

ITEM: 6.17	COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A270/22 68 CEDARPOINT COURT, MAPLE
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**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES:**

*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

PUBLIC & APPLICANT CORRESPONDENCE

*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Public	Andrew Lazer	22 Cedarpoint Court		Letter of Support
Public	Bryan Demsky	62 Cedarpoint Court		Letter of Support
Public	Shayne Kane	68 Cedarpoint Court		Letter of Support

PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

File Number	Date of Decision MM/DD/YYYY	Decision Outcome
None		

ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

None	
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**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A270/22
68 CEDARPOINT CT, MAPLE**

ITEM NUMBER: 6.17	CITY WARD #: 4
APPLICANT:	Limore Zisckind & Isaac Zisckind
AGENT:	Joe Barbarino
PROPERTY:	68 Cedarpoint Court, Maple
ZONING DESIGNATION:	See Below
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	City of Vaughan Official Plan 2010 ('VOP 2010'): "Oak Ridges Moraine Settlement Area" by Schedule 4 – Oak Ridges Moraine Conservation Plan & Greenbelt Plan Areas and "Low-Rise Residential" and "Natural Areas" by Schedule 13 – Land Use
RELATED DEVELOPMENT APPLICATIONS:	Minor Variance A208/17 approved July 6, 2017 - interior side yard setback 0.6 to a/c & pool equipment; interior side yard setback to gazebo 0.9m; rear yard setback to gazebo 1.2m
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit a cabana, retaining wall and reduced rear yard landscaping requirements.

The following variances are being requested from the City's Zoning By-law to accommodate the above proposal:

The subject lands are zoned R3, Third Density Residential Zone, and subject to the provisions of Exception 14.915 under Zoning By-law 001-2021.

#	Zoning By-law 001-2021	Variance requested
1	A minimum interior side yard setback of 2.4 m required for a residential accessory structure (cabana). [Section 4.1.2]	To permit a minimum easterly interior side yard setback of 1.0 m for a residential accessory structure (cabana).
2	A minimum rear yard setback of 2.4 m is required for a residential accessory structure (cabana). [Section 4.1.2]	To permit a minimum rear yard setback of 2.0 m for a residential accessory structure (cabana).
3	A retaining wall shall be setback an equal distance to the height (1.14 m) of the highest portion of the retaining wall. [Table 4-1]	To permit a minimum southwesterly interior side yard setback of 0.99 m for a retaining wall with a height of 1.14 m.
4	A retaining wall shall be setback an equal distance to the height (1.14 m) of the highest portion of the retaining wall. [Table 4-1]	To permit a minimum rear yard setback of 0.95 m for a retaining wall with a height of 1.14 m.
5	Any portion of a yard in excess of 135 m ² shall be comprised of 60% (113.86 m ²) soft landscape. [Section 4.19.1.1 and Section 3, Definitions]	To permit a minimum of 47% (88.7 m ²) of the portion of a rear yard in excess of 135 m ² to be comprised of soft landscape.
6	A maximum height of 3.0 m is permitted for a residential accessory structure (cabana). [4.1.4, 1]	To permit a residential accessory structure (cabana) with a height of 3.23 m.

HEARING INFORMATION

DATE OF MEETING: Thursday, October 19, 2023
TIME: 6:00 p.m.
MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive
LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

HEARING INFORMATION

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT COMMENTS

Date Public Notice Mailed:	October 5, 2023
Date Applicant Confirmed Posting of Sign:	September 21, 2023
Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small>	To provide the ongoing use of an existing pool cabana. To provide relief from the min. lot coverage for soft scape and hardscape.
Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	None
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice. *A revised submission may be required to address staff / agency comments received as part of the application review process. *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>	No
Adjournment Fees: In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice. An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice.	
Committee of Adjustment Comments:	None
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING) COMMENTS

****See Schedule B for Building Standards (Zoning) Comments**

Building Standards Recommended Conditions of Approval:	None
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DEVELOPMENT PLANNING COMMENTS

**See Schedule B for Development Planning Comments.

Development Planning Recommended Conditions of Approval:	None
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DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

The owner/ applicant needs to obtain a lot grading permit from Development Inspection and Lot Grading division of the City's Development Engineering Department. Please note any in ground structure over 10 m2 requires a grading permit. Please contact COA application engineering reviewer after receiving the grading permit to clear the condition. (Condition attached)

The Owner/applicant shall apply for a pool permit with the Development Engineering (DE) Department. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the pool permit link provided above to learn how to apply for the pool permit.

The Development Engineering (DE) Department does not object to the variance application A270/22, subject to the following condition:

Development Engineering Recommended Conditions of Approval:	The Owner/applicant shall submit a Lot Grading plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.
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PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

Forestry has no comment.

PFH Recommended Conditions of Approval:	None
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DEVELOPMENT FINANCE COMMENTS

No comment no concerns

Development Finance Recommended Conditions of Approval:	None
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BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

No Comments Received to Date

BCLPS Recommended Conditions of Approval:	None
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BUILDING INSPECTION (SEPTIC) COMMENTS

No Comments Received to Date

Building Inspection Recommended Conditions of Approval:	None
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FIRE DEPARTMENT COMMENTS

No Comments Received to Date

Fire Department Recommended Conditions of Approval:	None
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SCHEDULES TO STAFF REPORT

*See Schedule for list of correspondence

Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Staff & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

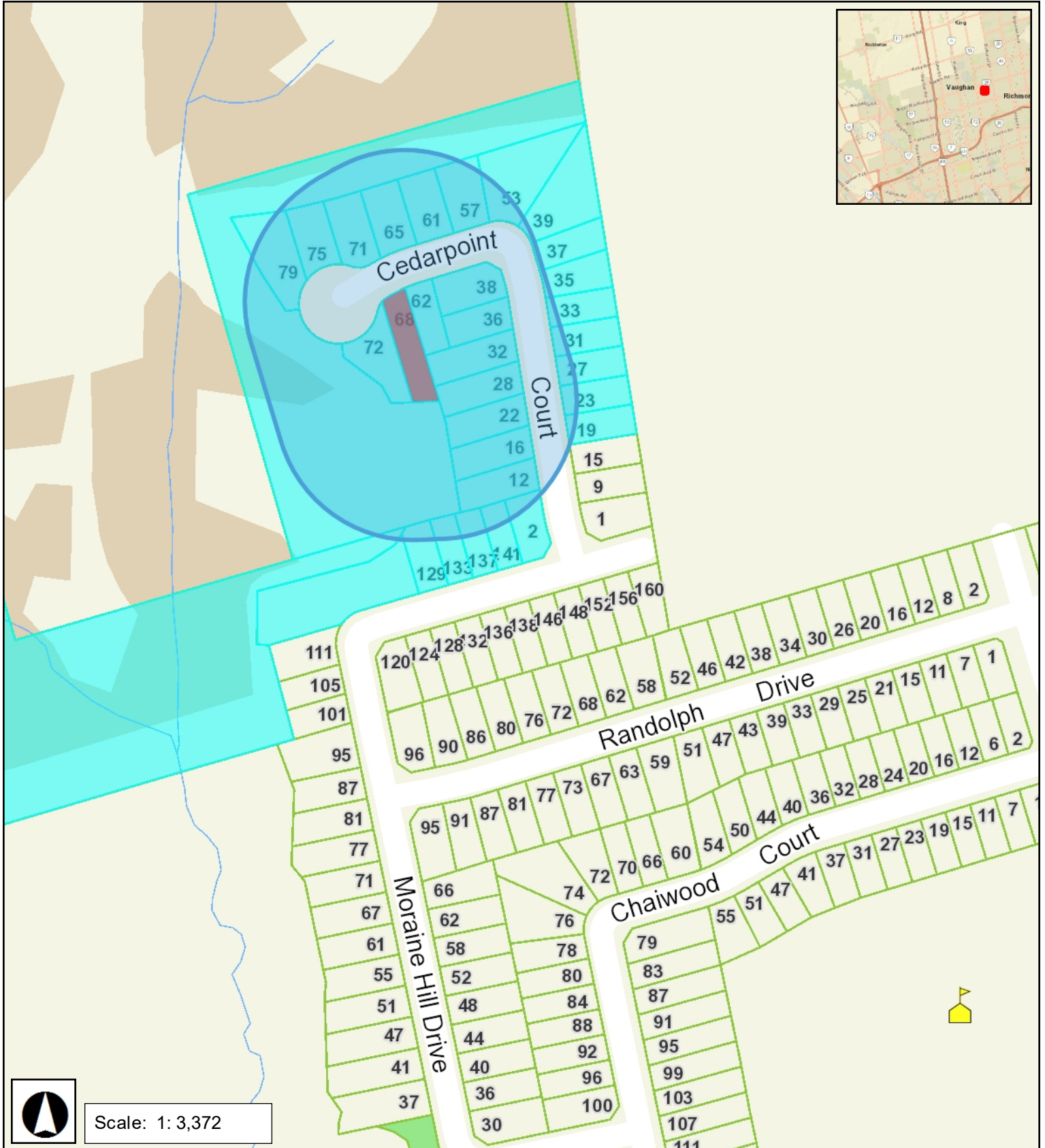
Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL		
All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “ if required ”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.		
#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Engineering Jonal.hall@vaughan.ca	The Owner/applicant shall submit a Lot Grading plan to the Development Inspection and Lot Grading division of the City’s Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.
2	TRCA Kristen.Regier@trca.ca	That the applicant provides the required fee amount of \$660.00 payable to the Toronto and Region Conservation Authority.

IMPORTANT INFORMATION – PLEASE READ
<p>CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (see condition chart above for contact). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.</p>
<p>APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.</p> <p>An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.</p> <p>A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.</p> <p>Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.</p> <p>Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.</p>
<p>DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City’s Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment</p> <p>That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City’s Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.</p>
<p>NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will not receive notice.</p>

SCHEDULE A: DRAWINGS & PLANS

68 Cedarpoint Court, Maple

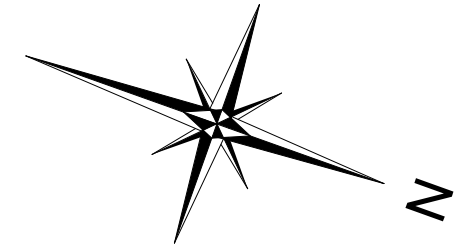


Scale: 1: 3,372

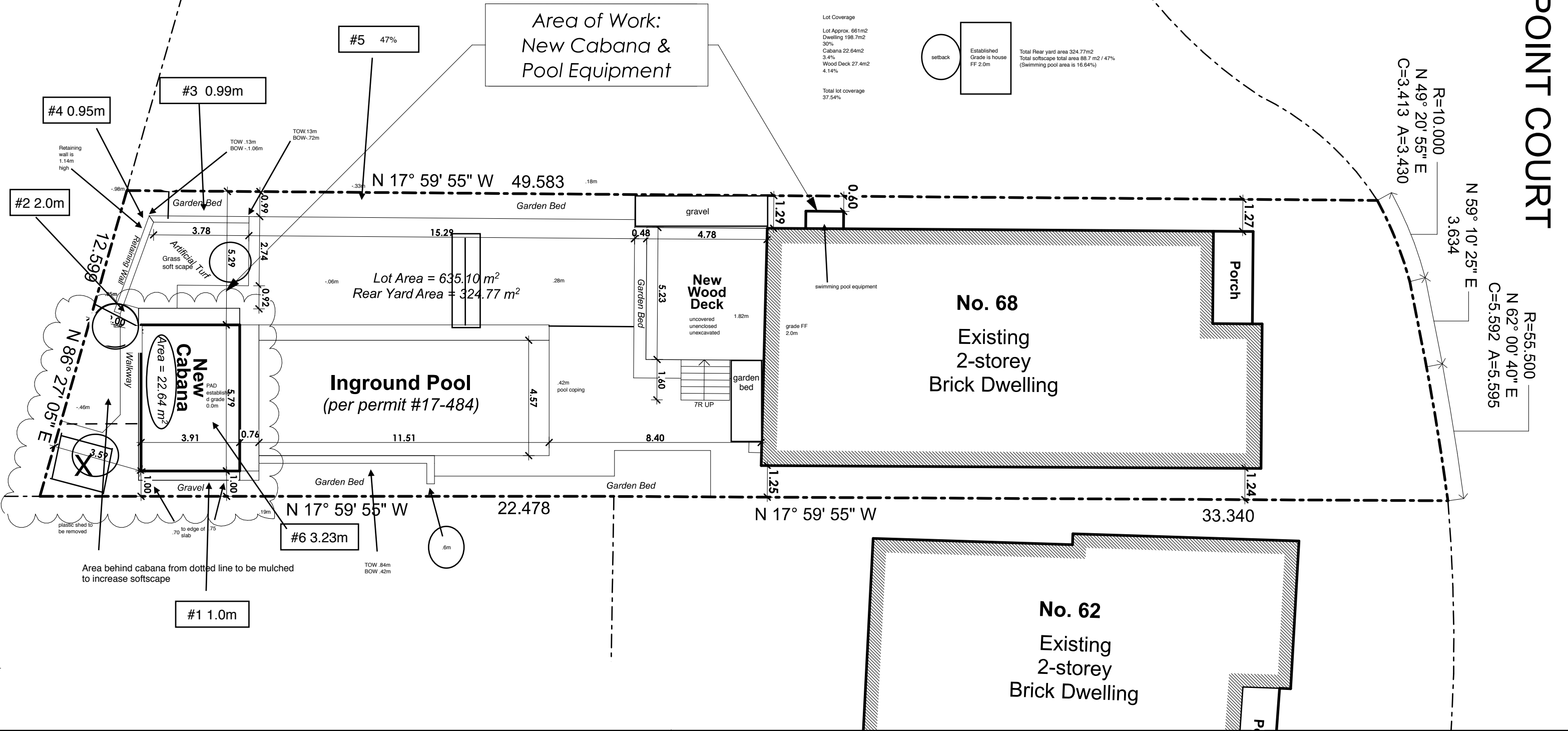
PLANS PREPARED AND VARIANCES IDENTIFIED BY APPLICANT

RECEIVED
By RECEIVED at 8:57 am, Sep 26, 2023

A270/22



CEDARPOINT COURT



ALL DRAWINGS AND DOCUMENTS ARE PRELIMINARY UNLESS APPROVED BY THE CITY AND MUST NOT BE USED FOR ANY CONSTRUCTION BEFORE ISSUANCE OF BUILDING PERMIT. CONTRACTORS/BUILDER MUST VERIFY ALL DIMENSIONS/SPECS/DETAILS & AS-BUILT INFORMATION INCLUDING STRUCTURAL AND MECHANICAL PRIOR TO COMMENCEMENT OF WORK AND REPORT ANY DISCREPANCIES TO MEMAR. DESIGN, DRAWINGS & SPECIFICATIONS ARE ALL PROPERTY OF MEMAR UNDER COPY RIGHT ACT AND MUST NOT BE USED FOR ANY OTHER PROJECT AND/OR BY ANY OTHER PERSON INCLUDING ORIGINAL CLIENT WITHOUT WRITTEN PERMISSION.

DATE:	ISSUED FOR:
Sept. 9/2023	amended for rear yard softscape landscape

DRAWING TITLE:	Site Plan
PROJECT TITLE/ADDRESS:	68 Cedarpoint Crt, Vaughan, ON

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DRAWN BY:	A.T.
CHKD BY:	S.T.

SCALE:	1:150.00
LAST MODIFIED ON:	Sept 9 2023

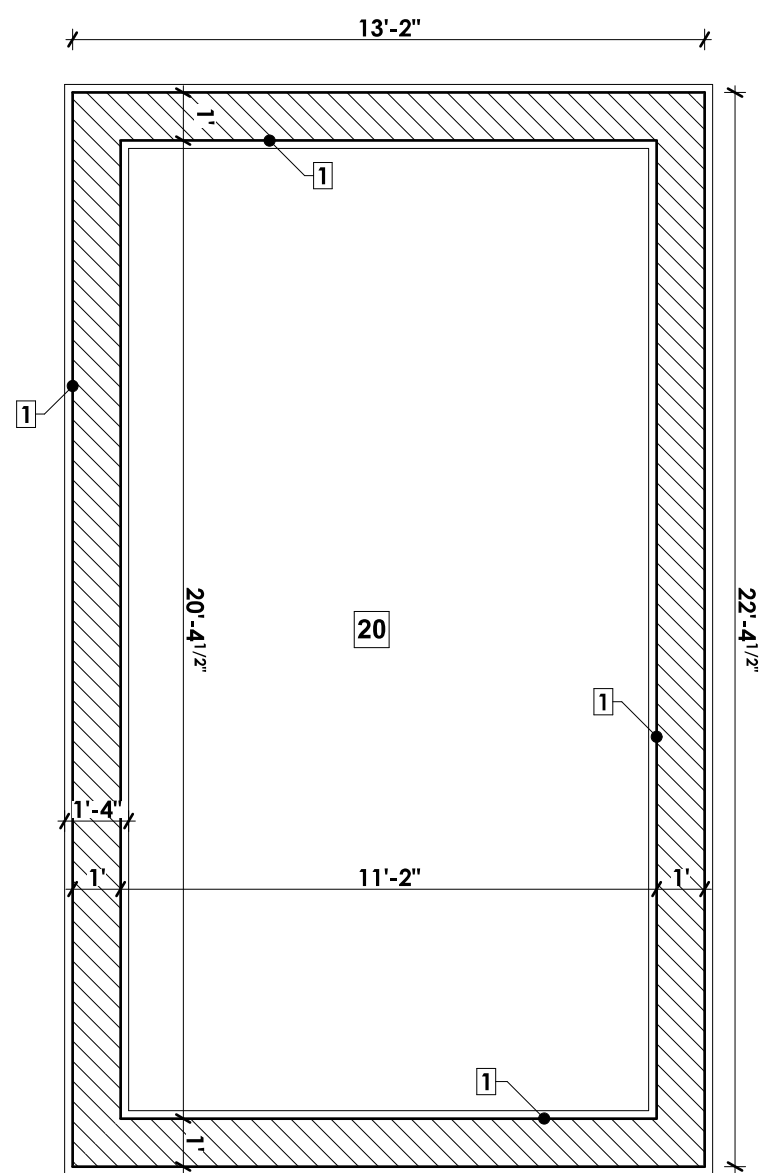


"Memar Architects Inc."
 2323 Yonge St, Unit 503
 Toronto, ON, M4P 2C9
 T: 416-551-5764

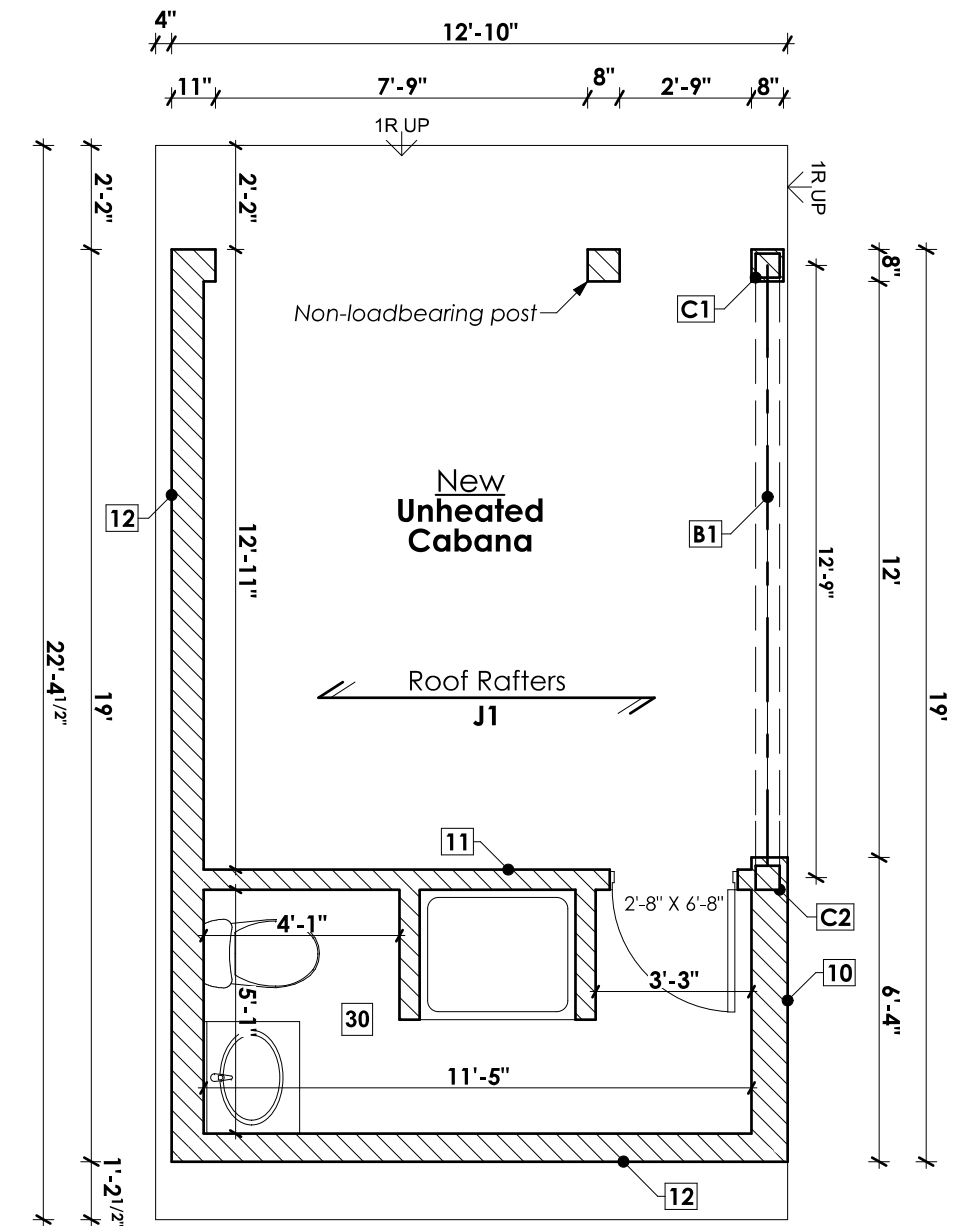


A.01

Foundation Plan



Ground Floor Plan



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DATE:	ISSUED FOR:
AUG 06, 2020	For Building Permit Re-submission

DRAWING TITLE:	Foundation & Floor Plan
PROJECT TITLE/ADDRESS:	68 Cedarpoint Crt, Vaughan, ON



DRAWN BY:	A.T.
CHKD BY:	S.T.

SCALE:	1/4" = 1'-0"
LAST MODIFIED ON:	August 6, 2020

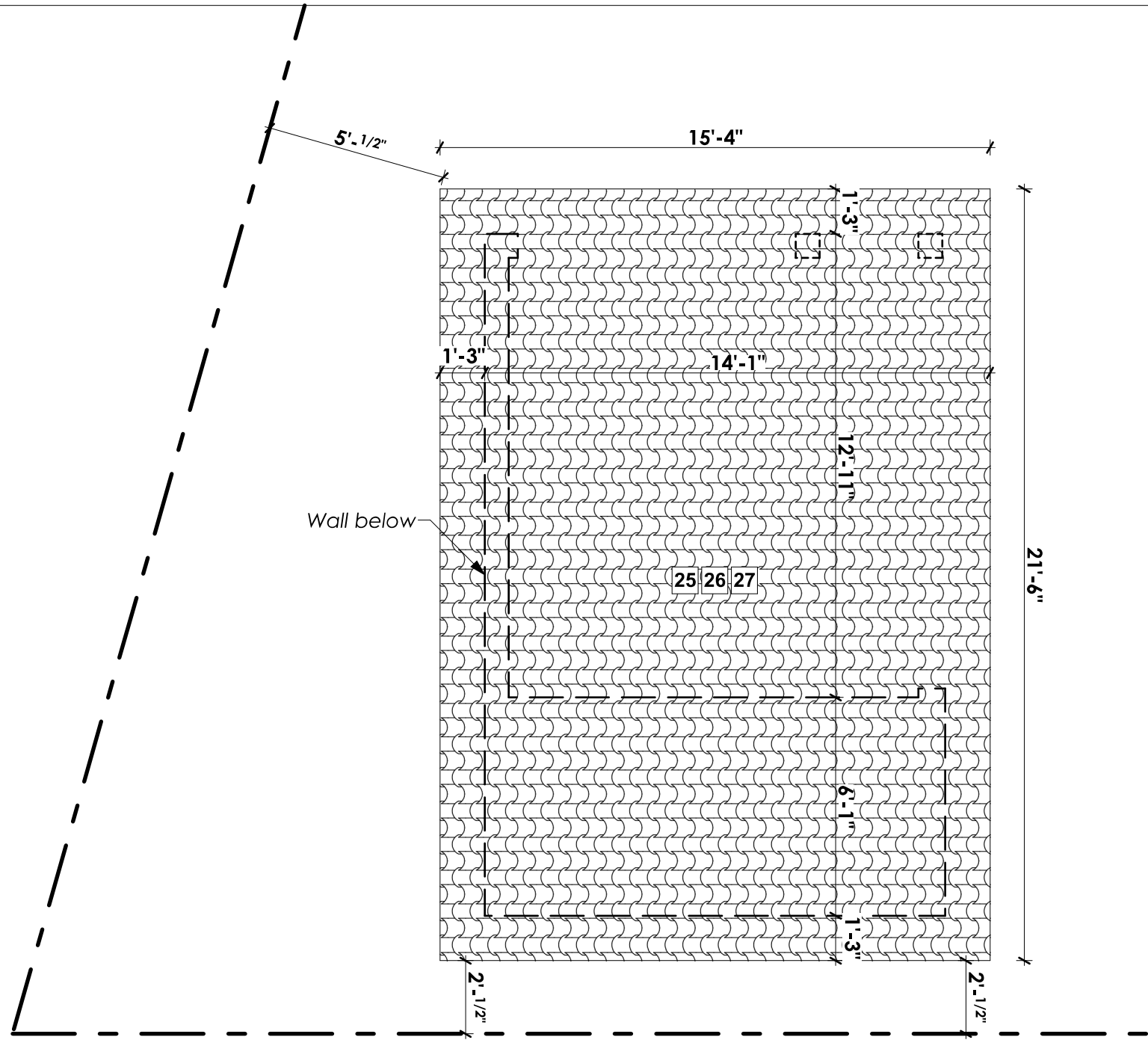


"Memar Architects Inc."
 2323 Yonge St, Unit 503
 Toronto, ON, M4P 2C9
 T: 416-551-5764



A.02

Roof Plan



* As-built information are per contractor, Sunset Beach Pools.
 ** Setbacks to property lines shall be confirmed by an Ontario Land Surveyor.

FOUNDATION

- 1 **POURED - FOUNDATION WALL**
FOOTING:
 400X100(16"X4")
 POURED CONC. FOOTING
 TO BEAR ON UNDISTURBED SOIL
 SOIL BEARING CAPACITY
 OF 2200 PSF ASSUMED
 CONTRACTOR VERIFY WITH SOIL
 REPORT IF NEEDED.

FOUNDATION WALL:
 12" THK. POURED CONCRETE
 28 MPA . WITH BITUMINOUS
 DAMPROFFING,
 (LATERAL SUPPORT)
 REINFORCE THE CONCRETE WALL
 WITH 10M VERTICAL BAR @20'
 AND 10M HORIZONTAL BAR @20'

WALLS

- 10 **EXTERIOR WALL - THIN STONE**
 THIN STONE VENEER,
 MORTAR SETTING BED & SCRATCH
 COAT,
 METAL LATH,
 2 LAYERS OF WEATHER RESISTANT
 BARRIER,
 CONCRETE SHEATHING,
 2"x6" STUDS @16" O.C.
 CONTINUOUS AIR/VAPOUR
 BARRIER
 1/2" INTERIOR DRYWALL FINISH
 DOUBLE PLATE @TOP,
 SOLE PLATE @BOTTOM
 INTERIOR WALL FINISH
- 11 **EXTERIOR WALL - STUCCO**
 FINISH COAT & BASE COAT OVER
 METAL LATH,
 WATER PENETRATION BARRIER,
 EXTERIOR TYPE SHEATHING,
 2"x4" STUDS @ 16" O.C.
 DOUBLE PLATE @ TOP
 SOLE PLATE @ BOTTOM
 INTERIOR WALL FINISH
- 12 **EXTERIOR WALL-SIDING**
 HARD BOARD FIBER-CEMENT SIDING
 SHEATHING PAPER,
 LAYERS TO OVERLAP EACH OTHER,
 EXTERIOR TYPE SHEATHING
 2"x6" STUDS @16" O.C.
 CONTINUOUS AIR/VAPOUR BARRIER
 1/2" INTERIOR DRYWALL FINISH
 DOUBLE PLATE @TOP,
 SOLE PLATE @BOTTOM
 INTERIOR WALL FINISH

FLOORS

- 20 **SLAB ON GRADE**
 8" POURED CONCRETE SLAB
 32MPA @28 DAYS
 5% - 8% AIR ENTRAINMENT
 10M REINFORCEMENT BOTH
 DIRECTION @ 20"O.C. MIN 3"
 BEARING ON EACH SIDE
 12" CRUSHED STONE BELOW

ROOFS - CEILINGS

- FLAT ROOF | LESS THAN 1 TO 3 RATIO**
- 25 **FLAT ROOF CONSTRUCTION**
 ONE OF THE FOLLOWING ROOF MAMBRAINE
 TYPES:
 -ASPHALT AND GRAVEL(WITH GRAVEL STOP)
 -COAL TAR AND GRAVEL(WITH GRAVEL STOP)
 -MODIFIED BITUMINOUS MEMBRANE
 -COLD APPLICATION FELT

 FLASHING ON MIN 3 PLY
 FELT ROOFING TO BE HEAT SEALED
 AS PER MANUFACTURE'S
 INSTRUCTION.
 1/2" PLYWOOD SHEATHING ON
 ROOF JOISTS AS PER PLAN.
- 26 **OVERHANG CONSTRUCTION**
 PREFINISHED ALUMINUM FASICA
 & RAIN WATER LEADERS TO
 MATCH EXISTING FINISHES.
 PROVIDE DIRP EDGE AT
 FASCIA & VENTED SOFFIT EXTEND
 DOWNSPOUTS TO GRADE LEVEL
- 27 **EAVES PROTECTION**
 EAVES PROTECTION MEMBANE TO
 EXTEND FROM THE EDGE IF THE
 ROOF .36" UP THE SLOPE BUT NOT
 LESS THAN 12" BEYOND THE
 INTERIOR FACE OF
 THE EXTERIOR WALL

MECHANICAL

- 30 **MECHANICAL VENTILATION**
 PROVIDE MIN 5.0 L/S IN KITCHENS
 AND BATHROOMS.37.5 L/S FOR
 PRINCIPAL EXHAUST FAN

STAIRS

- 40 **STAIRS INTERIOR/EXTERIOR**
 MAXIMUM RISE =7 7/8"
 MINIMUM RISE =4 7/8"
 MINIMUM RUN =8 1/4"
 MAXIMUM RUN =14"
 MINIMUM TREAD =9 1/4"
 MAXIMUM TREAD =14"
 MAXIMUM NOSING =1"
 MINIMUM WIDTH =2'-10"
 MINIMUM HEADROOM =6'-5"

41 GUARDS - GLASS RAILING - OBC 9.8 & SB7-OBC 2014

- INTERIOR LANDINGS =2'-11"
- EXTERIOR BALCONY =3'-6"
- INTERIOR STAIRS =2'-11"
- EXTERIOR STAIRS =2'-11"

 GUARD HEIGHT IF
 DECK TO GRADE IS:
 GREATER THAN 5'-11" =3'-6"
 5'-11" OR LESS =2'-11"
 NO MEMBER OR ATTACHMENT
 BETWEEN 4" & 2'-11" HIGH
 SHALL FACILITATE CLIMBING
 TO COMPLY WITH SB-7 OBC 2012.
 GLASS IN GUARDS SHALL BE SAFETY
 GLASS OF THE LAMINATED OR TEMPERED
 TYPE CONFORMING TO CAN/CGSB-
 12.1-M, "TEMPERED OR LAMINATED
 SAFETY GLASS".
 SHOP DRAWINGS TO BE PROVIDED BY
 MANUFACTURER.

BEAMS

- B1 2 - 1 3/4" x 9 3/4" 3100FB - 2.0E LVL

JOISTS:

- J1 2"x8" WOOD SPR. #2 @ 16" o.c.

COLUMNS

- C1 WOOD - 6"x6" POST ANCHORED
 TO CONCRETE W/METAL SHOE
 & 1/2" DIA BOLT SHOE MIN 4"
 INTO CONCRETE
- C2 WOOD - 3 - 2"x6" SPF#1 TO ACT
 AS A WOOD POST

ALL DRAWINGS AND DOCUMENTS ARE PRELIMINARY UNLESS APPROVED BY THE CITY AND MUST NOT BE USED FOR ANY CONSTRUCTION BEFORE ISSUANCE OF BUILDING PERMIT. CONTRACTORS/BUILDER MUST VERIFY ALL DIMENSIONS/SPECS/DETAILS & AS-BUILT INFORMATION INCLUDING STRUCTURAL AND MECHANICAL PRIOR TO COMMENCEMENT OF WORK AND REPORT ANY DISCREPANCIES TO MEMAR. DESIGN, DRAWINGS & SPECIFICATIONS ARE ALL PROPERTY OF MEMAR UNDER COPY RIGHT ACT AND MUST NOT BE USED FOR ANY OTHER PROJECT AND/OR BY ANY OTHER PERSON INCLUDING ORIGINAL CLIENT WITHOUT WRITTEN PERMISSION.

DATE:	ISSUED FOR:
AUG 06, 2020	For Building Permit Re-submission

DRAWING TITLE:
Roof Plan & Specification
PROJECT TITLE/ADDRESS:
68 Cedarpoint Crt, Vaughan, ON



DRAWN BY
A.T.
CHKD BY
S.T.

SCALE:
1/4" = 1'-0"
LAST MODIFIED ON:
August 6, 2020

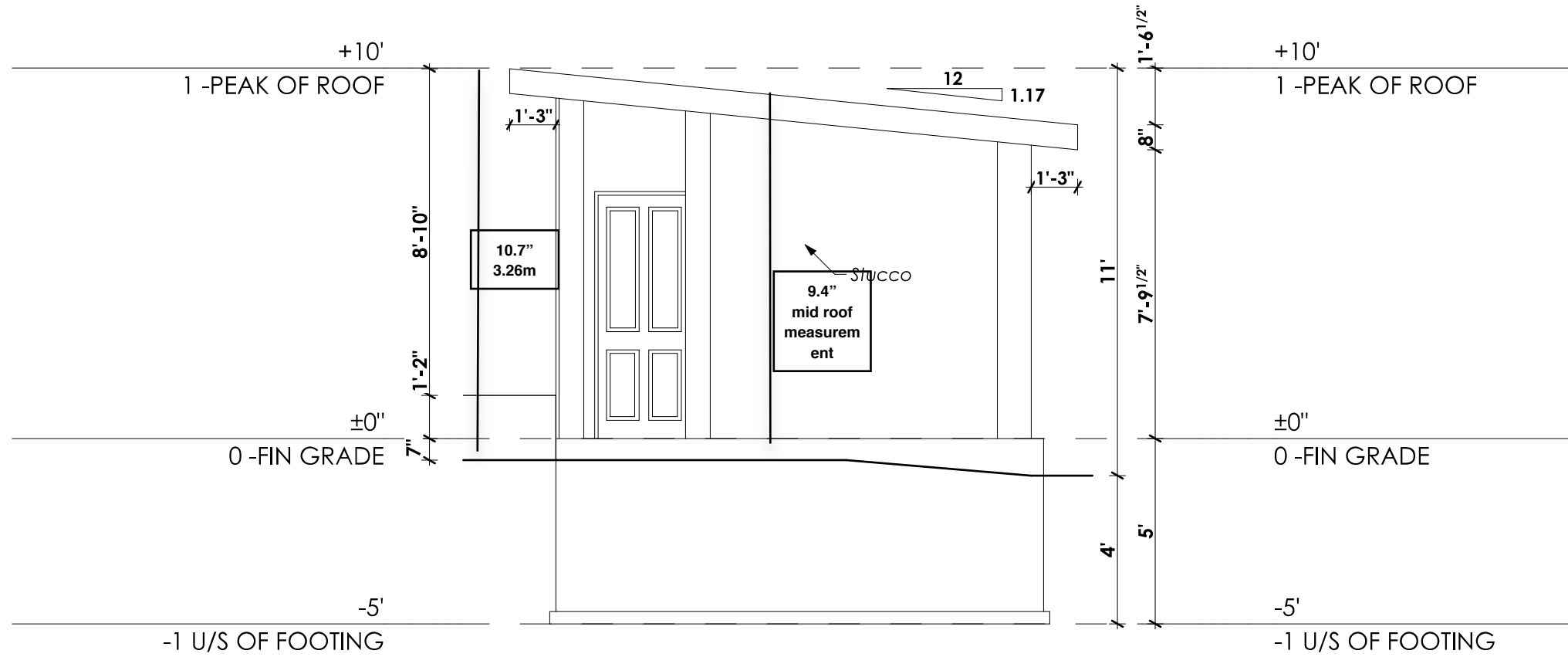


"Memar Architects Inc."
 2323 Yonge St, Unit 503
 Toronto, ON, M4P 2C9
 T: 416-551-5764

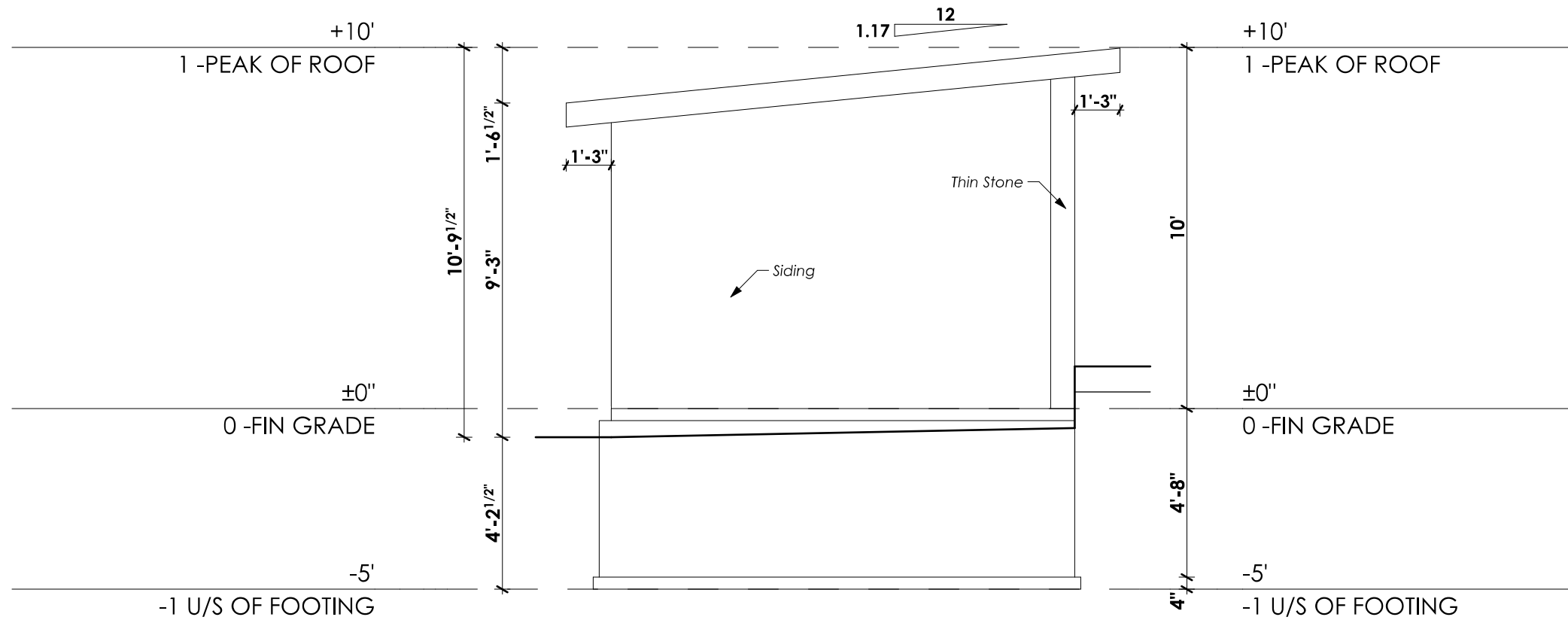


A.03

West Elevation



East Elevation



ALL DRAWINGS AND DOCUMENTS ARE PRELIMINARY UNLESS APPROVED BY THE CITY AND MUST NOT BE USED FOR ANY CONSTRUCTION BEFORE ISSUANCE OF BUILDING PERMIT. CONTRACTORS/BUILDER MUST VERIFY ALL DIMENSIONS/SPECS/DETAILS & AS-BUILT INFORMATION INCLUDING STRUCTURAL AND MECHANICAL PRIOR TO COMMENCEMENT OF WORK AND REPORT ANY DISCREPANCIES TO MEMAR. DESIGN, DRAWINGS & SPECIFICATIONS ARE ALL PROPERTY OF MEMAR UNDER COPY RIGHT ACT AND MUST NOT BE USED FOR ANY OTHER PROJECT AND/OR BY ANY OTHER PERSON INCLUDING ORIGINAL CLIENT WITHOUT WRITTEN PERMISSION.

DATE:	ISSUED FOR:
AUG 06, 2020	For Building Permit Re-submission

DRAWING TITLE:
West & East Elevations
PROJECT TITLE/ADDRESS:
68 Cedarpoint Crt, Vaughan, ON



DRAWN BY:
A.T.
CHKD BY:
S.T.

SCALE:
1/4" = 1'-0"
LAST MODIFIED ON:
August 6, 2020

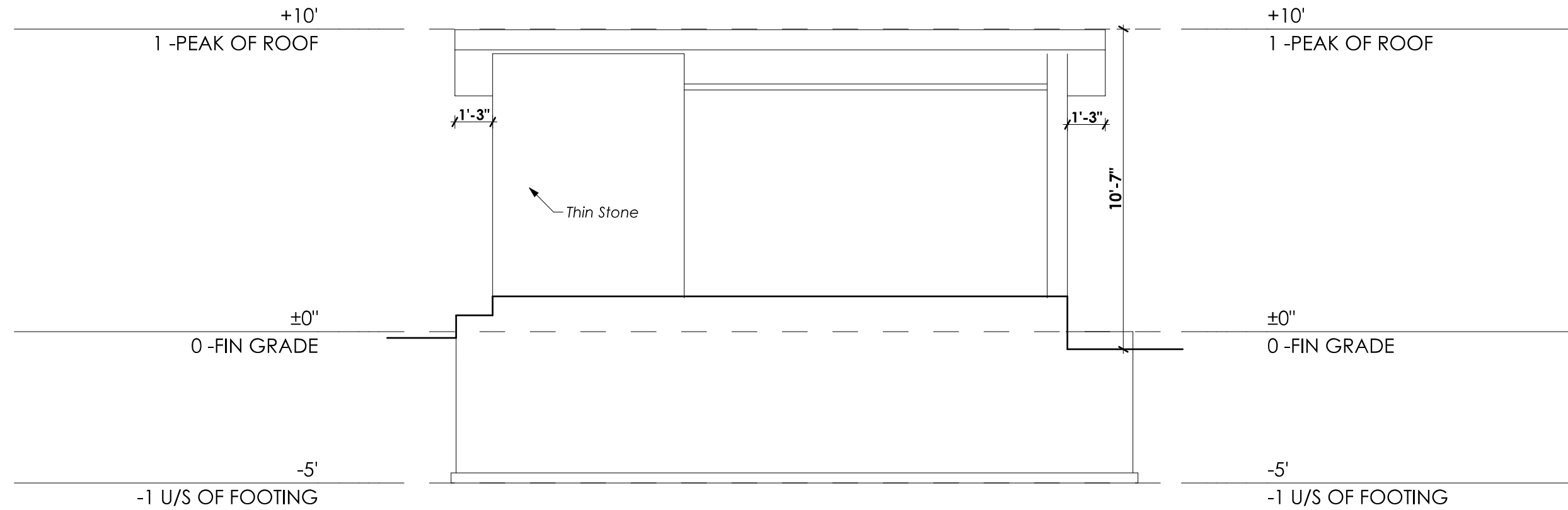


"Memar Architects Inc."
 2323 Yonge St, Unit 503
 Toronto, ON, M4P 2C9
 T: 416-551-5764

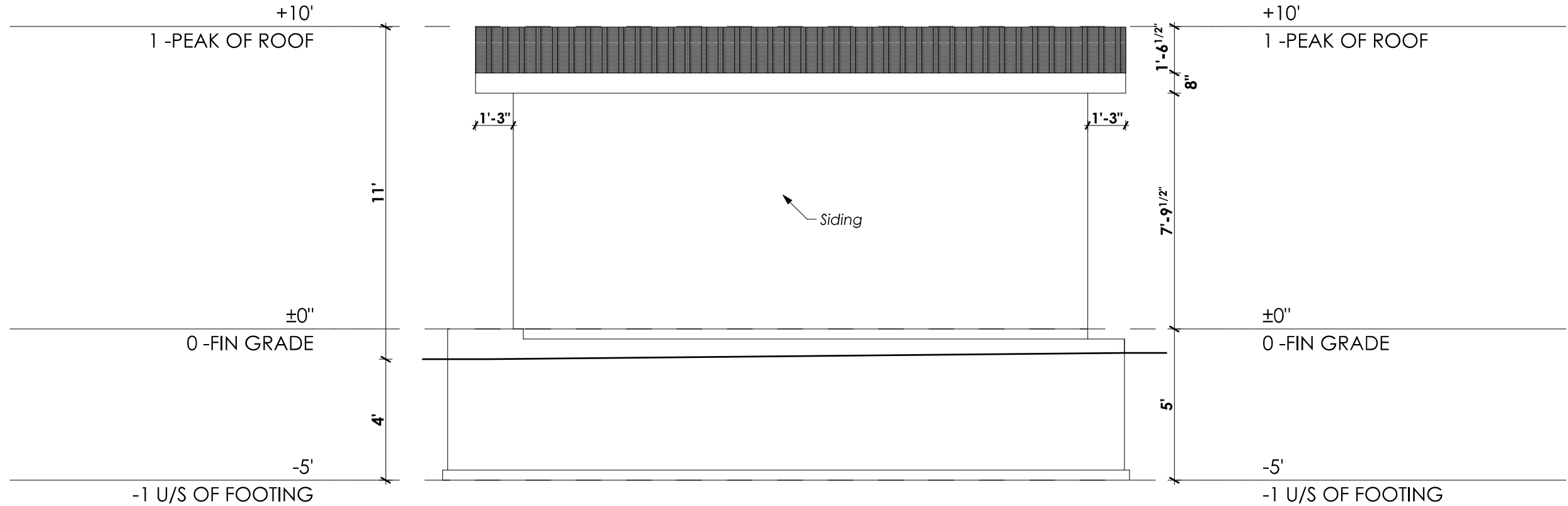


A.04

North Elevation



South Elevation



ALL DRAWINGS AND DOCUMENTS ARE PRELIMINARY UNLESS APPROVED BY THE CITY AND MUST NOT BE USED FOR ANY CONSTRUCTION BEFORE ISSUANCE OF BUILDING PERMIT. CONTRACTORS/BUILDER MUST VERIFY ALL DIMENSIONS/SPECS/DETAILS & AS-BUILT INFORMATION INCLUDING STRUCTURAL AND MECHANICAL PRIOR TO COMMENCEMENT OF WORK AND REPORT ANY DISCREPANCIES TO MEMAR. DESIGN, DRAWINGS & SPECIFICATIONS ARE ALL PROPERTY OF MEMAR UNDER COPY RIGHT ACT AND MUST NOT BE USED FOR ANY OTHER PROJECT AND/OR BY ANY OTHER PERSON INCLUDING ORIGINAL CLIENT WITHOUT WRITTEN PERMISSION.

DATE:	ISSUED FOR:
AUG 06, 2020	For Building Permit Re-submission

DRAWING TITLE:	North & South Elevation
PROJECT TITLE/ADDRESS:	68 Cedarpoint Crt, Vaughan, ON



DRAWN BY:	A.T.
CHKD BY:	S.T.

SCALE:	1/4" = 1'-0"
LAST MODIFIED ON:	August 6, 2020



"Memar Architects Inc."
2323 Yonge St, Unit 503
Toronto, ON, M4P 2C9
T: 416-551-5764



A.05

SCHEDULE B: STAFF & AGENCY COMMENTS				
DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Ministry of Transportation (MTO) *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York *Schedule B	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra *Schedule B	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada *Schedule B	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB *Schedule B	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
YCDSB *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline *Schedule B	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Development Planning	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/no conditions
Building Standards (Zoning)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments

From: [Pacione, Joseph](#)
To: [Committee of Adjustment](#); [Christine Vigneault](#)
Subject: [External] RE: A270/22 (68 Cedarpoint Court) - Agency Circulation
Date: Monday, July 17, 2023 10:41:39 AM

Good morning,

YRDSB does not have any comments regarding the subject application.

Kind regards,

Joseph Pacione
Planner
York Region District School Board
Tel: 905.727.0022, 416.969.7170 **Ext.** 2421
60 Wellington St West
Aurora, ON
L4G 3H2

Date: June 7th 2023

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A270-22**

Related Files:

Applicant Isaac and Limore Zisckind

Location 68 Cedarpoint Crt



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

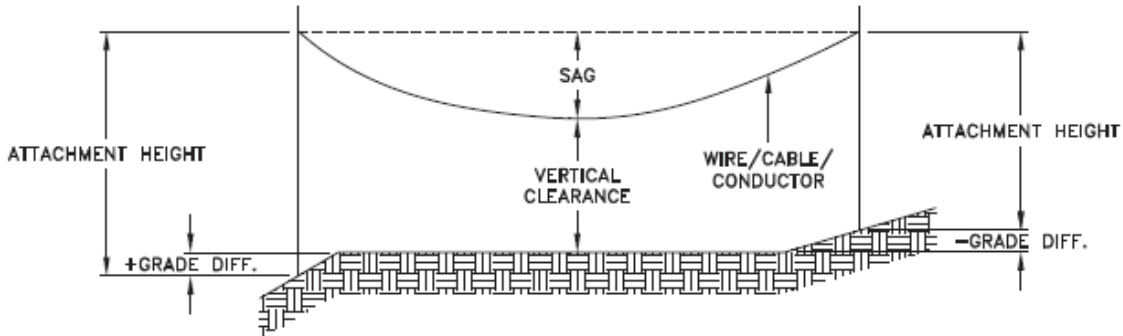
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

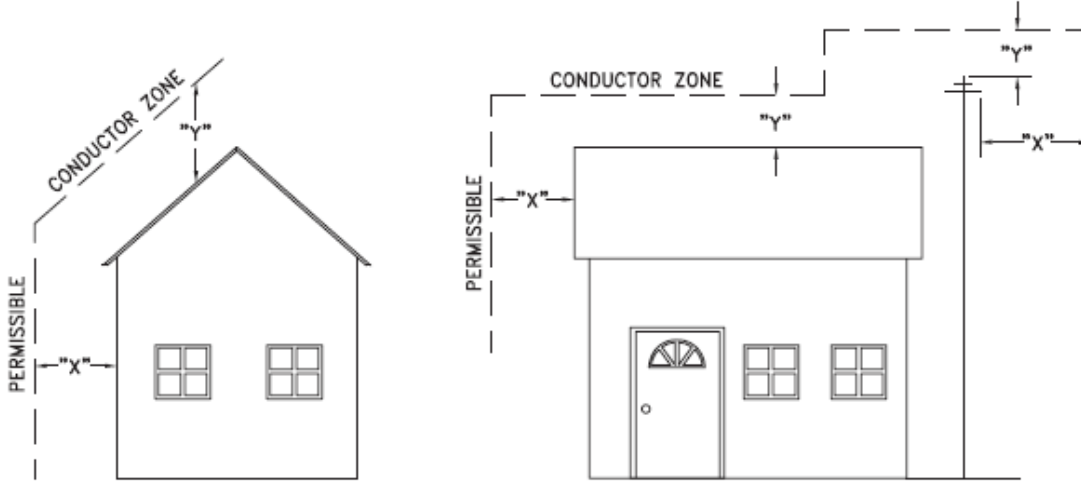
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

To: Committee of Adjustment
From: Catherine Saluri, Building Standards Department
Date: October 4, 2023
Applicant: Isaac and Limore Zisckind
Location: 68 Cedarpoint Court
File No.(s): A270/22

Zoning Classification:

The subject lands are zoned R3, Third Density Residential Zone, and subject to the provisions of Exception 14.915 under Zoning By-law 001-2021.

#	Zoning By-law 001-2021	Variance requested
1	A minimum interior side yard setback of 2.4 m required for a residential accessory structure (cabana). [Section 4.1.2]	To permit a minimum easterly interior side yard setback of 1.0 m for a residential accessory structure (cabana).
2	A minimum rear yard setback of 2.4 m is required for a residential accessory structure (cabana). [Section 4.1.2]	To permit a minimum rear yard setback of 2.0 m for a residential accessory structure (cabana).
3	A retaining wall shall be setback an equal distance to the height (1.14 m) of the highest portion of the retaining wall. [Table 4-1]	To permit a minimum southwesterly interior side yard setback of 0.99 m for a retaining wall with a height of 1.14 m.
4	A retaining wall shall be setback an equal distance to the height (1.14 m) of the highest portion of the retaining wall. [Table 4-1]	To permit a minimum rear yard setback of 0.95 m for a retaining wall with a height of 1.14 m.
5	Any portion of a yard in excess of 135 m ² shall be comprised of 60% (113.86 m ²) soft landscape. [Section 4.19.1.1 and Section 3, Definitions]	To permit a minimum of 47% (88.7 m ²) of the portion of a rear yard in excess of 135 m ² to be comprised of soft landscape.
6	A maximum height of 3.0 m is permitted for a residential accessory structure (cabana). [4.1.4, 1]	To permit a residential accessory structure (cabana) with a height of 3.23 m.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

Order No. 2022 136661 has been issued for the construction of a rear yard deck prior to obtaining the required building permit.

Order No. 2022 136660 has been issued for the construction of a rear yard pool cabana prior to obtaining the required building permit.

Building Permit Applications:

Building Permit Application No. 2022 135852 has been submitted for a cabana.
 Building Permit Application No. 2021 108449 has been submitted for a deck.

Other Comments:

General Comments	
1	Height of the proposed cabana shall be measured in accordance with Height as defined in Section 3.0 of the by-law. The Agent has confirmed a proposed height of 3.23 m, measured from Established Grade, on May 23, 2023.
2	The Applicant has confirmed that the existing plastic shed, as shown in the location on the Site Plan and TRCA approved Site Plan stamped April 28, 2023 (southeast corner and crossed off with an X), will be removed.
3	The applicant shall be advised that additional variances may be required upon review of detailed drawings for building permit.
4	The subject lands may be subject to Ontario Regulation 166/06 (TRCA - Toronto and Region Conservation Authority).
5	The subject lands may be subject to the Oak Ridges Moraine Conservation Act, RSO 2001.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

None

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development Planning
Date: October 4, 2023
Name of Owners: Isaac and Limore Zisckind
Location: 68 Cedarpoint Court
File No.(s): A270/22

Proposed Variance(s) (By-law 001-2021):

1. To permit a minimum easterly interior side yard setback of 1.0 m for a residential accessory structure (cabana).
2. To permit a minimum rear yard setback of 2.0 m for a residential accessory structure (cabana).
3. To permit a minimum southwesterly interior side yard setback of 0.99 m for a retaining wall with a height of 1.14 m.
4. To permit a minimum rear yard setback of 0.95 m for a retaining wall with a height of 1.14 m.
5. To permit a minimum of 47% (88.7 m²) of the portion of a rear yard in excess of 135 m² to be comprised of soft landscape.
6. To permit a residential accessory structure (cabana) with a height of 3.23 m.

By-Law Requirement(s) (By-law 001-2021):

1. A minimum interior side yard setback of 2.4 m required for a residential accessory structure (cabana).
2. A minimum rear yard setback of 2.4 m is required for a residential accessory structure (cabana).
3. A retaining wall shall be setback an equal distance to the height (1.14 m) of the highest portion of the retaining wall.
4. A retaining wall shall be setback an equal distance to the height (1.14 m) of the highest portion of the retaining wall.
5. Any portion of a yard in excess of 135 m² shall be comprised of 60% (108.48 m²) soft landscape.
6. A maximum height of 3.0 m is permitted for a residential accessory structure (cabana).

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): "Oak Ridges Moraine Settlement Area" by Schedule 4 – Oak Ridges Moraine Conservation Plan & Greenbelt Plan Areas and "Low-Rise Residential" and "Natural Areas" by Schedule 13 – Land Use.

Comments:

The Owners are requesting relief to permit the existing cabana and yard grading works with the above noted variances.

A cabana was approved through Minor Variance Application A208/17, for a minimum interior side yard setback of 0.9 metres and a minimum rear yard setback of 1.0 metres. The cabana structure was built slightly larger and further away from the rear and side lot line than what was previously approved through Minor Variance Application A208/17, which has resulted in a minimum interior side yard setback of 1.0 metres and a minimum rear yard setback of 2.0 metres.

The rear of the subject property abuts an OS5 Environmental Protection Zone, however there is minimal vegetation in close proximity to the property. The rear yard is screened by a privacy fence along the interior side lot lines. A chain link fence runs along the rear lot line. Development Planning staff have no concern with Variances 1 and 2 for the proposed setbacks to the cabana as it will not have adverse massing impacts to the neighbouring residential properties. The Subject Lands are located within the Oak Ridges Moraine Settlement Area designation of VOP 2010 and within the regulatory limits of the Toronto and Region Conservation Authority ('TRCA'). TRCA staff have

reviewed the submitted material and have no objections to the approval of the application.

The Development Planning Department has no objection to Variances 3 and 4 for the rear and interior side yard setbacks to the retaining wall as the reduction in setbacks are minor in nature. Development Engineering Department has reviewed the application and has no objection to the above noted variances.

At the request of the Development Planning Department, the Owners have increased the percentage of soft landscaping in the rear yard. The revised reduction to the rear yard soft landscaping is considered minor in nature as the proposal provides a more appropriate balance between soft and hard landscaping in the rear yard. The Development Planning Department has no objection to Variance 5.

The Development Planning Department has no objection to Variance 6 for the existing cabana height of 3.23 metres as it is consistent with previous approvals in the neighbourhood and will not pose a significant massing impact to the adjacent residential properties.

Accordingly, the Development Planning Department can support the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None

Comments Prepared by:

Michelle Perrone, Planner 1
David Harding, Senior Planner

June 8, 2023

SENT BY E-MAIL: Christine.Vigneault@vaughan.ca

Christine Vigneault
Secretary Treasurer
Committee of Adjustment
City of Vaughan
2141 Major Mackenzie Drive
Vaughan, Ontario L6A 1T1

Dear Christine:

**Re: Minor Variance Application A270/22
Part of Lot 19, Concession 2
68 Cedarpoint Court
City of Vaughan, Region of York
Isaac and Limore Zisckind**

This letter acknowledges receipt of the above-noted application circulated by the City of Vaughan. The materials were received by Toronto and Region Conservation Authority (TRCA) on June 7, 2023. TRCA staff have reviewed the application and offer the following comments for the consideration of the Committee of Adjustment.

Purpose of the Application

It is our understanding that the purpose of the above noted application is to request the following variance under By-Law 01-2021:

- To permit a minimum interior side yard setback of 1.0 m, whereas a minimum interior yard setback of 2.4 m is required.
- To permit a minimum rear yard setback of 2.0 m, whereas a minimum rear side yard setback of 2.4 m is required.
- To permit a minimum southwesterly interior side yard setback of 0.99 m from a retaining wall of 1.4 metre, whereas a retaining wall shall be setback an equal distance to the height of the highest portion of the retaining wall.
- To permit a minimum of 33.93 % of the portion of the yard in excess of 135 sq. m. to be comprised of soft landscape, whereas any portion of a yard in excess of 135 sq. m. shall be comprised of 60% soft landscape.
- To permit a residential accessory structure with a height of 3.23 m , whereas a maximum height of 3.0m is permitted.

The noted variances are being requested to facilitate the construction of a non-habitable accessory structure (cabana).

Ontario Regulation 166/06

The subject lands are partially located within TRCA's Regulated Area due to a wetland feature located on the adjacent lands to the west of the site. In accordance with Ontario Regulation 166/06 (Regulation of Development, Interference with Wetlands and Alterations to Shorelines and Watercourses), development, interference or alteration may be permitted in the Regulated Area where it can be demonstrated to TRCA's satisfaction that the control of flooding, erosion, dynamic beaches, pollution, or the conservation of land will not be affected.

Application-Specific Comments

TRCA issued a permit for the construction of a cabana on April 28, 2023 (TRCA Permit No. C-230427). Based on a review of the materials submitted with this variance application, TRCA can confirm that the plans are consistent with those that were approved as a part of the noted permit.

Fees

By copy of this letter, the applicant is advised that the TRCA has implemented a fee schedule for our planning application review services. This application is subject to a \$660.00 (Minor Variance – Residential - Minor) review fee. The applicant is responsible for fee payment and should forward the application fee to this office as soon as possible.


Recommendation

Based on the comments noted above, TRCA has no objection to the approval of Minor Variance Application A270/22, subject to the following condition:

1. That the applicant provides the required fee amount of \$660.00 payable to the Toronto and Region Conservation Authority.

We trust these comments are of assistance. Should you have any questions, please contact me at 437-880-2129 or at Kristen.regier@trca.ca

Sincerely,

 On behalf of

Kristen Regier
Planner I
Development Planning and Permits

KR/sb

From: [Development Services](#)
To: [Christine Vigneault](#)
Cc: [Committee of Adjustment](#)
Subject: [External] RE: A270/22 (68 Cedarpoint Court) - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Thursday, June 8, 2023 11:47:28 AM
Attachments: [image001.png](#)
[image003.png](#)

Hi Christine,

The Regional Municipality of York has completed its review of the above minor variance and has no comment. Please provide us with a copy of the notice of decision for our records.

Many thanks,

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Development Services, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

Our Values: Integrity, Commitment, Accountability, Respect, Excellence



Our Mission: **Working together to serve our thriving communities – today and tomorrow**

Please consider the environment before printing this email.

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

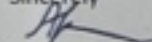
Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Public	Andrew Lazer	22 Cedarpoint Court		Letter of Support
Public	Bryan Demsky	62 Cedarpoint Court		Letter of Support
Public	Shayne Kane	68 Cedarpoint Court		Letter of Support

To Whom it may concern,

I am the home owner and resident of 22 Cedarpoint court in Maple,Ontario . My backyard abuts the backyard of 68 Cedarpoint Court. I have seen the drawings and have seen the construction at 68 cedarpoint Court. I have no issues with any of the structures and permits being applied for. I do not have any issues with their landscaping or pool.

Thank you for your consideration.

Sincerely



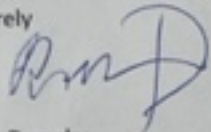
Andrew Lazer

To Whom it May Concern,

I am the homeowner and resident of 62 Cedarpoint Court in Maple, Ontario. I am the direct neighbour to 68 Cedarpoint Court. I confirm that I have seen and approve the drawings and construction in the backyard of 68 Cedar Point Court. I have no complaints with any of the structures and permits being applied for. I do not have any complaints with their landscaping or pool.

Thank you for your consideration.

Sincerely

A handwritten signature in blue ink, appearing to read "Bryan Demsky". The signature is stylized and written in a cursive-like font.

Bryan Demsky

To whom it may concern.

My name is Shayne Kane I am currently the owner of 72 CedarPoint Court, Maple, Ontario.

I live directly Beside Isaac and Limore Ziskind at 68 Cedarpoint court. I am aware that they have pool equipment on the side of their house that is on an open pad. I am satisfied with this and do not require them to put a shed over the equipment. I also reviewed their site plan and I am satisfied with their construction plans.

Sincerely

Shayne Kane

A handwritten signature in black ink, appearing to read 'Shayne Kane', written in a cursive style.

SCHEDULE D: PREVIOUS COA DECISIONS ON THE SUBJECT LAND

None