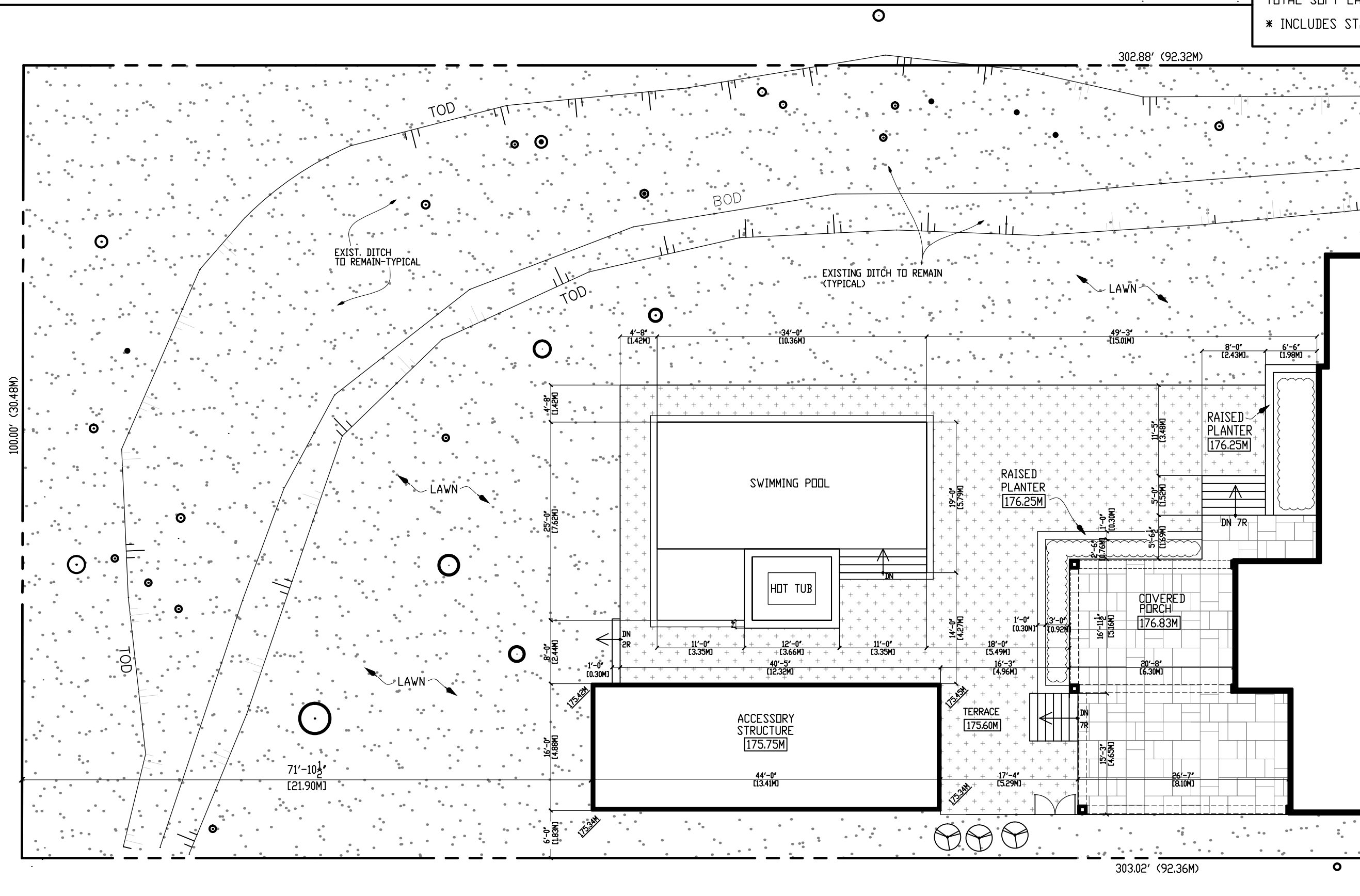
FRONT YARD AREA	815.02 sq.m.
FRONT YARD AREA LESS 135.0 SQM	680.02 sq.m.
ALLOWABLE FRONT YARD SOFT LANDSCAPING (60%)	408.01 sq.m.
PROPOSED DRIVEWAY	235.33 sq.m.
PROPOSED PORCH/WALKWAY	19.22 sq.m.
PROPOSED FRONT YARD SOFT LANDSCAPING	560.47 sq.m.

NOTE:

SURVEY INFORMATION TAKEN FROM SURVEY OF PART LOT 66 OF REGISTERED PLAN 4061 CITY OF VAUGAN AS PROVIDED BY OWNER

SITE STATISTICS

BACKYARD AREA	1496.87 SQM
COVERED PORCH*	91.14 SQM
ACCESSORY STRUCTURE	60.12 SQM
POOL/HOT TUB	73.95 SQM
TERRACE	177.75 SQM
TOTAL SOFT LANDSCAPING (73.1%)	1093.91 SQM
* INCLUDES STAIRS AND PLANTER WALLS	

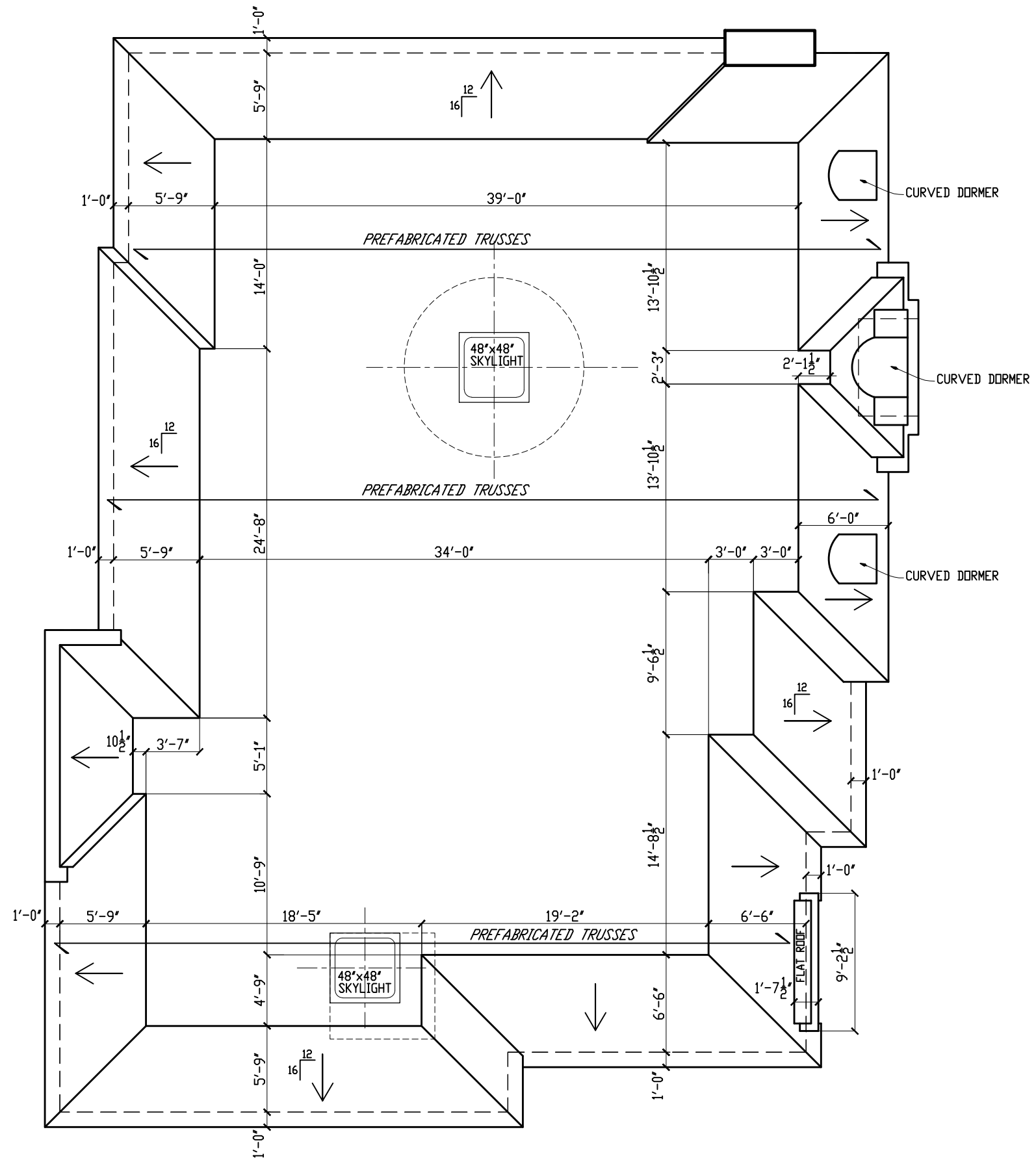


Firm Name and Address
MD ManArch Design
 1 Teakwood Grove
 Toronto, Ont. M3B 2H9
 Tel. (416) 414-2635
 Website: manarch.ca
 Email: mahir@manarch.ca

Project Name and Address
**PROPOSED RESIDENCE AT
 53 THORNRIE DRIVE
 THORNHILL, VAUGHAN**

Drawing **REAR YARD**
 Date **REV. SEPT 19, 2023**
 Scale **1:150**
 Issue **CofA/ZONING**
 Project No. **020-22**

A1a



Firm Name and Address

MD ManArch Design
 1 Teakwood Grove
 Toronto, Ont. M3B 2H9
 Tel. (416) 414-2635
 Website: manarch.ca
 Email: mahir@manarch.ca

Project Name and Address

PROPOSED RESIDENCE AT
 53 THORN RIDGE DRIVE
 THORN HILL, VAUGHAN

Drawing ROOF PLAN

Date REV SEPT 19, 2023

Scale 1:100

Issue CofA/ZONING

Project No. 020-22

A5

RECEIVED

By providel at 3:34 pm, Sep 19, 2023

A116/23



Firm Name and Address
MD ManArch Design
 1 Teakwood Grove
 Toronto, Ont. M3B 2H9
 Tel. (416) 414-2635
 Website: manarch.ca
 Email: mahir@manarch.ca

Project Name and Address
**PROPOSED RESIDENCE AT
 53 THORNRIE DRIVE
 THORNHILL, VAUGHAN**

Drawing	NORTH ELEVATION
Date	REV SEPT 19, 2023
Scale	1:100
Issue	CofA/ZONING
Project No.	020-22

A6

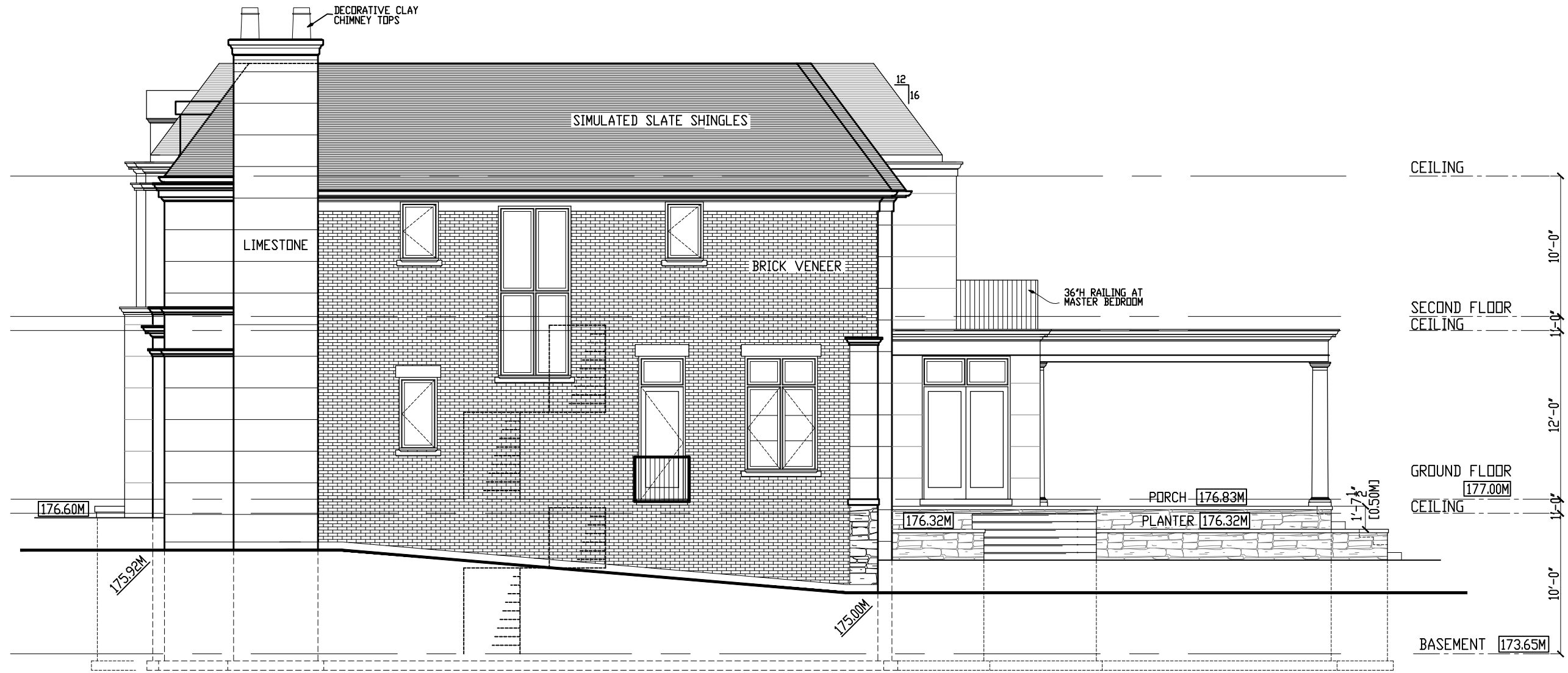
RECEIVED

By providel at 3:34 pm, Sep 19, 2023

A116/23



Firm Name and Address	
MD ManArch Design 1 Teakwood Grove Toronto, Ont. M3B 2H9 Tel. (416) 414-2635 Website: manarch.ca Email: mahir@manarch.ca	
Project Name and Address	
PROPOSED RESIDENCE AT 53 THORNRIE DRIVE THORNHILL, VAUGHAN	
Drawing	SOUTH ELEVATION
Date	REV SEPT 19, 2023
Scale	1:100
Issue	CofA/ZONING
Project No.	020-22
A7	



WEST ELEVATION

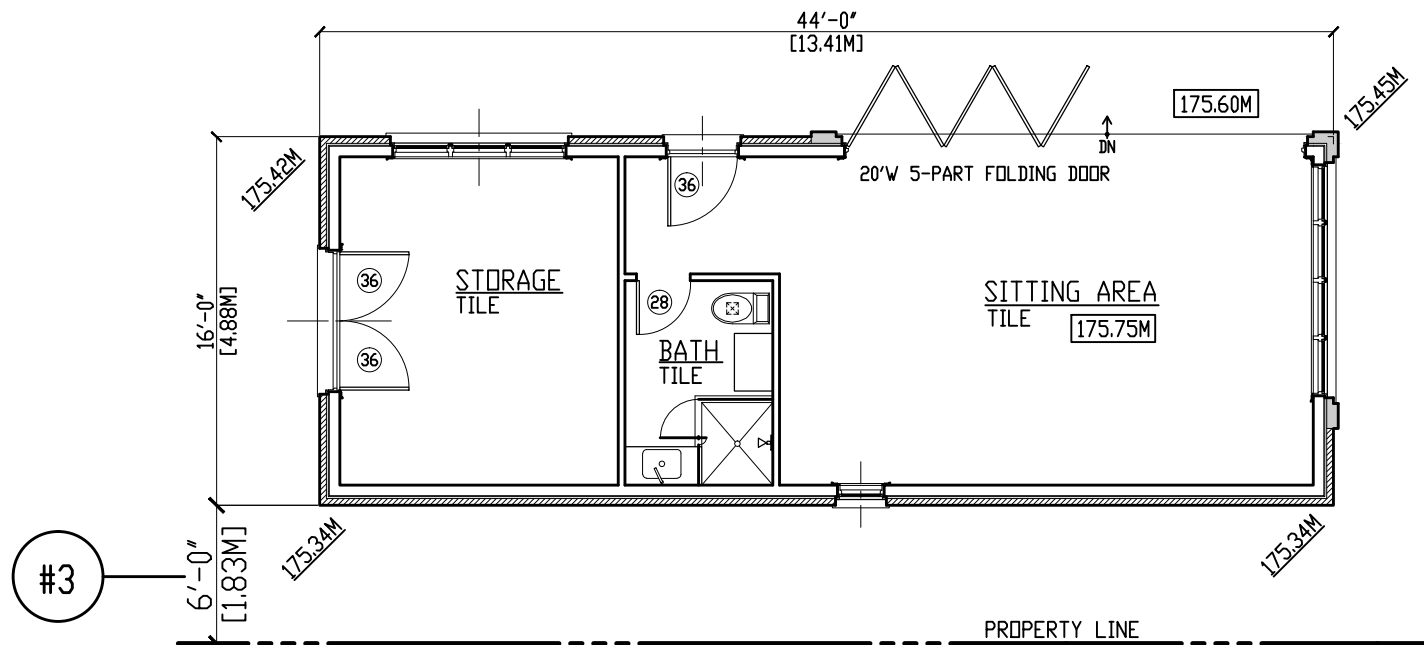
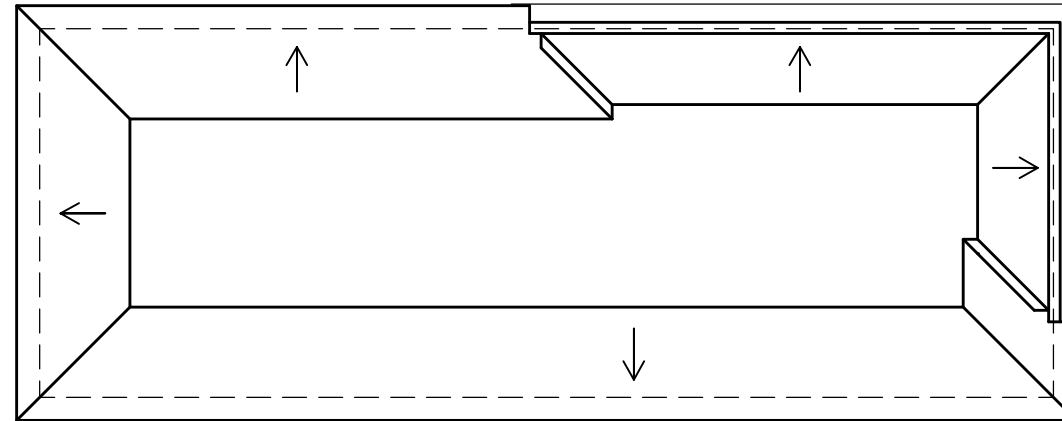
Firm Name and Address	
MD ManArch Design 1 Teakwood Grove Toronto, Ont. M3B 2H9 Tel. (416) 414-2635 Website: manarch.ca Email: mahir@manarch.ca	
Project Name and Address	
PROPOSED RESIDENCE AT 53 THORNRIE DRIVE THORNHILL, VAUGHAN	
Drawing	WEST ELEVATION
Date	REV SEPT 19, 2023
Scale	1:100
Issue	CofA/ZONING
Project No.	020-22
A9	

PLANS PREPARED AND VARIANCES IDENTIFIED BY APPLICANT

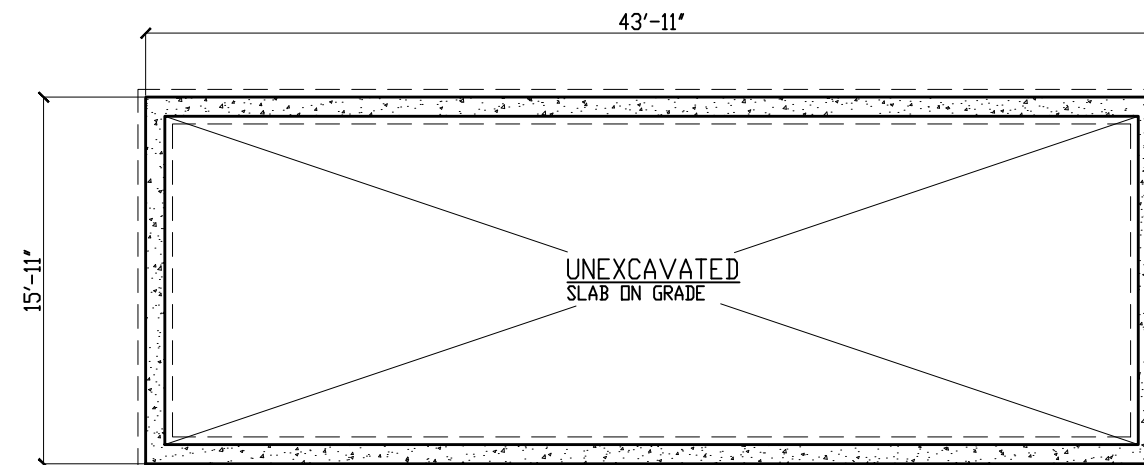
A116/23

RECEIVED

By providel at 3:34 pm, Sep 19, 2023



#3



Firm Name and Address

MD ManArch Design
 1 Teakwood Grove
 Toronto, Ont. M3B 2H9
 Tel. (416) 414-2635
 Website: manarch.ca
 Email: mahir@manarch.ca

Project Name and Address

PROPOSED RESIDENCE AT
 53 THORNRIE DRIVE
 THORNHILL, VAUGHAN

Drawing AUXILIARY STRUCTURE PLANS

Date REV SEPT 19, 2023

Scale 1:100

Issue CofA/ZONING

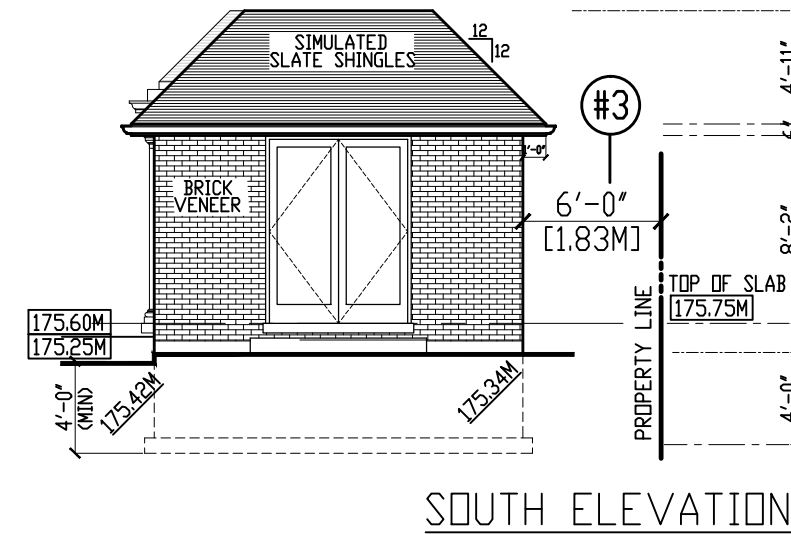
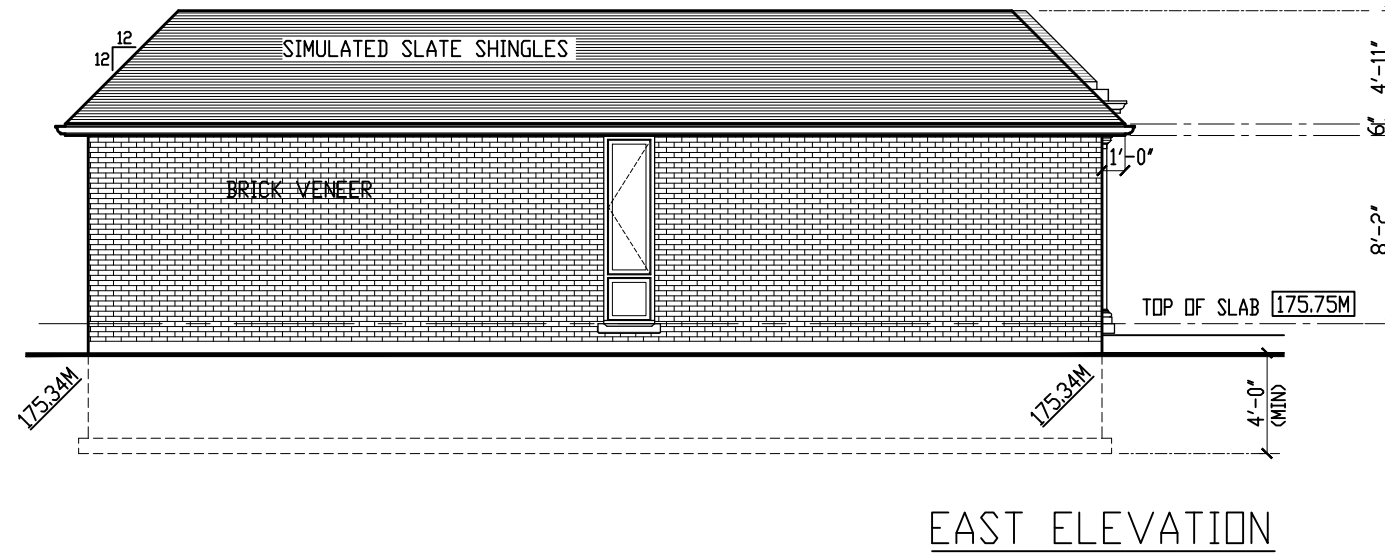
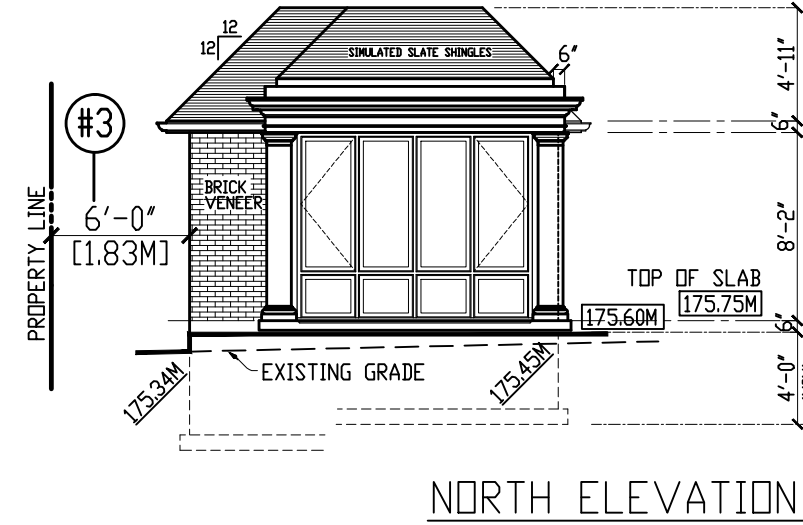
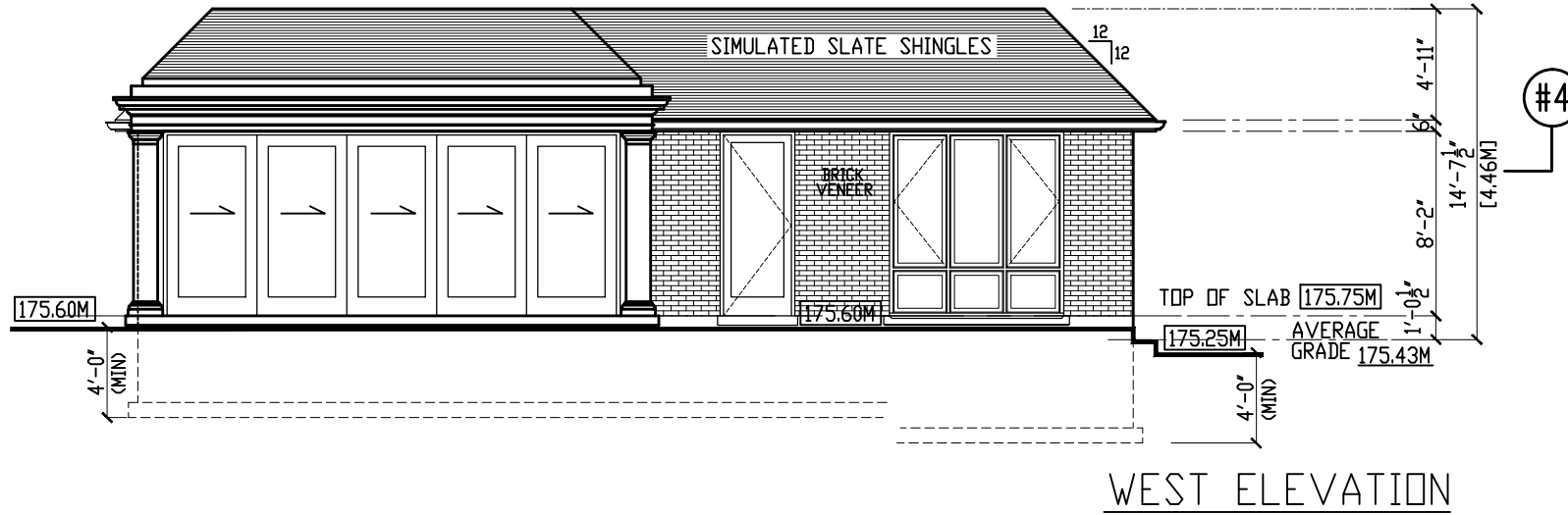
Project No. 020-22

A10

RECEIVED

By providel at 3:34 pm, Sep 19, 2023

A116/23



Firm Name and Address	
MD ManArch Design 1 Teakwood Grove Toronto, Ont. M3B 2H9 Tel. (416) 414-2635 Website: manarch.ca Email: mahir@manarch.ca	
Project Name and Address	
PROPOSED RESIDENCE AT 53 THORNRIE DRIVE THORNHILL, VAUGHAN	
Drawing	AUXILIARY STRUCTURE ELEVATIONS
Date	REV SEPT 19, 2023
Scale	1:100
Issue	CofA/ZONING
Project No.	020-22
A11	



EAST ELEVATION

Firm Name and Address	
MD ManArch Design 1 Teakwood Grove Toronto, Ont. M3B 2H9 Tel. (416) 414-2635 Website: manarch.ca Email: mahir@manarch.ca	
Project Name and Address	
PROPOSED RESIDENCE AT 53 THORNRIE DRIVE THORNHILL, VAUGHAN	
Drawing	EAST ELEVATION
Date	REV SEPT 19, 2023
Scale	1:100
Issue	CofA/ZONING
Project No.	020-22
A8	







































SCHEDULE B: STAFF & AGENCY COMMENTS				
DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend approval w/condition
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Building Standards	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend approval w/condition

Date: September 7th 2023

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A116-23**

Related Files:

Applicant Manarch Design

Location 53 Thornridge Drive



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

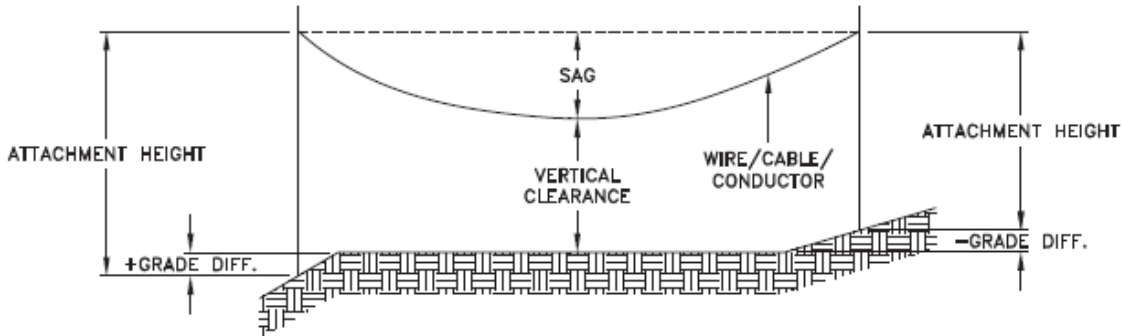
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

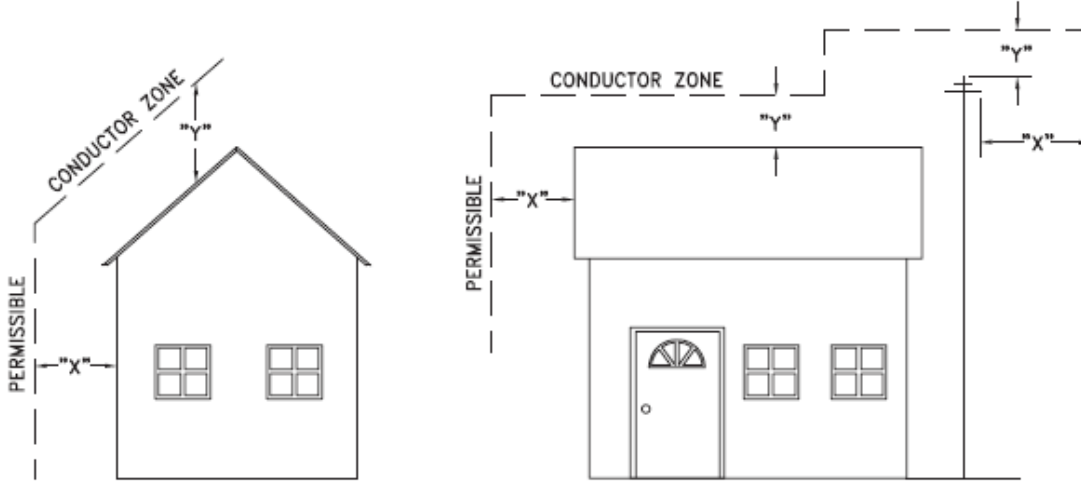
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

To: Committee of Adjustment
From: Faegheh Gholami, Building Standards Department
Date: September 19, 2023
Applicant: Manarch Design
Location: 53 Thornridge Drive
 PLAN RP4061 Lot 66
File No.(s): A116/23

Zoning Classification:

The subject lands are zoned R1E(EN) – First Density Residential Zone (Established Neighborhood) and subject to the provisions of Exception 14.403 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	A minimum interior side yard setback of 2.5m is required to the principal dwelling. [14.403.2.2.b]	To permit a minimum interior side yard setback of 1.68m to the principal dwelling.
2	A maximum building height of 8.5m is permitted for the principal dwelling. [4.5.1.b]	To permit a maximum building height of 10.44m for the principal dwelling.
3	A minimum interior side yard setback of 2.4m is required to the residential accessory structure. [4.1.2.1.b]	To permit a minimum interior side yard setback of 1.83m for the residential accessory structure.
4	A maximum building height of 3.0m is permitted for the residential accessory structure. [4.1.4.1]	To permit a maximum height of 4.46m for the residential accessory structure.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m².

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
2	The subject lands may be subject to Ontario Regulation 166/06 (TRCA - Toronto and Region Conservation Authority).
3	An enclosure to the swimming pool equipment is subject to Section 4.1. Accessory Uses Building and Structures.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

Lenore Providence

Subject: FW: [External] FW: A116/23 (53 THORNRIDGE DRIVE) - REQUEST FOR COMMENTS (REVISED BUILDING COMMENTS)

Attachments: APP_INFO_A116_23.xls; CIRC_A116_23_09_20_23.pdf

From: Proximity <proximity@cn.ca>

Sent: September-21-23 3:22 PM

To: Committee of Adjustment <CofA@vaughan.ca>

Subject: [External] FW: A116/23 (53 THORNRIDGE DRIVE) - REQUEST FOR COMMENTS (REVISED BUILDING COMMENTS)

Hello

Thank you for circulating CN the proposed project mentioned in subject. CN Rail does not have any comments concerning this application.

Best regards

CN Proximity

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development Planning
Date: October 4, 2023
Name of Owner: Barsam Ghalyaee
Location: 53 Thornridge Drive
File No.(s): A116/23

Proposed Variance(s) (By-law 001-2021):

1. To permit a minimum interior side yard setback of 1.68 m to the principal dwelling.
2. To permit a maximum building height of 10.44 m for the principal dwelling.
3. To permit a minimum interior side yard setback of 1.83 m for the residential accessory structure.
4. To permit a maximum height of 4.46 m for the residential accessory structure.

By-Law Requirement(s) (By-law 001-2021):

1. A minimum interior side yard setback of 2.5 m is required to the principal dwelling.
2. A maximum building height of 8.5 m is permitted for the principal dwelling.
3. A minimum interior side yard setback of 2.4 m is required to the residential accessory structure.
4. A maximum building height of 3.0 m is permitted for the residential accessory structure.

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Comments:

The Owner is requesting permission to demolish the existing single detached dwelling and construct a new single detached dwelling and cabana with the above noted variances.

The Development Planning Department has no objection to Variance 1, as the reduction to the interior side yard setback for the proposed detached dwelling will not pose a significant visual impact to nor impact the function of the abutting uses. The interior side yard setback of 1.68 for the proposed detached dwelling also maintains an appropriate area for access and drainage and will not impact the abutting properties.

The Development Planning Department has no objection to Variance 2, as the maximum building height of 10.44 m for the proposed dwelling is in keeping with the overall heights of the newer two storey dwellings in the area. Development Planning is of the opinion the increase in height is consistent with other approvals in the area and maintains the character of the neighbourhood.

Upon recommendations from the Development Planning Department, the Owner has shifted the cabana an additional 0.3 m from the interior lot line (1.83 m) and 1.0 m further away from the proposed detached dwelling in order to increase the space around the structure. The reduction to the interior side yard setback for the proposed cabana maintains an appropriate area for access and drainage. In addition, a proposed row of cedars along the mutual lot line shared with the property to the east will mitigate the visual impact associated with the reduction in interior yard setback and the increased height of the cabana. Condition 1 is requested to better clarify the size/placement of the cedar trees. As such, Development Planning has no objection to Variances 3 and 4 for the proposed cabana, as the massing impact to the surrounding rear yards are anticipated to be minimal.

The Owner submitted an Arborist Report by Whiteside Tree & Garden Inc., dated June 18, 2023. The report inventoried 63 trees, of which 25 are proposed to be removed. Of these 25 trees, an equivalent of 34 trees are required to be replanted on site. Urban

Design staff have reviewed the report and recommend planting as many trees as possible on the site to compensate.

Accordingly, the Development Planning Department can support the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

1. That the final Landscape Plan be approved to the satisfaction of the Development Planning Department.
2. That Consent Letters from the two neighbouring properties containing trees that will be impacted by the proposed construction, be provided to the satisfaction of the Development Planning Department.

Comments Prepared by:

Michelle Perrone, Planner 1
David Harding, Senior Planner

October 10, 2023

CFN 68446.34
X-Ref: CFN 66388.10

SENT BY E-MAIL: Christine.Vigneault@vaughan.ca

Christine Vigneault
Secretary Treasurer
Committee of Adjustment
City of Vaughan
2141 Major Mackenzie Drive
Vaughan, Ontario L6A 1T1

Dear Christine:

Re: Minor Variance Application A116.23
53 Thornridge Drive
PLAN RP4061 Lot 66
City of Vaughan, Region of York
Applicant: Manarch Design

This letter acknowledges receipt of the above-noted application circulated by the City of Vaughan. The materials were received by Toronto and Region Conservation Authority (TRCA) on September 21, 2023. TRCA staff have reviewed the application and offer the following comments for the consideration of the Committee of Adjustment.

Purpose of the Application

It is our understanding that the purpose of the above noted application is to request the following variances under By-Law 001-2021:

By-Law 001-2021:

- To permit a minimum interior side yard setback of 1.68 metres to the principal dwelling, whereas a minimum interior side yard setback of 2.5 metres is required to the principal dwelling.
- To permit a maximum building height of 10.44 metres for the principal dwelling, whereas a maximum building height of 8.5 metres is permitted for the principal dwelling.
- To permit a minimum interior side yard setback of 1.83 metres for the residential accessory structure, whereas a minimum interior side yard setback of 2.4 metres is required to the residential accessory structure.
- To permit a maximum height of 3.85 metres for the residential accessory structure, whereas a maximum building height of 3.0 metres is permitted for the residential accessory structure.

The noted variances are being requested to facilitate the construction of a 2-storey replacement dwelling, accessory structure, pool, deck, and associated landscaping.

Ontario Regulation 166/06

The subject property is located within TRCA's Regulated Area due to the Regional Storm flood plain associated with a tributary of the Don River. In accordance with Ontario Regulation 166/06 (Regulation of Development, Interference with Wetlands and Alterations to Shorelines and Watercourses), development, interference or alteration may be permitted in the Regulated Area where it can be demonstrated to TRCA's satisfaction that the control of flooding, erosion, dynamic beaches, pollution, or the conservation of land will not be affected.

Background

The subject property at 53 Thornridge Drive is currently developed with a two-storey single detached dwelling on the central portion of the site. The site is located entirely within the Regional Storm flood plain. Based on TRCA's current engineered flood plain mapping and modelling, the Regional Storm floodplain reaches an elevation ranging from 175.4 metres above sea level (masl) at the southern boundary of the site to 176.38 masl at the northern boundary of the site.

Based on the depth and velocity of flood waters that are expected during a Regional Storm event, the west side of the property is within a high-risk area of the Don River flood plain, also called the hydraulic floodway.

TRCA staff have been involved with reviewing a concept development application for the site. The application was submitted by the current owner to determine the feasibility of constructing a replacement dwelling on the subject property.

TRCA staff provided comments on a Concept Development Application for the subject property on December 19, 2022, noting that the dwelling envelope should be located towards the east boundary of the lot (approximately where the current east wall is located) to be located outside of the hydraulic floodway and identified TRCA floodproofing requirements.

Application-Specific Comments

TRCA policy requires all development to be located outside of the hydraulic floodway. Based on a review of the plans submitted with this application, the proposed replacement dwelling is located approximately in line with the current east wall. TRCA staff are satisfied that the proposed location is outside of the hydraulic floodway. As such, TRCA has no concerns with the proposed variances.

A permit pursuant to Ontario Regulation 166/06 is required for the proposed works. TRCA is currently reviewing a permit application submitted by the applicant.

Fees

By copy of this letter, the applicant is advised that the TRCA has implemented a fee schedule for our planning application review services. This application is subject to a \$950.00 (Minor Variance – Residential - Standard) review fee. The applicant is responsible for fee payment and should forward the application fee to this office as soon as possible.

Recommendations

Based on the comments noted above, TRCA staff recommend **no objection** to the approval of Minor Variance Application A116/23 subject to the following conditions:

1. That the applicant provides the required fee amount of \$950.00 payable to the Toronto and Region Conservation Authority.
2. That the applicant obtains a permit for the proposed works pursuant to Ontario Regulation 166/06.

We trust these comments are of assistance. Should you have any questions, please contact me at 437-880-2129 or at Kristen.regier@trca.ca

Sincerely,

Kristen Regier

Kristen Regier
Planner I
Development Planning and Permits

KR/sb

Prabhdeep Kaur

From: Development Services <developmentservices@york.ca>
Sent: Tuesday, October 3, 2023 11:24 AM
To: Pravina Attwala
Cc: Committee of Adjustment
Subject: [External] RE: A116/23 (53 THORNTRIDGE DRIVE) - REQUEST FOR COMMENTS (REVISED BUILDING COMMENTS)

Hi Pravina,

The Regional Municipality of York has completed its review of the updated minor variance application – A116/23 (53 Thornridge Drive) and has no comment.

Please provide us with a copy of the notice of decision for our records.

Many thanks,

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Development Services, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
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Our Values: Integrity, Commitment, Accountability, Respect, Excellence



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SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

None