

ITEM: 6.15	COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A150/23 350 HUNTER'S VALLEY ROAD, VAUGHAN
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**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES:**

*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

PUBLIC & APPLICANT CORRESPONDENCE

*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant			09/13/2023	Application Cover Letter

PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

File Number	Date of Decision	Decision Outcome
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PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

	MM/DD/YYYY	
A159/22	07/07/2022	APPROVED; COA

ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

None	
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**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A150/23
350 HUNTER'S VALLEY ROAD, VAUGHAN**

ITEM NUMBER: 6.15	CITY WARD #: 2
APPLICANT:	Highway 50 Nominee Inc.
AGENT:	Weston Consulting
PROPERTY:	350 Hunter's Valley Road, Vaughan
ZONING DESIGNATION:	See Below
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Prestige Employment" & "General Employment"
RELATED DEVELOPMENT APPLICATIONS:	DA.21.028
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit a reduction in parking requirements to accommodate the construction of a proposed industrial warehouse building. Relief is also being requested to facilitate Site Development Application DA.21.028.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned EM1, EM2, EM1(H) and EM2(H) and subject to the provisions of Exception 14.1005 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 01-2021	Variance requested
	none	

The subject lands are zoned C7, EM1, EM2, EM1(H) and EM2(H) and subject to the provisions of Exception 9(1375) under Zoning By-law 1-88, as amended.

#	Zoning By-law 1-88	Variance requested
1	A minimum of 1.0 parking spaces per 100m ² of Gross Floor Area is required for Warehousing (Single Use). [Section 3.8]	To permit 0.5 spaces per 100m ² of Gross Floor Area for Warehousing (Single Use).

HEARING INFORMATION

DATE OF MEETING: Thursday, October 19, 2023
TIME: 6:00 p.m.
MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive
LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT COMMENTS

Date Public Notice Mailed:	October 5, 2023
Date Applicant Confirmed Posting of Sign:	October 2, 2023
Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small>	The provided parking spaces are insufficient to meet the requirements specified in the Zoning Bylaw 1-88.
Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	None
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice. *A revised submission may be required to address staff / agency comments received as part of the application review process. *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>	No
Adjournment Fees: In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice. An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice.	
Committee of Adjustment Comments:	None
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING) COMMENTS

<small>**See Schedule B for Building Standards (Zoning) Comments</small>	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING COMMENTS

<small>**See Schedule B for Development Planning Comments.</small>	
Development Planning Recommended Conditions of Approval:	None

DEVELOPMENT ENGINEERING COMMENTS

Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation	
The subject lands are currently being reviewed under DA.21.063, DA.21.028 and Z.21.054.	
The Development Engineering Department does not object to the Minor Variance application A150/23.	
Development Engineering Recommended Conditions of Approval:	None

PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

Forestry is working with development planning on this file.

PFH Recommended Conditions of Approval:	None
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DEVELOPMENT FINANCE COMMENTS

No comment no concerns

Development Finance Recommended Conditions of Approval:	None
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BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

No comments received to date.

BCLPS Recommended Conditions of Approval:	None
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BUILDING INSPECTION (SEPTIC) COMMENTS

No comments received to date.

Building Inspection Recommended Conditions of Approval:	None
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FIRE DEPARTMENT COMMENTS

Based on the information provide at this time the request is to reduce the number of parking spaces at this noted address. Please keep in mind that the reduction in parking spaces shall not in any way interfere or effect the building code requirements for the approved designed fire route.

Fire Department Recommended Conditions of Approval:	None
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SCHEDULES TO STAFF REPORT

*See Schedule for list of correspondence

Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Staff & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “**if required**”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
	None	

IMPORTANT INFORMATION – PLEASE READ

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

IMPORTANT INFORMATION – PLEASE READ

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

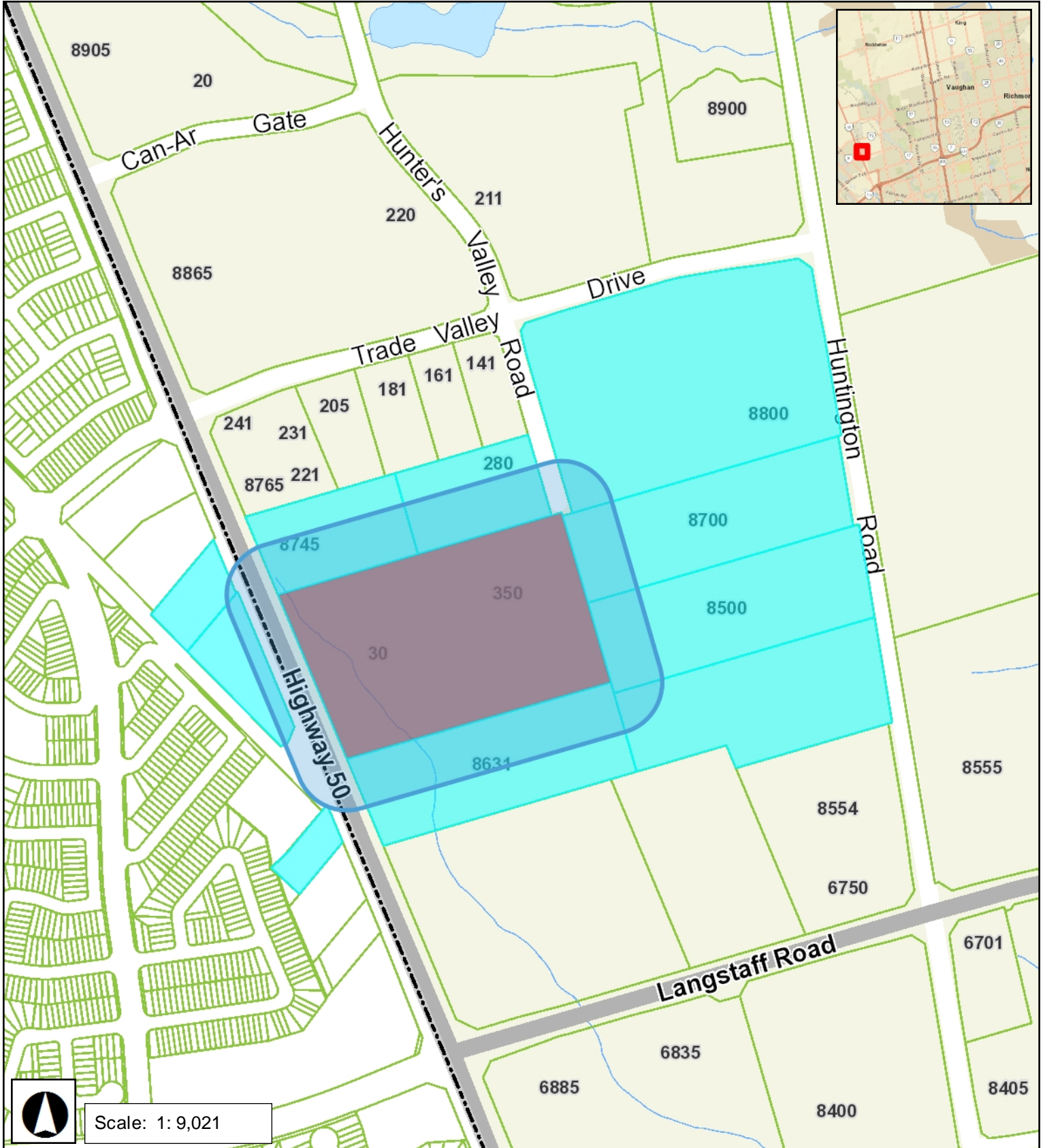
That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

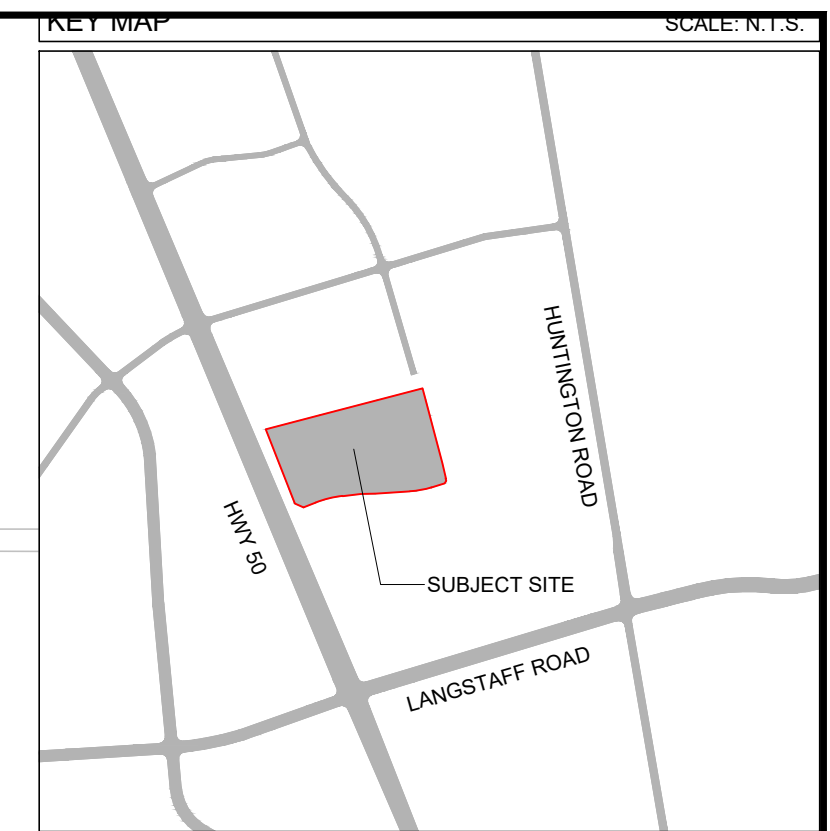
NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS

350 Hunter's Valley Road, Vaughan



#	Zoning By-law 01-2021	Variance requested
	none	
#	Zoning By-law 1-88	Variance requested
1	A minimum of 1.0 parking spaces per 100m ² of Gross Floor Area is required for Warehousing (Single Use). [Section 3.8]	To permit 0.5 spaces per 100m ² of Gross Floor Area for Warehousing (Single Use).



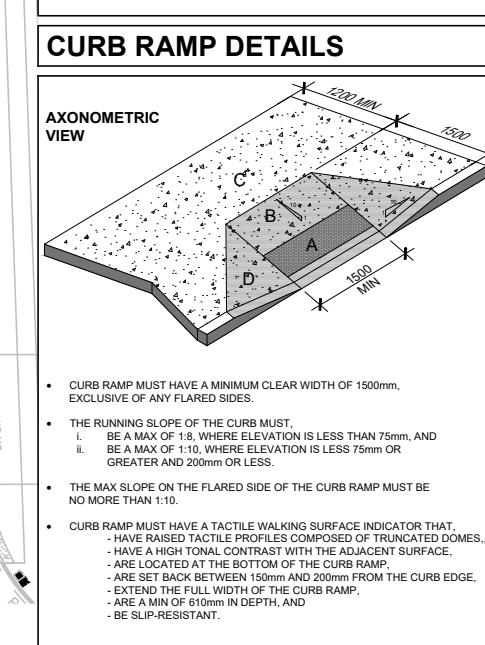
LEGAL DESCRIPTION	PROJECT NORTH
PT LOT 11 AND 12, CONCESSION 10 65R31309 CITY OF VAUGHAN	
	TRUE NORTH

SITE STATISTICS	
SITE AREA	77,678.02 m ² or 19.19 acres
AREA OF DEVELOPMENT	41,234.37 m ² or 10.19 acres
ZONING	EM2 ZONE- GENERAL EMPLOYMENT
	REQUIRED PROVIDED
LOT FRONTAGE	34.00 m +/- 229.90 m
FRONT YARD (WEST) SETBACK	6.00 m +/- 203.25 m
REAR YARD (EAST)	12.00 m 26.30m
INTERIOR SIDE YARD (NORTH)	6.00 m 8.69 m
INTERIOR SIDE YARD (SOUTH)	6.00 m 25.42 m
BUILDING A	20,908.79 m ² or 225,060 sqft
TOTAL G.F.A.	20,908.79 m ² or 225,060 sqft
SITE COVERAGE (MAX 40%)	20,908.79 m ² or 50.70%
LANDSCAPED AREA	6,640.49 m ² or 16.10%
PAVED AREA	13,685.09 m ² or 33.20%
BUILDING HEIGHT (MAX)	15.0 m 13.30 m
PARKING	BY-LAW 1-88
	217 spaces 139 spaces
BARRIER FREE PARKING	6 spaces 8 spaces
CARPOOL PARKING	5 spaces
LOADING	BY-LAW 01-2021
BIKE SPACES	4 spaces
SNOW STORAGE	TO BE REMOVED OFF SITE BY PRIVATE CONTRACTOR

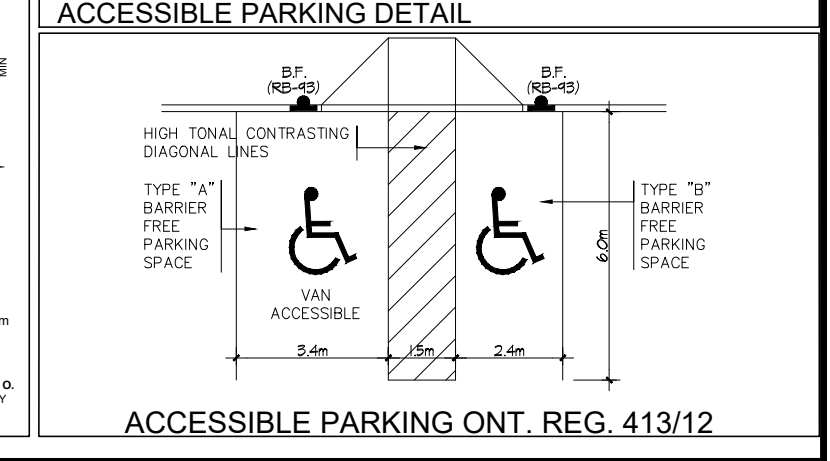


NOTES

1) THE SURFACE OF ALL LOADING SPACES AND RELATED DRIVEWAYS AND MANOEUVRING AREAS SHALL BE PAVED WITH HOT MIX ASPHALT OR CONCRETE.



	MAN DOOR
	LOADING DOCK DOOR
	DRIVE-IN / OVERHEAD DOOR
	HYDRANT + VALVE
	FIRE DEPARTMENT CONNECTION / SIAMESE
	CATCH BASIN
	DOUBLE CATCH BASIN
	SANITARY MAN HOLE
	CATCH BASIN / MAN HOLE
	STORM MAN HOLE
	HYDRO POLE STANDARD / UTILITY POLE
	BIKE RACK
	HYDRO TRANSFORMER
	ACCESSIBLE PARKING SPACE
	ACCESSIBLE PARKING SPACE SIGNAGE
	SNOW STORAGE AREA
	REFUSE STORAGE BINS TO BE STORED INTERNALLY AND REMOVED OFF-SITE BY PRIVATE CONTRACTORS.
	DESIGNATED CARPOOL SPACE / RIDE SHARING & ASSOCIATED SIGN



RECEIVED
By Christine Vigneault at 8:50 am, Sep 29, 2023

PLANS PREPARED AND VARIANCES IDENTIFIED BY APPLICANT

No.	ISSUED	DATE
1	ISSUED FOR SPA	MAY 25, 2021
2	RE-ISSUED FOR SPA	SEPT. 23, 2021
3	ISSUED FOR STEEL AND PRECAST TENDER	DEC. 03, 2021
4	RE-ISSUED FOR SPA	DEC. 21, 2021
5	ISSUED FOR PERMIT	FEB. 16, 2022

No.	REVISION	DATE
1	REVISED AS NOTED	SEPT. 22, 2022
2	REVISED AS NOTED	SEPT. 26, 2022

A150/23

BALDASSARRA
Architects Inc.
30 Great Gulf Drive, Unit 20 | Concord ON | L4K 0K7
T. 905.660.0722 | www.baldassarra.ca
OWNERS INFORMATION:



Vaughan Block 64
Highway 50 Investment LP
Vaughan, ON

SITE PLAN PHASE 1	
DA.21.028	
DATE: DEC. 2020	DRAWN BY: HP
CHECKED: SCALE: 1:600	PROJECT No. DRAWING No.
21-45	A-1.0

SCHEDULE B: STAFF & AGENCY COMMENTS				
DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
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YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/no conditions
Building Standards (Zoning)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments

Date: September 25th 2023

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A150-23**

Related Files:

Applicant Weston Consulting

Location 350 Hunter's Valley Road



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

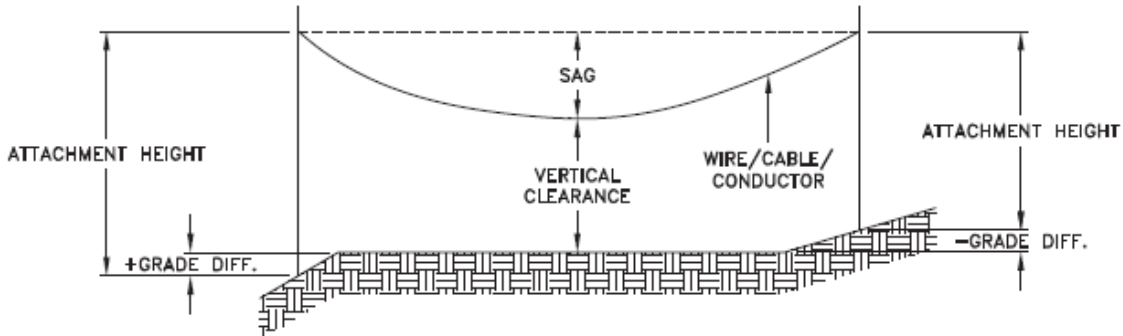
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

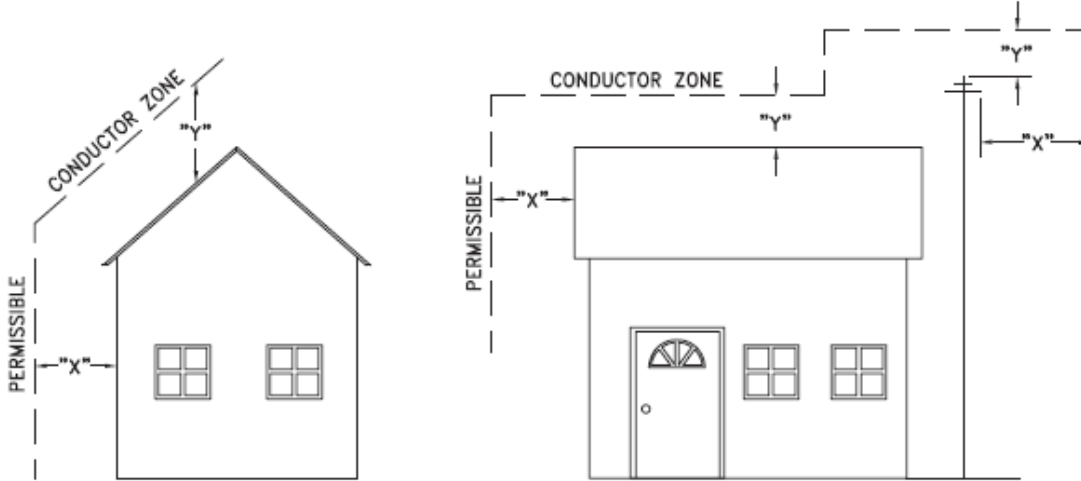
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

To: Committee of Adjustment
From: Sarah Scauzillo, Building Standards Department
Date: September 29, 2023
Applicant: Weston Consulting
Location: 350 Hunter's Valley Road
 CONC 10 Part of Lot 11-12
 PLAN 65R-31308 PART 1
File No.(s): A150/23

Zoning Classification:

The subject lands are zoned EM1, EM2, EM1(H) and EM2(H) and subject to the provisions of Exception 14.1005 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 01-2021	Variance requested
	none	

The subject lands are zoned C7, EM1, EM2, EM1(H) and EM2(H) and subject to the provisions of Exception 9(1375) under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
1	A minimum of 1.0 parking spaces per 100m ² of Gross Floor Area is required for Warehousing (Single Use). [Section 3.8]	To permit 0.5 spaces per 100m ² of Gross Floor Area for Warehousing (Single Use).

Staff Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
2	The subject lands are currently being reviewed under DA.21.063, DA.21.028 and Z.21.054.
3	The proposed parking rate of 0.5 per 100sq.m of GFA as requested by the applicant for single use warehouse creates a surplus of 25 parking spaces based on the following proposed floor areas (20,591m ² of warehouse and 313.42 of office).

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development Planning
Date: October 4, 2023
Name of Owner: Andrew Konev - Highway 50 Nominee Inc.
Location: 350 Hunter's Valley Road
File No.(s): A150/23

Proposed Variance (By-law 1-88):

1. To permit 0.5 spaces per 100 m² of Gross Floor Area for Warehousing (Single Use).

By-Law Requirement (By-law 1-88):

1. A minimum of 1.0 parking spaces per 100 m² of Gross Floor Area is required for Warehousing (Single Use).

Official Plan:

Vaughan Official Plan 2010 ('VOP 2010'): "Prestige Employment" and "General Employment".

Comments:

The Owner is requesting relief to permit the construction of a single-storey industrial/warehouse building located on the eastern portion of the site at 350 Hunter's Valley Road. The Owner has submitted Site Development Applications DA.21.028 (eastern portion of the site) and DA.21.063 (western portion of the site), as well as Zoning By-law Amendment File Z.21.054 (western portion of the site) to facilitate the development of the Subject Lands, which are currently under review. This Minor Variance application has been submitted to support Site Development Application file DA.21.028 (Building A), which at the time of submission was subject to dual review under both Zoning By-law 1-88 and By-law 001-2021. Site Development Application file DA.21.063 (Building B) was submitted second and was only subject to review under Zoning By-law 001-2021, and therefore was not required any minor variances to By-law 1-88.

The Development Planning Department has no objection to Variance 1 to permit 0.5 spaces per 100 m² of Gross Floor Area for Warehousing (Single Use). Variance 1 is being requested to meet the requirements of Zoning By-law 1-88 whereas the proposal complies with Zoning By-law 001-2021. The Subject Lands are zoned EM2 – General Employment by Zoning By-law 001-2021 and are subject to site-specific exception 14.1005. The proposed parking rate of 0.5 per 100 m² of GFA as requested by the applicant for single use warehouse creates a surplus of 25 parking spaces based on the following proposed floor areas: 20,591m² of warehouse and 313.42 m² of office.

Accordingly, the Development Planning Department can support the requested variance and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None.

Comments Prepared by:
Nicholas Del Prete, Planner I
David Harding, Senior Planner

Pravina Attwala

Subject: FW: [External] RE: A150/23 - 350 Hunter's Valley Road - REQUEST FOR COMMENTS

From: Kristen Regier <Kristen.Regier@trca.ca>
Sent: September-25-23 8:41 AM
To: Committee of Adjustment <CofA@vaughan.ca>
Cc: Lenore Providence <Lenore.Providence@vaughan.ca>; Christine Vigneault <Christine.Vigneault@vaughan.ca>
Subject: [External] RE: A150/23 - 350 Hunter's Valley Road - REQUEST FOR COMMENTS

Hello,

The subject property at 350 Hunter's Valley Road, Vaughan is not located within TRCA's Regulated Area. TRCA's Planning and Regulatory policy interests are not impacted.

As such, TRCA has no comments on the application.

Best,

Kristen Regier, MA (she / her)
Planner I
Development Planning and Permits | Development and Engineering Services
Toronto and Region Conservation Authority (TRCA)

T: [437-880-2129](tel:437-880-2129)
E: kristen.regier@trca.ca
A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca) | [trca.ca](https://www.trca.ca)



Prabhdeep Kaur

From: Development Services <developmentsservices@york.ca>
Sent: Tuesday, September 26, 2023 12:47 PM
To: Lenore Providence
Cc: Committee of Adjustment
Subject: [External] RE: A150/23 - 350 Hunter's Valley Road - REQUEST FOR COMMENTS

Hi Lenore,

The Regional Municipality of York has completed its review of the minor variance application – A150/23 (350 Hunter's Valley Road) and has no comment.

Please note regional comments will continue to be submitted through the associated Site Plan (SP.22.V.0021 – DA.21.063).

Please provide us with a copy of the notice of decision for our records.

Many thanks,

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Development Services, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

Our Values: Integrity, Commitment, Accountability, Respect, Excellence



Our Mission: **Working together to serve our thriving communities – today and tomorrow**

Please consider the environment before printing this email.

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant			09/13/2023	Application Cover Letter

Development Planning Department
City of Vaughan
2141 Major Mackenzie Drive
Vaughan, Ontario L6A 1T1

September 8, 2023
File 10237

Attn: Committee of Adjustment
Christine Vigneault, Manager & Secretary Treasurer

RE: Minor Variance Application
Part of Lot 11 and 12, Concession 10 (Highway 50)
Related Files (DA.21.028, and Z.21.029)

Weston Consulting is the planning representative for Highway 50 Nominee Inc, the registered owner of the lands legally known as Part 1 of Lot 11 and 12, Concession 10 in the City of Vaughan (herein referred to as the 'subject lands'). This letter has been prepared in support of a proposed Minor Variance application for a reduction in parking for the approved Site Development Application (DA.21.028) for a proposed industrial warehouse building.

Background

The parcel is part of the Block 64 South Landowner Group, which has submitted a Block Plan Amendment application (BL.64.2020) for the surrounding industrial area and is currently under review with City Staff.

In May 2021, the Site Development Application was submitted to permit the development of a 20,908.79 m² single-storey industrial warehouse building located on the eastern half of the subject lands and referred to a Building "A". A Notice of Complete Application for Building A was received on August 10, 2021. The owner recently received Site Plan Approval in July 2023.

It should be noted that the subject lands are part of a phased development, with phase 2 consisting of a second industrial warehouse building (Building B) to be located on the western portion of the subject lands. Currently, Zoning By-law Amendment and Site Plan Approval applications have been submitted for the second phase, which is currently under review and identified as "Future Development" on the enclosed Site Plan.

Description of Subject Lands and Policy Framework

The subject lands are referred to as Block H within the Block 64 South Block Plan and is located north of Langstaff Road and south of Trade Valley Drive. The site is approximately 8.09 hectares (69,775.32 m²) in size with approximately 118 metres of frontage along Highway 50. The subject lands are legally described as:

PT LT 11; PT LT 12 CON 10 (VGN) PT 1, 65R31308; S/T EASE IN GROSS OVER PT 2 65R31507 AS IN YR1296485; S/T EASEMENT IN GROSS OVER PT 1, 65R31507 AS IN YR1296487 CITY OF VAUGHAN

The City of Vaughan Official Plan designates the subject lands as *Prestige Employment* and *General Employment* per Schedule 13 (Land Use). The subject lands are zoned EM2 and EM2(H) under City of Vaughan Zoning By-law 1-88 and Zoning By-law 001-2021.

Purpose of Application

The purpose of the requested Minor Variance application is to seek relief from the City of Vaughan Zoning By-law 1-88 to permit a reduction in parking from 217 to 112 spaces, through the utilization of the new City of Vaughan Comprehensive Zoning By-law 001-2021 rates for both warehouse and accessory office use. This contemplates a reduction in parking rates from 1.0 space/100m² of gross floor area (GFA) to 0.5 spaces/100m² of GFA for the warehouse use and a reduction from 3.5 spaces/100m² of GFA to 3.0 spaces/100m² of GFA for accessory office.

The original contemplation was for the adjacent application for the western portion of the site (DA.21.063) to contain overflow parking for application DA.21.028. However, at this time, it is the owner's intent to have the two applications and buildings function independently of one another.

On July 12, 2023, the City of Vaughan Building Standards Department provided the following comment with respect to application DA.21.063:

"The proposed 296 parking spaces do not meet the requirements of the By-law. Based on the proposed warehouse uses for Buildings A and B a minimum of 300 parking spaces are required. Applicant shall be advised that the addition of office space will require additional parking. Note that parking for phase 1 was calculated under the requirements of By-law 1-88a.a. (1.0 spaces per 100 sq.m) as it is transitioned under section 1.6 of By-law 001-2021."

This application for a Minor Variance is submitted to address the above comment and fulfill the requirement of obtaining relief from By-Law 1-88 parking requirements and allowing the two applications to function independently.

The tables below provide the required and provided parking as a result of the requested parking variance for the warehouse and accessory office rates:

By-law 1-88	GFA (m ²)	Spaces Required	Spaces Provided
Warehouse (1.0 space/100 m ² of GFA)	20,591.36	206	
Accessory Office (3.5 spaces/100m ² of GFA)	313.43	11	
Total		217	210
By-law 001-2021			
Warehouse (0.5 space/100 m ² of GFA)	20,591.36	103	
Accessory Office (3.0 spaces/100m ² of GFA)	313.43	9	
Total		112	210

Policy Analysis and Planning Justification

City of Vaughan Official Plan

The City of Vaughan Official Plan designates the subject lands as *Prestige Employment* and *General Employment*. Permitted uses within this designation includes a full range of industrial and employment uses including manufacturing, warehouse and distribution and accessory office.

City of Vaughan Zoning By-law 1-88

The subject lands are zoned EM2 and EM2(H) under City of Vaughan Zoning By-law 1-88 and Zoning By-law 001-2021. According to Zoning By-law 1-88, EM2 zone permits a range of employment uses including warehouse and accessory office uses to an employment use. In accordance with Zoning By-law 001-2021, EM2 zone permits a variety of employment uses including warehousing and distribution and accessory office use.

Tests for Minor Variance

The Planning Act sets out the regulatory framework that governs the consideration of Minor Variance applications. Section 45 of the Act authorizes the Committee of Adjustment to make decisions regarding Minor Variance applications. Pursuant to Section 45(1), a minor variance may be approved where, in the opinion of the Committee, it satisfies the following tests:

- The variance requested maintains the general intent and purpose of the Official Plan;
- The variance requested maintains the general intent and purpose of the Zoning By-Law;
- The variance requested is desirable for the appropriate use of the land; and,
- The variance requested is minor in nature.

1. Maintains the General Intent and Purpose of the Official Plan

The subject lands are designated *Prestige Employment* and *General Employment*. The intent of employment areas is to protect lands for employment uses and ensure the long-term viability and economic well-being of the City. The permitted uses within this designation includes a full range of industrial uses including warehousing and accessory office. The development proposes to maintain the warehouse use with the inclusion of accessory office, which conforms to the use permissions contemplated by the Official Plan. The requested variance therefore maintains the general intent and purpose of the Official Plan.

2. Maintains the General Intent and Purpose of the Zoning By-Law

The subject lands are zoned EM2 and EM2(H) under City of Vaughan Zoning By-law 1-88. These zones allow for a wide range of employment uses consistent with the Official Plan, including warehouse uses and accessory office uses. With respect to the parking, a total of 217 spaces are required to serve the proposed development. The variance requested includes a reduction in parking to utilize the warehouse and accessory office rates within By-law 001-2021, which is 0.5 spaces/100m² of GFA and 3.0 spaces/100m² of GFA. Utilizing these rates would require a total of 112 spaces.

The variance requested maintains the intent and purpose of the Zoning Bylaw as the suggested number of parking spaces aligns with the requirement outlined in Zoning By-law 001-2021, which was recently enacted as per Council's direction. The surrounding developments, including Building B situated on the western portion of the subject lands are regulated under Zoning By-law 001-2021, therefore, it is a logical to request to utilize the reduced rate as provided in Zoning By-law 001-2021. This would allow the zoning objectives to remain consistent throughout the immediate site and the larger employment area. The shift in the reduced parking rate within Zoning By-law 001-2021 contemplates more reliance on public and active transportation and less reliance on the personal automobile. The subject lands are in proximity to a public transit stop at the corner of Highway 50 and Trade Valley Drive.

Furthermore, attached is a letter supporting the reduction in parking from NexTrans which are the project's traffic engineers. The letter states that the proposed parking is reasonable and supported by the proxy site surveys. To ensure sufficient parking is available for future employees and visitors to the building, Nextrans conducted parking utilization surveys at similar proxy sites on Thursday January 30, 2020, and Tuesday February 4, 2020 between 7:00 AM - 5:00 PM at 30-minute intervals.

The survey results show a peak parking demand rate of 0.31 space per 100 m² of GFA utilized during the highest peak parking demands. On this basis, the City of Vaughan Comprehensive Zoning Bylaw 001-2021 parking requirements (0.5 spaces/100 m² for warehouse use and 3.0 spaces/100 m² for ancillary office) are reasonable and support the other modes of transportation in the area, and should be applied towards the proposed development, as it is applied for Building B.

3. Desirable for the Appropriate Use of the Land

Whether a minor variance is desirable and appropriate can be addressed by assessing the function of the subject lands and the compatibility of the new development within the context of the surrounding area. The requested variance will enable the utilization of an underutilized land situated within the Vaughan Enterprise Zone, which is primed for employment-related purposes. As mentioned above, the surrounding developments, including Building B situated on the western portion of the subject lands are regulated under Zoning By-law 001-2021, therefore, it is only logical that the proposed development remain consistent with the immediate and surrounding land uses and overarching objectives of By-law 001-2021, which was enacted as per Council's direction.

4. Minor in Nature

The requested variance is minor in nature, given that the allocated parking total for Building A well (210 spaces) far exceeds the required parking ratio within By-law 001-2021. This alignment is consistent with the parking provisions being contemplated for Building B on the western portion of the subject lands and the surrounding developments within the vicinity. Furthermore, minimal, if any adverse impact is anticipated as a result of the reduced rate, given that the survey results from Nextrans show a peak parking demand rate of 0.31 spaces/100 m² of GFA were utilized during the highest peak parking demands over the course of the survey days for highest peak parking demands, which is well below the requested 0.5 spaces/100m² of GFA.

Conclusion

Based on our analysis and the information provided above, we are of the opinion that the proposed application for Minor Variance maintains the general intent and purpose of the Official Plan and Zoning By-law, is desirable and appropriate for the development of the subject lands and is minor in nature. In our opinion, the criteria prescribed by Section 45(1) of the Planning Act are satisfied.

We are of the opinion that the proposed application has merit, represents good planning and should be approved and request that the enclosed application be considered and approved by the Committee of Adjustment.

The following materials have been submitted digitally in support of the proposed Minor Variance application:

- Cover Letter and Planning Justification, prepared by Weston Consulting;
- Completed Minor Variance application;
- Traffic Addendum Letter, prepared by NexTrans; and,
- Site Plan A-1.0, prepared by Baldassara Architects Inc.

We trust the above is in order and that you have all the materials required to complete your review of the submitted applications. Should you require additional information or have any questions please do not hesitate to contact the undersigned at extension 290 or Mina Rahimi at extension 339.

Yours truly,

Weston Consulting

Per:



Paul Tobia, BURPI, MCIP, RPP
Senior Planner

SCHEDULE D: PREVIOUS COA DECISIONS ON THE SUBJECT LAND		
File Number	Date of Decision MM/DD/YYYY	Decision Outcome
A159/22	07/07/2022	APPROVED; COA

NOTICE OF DECISION
MINOR VARIANCE APPLICATION A159/22
 Section 45 of the Planning Act, R.S.O, 1990, c.P.13

DATE OF HEARING:	Thursday, July 7, 2022
APPLICANT:	Highway 50 Nominee Inc.
AGENT:	Weston Consulting
PROPERTY:	350 Hunter's Valley Rd Vaughan
ZONING DESIGNATION:	See Below
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "General Employment"
RELATED DEVELOPMENT APPLICATIONS:	DA.21.028.
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit loading and unloading between a building and a Highway (Highway 50) to facilitate the construction of a proposed warehouse and Site Development Application DA.21.028.

The following variances are being requested from the City's Zoning By-law:

The subject lands are zoned EM1, C7, EM2, EM2(H) and subject to the provisions of Exception 9(1375) under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
1	Where a lot is a through lot, loading and unloading shall take place anywhere on the lot except between a building and a Highway or arterial road. [Section 3.9, By-law 1-88a.a.]	To permit loading and unloading between a building and a Highway (Highway 50).

Having regard to the requirements of Section 45 of the *Planning Act*, R.S.O. 1990, c. P. 13, as amended, including the written and oral submissions related to the application, it is the decision of the Committee:

THAT Application No. **A159/22** for 350 Hunter's Valley Rd, Vaughan be **APPROVED**, in accordance with the drawings and plans submitted with the application and subject to the following conditions:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL		
All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.		
#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Planning joshua.cipolletta@vaughan.ca	That all comments on Site Development Application DA.21.028 be addressed to the satisfaction of the Development Planning Department.
2	Development Engineering farzana.khan@vaughan.ca	The Owner/applicant shall obtain approval for the related Site Development Application (DA.21.028) from the Development Engineering (DE) Department.

REASONS:

This application is approved, as it is the opinion of the Committee that, with the above noted conditions of approval, this application meets all four tests under Section 45(1) of the Planning Act:

1. The general intent and purpose of the by-law will be maintained.
2. The general intent and purpose of the official plan will be maintained.
3. The requested variance(s) is/are acceptable for the appropriate development of the subject lands.
4. The requested variance(s) is/are minor in nature.

PUBLIC WRITTEN & ORAL SUBMISSIONS

Public correspondence considered by the Committee of Adjustment in the making of this decision.

WRITTEN SUBMISSIONS:

Name	Address	Date Received (mm/dd/yyyy)	Summary
None			

ORAL SUBMISSIONS:

Name	Address	Submission (Hearing) Date (mm/dd/yyyy)	Summary
None			

In accordance with Procedural By-law 069-2019, public written submissions on an Application shall only be received by the Secretary Treasurer until **noon** on the last business day prior to the day of the scheduled Meeting.

WRITTEN SUBMISSIONS RECEIVED PAST DEADLINE:

Name	Address	Date Received (mm/dd/yyyy)	Summary
None			

IMPORTANT INFORMATION

Making any changes to your proposal/development after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings attached to this decision.

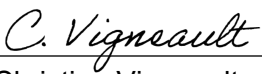
A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

MEMBERS PRESENT WHO CONCUR IN THIS DECISION:

<i>H. Zheng</i>	<i>A. Perrella</i>	<i>R. Buckler</i>
H. Zheng Member	A. Perrella Chair	R. Buckler Member
<i>S. Kerwin</i>		<i>A. Antinucci</i>
S. Kerwin Vice Chair		A. Antinucci Member

DATE OF HEARING:	Thursday, July 7, 2022
DATE OF NOTICE:	July 14, 2022
LAST DAY FOR *APPEAL: *Please note that appeals must be received by this office no later than 4:30 p.m. on the last day of appeal.	July 27, 2022 4:30 p.m.
CERTIFICATION: I hereby certify that this is a true copy of the decision of the City of Vaughan’s Committee of Adjustment and this decision was concurred in by a majority of the members who heard the application.  _____ Christine Vigneault Manager Development Services & Secretary Treasurer to the Committee of Adjustment	

Appealing to The Ontario Land Tribunal
The *Planning Act*, R.S.O. 1990, as amended, Section 45

The applicant, the Minister or any other person or public body who has an interest in the matter may **within 20 days of the making of the decision** appeal to the Ontario Land Tribunal (OLT) against the decision of the Committee by filing with the Secretary-Treasurer of the Committee a notice of appeal setting out the objection to the decision and the reasons in support of the objection accompanied by payment to the Secretary-Treasurer of the fee prescribed by the Tribunal under the *Ontario Land Tribunal Act*.

A notice of appeal may not be filed by an unincorporated association or group. However, a notice of appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

When **no appeal is lodged** within twenty days after the giving of notice the decision becomes final and binding and notice to that effect will be issued by the Secretary-Treasurer.

PLEASE NOTE: Please notify the Secretary Treasurer by email at cofa@vaughan.ca that you will be filing an appeal and mail or courier appeals and prescribed fees to:

Office of the City Clerk - Committee of Adjustment
2141 Major Mackenzie Drive
Vaughan Ontario, L6A 1T1

If you have questions regarding the appeal process, please email cofa@vaughan.ca

Appeal Fees & Forms

ONTARIO LAND TRIBUNAL (OLT): The OLT appeal fee is \$400 plus \$25 for each additional consent/variance appeal filed by the same appellant against connected applications. The OLT Appeal Fee must be paid by certified cheque or money order payable to the “Minister of Finance”. OLT appeals must be filed with the Secretary Treasurer, City of Vaughan.

City of Vaughan OLT Processing Fee: \$892.00 per application

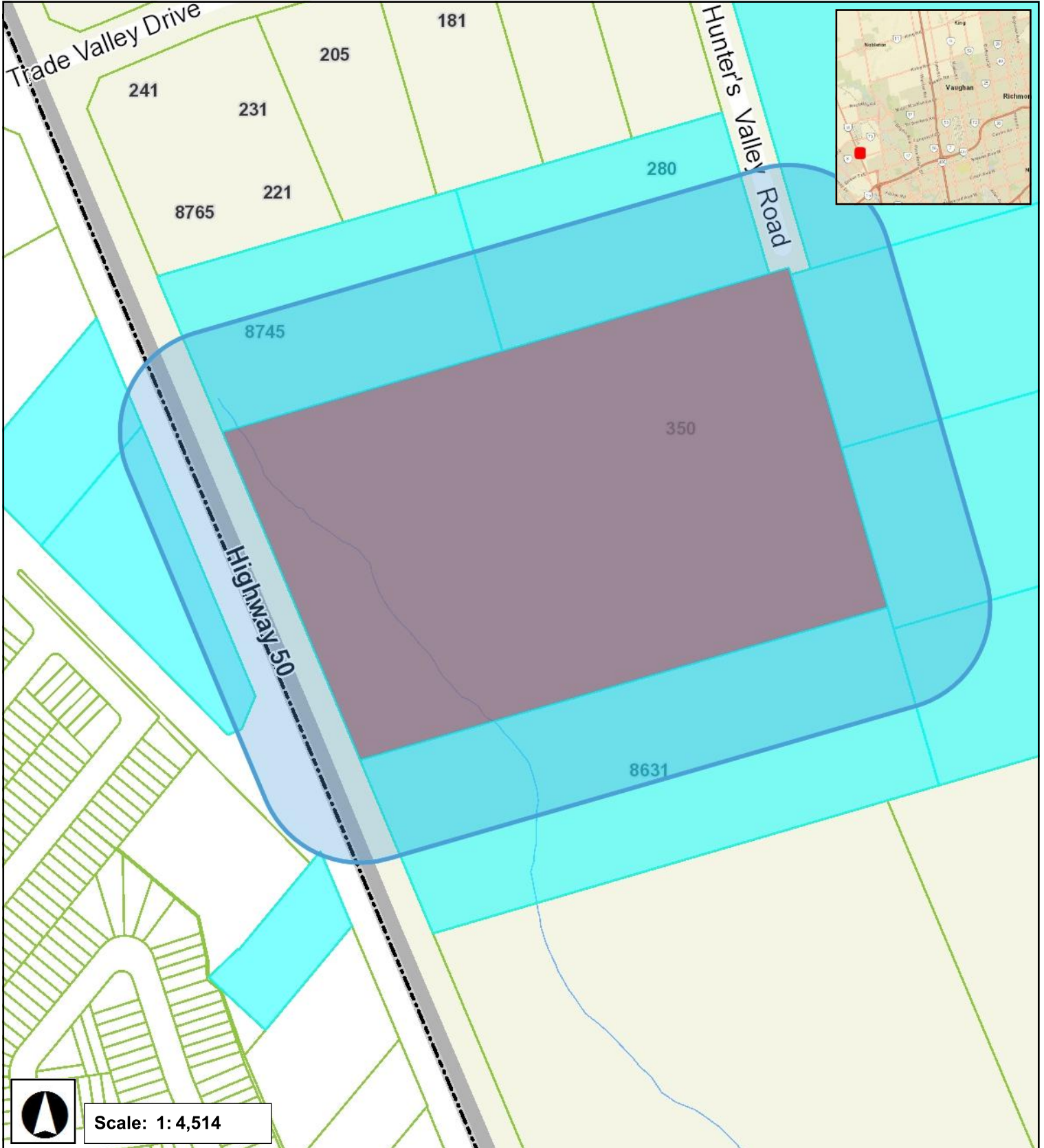
*Please note that all fees are subject to change.



LOCATION MAP - A159/22

350 HUNTER'S VALLEY ROAD, VAUGHAN

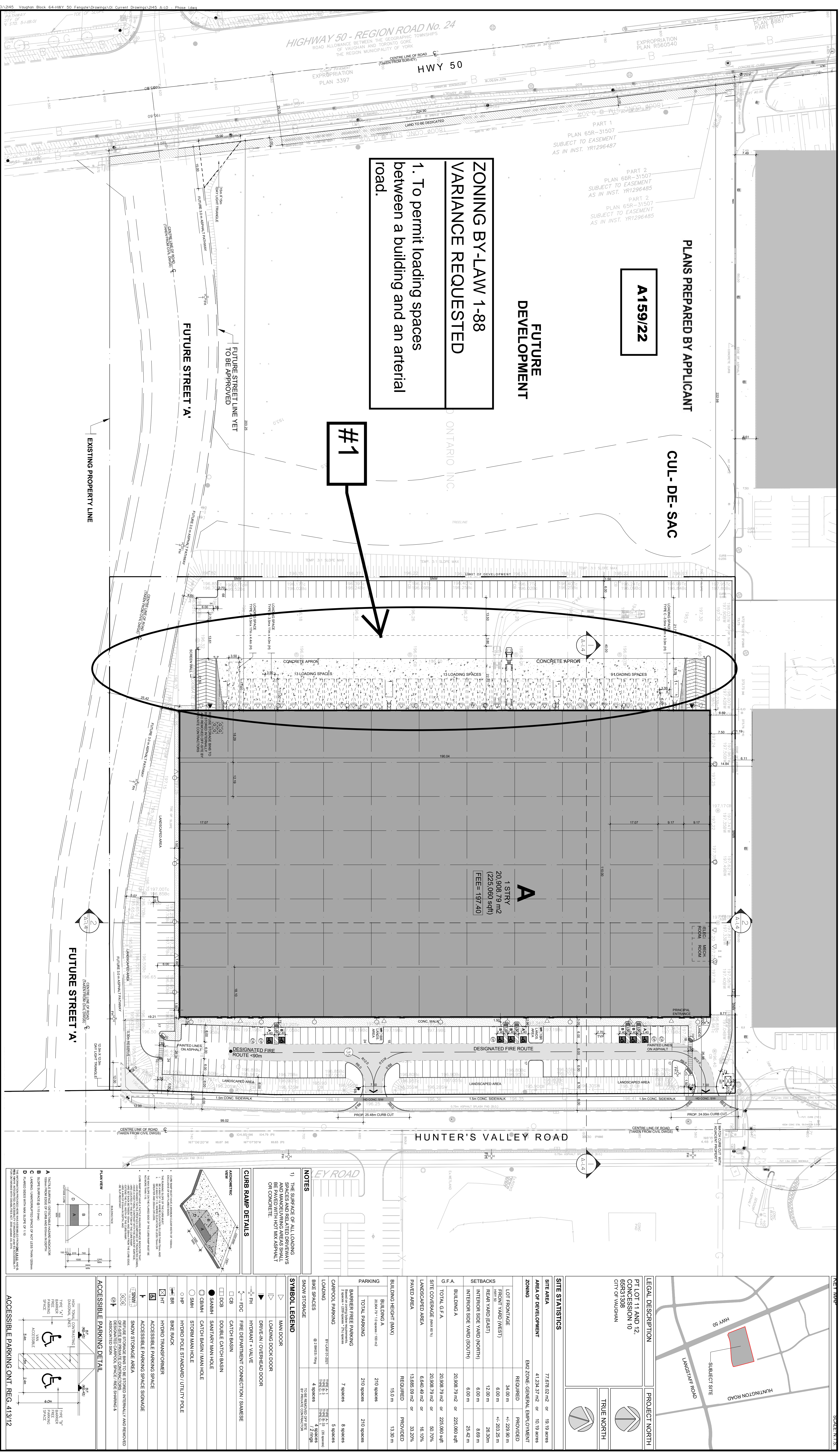
RUTHERFORD ROAD



Scale: 1:4,514

LANGSTAFF ROAD

June 20, 2022 12:16 PM



No.	ISSUED	DATE
1	ISSUED FOR SPA	MAY 25, 2021
2	RE-ISSUED FOR SPA	SEPT. 23, 2021
3	ISSUED FOR STEEL AND PRECAST TENDERS	DEC. 09, 2021
4	RE-ISSUED FOR SPA	DEC. 21, 2021
5	ISSUED FOR PERMIT	FEB. 16, 2022

No.	RE-ISSUED FOR SPA	DATE
5	RE-ISSUED FOR SPA	MAR. 2, 2022

No.	REVISION	DATE
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BALDASSARRA
Architects Inc.
30 Great Gulf Drive, Unit 20 | Concord ON | L4K 0K7
T. 905.680.0722 | www.baldassarra.ca
OWNERS INFORMATION



Vaughan Block 64
Highway 50 Investment LP
Vaughan, ON

DATE	BY	CHECKED	SCALE
DEC. 2020	HP		1:600

SITE PLAN
PHASE 1
DA.21.028

P-19160 **A-1.0**

PROJECT NO. DRAWING NO.