

<b>ITEM: 6.8</b>	<b>COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A132/23 2 BODDY COURT, WOODBRIDGE</b>
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**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING  
DEPARTMENTS & AGENCIES:**

\*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

**PUBLIC & APPLICANT CORRESPONDENCE**

\*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

**PREVIOUS COA DECISIONS ON THE SUBJECT LAND**

\*Please see **Schedule D** for a copy of the Decisions listed below

File Number	Date of Decision	Decision Outcome

**PREVIOUS COA DECISIONS ON THE SUBJECT LAND**

\*Please see **Schedule D** for a copy of the Decisions listed below

	MM/DD/YYYY	
None		

**ADJOURNMENT HISTORY**

\* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

None	
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**COMMITTEE OF ADJUSTMENT REPORT  
MINOR VARIANCE APPLICATION  
A132/23  
2 BODDY COURT, WOODBRIDGE**

<b>ITEM NUMBER: 6.8</b>	<b>CITY WARD #: 3</b>
<b>APPLICANT:</b>	Melanie & Sergio Di Carantonio
<b>AGENT:</b>	Sunny Gervan
<b>PROPERTY:</b>	2 Boddy Court, Woodbridge
<b>ZONING DESIGNATION:</b>	See Below
<b>VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:</b>	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
<b>RELATED DEVELOPMENT APPLICATIONS:</b>	None
<b>PURPOSE OF APPLICATION:</b>	Relief from the Zoning By-law is being requested to permit a proposed cabana.

The following variances have been requested from the City's Zoning By-law:

**The subject lands are zoned R2A(EN), Second Density Residential Zone subject to the provisions of Exception 14.474 under Zoning By-law 001-2021, as amended.**

#	Zoning By-law 001-2021	Variance requested
1	An accessory building or residential accessory structure shall not be closer to an exterior side lot line than the principal building on the lot (5.38 metres).	To permit a minimum exterior side yard setback of 2.51 metres to an accessory building (Cabana).

**HEARING INFORMATION**

**DATE OF MEETING:** Thursday, October 19, 2023  
**TIME:** 6:00 p.m.  
**MEETING LOCATION:** Vaughan City Hall, Woodbridge Room (2<sup>nd</sup> Floor), 2141 Major Mackenzie Drive  
**LIVE STREAM LINK:** [Vaughan.ca/LiveCouncil](http://Vaughan.ca/LiveCouncil)

**PUBLIC PARTICIPATION**

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

If you would like to submit written comments, please quote file number above and submit by mail or email to:

**Email:** [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

**Mail:** City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to [cofa@vaughan.ca](mailto:cofa@vaughan.ca) no later than NOON on the last business day before the meeting.

**THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.**

**INTRODUCTION**

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.

## INTRODUCTION

That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.  
That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

## COMMITTEE OF ADJUSTMENT COMMENTS

<b>Date Public Notice Mailed:</b>	October 5, 2023
<b>Date Applicant Confirmed Posting of Sign:</b>	September 28, 2023
<b>Applicant Justification for Variances:</b> <small>*As provided by Applicant in Application Form</small>	Lot size and shape does not permit.
<b>Adjournment Requests (from staff):</b> <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	None
<b>Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:</b>  <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.  *A revised submission may be required to address staff / agency comments received as part of the application review process.  *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>	No
<b>Adjournment Fees:</b> In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice.  An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff <b>after</b> the issuance of public notice.	
<b>Committee of Adjustment Comments:</b>	None
<b>Committee of Adjustment Recommended Conditions of Approval:</b>	None

## BUILDING STANDARDS (ZONING) COMMENTS

\*\*See Schedule B for Building Standards (Zoning) Comments

<b>Building Standards Recommended Conditions of Approval:</b>	None
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## DEVELOPMENT PLANNING COMMENTS

\*\*See Schedule B for Development Planning Comments.

<b>Development Planning Recommended Conditions of Approval:</b>	None
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## DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#)   [Link to Pool Permit](#)   [Link to Curb Curt Permit](#)   [Link Culvert Installation](#)

As the proposed cabana in the subject property is 33.49 sq. m, the Owner/ Applicant needs to obtain a 'Lot Grading Permit' from the Development Inspection and Lot Grading Division of the City's Development Engineering Department. Please note any in-ground structure over 10 sq. m requires a 'Grading Permit'. Please contact the Development Engineering Reviewer after receiving the Grading Permit to clear the condition. (Condition attached)

<b>Development Engineering Recommended Conditions of Approval:</b>	The Owner / Applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading Division of the City's Development Engineering Department for final Lot Grading and/or Servicing Permit prior to any work being undertaken on the property. Please visit the Grading Permit page at City of Vaughan website to learn how to apply for the Grading Permit. If you have any questions about Grading Permit, please contact the Development Engineering Department by email at <a href="mailto:DEPermits@vaughan.ca">DEPermits@vaughan.ca</a> .
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### PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

Forestry has no comment at this time.

<b>PFH Recommended Conditions of Approval:</b>	None
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### DEVELOPMENT FINANCE COMMENTS

No comment no concerns

<b>Development Finance Recommended Conditions of Approval:</b>	None
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### BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

No comments received to date.

<b>BCLPS Recommended Conditions of Approval:</b>	None
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### BUILDING INSPECTION (SEPTIC) COMMENTS

No comments received to date.

<b>Building Inspection Recommended Conditions of Approval:</b>	None
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### FIRE DEPARTMENT COMMENTS

No comments received to date.

<b>Fire Department Recommended Conditions of Approval:</b>	None
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### SCHEDULES TO STAFF REPORT

\*See Schedule for list of correspondence

<b>Schedule A</b>	Drawings & Plans Submitted with the Application
<b>Schedule B</b>	Staff & Agency Comments
<b>Schedule C</b> (if required)	Correspondence (Received from Public & Applicant)
<b>Schedule D</b> (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

### SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “**if required**”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Engineering <a href="mailto:Jonal.hall@vaughan.ca">Jonal.hall@vaughan.ca</a>	The Owner / Applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading Division of the City’s Development Engineering Department for final Lot Grading and/or Servicing Permit prior to any work being undertaken on the property. Please visit the Grading Permit page at City of Vaughan website to learn how to apply for the Grading Permit. If you have any questions about Grading Permit, please contact the Development Engineering Department by email at <a href="mailto:DEPermits@vaughan.ca">DEPermits@vaughan.ca</a> .

### IMPORTANT INFORMATION – PLEASE READ

**CONDITIONS:** It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

## IMPORTANT INFORMATION – PLEASE READ

**APPROVALS:** Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.

**DEVELOPMENT CHARGES:** That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

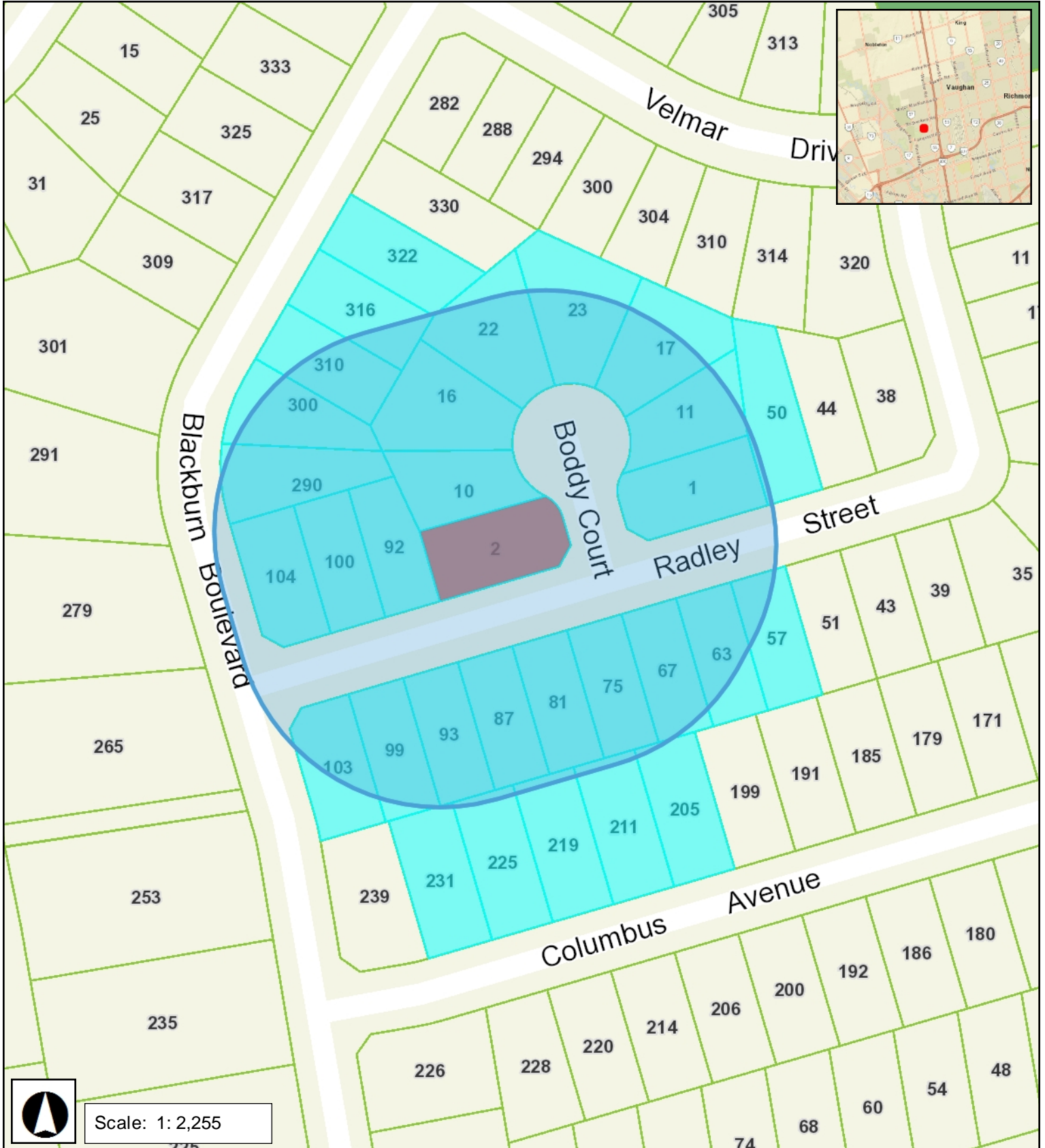
That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

**NOTICE OF DECISION:** If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will **not** receive notice.

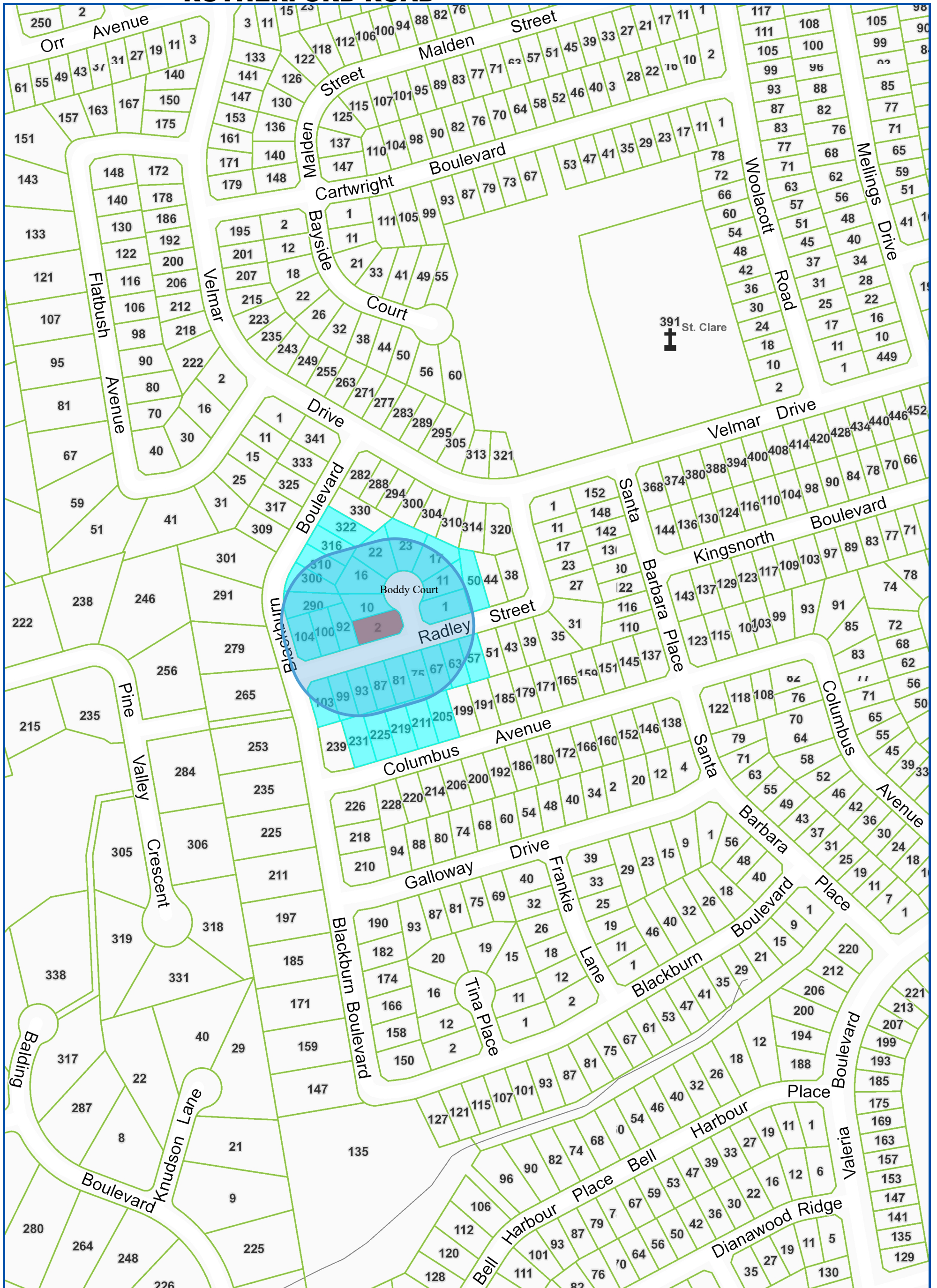
**SCHEDULE A: DRAWINGS & PLANS**

2 Boddy Court, Woodbridge



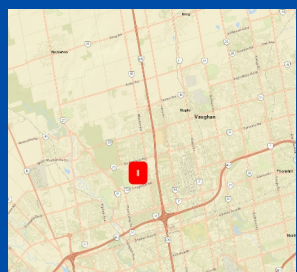


# RUTHERFORD ROAD



WESTON ROAD

Map Information:



Title: **2 BODDY COURT, WOODBRIDGE**

**NOTIFICATION MAP - A132/23**

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1: 4,514

0 0.07 km



Created By:

Infrastructure Delivery

Department

August 30, 2023 9:28 AM

Projection:

NAD 83

UTM Zone

17N



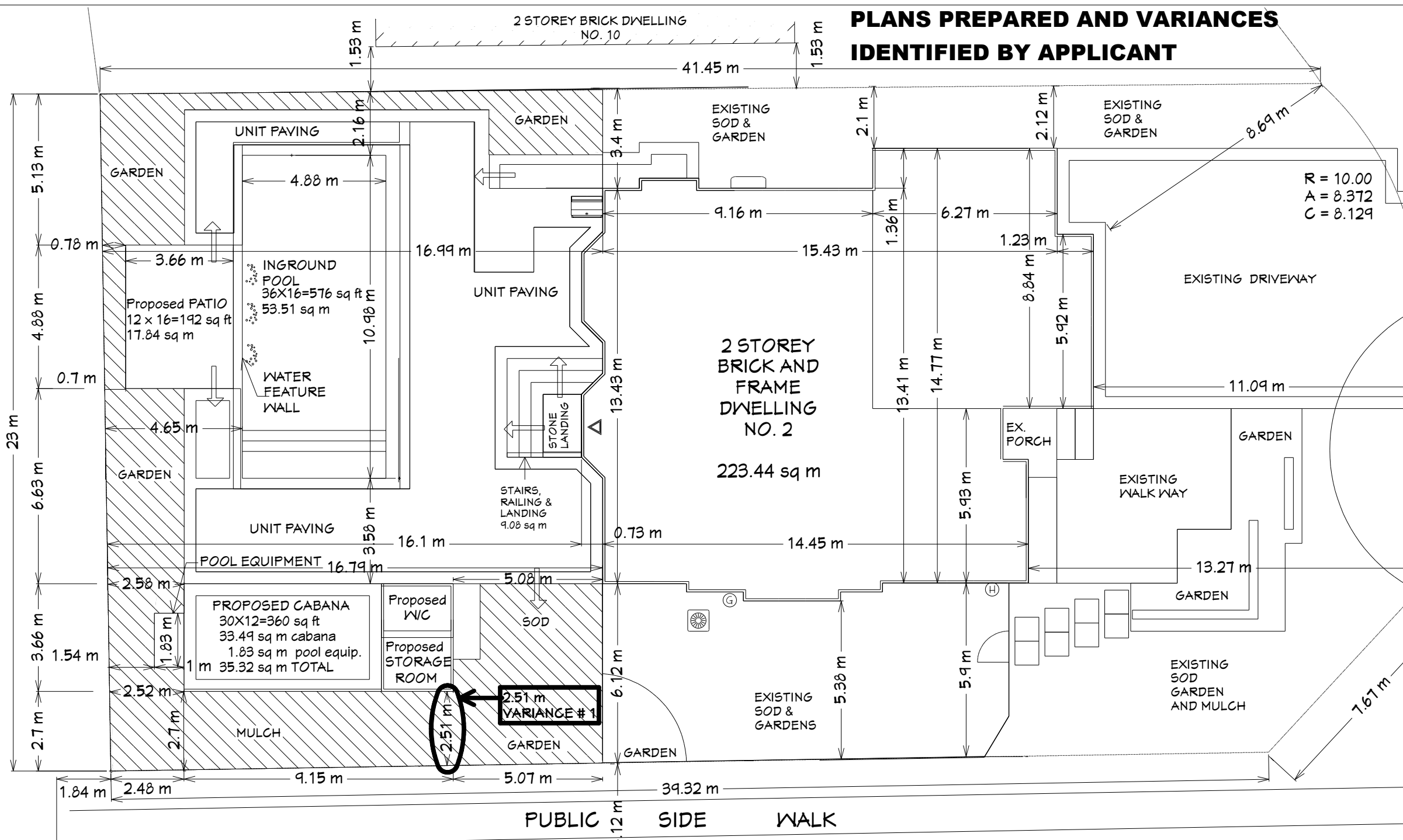
**PLANS PREPARED AND VARIANCES IDENTIFIED BY APPLICANT**

**PROPOSED SCOPE:**  
 NEW RESIDENTIAL ACCESSORY BUILDING / STRUCTURE: CABANA  
 35.32sq m

OPEN CABANA WITH ENCLOSED STORAGE AND TWO PIECE BATH (3 SEASON)

FRAME STRUCTURE ON THICKENED EDGE SLAB

LOW SLOPE SHED ROOF MAX. 3 m



**A132/23**

**BODDY COURT**

# Zoning By-law 01-2021  
 Variance requested

1 To permit a residential accessory structure to be located a minimum of 2.51 m to the exterior side lot line. (Cabana)

**RADLEY ST**

**Site Plan & Statistics**

2 BODDY COURT  
 STATISTICS: LOT AREA 996.966 sq m BY-LAW 1-88 and 001-2021 ZONE R2A EX 474  
 FRONTAGE: 25.62 m REAR 23.0 m SOUTH SIDE EXT. LOT LINE 39.32m NORTH SIDE INT. LOT LINE 41.45 m

DESCRIPTION	EXISTING	PROPOSED	PERMITTED/ RQR'D	SETBACKS	EXISTING	PROPOSED
COVERAGE HOUSE:	223.44 sq m	223.44 sq m	548.33 sq m / 55% lot area	FRONT	8.69 m	8.69 m
ACC. STRUCTURE:	0	35.32 sq m	67.0 sq m / 10% (99.7 sq m)	REAR	16.1 m	16.1 m
TOTAL:	223.44 sq m	258.76 sq m		PROPOSED CABANA		
SOFT LANDSCAPING				EXT. SIDE	.....	2.51 m
REAR TOTAL	329.05 sq m	117.06 sq m	116.7 sq m (> 135 sq m min.60%)	( SOUTH )		
CABANA HEIGHT	-	2.99 m	3 m	REAR		
				( EAST )	.....	2.52 m

THE UNDERSIGNED HAS REVIEWED & TAKES RESPONSIBILITY FOR THIS DESIGN, HAS THE QUALIFICATIONS & MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.  
 SUSANN GERVAN BCIN: 23193  
 FIRM BCIN: 104059

Notes METRIC VERSION

#1. zoning request 08/29/2023

Revisions

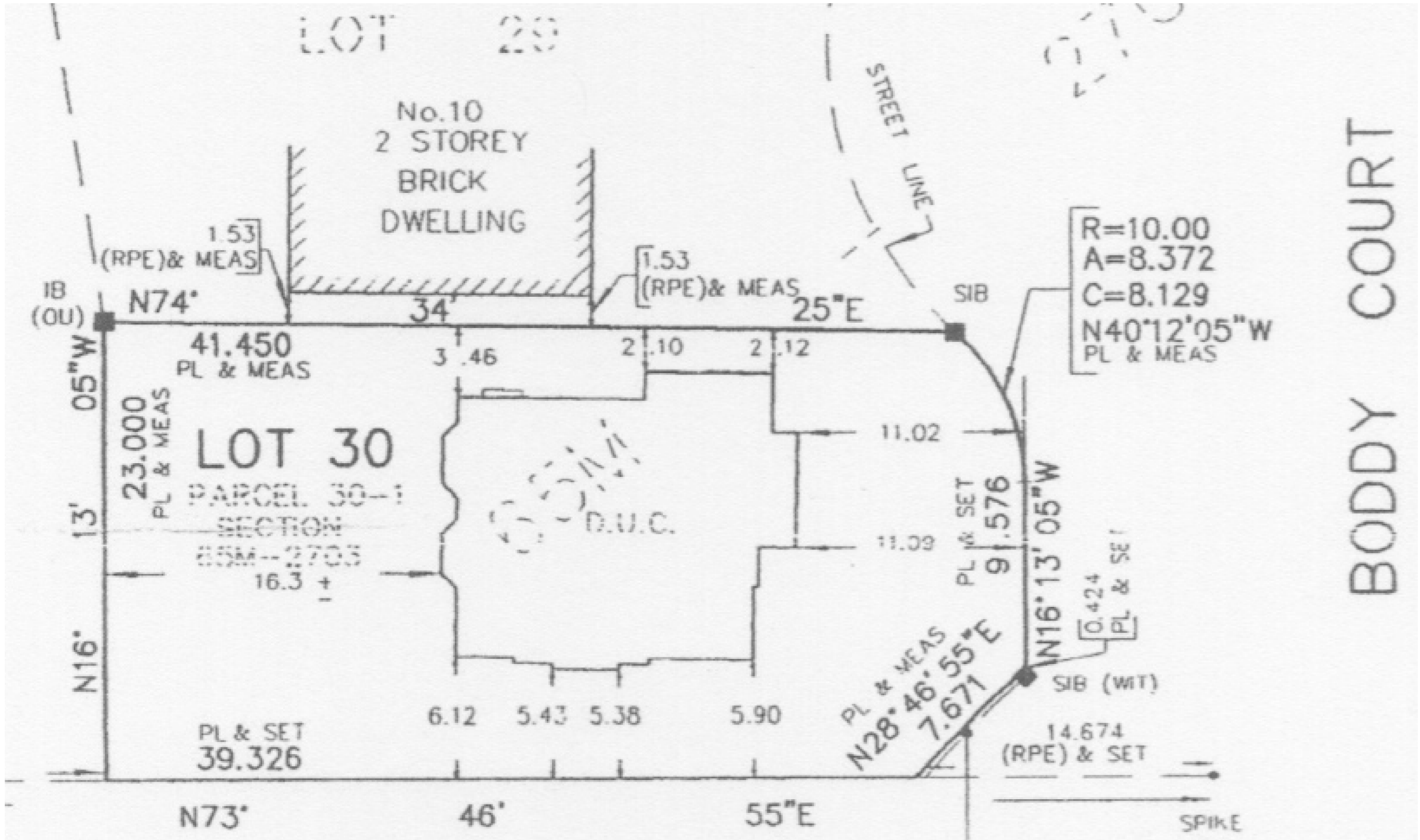
Drawing: **Site Plan & Statistics**

Project: DiCarlantonio Residence  
 2 Boddy Court  
 Vaughan, ON  
 Proposed Cabana

Design Revolution  
 115 River Road,  
 Feversham, ON N0C 1C0  
 416-807-2749 sunny@drevo.ca

Date: 19 April 2023  
 Scale: 1 : 150  
 Drawn By: sg

Project No. **23-06**  
 Drawing No. **A - 1**



**SURVEY**

THE UNDERSIGNED HAS REVIEWED & TAKES RESPONSIBILITY FOR THIS DESIGN, HAS THE QUALIFICATIONS & MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.  
 SUSANN GERVAN BCIN: 23193  
 FIRM BCIN: 104059

#1. zoning request 08/29/2023

Notes METRIC VERSION

Drawing: **SURVEY**

Project: DiCarlantonio Residence  
 2 Boddy Court  
 Vaughan, ON  
 Proposed Cabana

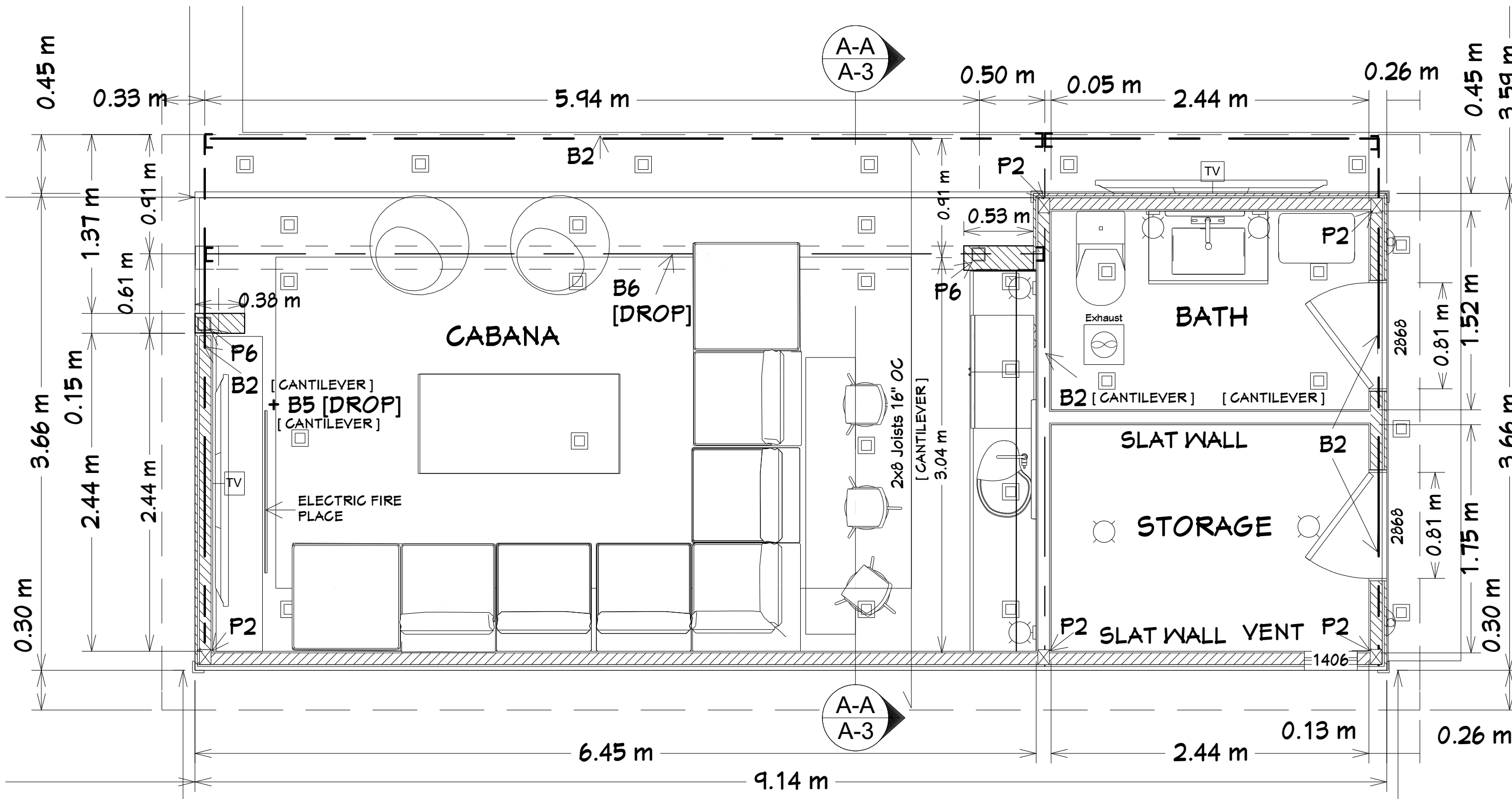
Design Revolution  
 115 River Road,  
 Feversham, ON NOC 1C0  
 416-807-2749 sunny@drevo.ca

Date: 19 April 2023  
 Scale: n.t.s. = 1' - 0"  
 Drawn By: sg

Project No. **23-06**

Drawing No. **A - S**





Proposed Cabana Floor Plan

THE UNDERSIGNED HAS REVIEWED & TAKES RESPONSIBILITY FOR THIS DESIGN, HAS THE QUALIFICATIONS & MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.  
 SUSANN GERVAN BCIN: 23193  
 FIRM BCIN: 104059

Notes METRIC VERSION

#1. zoning request 08/29/2023  
 Revisions

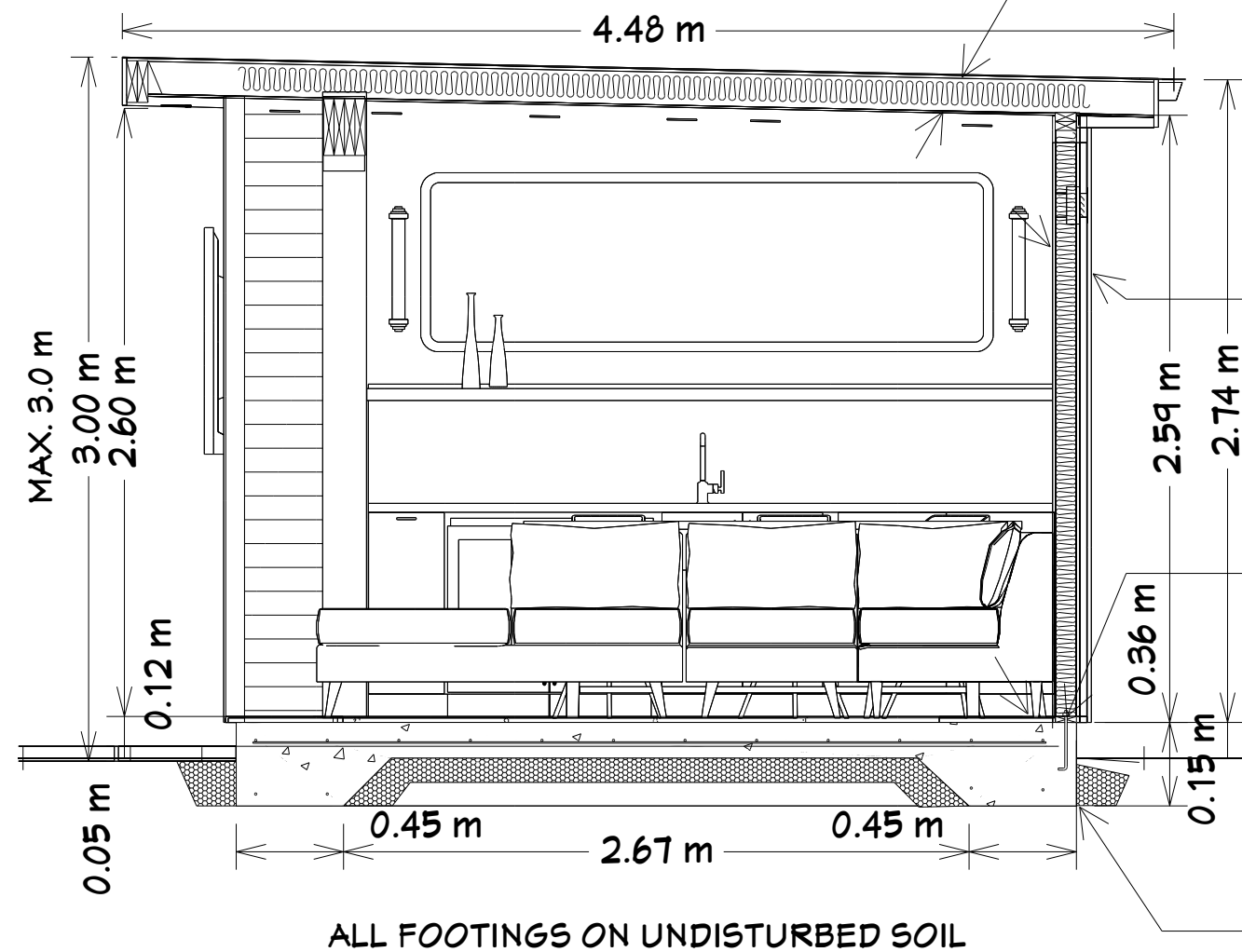
Drawing: **Proposed Cabana Floor Plan**

Project: DiCarantonio Residence  
 2 Boddy Court  
 Vaughan, ON  
 Proposed Cabana

Design Revolution  
 115 River Road,  
 Feversham, ON N0C 1C0  
 416-807-2749 sunny@drevo.ca

Date: 19 April 2023  
 Scale: 1 : 30  
 Drawn By: sg

Project No. **23-06**  
 Drawing No. **A-2**



**ROOF TYPICAL:**  
 MOD. BIT MEMBRANE ROLL ROOFING - PITCH 1/4:12  
 ICE AND WATER SHIELD TO MIN. 3'-0" AT EAVES  
 3/4" T&G EXTERIOR ROOF SHEATHING  
 2 x 8 RAFTERS @ 16" O/C  
 RIGID INSULATION W/ VAPOUR BARRIER  
 CEMENT BOARD  
 STUCCO

**EXTERIOR WALL:**  
 SIDING & STRAPPING OR STUCCO  
 5/8" EXTERIOR SHEATHING  
 2x4 STUDS @ 16" O/C  
 DOUBLE TOP PLATE  
 1/2" CEMENT BOARD OR EQUIVALENT

TREATED WOOD SILL PLATE FASTENED TO FOUNDATION  
 WALL W/ MINIMUM 12.7mm DIA ANCHOR BOLTS  
 EMBEDDED MIN. 100mm IN CONCRETE @ 2400mm O/C MAX  
 & PROVIDE CAULKING OR GASKET BETWEEN PLATE AND  
 FOUNDATION WALL

GRADE TO SLOPE AWAY FROM FOUNDATION

TILE ON MIN. 75 mm POURED CONC. SLAB  
 SLOPED TO DRAIN OUTSIDE  
 CONTROL JOINT @ 4-5 m CAULKED  
 32 MPa @ 28 DAYS 5%-8% AIR ENTRAINMENT  
 18" WIDE THICKENED SLAB EDGE WITH 15 BAR @  
 12" O/C EACH WAY  
 100 mm COMPACTED GRANULAR FILL  
 FOOTING TO BEAR ON UNDISTURBED SOIL

**Section A-A & Typical Details**

THE UNDERSIGNED HAS REVIEWED & TAKES RESPONSIBILITY FOR THIS DESIGN, HAS THE QUALIFICATIONS & MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.  
 SUSANN GERVAN BCIN: 23193  
 FIRM BCIN: 104059

#1. zoning request 08/29/2023  
 Revisions

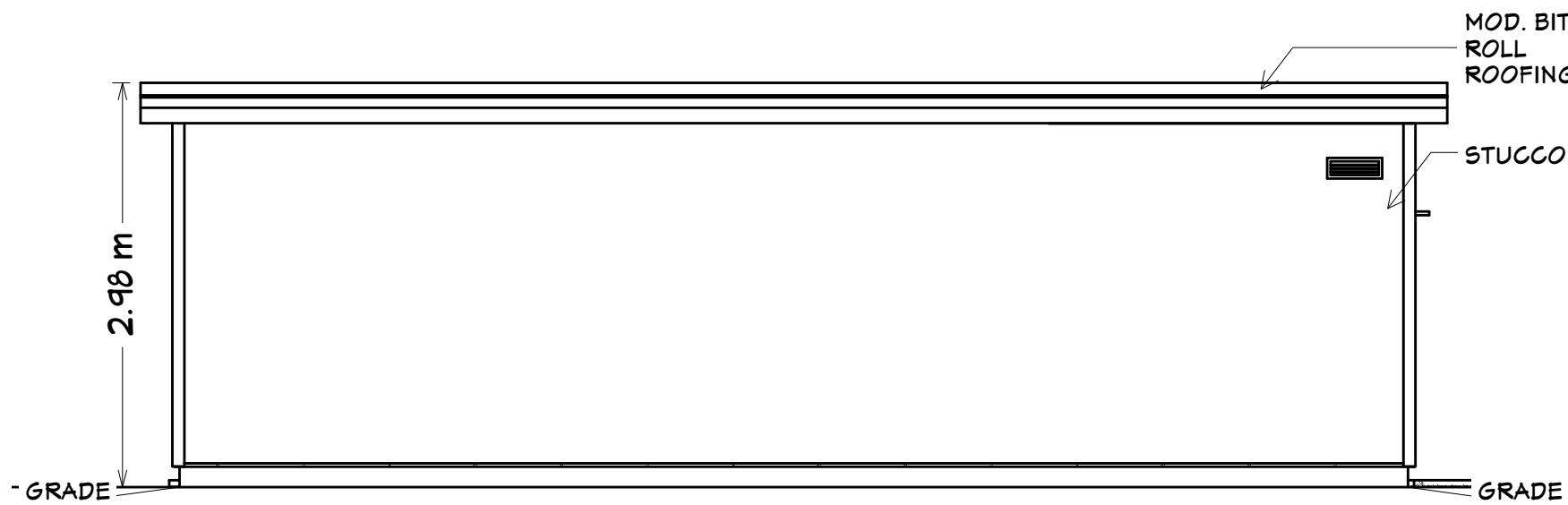
Drawing: **Section A-A & Typical Details**

Project: DiCarlantonio Residence  
 2 Boddy Court  
 Vaughan, ON  
 Proposed Cabana

Design Revolution  
 115 River Road,  
 Feversham, ON N0C 1C0  
 416-807-2749 sunny@drevo.ca

Date: 19 April 2023  
 Scale: 1 : 30  
 Drawn By: sg

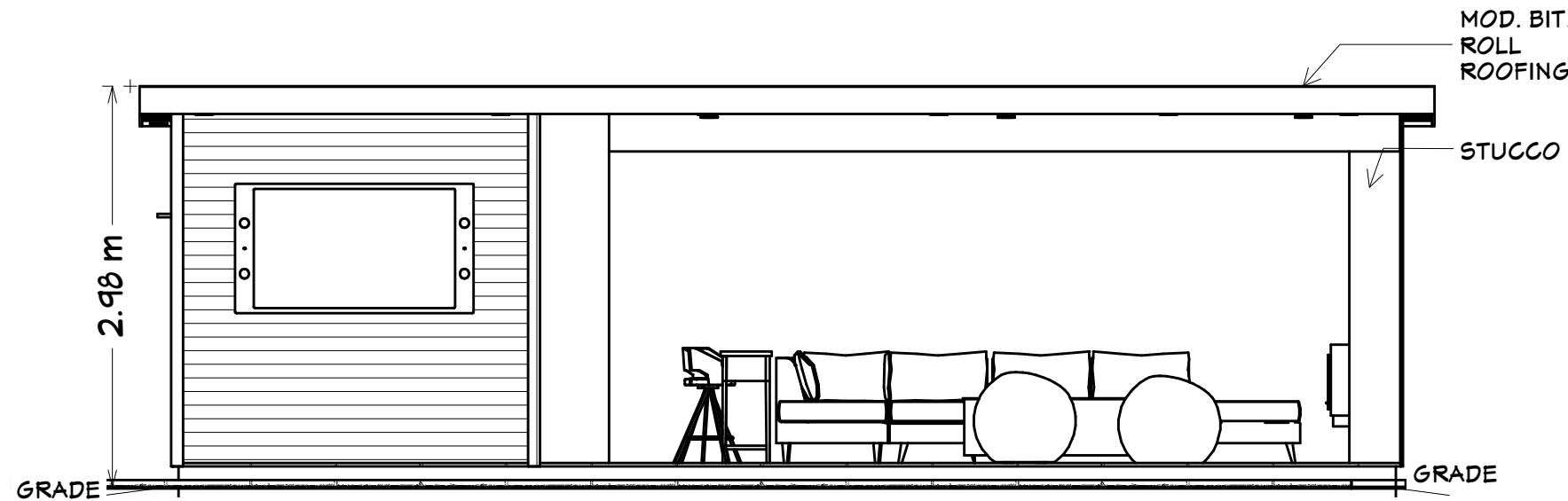
Project No. **23-06**  
 Drawing No. **A - 3**



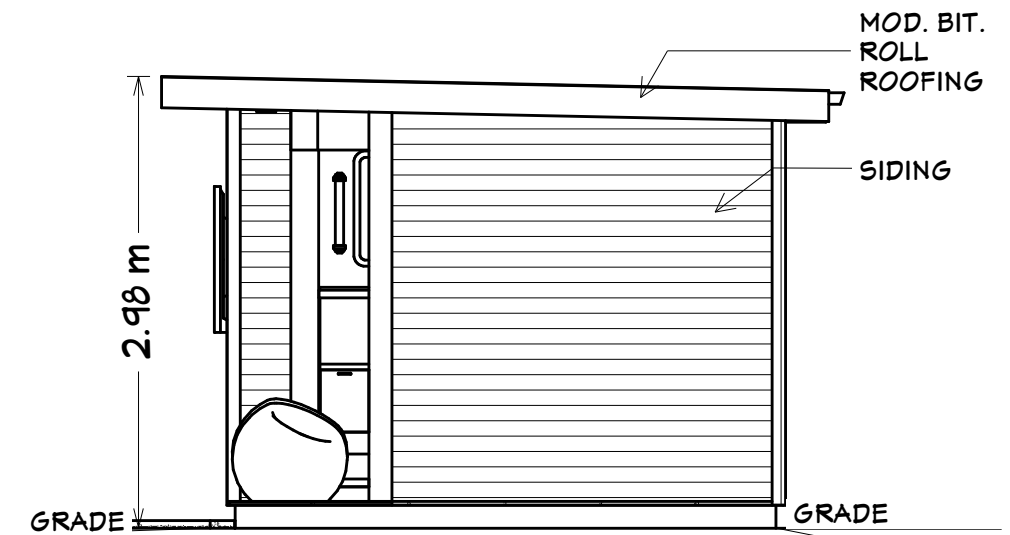
South Elevation



East Elevation



North Elevation



West Elevation

THE UNDERSIGNED HAS REVIEWED & TAKES RESPONSIBILITY FOR THIS DESIGN, HAS THE QUALIFICATIONS & MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.  
 SUSANN GERVAN BCIN: 23193  
 FIRM BCIN: 104059

Notes METRIC VERSION

#1. zoning request 08/29/2023

Revisions

Drawing: **Proposed Elevations**

Project: DiCarlantonio Residence  
 2 Boddy Court  
 Vaughan, ON  
 Proposed Cabana

Design Revolution  
 115 River Road,  
 Feversham, ON N0C 1C0  
 416-807-2749 sunny@drevo.ca

Date: 19 April 2023  
 Scale: 1 : 50  
 Drawn By: sg

Project No. **23-06**  
 Drawing No. **A - 4**

**\*\*ALL LVL STRENGTH: 2900Fb-2.0E\*\***

- B1: 2-PLY 1 $\frac{3}{4}$ " x 7 $\frac{1}{4}$ " LVL
- B2: 3-PLY 1 $\frac{3}{4}$ " x 7 $\frac{1}{4}$ " LVL
- B3: 4-PLY 1 $\frac{3}{4}$ " x 7 $\frac{1}{4}$ " LVL
- B4: 2-PLY 1 $\frac{3}{4}$ " x 9 $\frac{1}{2}$ " LVL
- B5: 3-PLY 1 $\frac{3}{4}$ " x 9 $\frac{1}{2}$ " LVL
- B6: 4-PLY 1 $\frac{3}{4}$ " x 9 $\frac{1}{2}$ " LVL
- B7: 2-PLY 1 $\frac{3}{4}$ " x 11 $\frac{7}{8}$ " LVL
- B8: 3-PLY 1 $\frac{3}{4}$ " x 11 $\frac{7}{8}$ " LVL
- B9: 4-PLY 1 $\frac{3}{4}$ " x 11 $\frac{7}{8}$ " LVL

**\*\*ALL LVLS TO BE MIN. 2900Fb-2.0E\*\***

- B10: W6 x 16 STEEL BEAM
- B11: W6 x 25 STEEL BEAM
- B12: W8 x 21 STEEL BEAM
- B13: W8 x 28 STEEL BEAM
- B14: W8 x 35 STEEL BEAM
- B15: W8 x 48 STEEL BEAM
- B16: W10 x 26 STEEL BEAM
- B17: W10 x 45 STEEL BEAM
- B18: 3-PLY 1 $\frac{3}{4}$ " x 14" LVL
- B19: 4-PLY 1 $\frac{3}{4}$ " x 14" LVL
- B20: 2-PLY 1 $\frac{3}{4}$ " x 14" LVL
- BP: BEAM POCKET;
- MIN 4" SOLID BEARING

- CJ1: 2x6 SPF CEILING JOISTS @ 16" O/C
- CJ2: 2x8 SPF CEILING JOISTS @ 16" O/C
- CJ3: 2x10 SPF CEILING JOISTS @ 16" O/C

- F1: 36" x 36" x 12" POURED CONCRETE PAD FOOTING WITH 15M @ 12" O/C EACH WAY
- F2: 24" x 24" x 10" POURED CONCRETE PAD FOOTING
- F3: 16" x 16" x 8" POURED CONCRETE PAD FOOTING
- F4: 42"x42"x16" POURED CONCRETE PAD FOOTING WITH 15M @ 10" O/C EACH WAY
- F5: 50"x50"x20" WITH 15M @8" O/C EACH WAY

\*ALL FOOTINGS ON UNDISTURBED SOIL; NOT GRAVEL

- FDN1: 8" CONCRETE BLOCK WITH 15M VERTICAL REBAR @ 16" O/C DOWELED TO TOP OF STRIP FOOTING
- FDN2: 10" CONCRETE BLOCK WITH 15M VERTICAL REBAR @ 16" O/C DOWELED TO TOP OF STRIP FOOTING
- FDN3: 12" CONCRETE BLOCK WITH 15M VERTICAL REBAR @ 16" O/C DOWELED TO TOP OF STRIP FOOTING

**\*POURED CONCRETE MAY BE SUBSTITUTED FOR BLOCK; MAINTAIN SAME THICKNESS AND REINFORCEMENT**

- H1: 2 x 8 SPF HIP RAFTER
- H2: 2 x 10 SPF HIP RAFTER
- H3: 2 x 12 SPF HIP RAFTER
- J1: 2 x 8 SPF @ 16" O/C
- J2: 2 x 10 SPF @ 16" O/C
- J3: 9 $\frac{1}{2}$ " TJI s31 @ 16" O/C
- J4: 9 $\frac{1}{2}$ " TJI s47 @ 16" O/C
- J5: 11 $\frac{7}{8}$ " TJI s31 @ 16" O/C
- J6: 11 $\frac{7}{8}$ " TJI s47 @ 16" O/C
- J7: 14" TJI s47 @16" O/C WITH  $\frac{3}{4}$ " SUBFLOOR

DJ: DOUBLE JOIST  
TJ: TRIPLE JOIST

- L1: (2) - 2 x 8 SPF LINTEL
- L2: (3) - 2 x 8 SPF LINTEL
- L3: (2) - 2 x 10 SPF LINTEL
- L4: (3) - 2 x 10 SPF LINTEL

LDGR1: 2 x 8 PT LEDGER FASTENED WITH  $\frac{1}{2}$ "  $\emptyset$  ANCHOR BOLTS @ 16" O/C  
LDGR2: 2 x 10 PT LEDGER FASTENED WITH  $\frac{1}{2}$ "  $\emptyset$  ANCHOR BOLTS @ 16" O/C

- N1: 2 x 8 SPF NAILER ON FLAT
- N2: 2 x 10 SPF NAILER ON FLAT
- N3: 2 x 12 SPF NAILER ON FLAT

- P1: (3) - 2 x 4 POST
- P2: (4) - 2 x 4 POST
- P3: (3) - 2 x 6 POST
- P4: (4) - 2 x 6 POST
- P5: HSS 3 $\frac{1}{2}$ " $\emptyset$  x  $\frac{1}{4}$ " POST WITH 6" x 6" x  $\frac{1}{4}$ " PLATES
- P6: HSS 4" x 4" x  $\frac{1}{4}$ " POST WITH 6" x 6" x  $\frac{1}{4}$ " PLATES
- P7: 4 x 4 PT POST
- P8: 6 x 6 PT POST
- P9: (5) - 2 x 6 POST
- P10: HSS 3 $\frac{1}{2}$ " x 3 $\frac{1}{2}$ " x  $\frac{1}{4}$ " POST WITH 6" x 6" x  $\frac{1}{4}$ " PATES
- P11: HSS 5"X5"X $\frac{3}{8}$ " WITH 10"X10"X $\frac{3}{8}$ " TOP + BOTTOM PLATES
- P/A: POST ABOVE

- R1: 2 x 6 @ 16" O/C
- R2: 2 x 8 @ 16" O/C
- R3: 2 x 10 @ 16" O/C

- RB1: 2 x 8 RIDGE BOARD
- RB2: 2 x 10 RIDGE BOARD
- RB3: 2 x 12 RIDGE BOARD

- SL1: 3 $\frac{1}{2}$ " x 3 $\frac{1}{2}$ " x  $\frac{1}{4}$ " STEEL ANGLE LINTEL
- SL2: 4" x 3 $\frac{1}{2}$ " x  $\frac{1}{4}$ " STEEL ANGLE LINTEL
- SL3: 5" x 3 $\frac{1}{2}$ " x  $\frac{5}{16}$ " STEEL ANGLE LINTEL
- SL4: 6" x 4" x  $\frac{3}{8}$ " STEEL ANGLE LINTEL

- V1: (2) 2 x 8 SPF VALLEY RAFTER
- V2: (2) 2 x 10 SPF VALLEY RAFTER
- V3: (2) 2 x 12 SPF VALLEY RAFTER

SW1: TIMBER FRAMED SHEAR WALL.  
2X6 STUDS AT 8" O/C WITH BLOCKING@24" O/C WITH  $\frac{3}{4}$ " TICK PLYWOOD SHEATHING BOTH SIDES FASTENED WITH NAILS @2" O/C. FASTEN BOTTOM SILL PLATE TO FRAMING BELOW WITH  $\frac{1}{2}$ " DIAMETER LAG SCREW @8" O/C OR TO FOUNDATION BELOW WITH  $\frac{1}{2}$ " DIAMETER BOLTS @8" O/C.  
[ENSURE OVERALL WIDTH TO HEIGHT RATIO OF SHEAR WALL IS GREAT THAN 1:3.5]

SW2: TIMBER FRAMED SHEAR WALL.  
2X4 STUDS AT 8" O/C WITH BLOCKING@24" O/C WITH  $\frac{3}{4}$ " TICK PLYWOOD SHEATHING BOTH SIDES FASTENED WITH NAILS @2" O/C. FASTEN BOTTOM SILL PLATE TO FRAMING BELOW WITH  $\frac{1}{2}$ " DIAMETER LAG SCREW @8" O/C OR TO FOUNDATION BELOW WITH  $\frac{1}{2}$ " DIAMETER BOLTS @8" O/C.  
[ENSURE OVERALL WIDTH TO HEIGHT RATIO OF SHEAR WALL IS GREAT THAN 1:3.5]

- ICFL1: MIN. 9" DEEP ICF LINTEL WITH (2)-15M REBAR + STIRRUPS @4" O.C.+SL3 BRICK LINTEL
- ICFL2: MIN. 15" DEEP ICF LINTEL WITH +SL3 BRICK LINTEL (2)-15M REBAR+STIRRUPS @6" O.C.
- ICFL3: MIN. 18" DEEP ICF LINTEL WITH (2)-15M REBAR + 10M STIRRUPS @4" O.C. +SL4 BRICK LINTEL

**NOTES:**

THE BUILDING DEPARTMENT ULTIMATELY DETERMINES WHETHER TO APPROVE THE SUBMITTED PERMIT DRAWINGS AS-IS OR WITH REQUESTED CHANGES TO OUR DESIGN.

- WE CANNOT BE RESPONSIBLE FOR ANY CONSTRUCTION MATERIALS ORDERED AND/OR COMMENCEMENT OF CONSTRUCTION PRIOR TO BUILDING PERMIT ISSUANCE.

YOUR CONTRACTOR IS RESPONSIBLE FOR SITE VERIFYING ALL ASSUMPTIONS AND DIMENSIONS INDICATED ON THE PERMIT DRAWINGS PRIOR TO CONSTRUCTION.

- IN CASE OF DISCREPANCIES, YOUR CONTRACTOR IS TO REPORT THEM TO US FOR REVIEW PRIOR TO PROCEEDING WITH CONSTRUCTION AND ORDERING MATERIAL.

OUR PERMIT DRAWINGS ARE GUIDELINE DESIGN DRAWINGS. YOUR CONTRACTOR IS RESPONSIBLE FOR THE SAFE EXECUTION OF OUR DESIGN.

- THIS MEANS ENSURING A SAFE CONSTRUCTION SITE IS MAINTAINED, INCLUDING PROVIDING ALL REQUIRED TEMPORARY SHORING/BRACING OF EXISTING AND NEW STRUCTURES DURING CONSTRUCTION.

CALLING FOR INSPECTIONS (INCLUDING DETERMINING THE MILESTONE EVENTS) DURING CONSTRUCTION IS THE RESPONSIBILITY OF YOUR CONTRACTOR.

- FOR FOOTINGS AND UNDERPINNING, INSPECTIONS ARE CONDUCTED PRIOR TO CONCRETE PLACEMENT, WHILE FOR STEEL AND TIMBER FRAMING, INSPECTIONS ARE CONDUCTED AFTER INSTALLATION BUT BEFORE FINISHES (DRYWALL, INSULATION, ETC.)

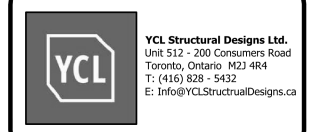
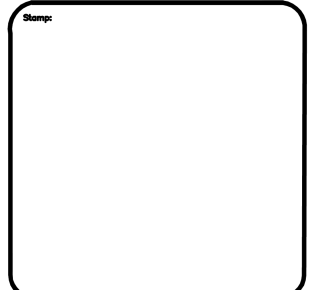
PROVIDE STEEL SHOP DRAWINGS FOR REVIEW AND APPROVAL PRIOR TO FABRICATION AND CONSTRUCTION

**General Notes**

**GENERAL NOTES:**

1. CALLING FOR INSPECTIONS BY THE BUILDING DEPARTMENT DURING CONSTRUCTION IS THE RESPONSIBILITY OF THE CONTRACTOR.
2. CONTRACTOR TO CROSS REFERENCE ALL DIMENSIONS SHOWN ON STRUCTURAL, ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS AND REPORT ALL DISCREPANCIES TO THE ENGINEERS OF RECORD.
3. CONTRACTOR IS RESPONSIBLE FOR TAKING PREVENTATIVE MEASURES TO PROTECT ADJACENT STRUCTURES (I.E. NEIGHBOURS HOUSE, SIDEWALK, ROAD, UTILITIES, ETC.) WHERE EXCAVATION IS REQUIRED.
4. ALL TEMPORARY SHORING AND BRACING OF EXISTING STRUCTURE DURING CONSTRUCTION IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. CONTRACTOR SHALL SITE VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION AND REPORT AND DISCREPANCIES TO THE ENGINEER OF RECORD.
6. DO NOT PROCEED WITH INSULATION OR DRYWALL UNTIL STRUCTURAL INSPECTIONS HAVE BEEN PASSED (WITH WRITTEN CONFIRMATION).

No.	Revision/Issue	Date
1	Issued for Permit	12/08/17



Project Name and Address:  
  
STRUCTURAL LEGEND  
  
TORONTO, ON

Project: \_\_\_\_\_ Sheet: **S-5**  
Date: \_\_\_\_\_  
Scale: \_\_\_\_\_



THE UNDERSIGNED HAS REVIEWED & TAKES RESPONSIBILITY FOR THIS DESIGN, HAS THE QUALIFICATIONS & MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.  
 SUSANN GERYAN BCIN: 23193  
 FIRM BCIN: 104059

#1. zoning request 08/29/2023

Notes METRIC VERSION

Revisions

Drawing:

Renderings

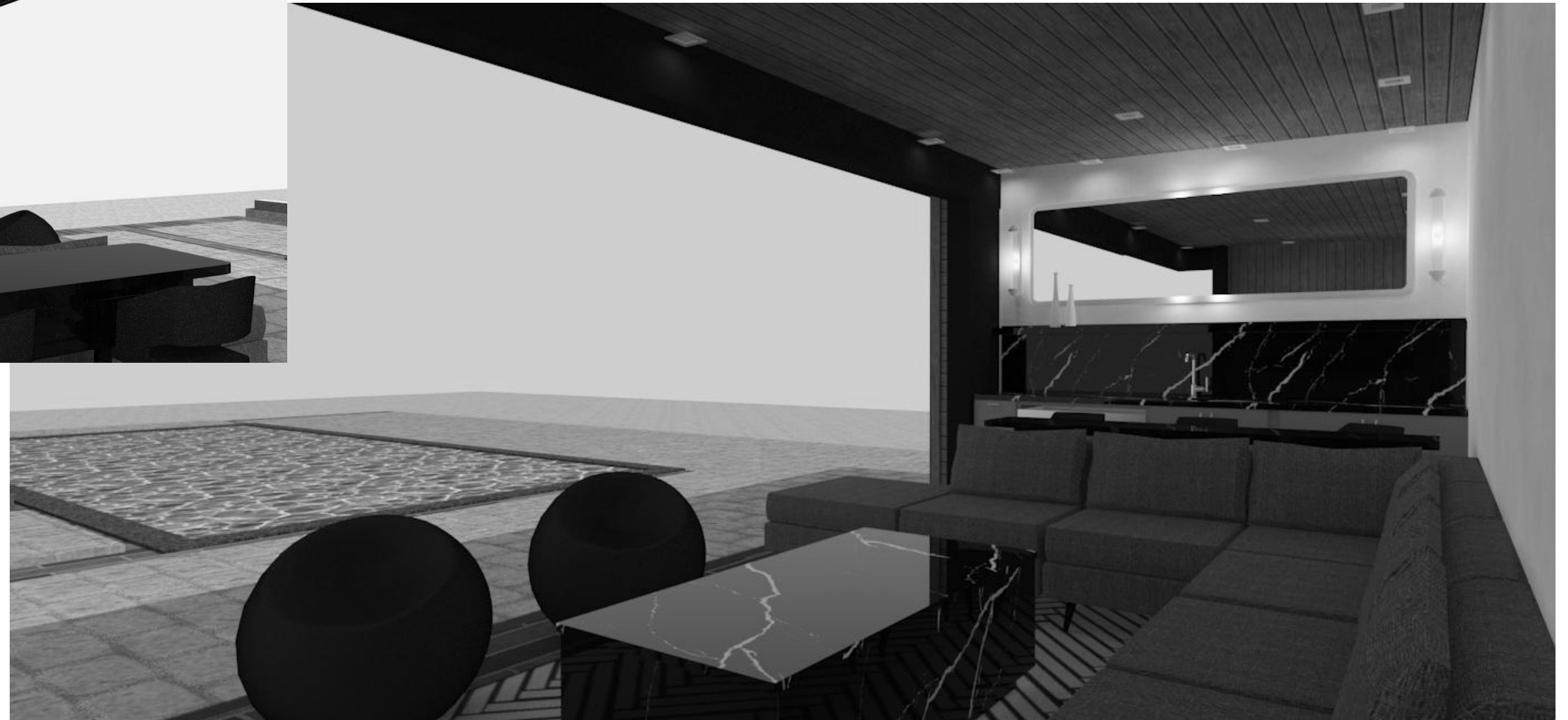
Project: DiCarlantonio Residence  
 2 Boddy Court  
 Vaughan, ON  
 Proposed Cabana

Design Revolution  
 115 River Road,  
 Feversham, ON N0C 1C0  
 416-807-2749 sunny@drevo.ca

Date: 19 April 2023  
 Scale: = 1' - 0"  
 Drawn By: sg

Project No.  
**23-06**

Drawing No.  
**A - 6**



THE UNDERSIGNED HAS REVIEWED & TAKES RESPONSIBILITY FOR THIS DESIGN, HAS THE QUALIFICATIONS & MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.  
 SUSANN GERMAN BCIN: 23193  
 FIRM BCIN: 104059

#1. zoning request 08/29/2023

Revisions

Notes METRIC VERSION

Drawing:

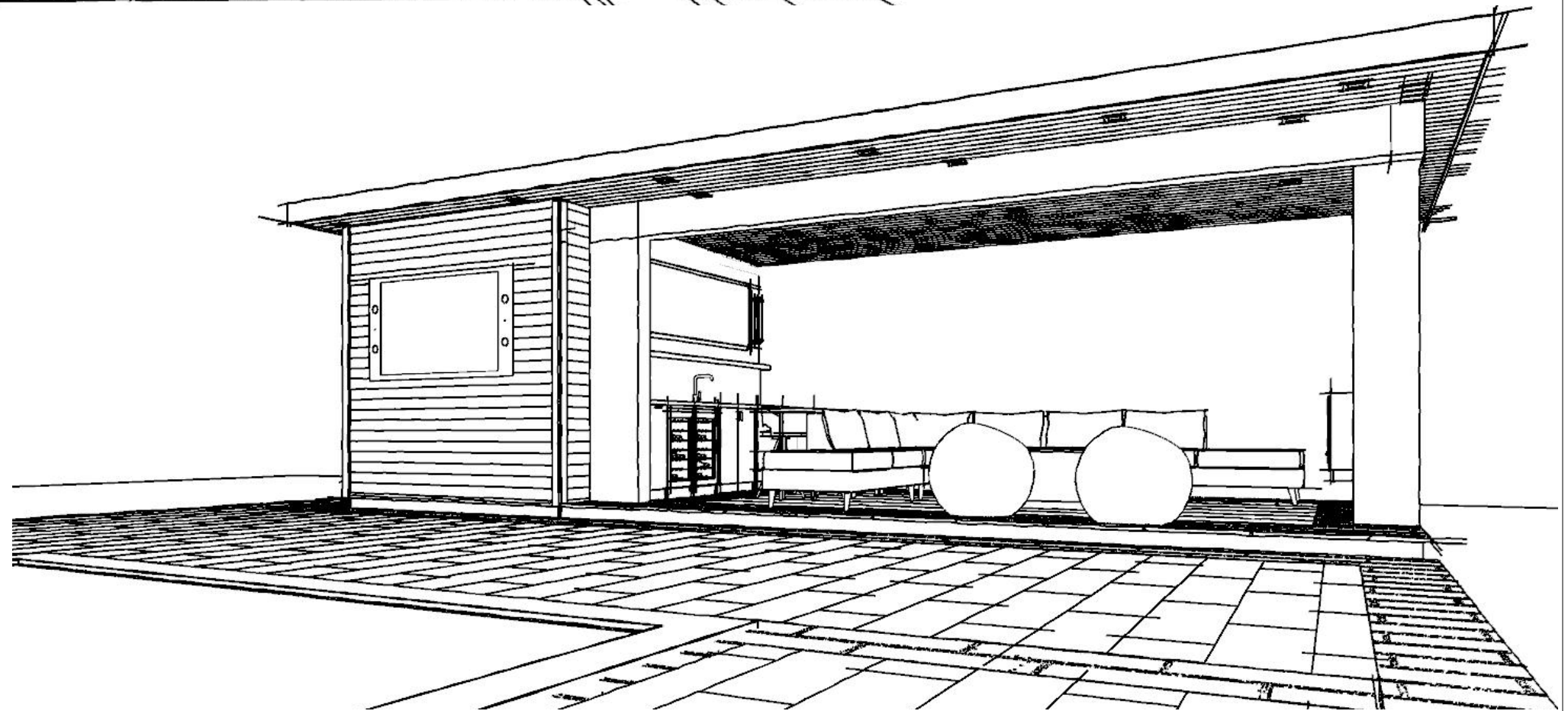
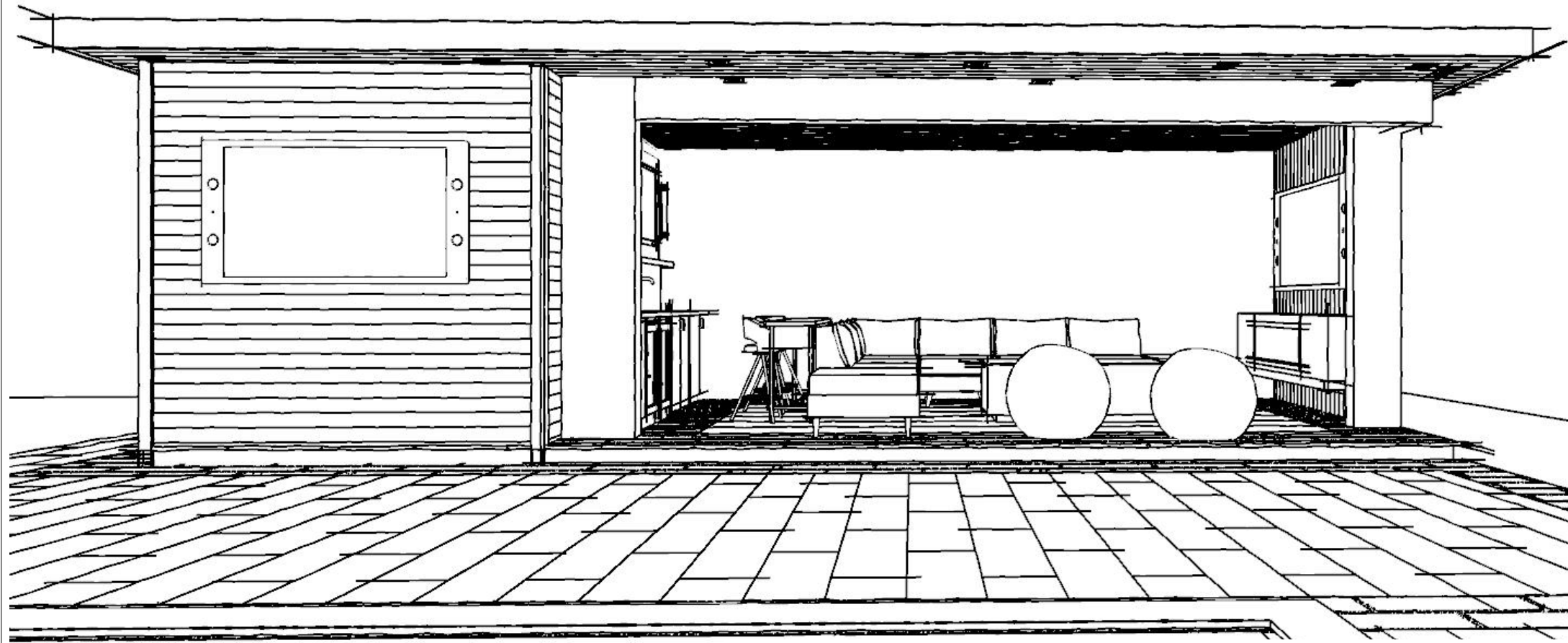
Project: DiCarlantonio Residence  
 2 Boddy Court  
 Vaughan, ON  
 Proposed Cabana

Design Revolution  
 115 River Road,  
 Feversham, ON N0C 1C0  
 416-807-2749 sunny@drevo.ca

Date: 19 April 2023  
 Scale: = 1' - 0"  
 Drawn By: sg

Project No. 23-06  
 Drawing No. A-7





THE UNDERSIGNED HAS REVIEWED & TAKES RESPONSIBILITY FOR THIS DESIGN, HAS THE QUALIFICATIONS & MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.  
 SUSANN GERVAN BCIN: 23193  
 FIRM BCIN: 104059

#1. zoning request 08/29/2023

Notes METRIC VERSION

Revisions

Drawing: **Renderings**

Project: DiCarlantonio Residence  
 2 Boddy Court  
 Vaughan, ON  
 Proposed Cabana

Design Revolution  
 115 River Road,  
 Feversham, ON N0C 1C0  
 416-807-2749 sunny@drevo.ca

Date: 19 April 2023  
 Scale: N. T. S.  
 Drawn By: sg

Project No. **23-06**  
 Drawing No. **A - 8**



<b>SCHEDULE B: STAFF &amp; AGENCY COMMENTS</b>				
<b>DEPT/AGENCY</b>	<b>Circulated</b>	<b>Comments Received</b>	<b>Conditions</b>	<b>Nature of Comments</b>
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/no conditions
Building Standards (Zoning)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments

**Date:** August 30<sup>th</sup> 2023

**Attention:** **Christine Vigneault**

**RE:** Request for Comments

**File No.:** **A132-23**

**Related Files:**

**Applicant** Design Revolution

**Location** 2 Boddy Court



Discover the possibilities

### COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

### References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

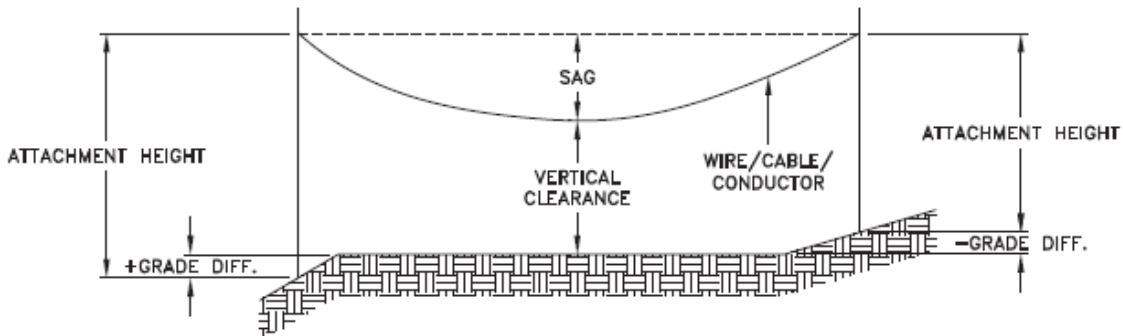
Mr. Stephen Cranley, C.E.T  
Supervisor, Distribution Design, ICI & Layouts (North)  
**Phone:** 1-877-963-6900 ext. 31297

**E-mail:** [stephen.cranley@alectrautilities.com](mailto:stephen.cranley@alectrautilities.com)

Mitchell Penner  
Supervisor, Distribution Design-Subdivisions  
**Phone:** 416-302-6215

**Email:** [Mitchell.Penner@alectrautilities.com](mailto:Mitchell.Penner@alectrautilities.com)

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG  
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)  
 ± GRADE DIFFERENCE  
 + 0.3m (VEHICLE OR RAILWAY LOCATION)  
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

**NOTES:**

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

**CONVERSION TABLE**

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

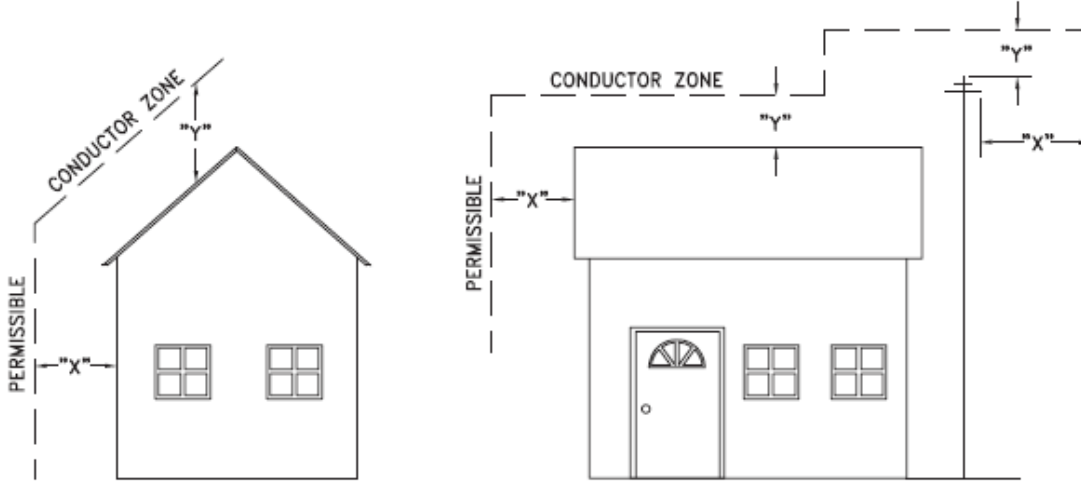
**REFERENCES**

SAGS AND TENSIONS | SECTION 02

**MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS**

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

**NOTES**

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

**MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)**

**Certificate of Approval**  
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04  
Debbie Dadwani, P.Eng. 2010-MAY-05  
Name Date  
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:  
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

**To:** Committee of Adjustment  
**From:** Christian Tinney, Building Standards Department  
**Date:** August 29, 2023  
**Applicant:** Design Revolution  
**Location:** 2 Boddy Court  
 PLAN 65M2703 Lot 30  
**File No.(s):** A132/23

**Zoning Classification:**

The subject lands are zoned R2A(EN), Second Density Residential Zone subject to the provisions of Exception 14.474 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	An accessory building or residential accessory structure shall not be closer to an exterior side lot line than the principal building on the lot (5.38 metres).	To permit a minimum exterior side yard setback of 2.51 metres to an accessory building (Cabana).

**Staff Comments:**

**Stop Work Order(s) and Order(s) to Comply:**

There are no outstanding Orders on file.

**Building Permit(s) Issued:**

Building Permit No. 23-119677 for Shed/Gazebo - New, Issue Date: (Not Yet Issued)

**Other Comments:**

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

**Conditions of Approval:**

If the committee finds merit in the application, the following conditions of approval are recommended.

\* Comments are based on the review of documentation supplied with this application.

**To:** Christine Vigneault, Committee of Adjustment Secretary Treasurer  
**From:** Nancy Tuckett, Director of Development Planning  
**Date:** October 6, 2023  
**Name of Owners:** Sergio Di Carlantonio & Melanie Di Carlantonio  
**Location:** 2 Boddy Court  
**File No.(s):** A132/23

---

**Proposed Variance (By-law 001-2021):**

1. To permit a minimum exterior side yard setback of 2.51 metres to an accessory building (Cabana).

**By-Law Requirement (By-law 001-2021):**

1. An accessory building or residential accessory structure shall not be closer to an exterior side lot line than the principal building on the lot (5.38 metres).

**Official Plan:**

Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential".

**Comments:**

The Owners are requesting relief to permit the construction an accessory structure (Cabana) at 2 Boddy Court with the above noted variance.

The Development Planning Department has no objection to Variance 1 to permit a minimum exterior side yard setback of 2.51 metres to an accessory building (cabana), which is closer to the exterior side lot line than the principal building on the lot. The cabana will be partially screened from the abutting street and sidewalk by the existing wood privacy fence. Three (3) trees are also proposed between the fence that runs along exterior side lot line and the cabana to provide additional screening. Two (2) additional trees are proposed at the rear of the structure and one (1) additional tree is proposed at the front entrance to the backyard in order to provide additional screening from the street. The proposed 2.51 m exterior side lot line setback is a sufficient depth to accommodate the proposed screening vegetation, and for access and maintenance. As such, the proposed cabana will not pose any adverse use or streetscape impacts to the abutting properties.

In support of the application, the Owners submitted an Arborist Report prepared by Noica Consulting Inc., revised October 2, 2023, and Tree Protection Plan prepared by Design Revolution, submitted October 3, 2023. The report inventoried fourteen (14) trees, all of which are proposed to be preserved throughout construction. Urban Design staff have reviewed the report and concur with its recommendations.

Accordingly, the Development Planning Department can support the requested variance and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

**Recommendation:**

The Development Planning Department recommends approval of the application.



**Conditions of Approval:**

If the Committee finds merit in the application, the following conditions of approval are recommended:

None.

**Comments Prepared by:**

Nicholas Del Prete, Planner I

David Harding, Senior Planner

## Lenore Providence

---

**From:** Kristen Regier <Kristen.Regier@trca.ca>  
**Sent:** August-30-23 11:50 AM  
**To:** Committee of Adjustment  
**Cc:** Lenore Providence; Christine Vigneault  
**Subject:** [External] RE: A132/23 - 2 Boddy Court not 113 Anthony Lane - REQUEST FOR COMMENTS

Hello,

The subject property at 2 Boddy Court, Vaughan is not located within TRCA's Regulated Area. TRCA's Planning and Regulatory policy interests are not impacted.

As such, TRCA has no comments on the application.

Best,

**Kristen Regier, MA (she / her)**  
Planner I  
Development Planning and Permits | Development and Engineering Services  
Toronto and Region Conservation Authority (TRCA)

T: [437-880-2129](tel:437-880-2129)  
E: [kristen.regier@trca.ca](mailto:kristen.regier@trca.ca)  
A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca) | [trca.ca](https://www.trca.ca)



## Lenore Providence

---

**From:** Development Services <developmentservices@york.ca>  
**Sent:** August-31-23 11:42 AM  
**To:** Lenore Providence  
**Cc:** Committee of Adjustment  
**Subject:** [External] RE: A132/23 - 2 Boddy Court not 113 Anthony Lane - REQUEST FOR COMMENTS

Hi Lenore,

The Regional Municipality of York has completed its review of the above minor variance (A132/23) and has no comment.

Many thanks,

*Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.*

**Niranjan Rajevan, M.Pl.** | Associate Planner, Development Services, Planning and Economic Development, Corporate Services

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**SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE**

None

**SCHEDULE D: PREVIOUS COA DECISIONS ON THE SUBJECT LAND**

None