

CITY OF VAUGHAN

EXTRACT FROM COUNCIL MEETING MINUTES OF SEPTEMBER 26, 2023

Item 1, Report No. 33, of the Committee of the Whole (Public Meeting), which was adopted, as amended, by the Council of the City of Vaughan on September 26, 2023, as follows:

By receiving Communication C9 from Ryan Virtanen, KLM Planning Partners Inc., Jardin Drive, Concord, dated September 21, 2023.

1. COSTCO WHOLESALE CORPORATION ZONING BY-LAW AMENDMENT FILE NO. Z.23.011 - 55, 99, 100, AND 111 LINE DRIVE VICINITY OF LINE DRIVE AND LANGSTAFF ROAD

The Committee of the Whole (Public Meeting) recommends:

- 1. That the recommendation contained in the following report of the Deputy City Manager, Planning and Growth Management, dated September 12, 2023, be approved; and**
- 2. That the following Communication be received:**
C11. Helen A. Mihailidi, Brattys LLP, Keele Street, Vaughan, dated September 11, 2023.

Recommendations

- 1. THAT the Public Meeting report for Zoning By-law Amendment File Z.23.011 (Costco Wholesale Corporation) BE RECEIVED, and that any issues identified be addressed by the Development Planning Department in a comprehensive report to the Committee of the Whole.**

Committee of the Whole (Public Meeting) Report

DATE: Tuesday, September 12, 2023

WARD(S): 2

TITLE: COSTCO WHOLESALE CORPORATION
ZONING BY-LAW AMENDMENT FILE NO. Z.23.011
55, 99, 100, AND 111 LINE DRIVE
VICINITY OF LINE DRIVE AND LANGSTAFF ROAD

FROM:

Haiqing Xu, Deputy City Manager, Planning and Growth Management

ACTION: FOR INFORMATION

Purpose

To receive comments from the public and the Committee of the Whole on an application to rezone part of the subject lands shown on Attachment 1, and amend the site-specific zoning exception applicable to part of the subject lands to permit a phased expansion to the existing Costco warehouse facility, being an additional 48,621.9 m² in gross floor area, as shown on Attachments 2 to 7.

Report Highlights

- The Owner proposes a phased expansion to the existing Costco warehouse facility.
- A Zoning By-law Amendment Application is required to permit the proposed development.
- This report identifies preliminary issues to be considered in a comprehensive report to be prepared by the Development Planning Department at a future Committee of the Whole meeting.

Recommendations

1. THAT the Public Meeting report for Zoning By-law Amendment File Z.23.011 (Costco Wholesale Corporation) BE RECEIVED, and that any issues identified be addressed by the Development Planning Department in a comprehensive report to the Committee of the Whole.

Background

Location: 55, 99, 100 and 111 Line Drive (the 'Subject Lands'). The Subject Lands and the surrounding land uses are shown on Attachment 1.

Date of Pre-Application Consultation Meeting: *November 7, 2022*

Date application was deemed complete: *N/A - the Application is incomplete.*

A Zoning By-law Amendment Application has been submitted to permit the proposed development.

The Owner has submitted Zoning By-law Amendment File Z.23.011 (the 'Application') for the Subject Lands shown on Attachment 1, to amend Zoning By-law 1-88 and Zoning By-law 001-2021 to permit a phased expansion to the existing Costco warehouse facility, being an additional 48,621.9 m² in gross floor area (the 'Development') as shown on Attachments 2 to 7:

- a) Rezone part of the Subject Lands from "A Agricultural Zone", as shown on Attachment 1, to "EM1 Prestige Employment Area Zone" ('EM1 Zone') subject to site-specific exception 9(1425) under Zoning By-law 1-88 in the manner shown on Attachment 2, and to amend site-specific exception 9(1425); and
- b) Rezone part of the Subject Lands from "FD - Future Development", as shown on Attachment 1, to "EM1 Prestige Employment Zone" subject to site-specific exception 14.1050 under Zoning By-law 001-2021 in the manner shown on Attachment 2, and to amend site-specific exception 14.1050.

Public Notice was provided in accordance with the Planning Act and Council's Notification Protocol.

- a) Date the Notice of Public Meeting was circulated: August 18, 2023

The Notice of Public Meeting was also posted on the City's website at www.vaughan.ca and a Notice Sign was installed along Langstaff Road, Line Drive, and Highway 27 in accordance with the City's Notice Signs Procedures and Protocols.

- b) Circulation Area: To all property owners within 150 m of the Subject Lands and to the West Woodbridge Homeowners Ratepayers' Association and to anyone on file with the Office of the City Clerk having requested notice.
- c) No comments have been received as of August 29, 2023 by the Development Planning Department.

Any written comments received will be forwarded to the Office of the City Clerk to be distributed to the Committee of the Whole as a Communication and be reviewed and addressed by the Development Planning Department in a future technical report to the Committee of the Whole.

Previous Reports/Authority

The following are links to previous reports regarding the Subject Lands:

Highway 27 Langstaff GP Limited and Central Carpentry Limited Public Hearing Report:
[December 2, 2014, Committee of the Whole \(Public Hearing\) \(Item 5, Report No. 43\)](#)

Highway 27 Langstaff GP Limited and Central Carpentry Limited Special Council Meeting Report:
[July 16, 2015, Special Committee of the Whole \(Item 10, Report No. 29\)](#)

Highway 27 Langstaff GP Limited and Central Carpentry Limited Council Report:
[October 20, 2015, Special Committee of the Whole \(Item 1, Report No. 38\)](#)

Analysis and Options

The Development conforms with Vaughan Official Plan 2010.

Official Plan Designation:

- “Employment Areas” on Schedule 1 – Urban Structure by Vaughan Official Plan 2010 (‘VOP 2010’).
- “Prestige Employment” and “General Employment” on Schedule 3: Land Use Plan by the West Vaughan Employment Area Secondary Plan (‘WVEASP’).
 - The “Prestige Employment” designation permits a limited range of industrial uses not requiring outside storage, accessory office and/or retail uses to a permitted industrial use, stand-alone office uses and ancillary retail.
 - The “General Employment” designation permits a full range of industrial uses any of which may or may not include outdoor storage, and office and/or retail uses accessory to a permitted industrial use.
- The Development conforms to VOP 2010.

Amendments to Zoning By-laws 1-88 and 001-2021 are required to permit the Development.

Zoning - By-law 1-88:

- A Agricultural Zone and EM1 Prestige Employment Area Zone, subject to site-specific exception 9(1425) by Zoning By-law 1-88
- These Zones do not permit the Development.
- The Owner proposes to rezone part of the Subject Lands to “EM1 Prestige Employment Area Zone” subject to site-specific exception 9(1425), in the manner shown on Attachment 2.
- The Owner also proposes to amend site-specific exception 9(1425) to require a minimum of 500 parking spaces be provided.

Council enacted Zoning By-law 001-2021 on October 20, 2021, as the new Vaughan Comprehensive Zoning By-law

An application to amend both Zoning By-law 1-88 and Zoning By-law 001-2021 are required because Zoning By-law 001-2021 is not in force for the Subject Lands due to it being under appeal.

Zoning - By-law 001-2021

- FD - Future Development Zone and EM1 - Prestige Employment Zone subject to site-specific exception 1050 by Zoning By-law 001-2021
- These Zones do not permit the Development.
- The Owner proposes to rezone part of the Subject Lands to “EM1 - Prestige Employment Zone” subject to site-specific exception 14.1050, in the manner shown on Attachment 2.
- The Owner also proposes to amend site-specific exception 14.1050 to require a minimum of 500 parking spaces be provided.

Additional zoning exceptions may be identified through the detailed review of the Applications and will be considered in a technical report to a future Committee of the Whole meeting.

Following a preliminary review of the Application, the Development Planning Department has identified the following matters to be reviewed in greater detail:

	MATTERS TO BE REVIEWED	COMMENT(S)
a.	Conformity and Consistency with Provincial Policies, York Region and City Official Plan Policies	<ul style="list-style-type: none">▪ The Application will be reviewed for consistency and conformity with the Provincial Policy Statement, 2020 (the ‘PPS’), A Place to Grow: Growth Plan for the Greater Golden Horseshoe, 2019, as amended (the ‘Growth Plan’) and the policies of the York Region Official Plan, 2022 (‘YROP’), VOP 2010, and the WVEASP.
b.	Appropriateness of Amendments to the Zoning By-law	<ul style="list-style-type: none">▪ The appropriateness of the rezoning and amendments to the site-specific exceptions will be reviewed in consideration of the existing and planned surrounding land uses.
c.	Studies and Reports	<ul style="list-style-type: none">▪ The Owner submitted studies and reports in support of the Application available on the city’s website at https://maps.v Vaughan.ca/planit/ (PLANit Viewer) and must be approved to the satisfaction of the City or respective approval authority. Additional studies and/or reports may be required as part of the application review process.
d.	Urban Design Guidelines	<ul style="list-style-type: none">▪ The Development will be reviewed in consideration of the City of Vaughan City-wide Urban Design Guidelines.▪ Appropriate landscape buffers are required to screen the proposed truck parking areas.

	MATTERS TO BE REVIEWED	COMMENT(S)
e.	Public Agency/Municipal Review	<ul style="list-style-type: none"> The Application must be reviewed by York Region, the Toronto and Region Conservation Authority ('TRCA'), Ministry of Transportation ('MTO') and other external public agencies and utilities.
f.	Sustainable Development	<ul style="list-style-type: none"> The Application will be reviewed in consideration of the City of Vaughan's Policies and Sustainability Metrics Program. The Development provides a Silver score of 60.
g.	Parkland Dedication	<ul style="list-style-type: none"> The Application will be reviewed in consideration of the requirements of the <i>Planning Act</i> and the City of Vaughan's Parkland Dedication Policy.
h.	City's Tree Protection Protocol ('TPP')	<ul style="list-style-type: none"> There are 13 trees on the Subject Lands which are required to be removed to accommodate the Development. The proposed tree plantings for the Development exceeds the required re-planting of 14 replacements trees, as required by the TPP. There are 11 City owned trees proposed for removal, requiring a monetary compensation to the Tree Reserve Fund of \$6875.00, should the Application be approved. The Development will be reviewed in accordance with the City's Tree Protection Protocol, for the protection and the replacement of any tree(s) should they be damaged during construction, if the Application is approved.
i.	Traffic Impacts, Road Widening and Access	<ul style="list-style-type: none"> The Transportation Impact Study will be reviewed in accordance with the City's Transportation Impact Study Guidelines to the satisfaction of the Development Engineering Department. The Applicant's request to remove Street 'M' from the approved Block 59 Block Plan will be reviewed and considered by the Development Engineering Department and York Region. York Region will identify any required land conveyances.
j.	Related Site Development Application	<ul style="list-style-type: none"> The Owner has submitted related Site Development File DA.23.031 to be reviewed with the Application. In accordance with Bill 109, the approval of Site Development Applications

	MATTERS TO BE REVIEWED	COMMENT(S)
		has been delegated to the City of Vaughan Deputy City Manager, Planning and Growth Management for approval.
k.	The Applications have been Deemed Incomplete	<ul style="list-style-type: none"> ▪ The Owner is required to submit the following material for the Application to be deemed complete: <ul style="list-style-type: none"> ○ DE Complex Review & Grading Inspections fee ○ MTO property line and 14 m MTO setback to be shown on all plans ○ Building Sections ○ Legal Survey ○ Updated Pedestrian and Bike Plan
l.	Land Consolidation	<ul style="list-style-type: none"> ▪ The Owner is required to consolidate and merge on title the Subject Lands, should the Application be approved. The lands will be required to be consolidated prior to Site Plan approval.
m.	Block 59 Plan	<ul style="list-style-type: none"> ▪ The Owner is required to amend the Block 59 Block Plan, to remove the requirement for Street 'M' and a stormwater management pond, to facilitate the Development.
n.	Stormwater Management	<ul style="list-style-type: none"> ▪ The Stormwater Management Report will be reviewed in accordance with the City's Stormwater Management guidelines to the satisfaction of the City's Development Engineering Department. ▪ The Application includes the removal of a stormwater management pond (identified as "SWM E1" on Attachment 10) from the approved Block 59 Block Plan, which will be reviewed and considered by the Development Engineering Department.
o.	MTO	<ul style="list-style-type: none"> ▪ The Subject Lands abut the Highway 427 extension to the west of the Subject Lands. The Application must be reviewed and approved by the MTO.

Financial Impact

There are no financial requirements for new funding associated with this report.

Operational Impact

Development Planning staff have circulated the Application to internal City Departments for review.

Broader Regional Impacts/Considerations

The Applications have been circulated to the York Region Community Planning and Development Services Department for review and comment. Any issues will be addressed when the technical report is considered.

Conclusion

The preliminary issues identified in this report and any other issues identified through the processing of the Application will be considered in the technical review of the Application. Comments from the public and Vaughan Council expressed at the Public Meeting or in writing will be addressed in a comprehensive report to a future Committee of the Whole meeting.

For more information, please contact Casandra Krysko, Senior Planner, Development Planning Department, ext. 8003.

Attachments

1. Context Map and Polling Area
2. Location Map and Zoning
3. Site Plan and Proposed Zoning – Southwest Parcel
4. Site Plan and Proposed Zoning – Southeast Parcel
5. Landscape Plan
6. North and South Building Elevations
7. East Building Elevations
8. West Building Elevations
9. Rendered Perspectives
10. Block 59 Block Plan

Prepared by

Casandra Krysko, Senior Planner, ext. 8003

Mark Antoine, Senior Manager of Development Planning, ext. 8212

Nancy Tuckett, Director of Development Planning, ext. 8529

Approved by

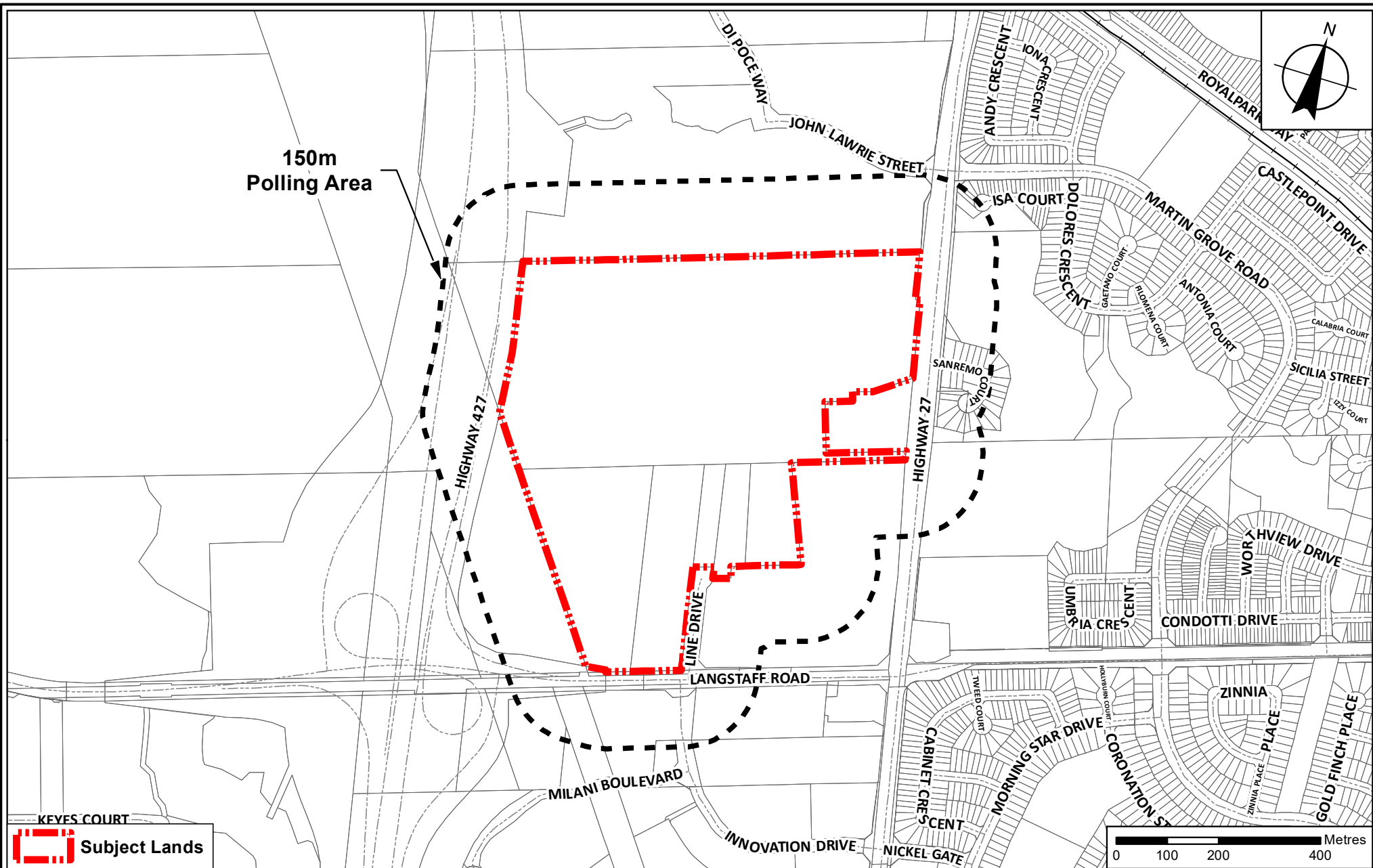


Haiqing Xu, Deputy City Manager,
Planning and Growth Management

Reviewed by



Nick Spensieri, City Manager



Context Map and Polling Area

LOCATION:

55, 99, 100, and 111 Line Drive
Part of Lots 11, 12, and 13, Concession 9

APPLICANT:

Costco Wholesale Corporation



Attachment

FILE:

Z.23.011

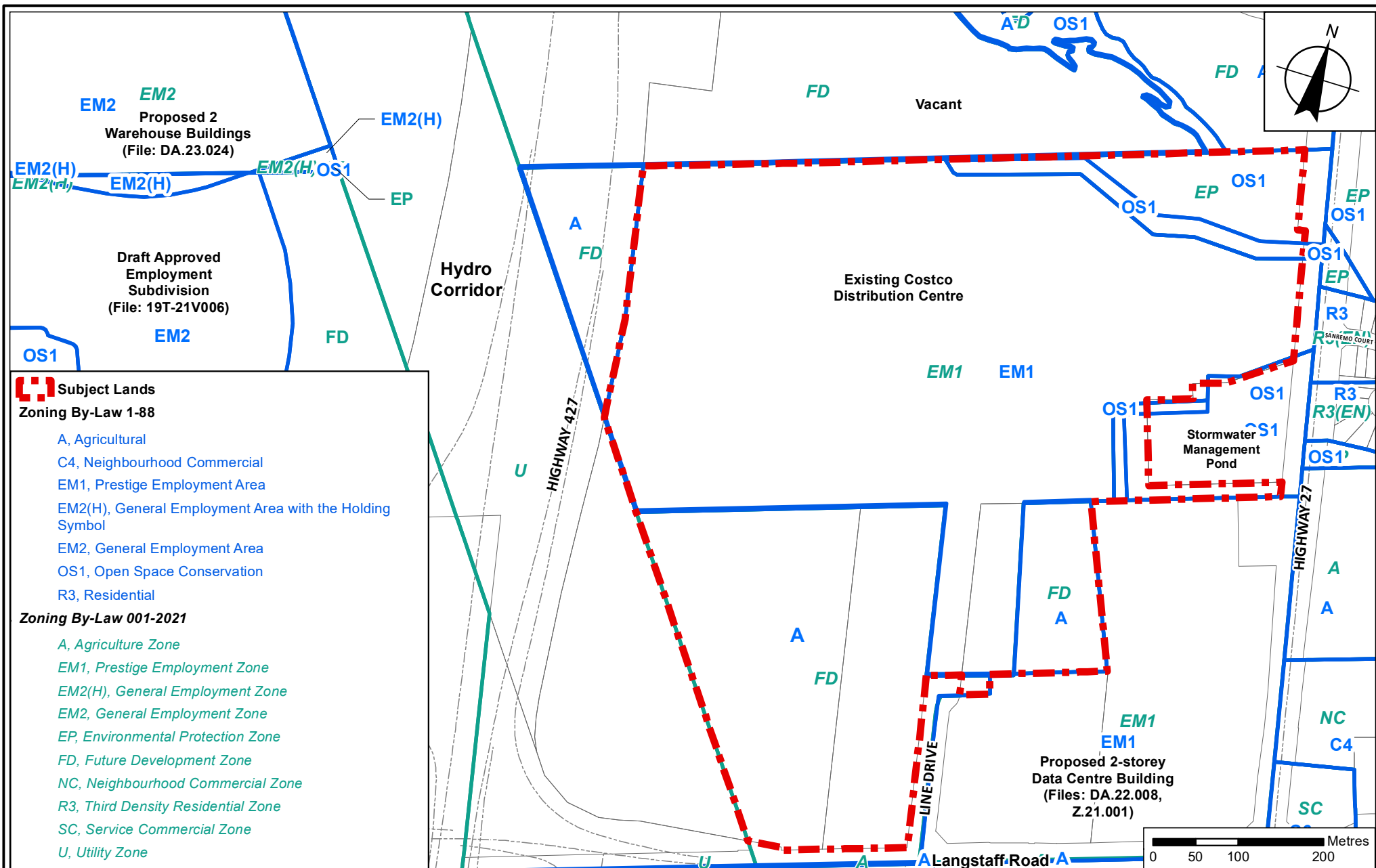
RELATED FILE:

DA.23.031

DATE:

September 12, 2023

1



Location Map and Zoning

LOCATION:
 55, 99, 100, and 111 Line Drive
 Part of Lots 11, 12, and 13, Concession 9

APPLICANT:
 Costco Wholesale Corporation

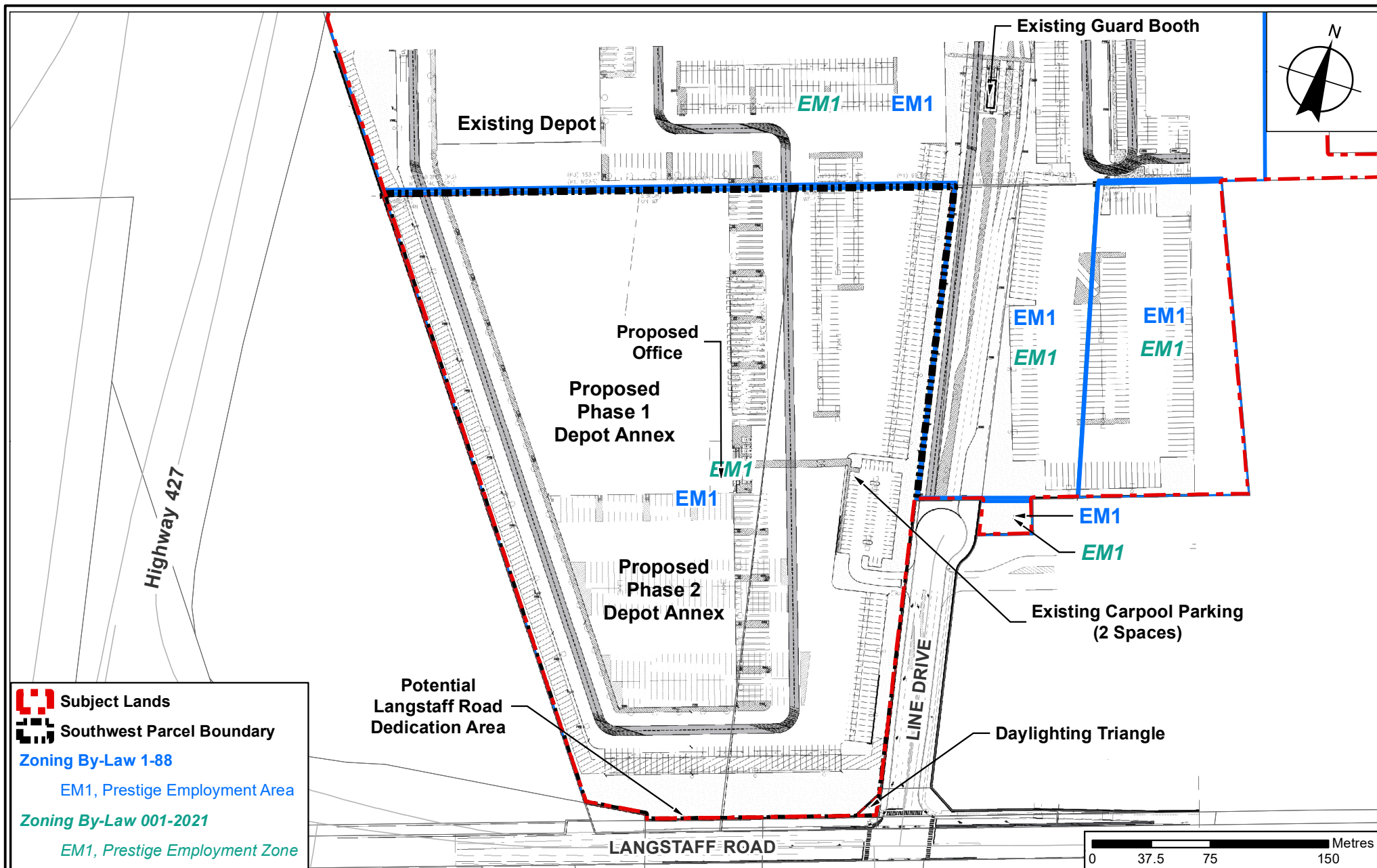


Attachment

FILE:
 Z.23.011
RELATED FILE:
 DA.23.031

DATE:
 September 12, 2023

2



Site Plan and Proposed Zoning - Southwest Parcel

LOCATION:
55, 99, 100, and 111 Line Drive
Part of Lots 11, 12, and 13, Concession 9

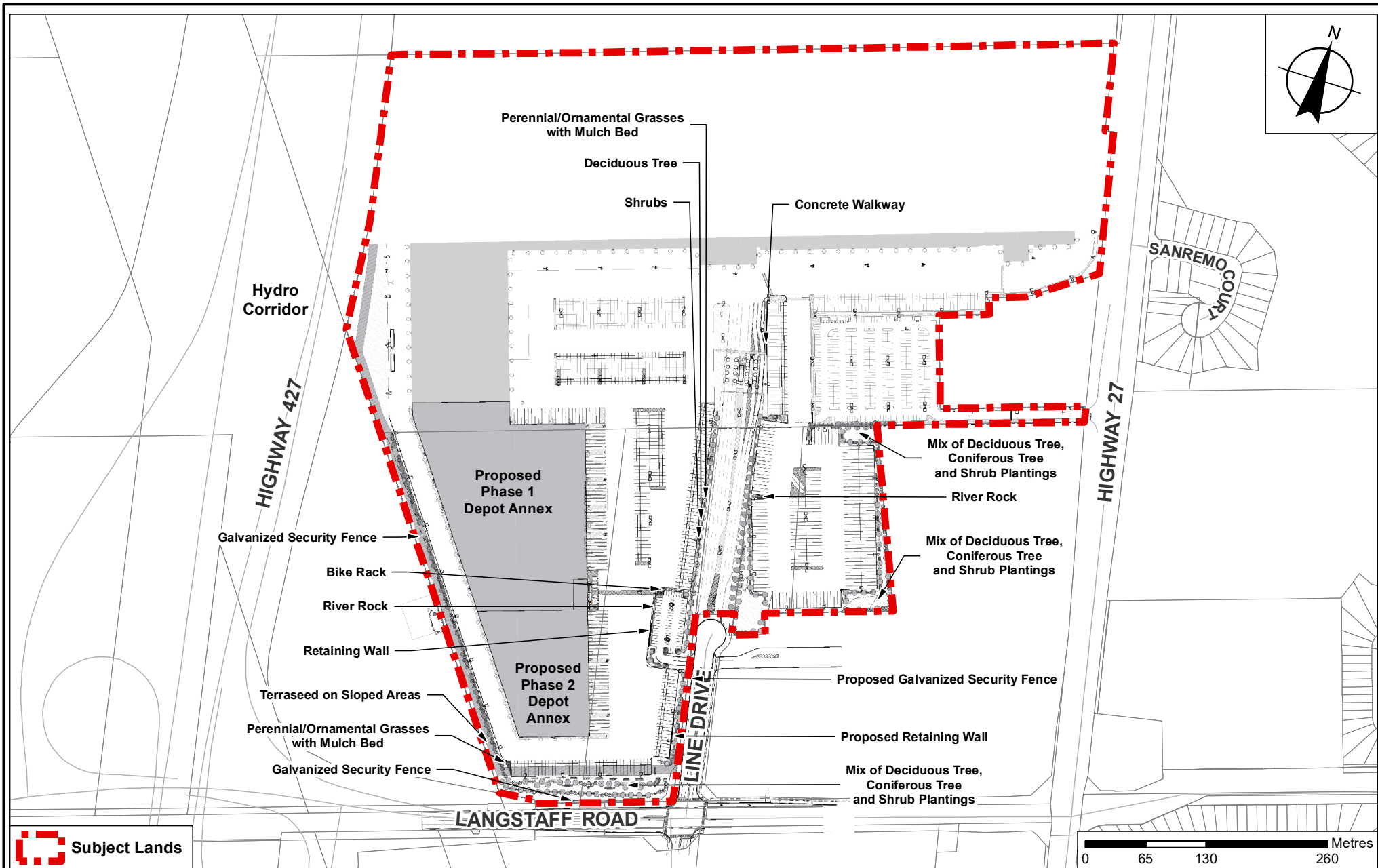
APPLICANT:
Costco Wholesale Corporation



Attachment

FILE:
Z.23.011
RELATED FILE:
DA.23.031
DATE:
September 12, 2023

3



Landscape Plan

LOCATION:
55, 99, 100, and 111 Line Drive
Part of Lots 11, 12, and 13, Concession 9

APPLICANT:
Costco Wholesale Corporation



Attachment

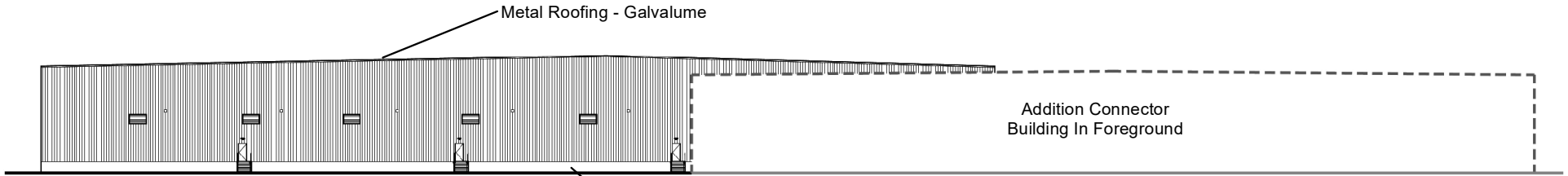
FILE:
Z.23.011
RELATED FILE:
DA.23.031

DATE:
September 12, 2023

5



Overall North Elevation

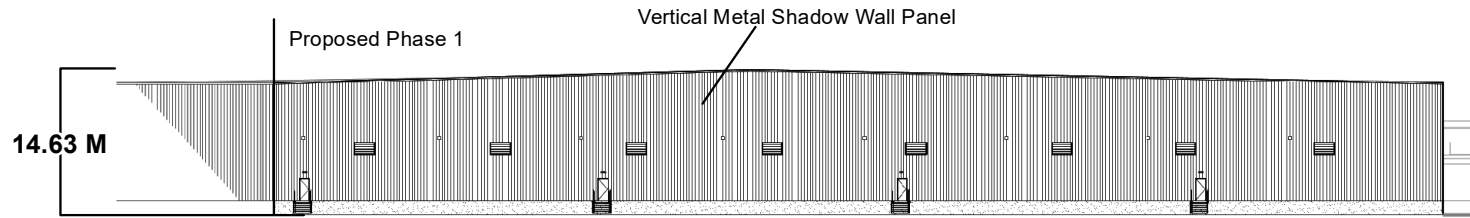


North Elevation

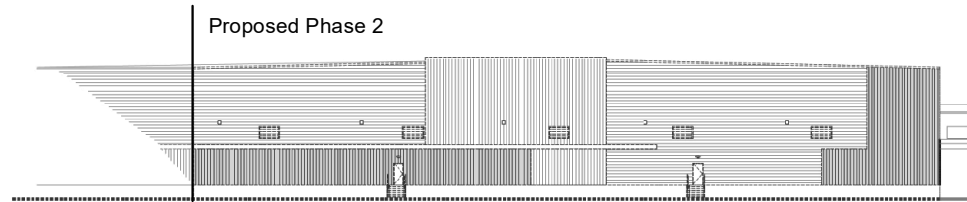
Concrete Wall Panel



Overall South Elevation



South Elevation Phase 1



South Elevation Phase 2 Future

Not to Scale

North and South Building Elevations

LOCATION:

55, 99, 100, and 111 Line Drive
Part of Lots 11, 12, and 13, Concession 9

APPLICANT:

Costco Wholesale Corporation



Attachment

FILE:

Z.23.011

RELATED FILE:

DA.23.031

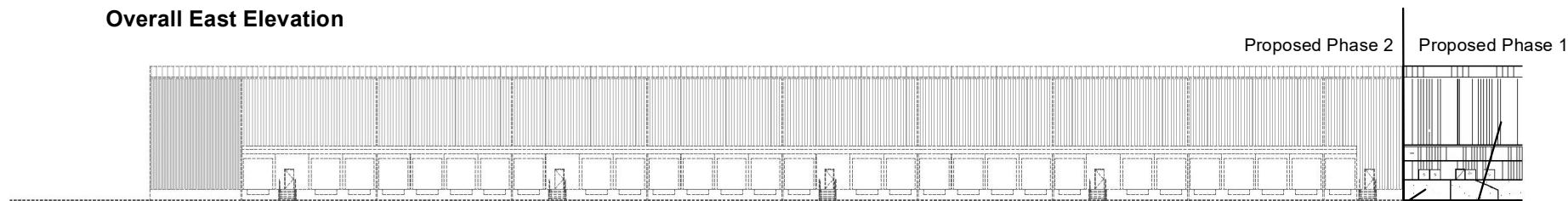
DATE:

September 12, 2023

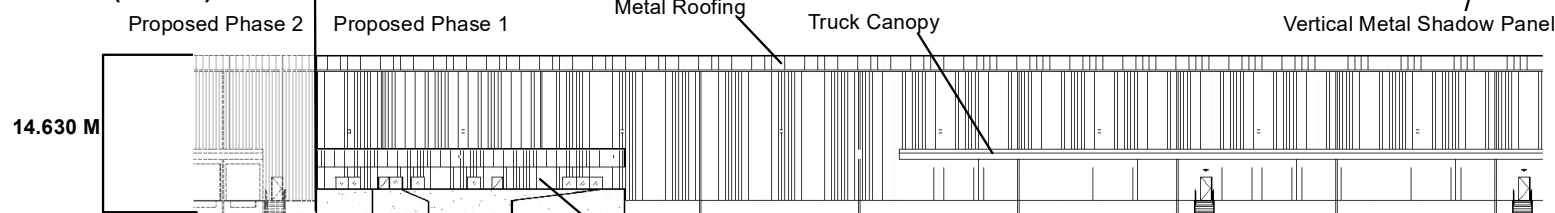
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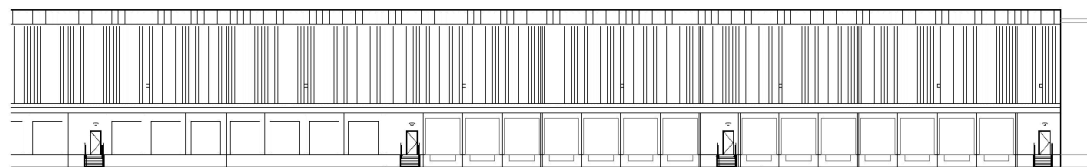
Overall East Elevation



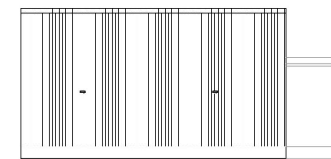
Partial East Elevation (Future)



Partial East Elevation



Partial East Elevation



Partial East Elevation

Not to Scale

East Building Elevations

LOCATION:
55, 99, 100, and 111 Line Drive
Part of Lots 11, 12, and 13, Concession 9

APPLICANT:
Costco Wholesale Corporation



Attachment

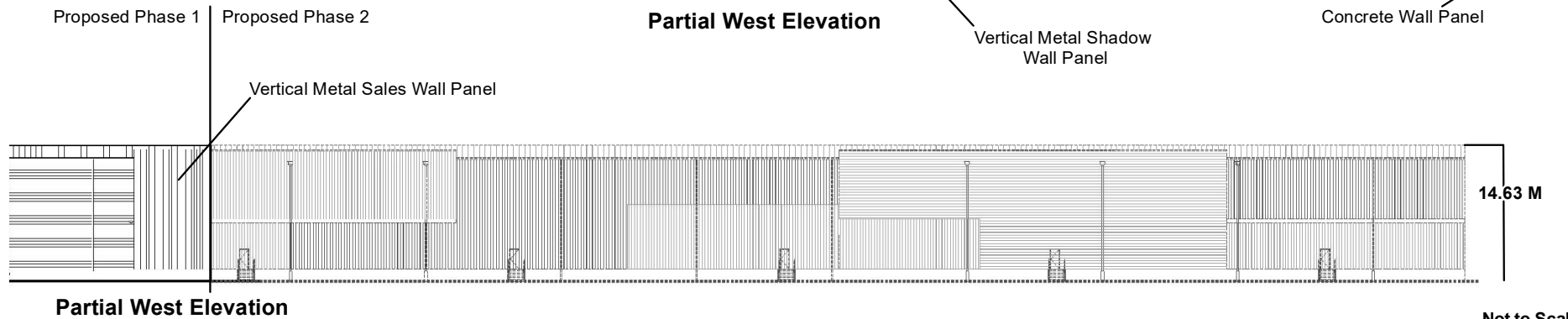
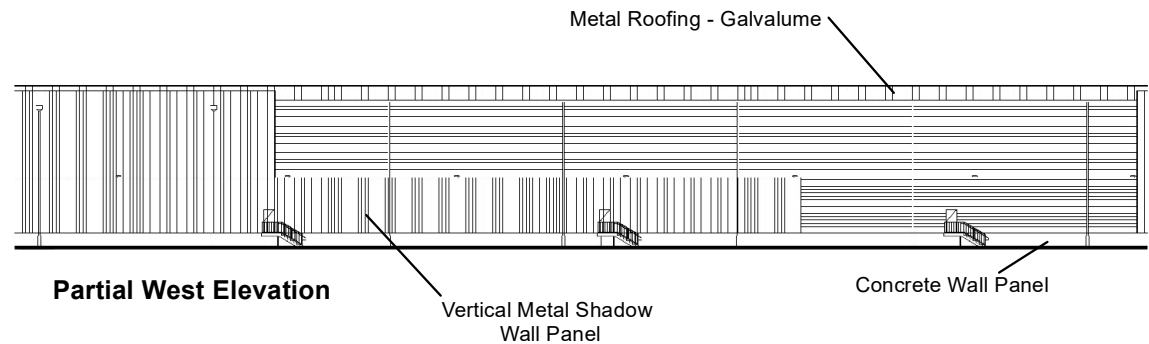
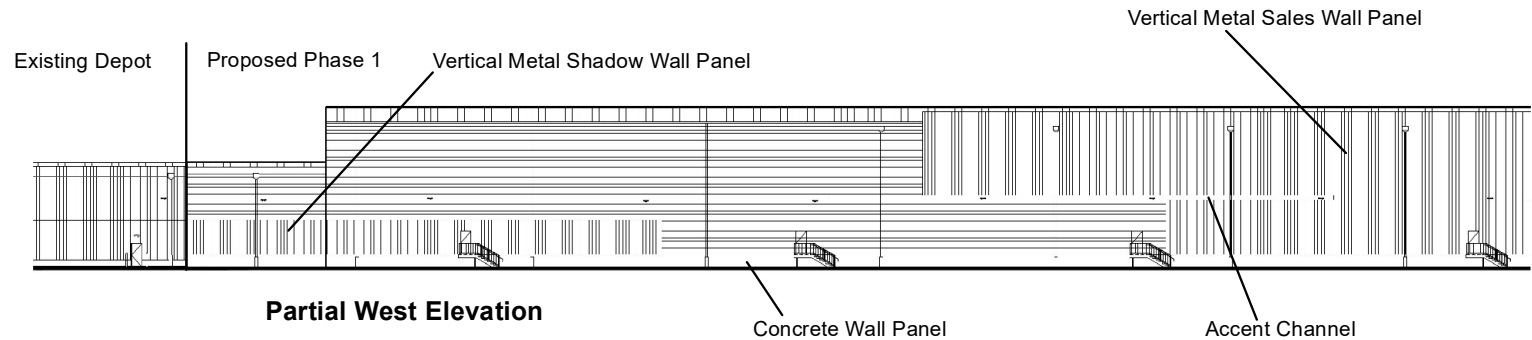
FILE:
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RELATED FILE:
DA.23.031

DATE:
September 12, 2023

7



Overall West Elevation



Not to Scale

West Building Elevations

LOCATION:
55, 99, 100, and 111 Line Drive
Part of Lots 11, 12, and 13, Concession 9

APPLICANT:
Costco Wholesale Corporation



Attachment

FILE:
Z.23.011
RELATED FILE:
DA.23.031

DATE:
September 12, 2023

8



Southwest Perspective



Southeast Perspective

Not to Scale

Rendered Perspectives

LOCATION:
55, 99, 100, and 111 Line Drive
Part of Lots 11, 12, and 13, Concession 9

APPLICANT:
Costco Wholesale Corporation



Attachment

FILE:
Z.23.011
RELATED FILE:
DA.23.031

DATE:
September 12, 2023

9

BLOCK 59 LAND USE PLAN

Approved and Not a Part of This Application
New Location of Storm
Water Management Pond W2

Approved and Not a Part of This Application
To be Designated as
General Employment Area

Proposed Street M
to be Removed

To be Redesignated
as Prestige Employment

1:3000
JULY 19 2021

Subject Lands

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