

<b>ITEM: 6.12</b>	<b>COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A257/22 10 SPRINGRAIN COURT, KLEINBURG</b>
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**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING  
DEPARTMENTS & AGENCIES:**

\*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

**PUBLIC & APPLICANT CORRESPONDENCE**

\*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Public	Maria & Phil Bartuccio	2 Springrain Court	10/17/2022	Confirmation – no flooding no ponding

**PREVIOUS COA DECISIONS ON THE SUBJECT LAND**

\*Please see **Schedule D** for a copy of the Decisions listed below

File Number	Date of Decision MM/DD/YYYY	Decision Outcome
None		

**ADJOURNMENT HISTORY**

\* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

None	
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**COMMITTEE OF ADJUSTMENT REPORT  
MINOR VARIANCE APPLICATION  
A257/22  
10 SPRINGRAIN CT KLEINBURG**

<b>ITEM NUMBER: 6.12</b>	<b>CITY WARD #: 1</b>
<b>APPLICANT:</b>	Paul & Rosa Raposo
<b>AGENT:</b>	Dutra Architect Inc.
<b>PROPERTY:</b>	10 Springrain Court, Kleinburg
<b>ZONING DESIGNATION:</b>	See below.
<b>VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:</b>	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
<b>RELATED DEVELOPMENT APPLICATIONS:</b>	None
<b>PURPOSE OF APPLICATION:</b>	Relief from the Zoning By-law is being requested to permit a proposed cabana and reduced rear yard landscaping requirements.

The following variances have been requested from the City's Zoning By-law:

**The subject lands are zoned R1B(EN) – First Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.815 under Zoning By-law 001-2021.**

#	Zoning By-law 001-2021	Variance requested
1	In the R1B Zone, any portion of a yard in excess of 135.0 m2 shall be comprised of a minimum 60% soft landscape. 4.19.1, 1] (440.25 -135 x .6 = 183.15 m2 soft landscape in the rear yard is required)	To permit a minimum of 47.7% (145.61 m2) of the rear yard in excess of 135.0 m2 to be composed of soft landscape.
2	A minimum interior side yard setback of 1.5 m is required. [4.1.1 a, Table 7-3]	To permit a minimum northerly interior side yard setback of 0.6 m for an accessory structure (new cabana L & R).

**HEARING INFORMATION**

**DATE OF MEETING:** Thursday, September 21, 2023  
**TIME:** 6:00 p.m.  
**MEETING LOCATION:** Vaughan City Hall, Woodbridge Room (2<sup>nd</sup> Floor), 2141 Major Mackenzie Drive  
**LIVE STREAM LINK:** [Vaughan.ca/LiveCouncil](http://Vaughan.ca/LiveCouncil)

**PUBLIC PARTICIPATION**

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

If you would like to submit written comments, please quote file number above and submit by mail or email to:

**Email:** [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

**Mail:** City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to [cofa@vaughan.ca](mailto:cofa@vaughan.ca) no later than NOON on the last business day before the meeting.

**THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.**

**INTRODUCTION**

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

## INTRODUCTION

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

## COMMITTEE OF ADJUSTMENT COMMENTS

<b>Date Public Notice Mailed:</b>	September 7, 2023	
<b>Date Applicant Confirmed Posting of Sign:</b>	September 5, 2023	
<b>Applicant Justification for Variances:</b> <small>*As provided by Applicant in Application Form</small>	The total lot coverage area of all proposed accessory buildings (a cabana and a shed) will be 14% of the total lot area, which is 4% more than the by-law allows. Also, the remainder rear soft landscape area will reduce to 148 m <sup>2</sup> , representing 48.48% of the total rear yard area in excess of 135 m <sup>2</sup> , which the by-law 2010-65 only allows for a minimum of 60%.	
<b>Adjournment Requests (from staff):</b> <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	None	
<b>Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:</b>  <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.  *A revised submission may be required to address staff / agency comments received as part of the application review process.  *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>	No	
<b>Adjournment Fees:</b> In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice.  An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff <b>after</b> the issuance of public notice.		
<b>Committee of Adjustment Comments:</b>	None	
<b>Committee of Adjustment Recommended Conditions of Approval:</b>	None	

## BUILDING STANDARDS (ZONING) COMMENTS

\*\*See Schedule B for Building Standards (Zoning) Comments

<b>Building Standards Recommended Conditions of Approval:</b>	None
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## DEVELOPMENT PLANNING COMMENTS

\*\*See Schedule B for Development Planning Comments.

<b>Development Planning Recommended Conditions of Approval:</b>	None
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## DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#)  
 [Link to Pool Permit](#)  
 [Link to Curb Curt Permit](#)  
 [Link Culvert Installation](#)

With regards to the Zoning Report dated September 26th, 2022, Item # 1 of this Minor Variance application requested the proposed rear yard in excess of 135.0 m<sup>2</sup> to be comprised of 47.7% soft landscaping coverage instead of the minimum 60%. The Owner/Applicant shall include a weeping tile system that discharges excess stormwater to already existing softscape areas within the property as agreed.

## DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#)  
 [Link to Pool Permit](#)  
 [Link to Curb Curt Permit](#)  
 [Link Culvert Installation](#)

The Owner/Applicant has received a letter from The Neighbor at 2 Springrain Court, in favor of the existing north side yard walkway. The Neighbor also confirmed that they have not experienced any unusual flooding caused by the walkway's construction.

As the proposed cabana in the subject property is 94.22m<sup>2</sup>, the owner/ applicant needs to obtain a lot grading permit from Development Inspection and Lot Grading division of the City's Development Engineering Department. Please note any in ground structure over 10 m<sup>2</sup> requires a grading permit. Please contact COA application engineering reviewer after receiving the grading permit to clear the condition. (Condition attached)

The Development Engineering (DE) Department does not object to the variance application A257/22.

<b>Development Engineering Recommended Conditions of Approval:</b>	The Owner/applicant shall submit a revised Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.
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## PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

Forestry: Tree protection & preservation methods must be followed according to City of Vaughan By-law 052-2018.

<b>PFH Recommended Conditions of Approval:</b>	None
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## DEVELOPMENT FINANCE COMMENTS

No comment no concerns

<b>Development Finance Recommended Conditions of Approval:</b>	None
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## BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

No comments received to date

<b>BCLPS Recommended Conditions of Approval:</b>	None
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## BUILDING INSPECTION (SEPTIC) COMMENTS

No comments received to date

<b>Building Inspection Recommended Conditions of Approval:</b>	None
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## FIRE DEPARTMENT COMMENTS

No comments received to date

<b>Fire Department Recommended Conditions of Approval:</b>	None
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## SCHEDULES TO STAFF REPORT

\*See Schedule for list of correspondence

<b>Schedule A</b>	Drawings & Plans Submitted with the Application
<b>Schedule B</b>	Staff & Agency Comments
<b>Schedule C</b> (if required)	Correspondence (Received from Public & Applicant)
<b>Schedule D</b> (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

## SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “**if required**”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Engineering <a href="mailto:Rex.bondad@vaughan.ca">Rex.bondad@vaughan.ca</a>	The Owner/applicant shall submit a revised Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City’s Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.

## IMPORTANT INFORMATION – PLEASE READ

**CONDITIONS:** It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

**APPROVALS:** Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.

**DEVELOPMENT CHARGES:** That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

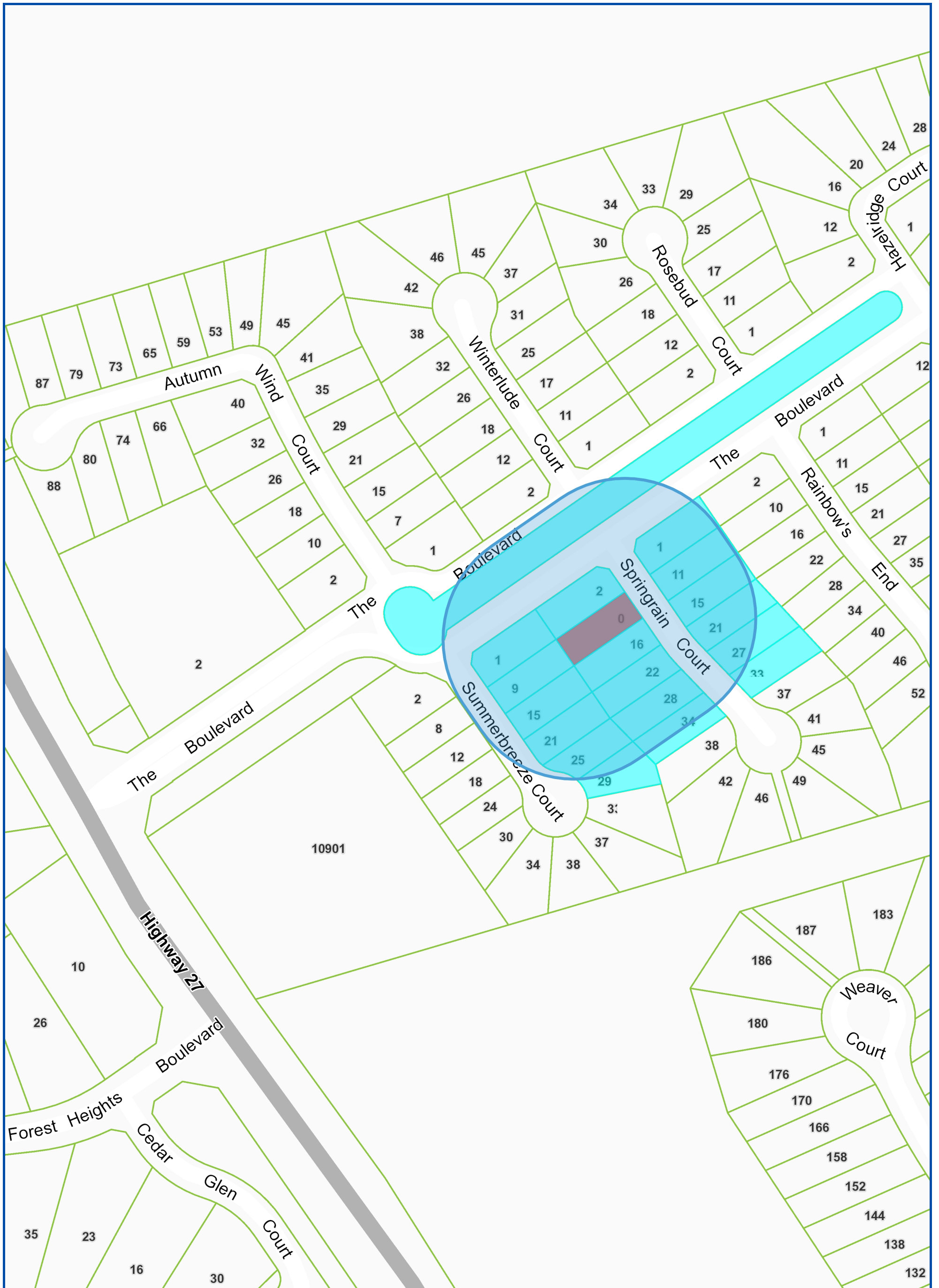
That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City’s Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

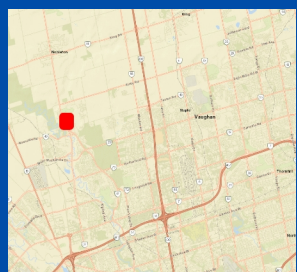
That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City’s Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

**NOTICE OF DECISION:** If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will **not** receive notice.

**SCHEDULE A: DRAWINGS & PLANS**



Map Information:



Title:

10 Springrain Court, Kleinburg

NOTIFICATION MAP - A257/22

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1:2,812

0 0.04 km



Created By:




Infrastructure Delivery  
Department  
October 4, 2022 5:06 PM

Projection:  
NAD 83  
UTM Zone  
17N

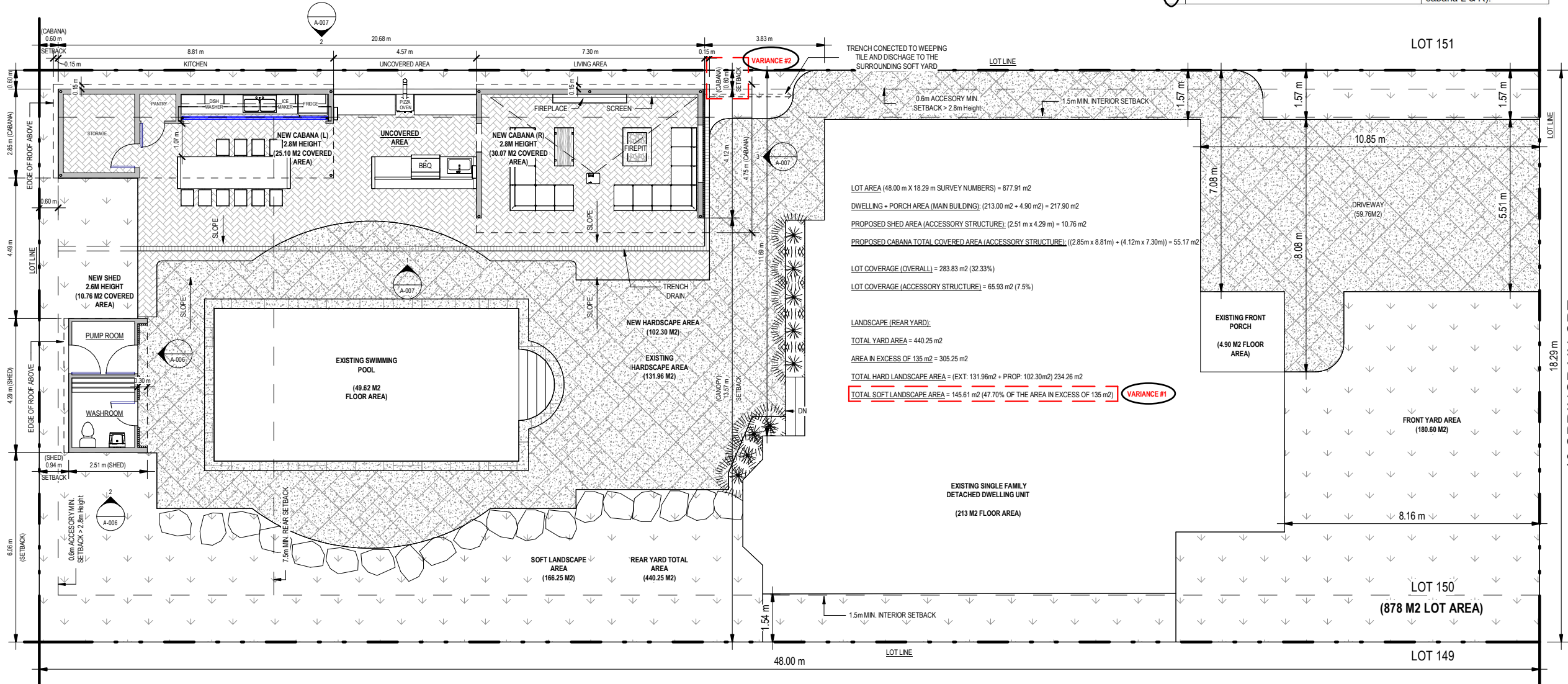


**1** A-003 PROPOSED SITE PLAN  
A-004 SCALE: 1:150

**LEGEND**

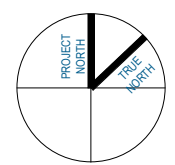
-  SOFT LANDSCAPE
-  EXISTING HARD LANDSCAPE
-  NEW HARD LANDSCAPE

#	Zoning By-law 001-2021	Variance requested
1	In the R1B Zone, any portion of a yard in excess of 135.0 m <sup>2</sup> shall be comprised of a minimum 60% soft landscape. 4.19.1, 1) (440.25 - 135 x .6 = 183.15 m <sup>2</sup> soft landscape in the rear yard is required)	To permit a minimum of 47.7% (145.61 m <sup>2</sup> ) of the rear yard in excess of 135.0 m <sup>2</sup> to be composed of soft landscape.
2	A minimum interior side yard setback of 1.5 m is required. [4.1.1 a, Table 7-3]	To permit a minimum northerly interior side yard setback of 0.6 m for an accessory structure (new cabana L & R).



2023-08-29 4:56:26 PM

**DUTRA ARCHITECT INC.**  
DESIGN & DEVELOPMENT CONSULTANTS  
49 SPADINA AVENUE, SUITE 301, TORONTO, ONTARIO, M5V 2J1  
TEL: (416) 979-5813  
FAX: (416) 979-8567



PROJECT NAME: **NEW REAR CABANA & STORAGE ROOM**

PROJECT ADDRESS: **10 SPRINGRAIN CT, VAUGHAN, ON L0J 1C0**

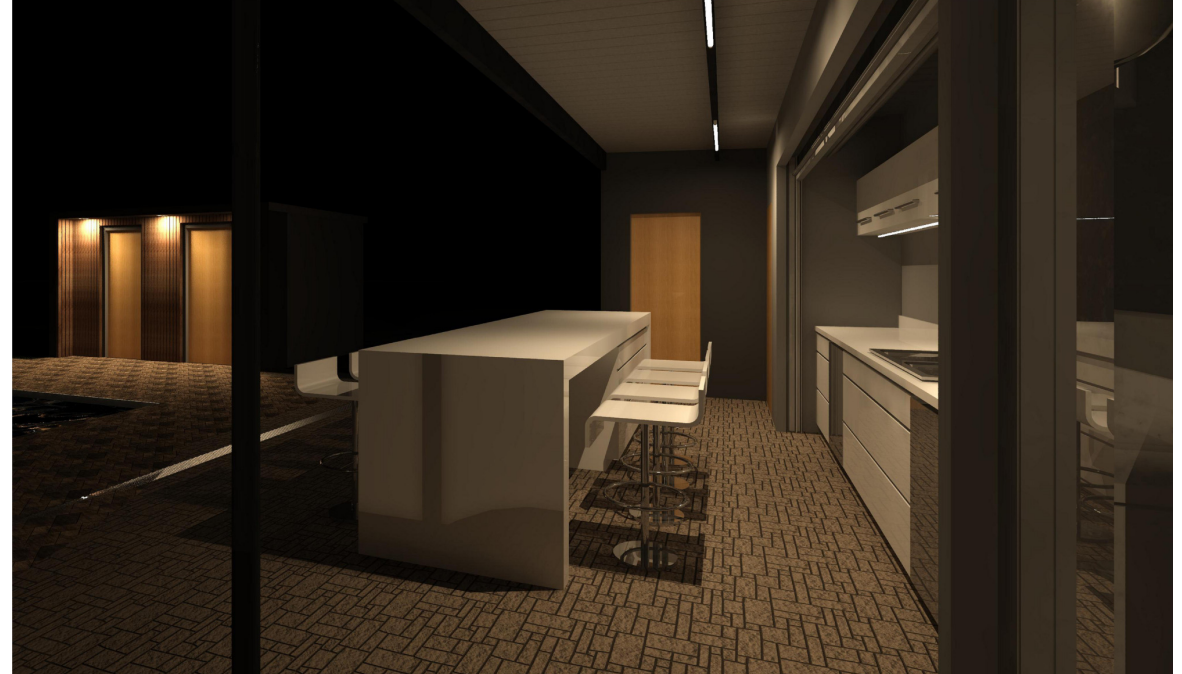
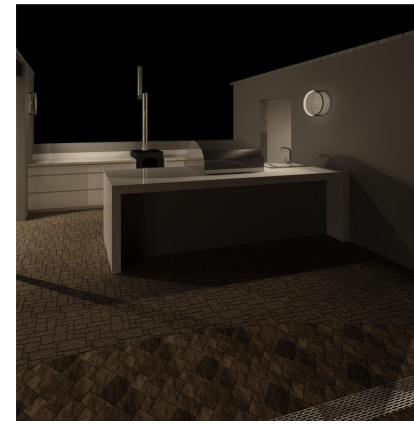
DRAWING NAME: **PROPOSED SITE PLAN**

No.	ISSUED FOR	BY	MM/DD/YY
8	C.O.A STEP 2 REVISED PLAN	DAI	08.29.2023
7	SITE PLAN REVISED	DAI	05.16.2023
6	C.O.A STEP 2 REVISED PLAN	DAI	09.28.2022
5	CLARIFICATION	DAI	09.22.2022
4	MINOR VARIANCE REVIEW	DAI	08.23.2022

PREPARED BY: DM	PROJECT No.: 022-045
SCALE: AS NOTED	DRAWING No.: <b>A-004</b>
CURRENT REVISION DATE: 08.29.2023	

**RECEIVED**

By Christine Vigneault at 9:02 am, Aug 30, 2023



**DUTRA ARCHITECT INC.**

DESIGN &  
DEVELOPMENT  
CONSULTANTS

49 SPADINA AVENUE, SUITE 301, TORONTO, ONTARIO, M5V 2J1

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## **NEW REAR CABANA & STORAGE**

10 SPRINGRAIN CT, VAUGHAN, ON L0J 1C0

**SITE STATS AND ZONING REVIEW**

Address:	10 SPRINGRAIN Ct, VAUGHAN, ON L4H 3N5		Municipality:	2023.MAY.15 Vaughan	
Zoning Designation	R1	First Density Residential Zone			
References:	Section 4, Section 7, Table 7-2, Table 7-3				
	By-Law 1-88	By-Law 001-2021	Existing	Proposed - 10 Springrain crt	
<b>LOT</b>					
LOT AREA (minimum)	540.0 sq. m	420.0 sq. m	877.91 sq. m	877.91 sq. m	
LOT FRONTAGE (minimum) (3)	18 m	18 m	18.29 m	18.29 m	
LOT COVERAGE (maximum) (Including All Accessory Building & Structures)	35%	40%	25.91%	32.33%	283.83 sq. m
FRONT YARD SETBACK (minimum) (4)	7.5 m	4.5 m	8.16 m	8.16 m	
REAR YARD SETBACK (minimum) (3)	7.5 m	7.5 m	22.51 m	22.51 m	
SIDEYARD SETBACK (minimum) (5)	1.5 m	1.5 m	1.54 m	1.54 m	
	1.5 m	1.5 m	1.57 m	1.57 m	
<b>BUILDING</b>					
TOTAL COVERED AREA (Dwelling Unit + Porch + Deck + Garage)	307.3 sq. m	351.2 sq. m	217.90 sq. m	217.90 sq. m	
BUILDING FLOOR AREA (Dwelling Unit + Garage)			213.00 sq. m	213.00 sq. m	
DWELING AREA			213.00 sq. m	213.00 sq. m	
GARAGE AREA (Attached)			- sq. m	- sq. m	
PORCH AREA (Front)			4.90 sq. m	4.90 sq. m	
PORCH AREA (Rear)			- sq. m	- sq. m	
BUILDING HEIGHT (maximum)	9.5 m	9.5 m	9.50 m	9.50 m	
BUILDING LENGTH (maximum)			15.16 m	15.16 m	
BUILDING DEPTH (maximum)			17.33 m	17.33 m	
<b>ACCESSORY BUILDINGS &amp; STRUCTURES</b>					
TOTAL LOT COVERED AREA (All Accessories Buildings)	10% or, 67.0 sq.	10% or, 67.0 sq.	1% 9.60 sq. m (/ 877.91)	7.5%	65.93 sq. m (/ 877.91)
SHED (Existing) / CHANGE ROOM + PUMP ROOM			9.60 sq. m	9.60 sq. m	
SHED (Addition) / STORAGE			- sq. m	1.16 sq. m	
CABANA AREA (New) Total Area ('L' + 'R')			- sq. m	55.17 sq. m	
SWIMMING POOL			49.62 sq. m	49.62 sq. m	
ACCESSORY HEIGHT (maximum)	3 m	3 m			
SHED			2.80 m	2.80 m	
CABANA (New)				2.80 m	
<b>LANDSCAPE</b>					
TOTAL REAR YARD AREA			440.25 sq. m	440.25 sq. m	
AREA IN EXCESS OF 135sq.m.	-135 sq.m	-135 sq.m	305.25 sq. m	305.25 sq. m	
HARD LANDSCAPE, REAR (Existing)			131.96 sq. m	131.96 sq. m	
HARD SURFACE, REAR (New)				102.30 sq. m	
SOFT LANDSCAPE, REAR (Minimum)	60%	60%	81.60% 249.07 sq. m (/ 305.25)	47.70%	145.61 sq. m (/ 305.25) <span style="border: 1px solid red; border-radius: 50%; padding: 2px;">VARIANCE #1</span>

Page 1

2023-08-29 4:56:24 PM

**DUTRA ARCHITECT INC.**

DESIGN & DEVELOPMENT CONSULTANTS

49 SPADINA AVENUE, SUITE 301, TORONTO, ONTARIO, M5V 2J1

TEL: (416) 979-5813  
FAX: (416) 979-8567



PROJECT NAME:	<b>NEW REAR CABANA &amp; STORAGE ROOM</b>
PROJECT ADDRESS:	10 SPRINGRAIN CT, VAUGHAN, ON L0J 1C0
DRAWING NAME:	<b>ZONING STATS &amp; BY-LAW</b>

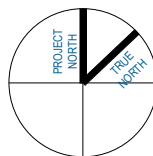
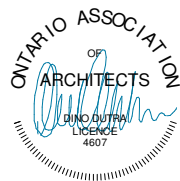
PREPARED BY:	DM	PROJECT No.:	022-045
SCALE:	AS NOTED	DRAWING No.:	<b>A-001</b>
CURRENT REVISION DATE:	08.29.2023		
No.	ISSUED FOR	BY	MM/DD/YY
8	C.O.A STEP 2 REVISED PLAN	DAI	08.29.2023
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PROJECT NAME:

**NEW REAR CABANA & STORAGE ROOM**

PROJECT ADDRESS:

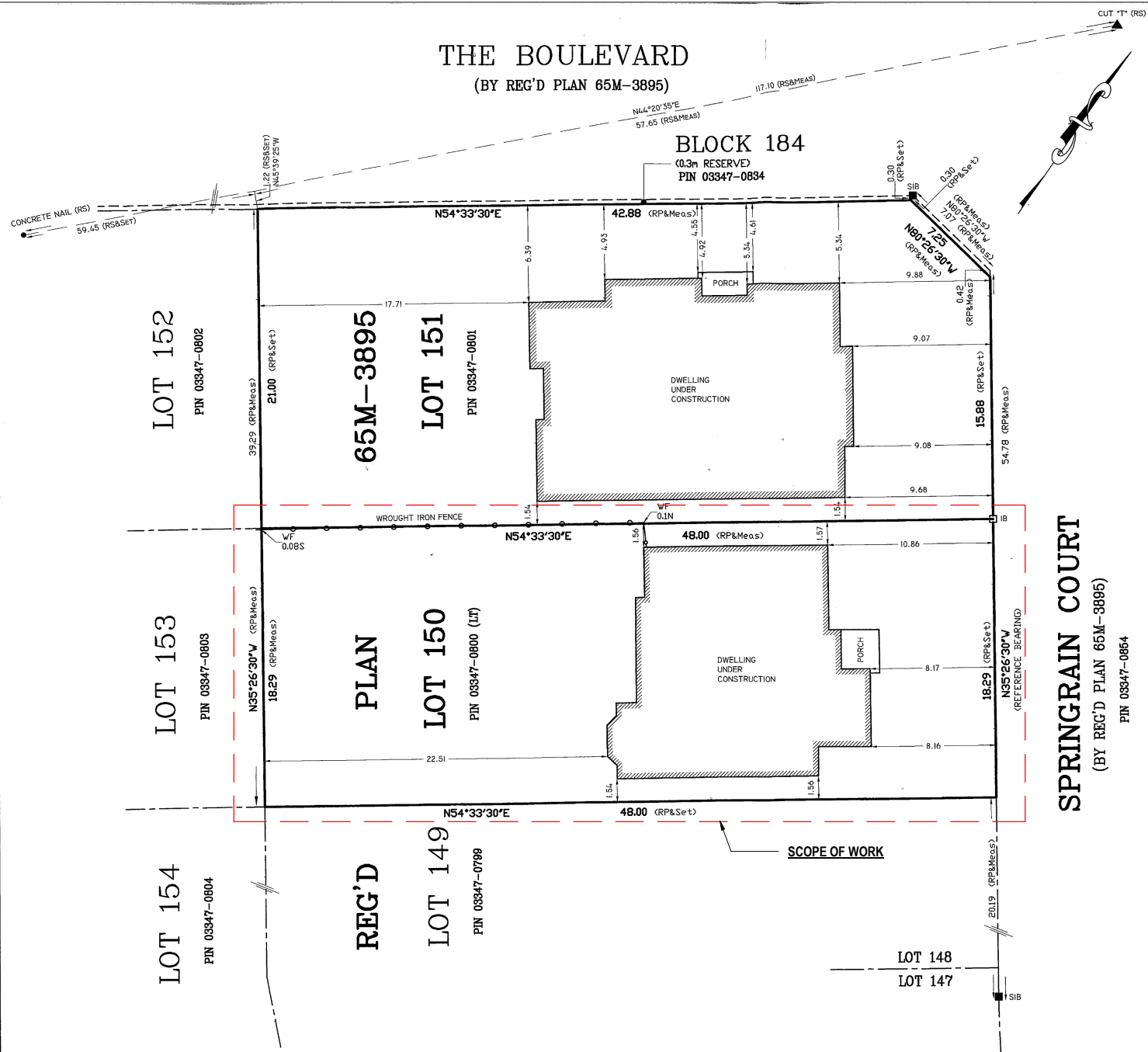
10 SPRINGRAIN CT, VAUGHAN, ON L0J 1C0

DRAWING NAME:

**EXISTING SITE PLAN (REFERENCE ONLY)**

8	C.O.A STEP 2 REVISED PLAN	DAI	08.29.2023
4	MINOR VARIANCE REVIEW	DAI	08.23.2022
No.	ISSUED FOR	BY	MM/DD/YY

PREPARED BY:	DM	PROJECT No.:	022-045
SCALE:	AS NOTED	DRAWING No.:	<b>A-003</b>
CURRENT REVISION DATE:	08.29.2023		



**PART 1 : PLAN OF**  
LOTS 150 AND 151,  
REGISTERED PLAN 65M-3895  
**CITY OF VAUGHAN**  
REGIONAL MUNICIPALITY OF YORK

SCALE 1:250  
C. STANCIU, O.L.S.

METRIC DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

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**FOR REFERENCE ONLY**

**PART 2 : REPORT**

THIS REPORT WAS PREPARED FOR HUMBERPLEX DEVELOPMENTS LTD. AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR ITS USE BY OTHER PARTIES.

**BOUNDARIES**  
LOTS 150 AND 151, REGISTERED PLAN 65M-3895.

**TITLE SEARCH INDICATES**  
NO EASEMENTS OR RIGHT-OF-WAYS REGISTERED ON TITLE.

**REMARKS**  
NOTE THE POSITION OF THE FENCE ALONG THE SOUTHERLY LIMIT OF LOT 151.

**BEARING NOTE**  
BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE WESTERLY LIMIT OF SPRINGRAIN COURT SHOWN ON PLAN 65M-3895 AS HAVING A BEARING OF N35°26'30"W.

**LEGEND**

- DENOTES SURVEY MONUMENT SET
- SURVEY MONUMENT FOUND
- SIB STANDARD IRON BAR
- IB IRON BAR
- RP REGISTERED PLAN 65M-3895
- RS ROWAN-STANCIU Ltd., O.L.S.
- MEAS MEASURED
- N,E,S,W NORTH, EAST, SOUTH, WEST
- WF WROUGHT IRON FENCE

ALL MONUMENTS FOUND ARE BY BENNETT YOUNG LIMITED.

**REVISION NOTE**  
THE SURVEY WAS UPDATED ON JUNE 17, 2010 TO SHOW LOCATION OF THE DWELLING ON LOT 151.

DATE : JUNE 20, 2010  
M. PEARSON  
ONTARIO LAND SURVEYOR

**SURVEYOR'S CERTIFICATE**

I CERTIFY THAT :

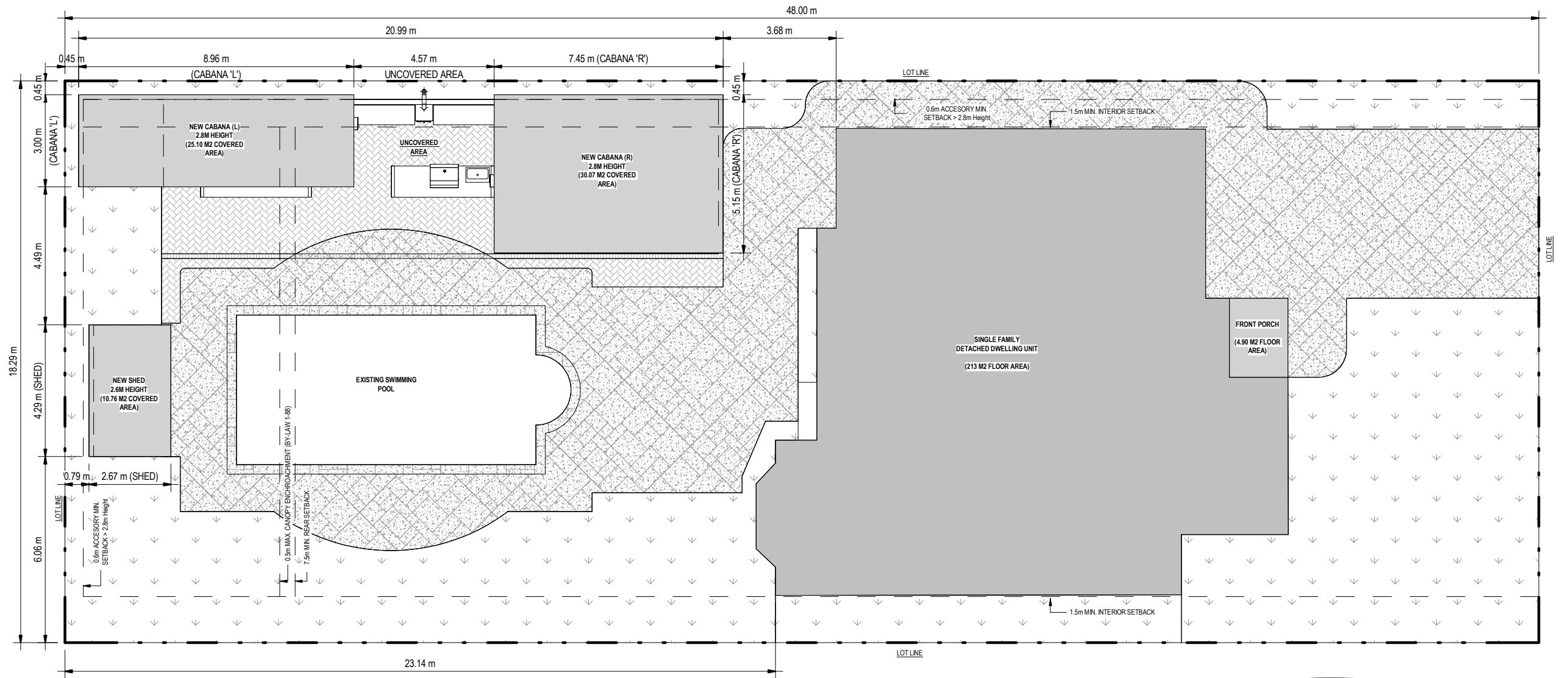
- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT, AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON THE 10th. DAY OF JANUARY, 2008.

DATE : FEBRUARY 13, 2008  
M. PEARSON  
ONTARIO LAND SURVEYOR

ASSOCIATION OF ONTARIO  
LAND SURVEYORS  
PLAN SUBMISSION FORM  
1686001

THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR. In accordance with Regulation 1026, Section 29(3).

**ROWAN-STANCIU LTD**  
ONTARIO LAND SURVEYORS  
24 Lorne Avenue, Richmond Hill, L4C 1C1  
Tel. (905) 780-0227 Fax. (905) 508-0239



**1** A-004 PROPOSED ROOF / FRAMING PLAN  
 A-005 SCALE: 1:150

**NOTE:**  
**ALL ACCESSORY BUILDING TO BE MAX. 2.8m IN HEIGHT FROM ESTABLISHED GRADE**

2023-08-29 4:56:26 PM

**DUTRA ARCHITECT INC.**  
 DESIGN & DEVELOPMENT CONSULTANTS  
 49 SPADINA AVENUE, SUITE 301, TORONTO, ONTARIO, M5V 2J1  
 TEL: (416) 979-5813  
 FAX: (416) 979-8567

PROJECT NAME: **NEW REAR CABANA & STORAGE ROOM**

PROJECT ADDRESS: 10 SPRINGRAIN CT, VAUGHAN, ON L0J 1C0

DRAWING NAME: **ROOF PLAN**

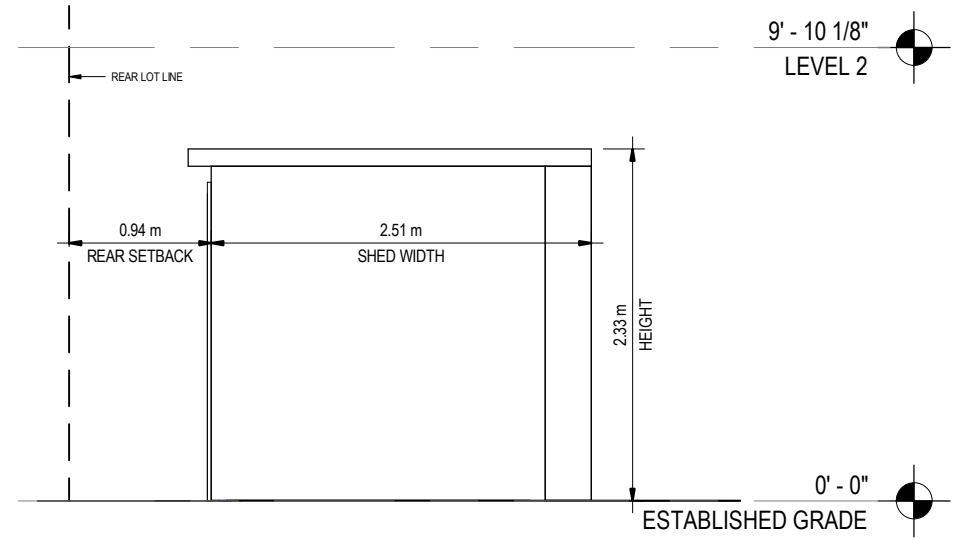
No.	ISSUED FOR	BY	MM/DD/YY
8	C.O.A STEP 2 REVISED PLAN	DAI	08.29.2023
7	SITE PLAN REVISED	DAI	05.16.2023
4	MINOR VARIANCE REVIEW	DAI	08.23.2022

PREPARED BY:	DM	PROJECT No.:	022-045
SCALE:	AS NOTED	DRAWING No.:	<b>A-005</b>
CURRENT REVISION DATE:	08.29.2023		

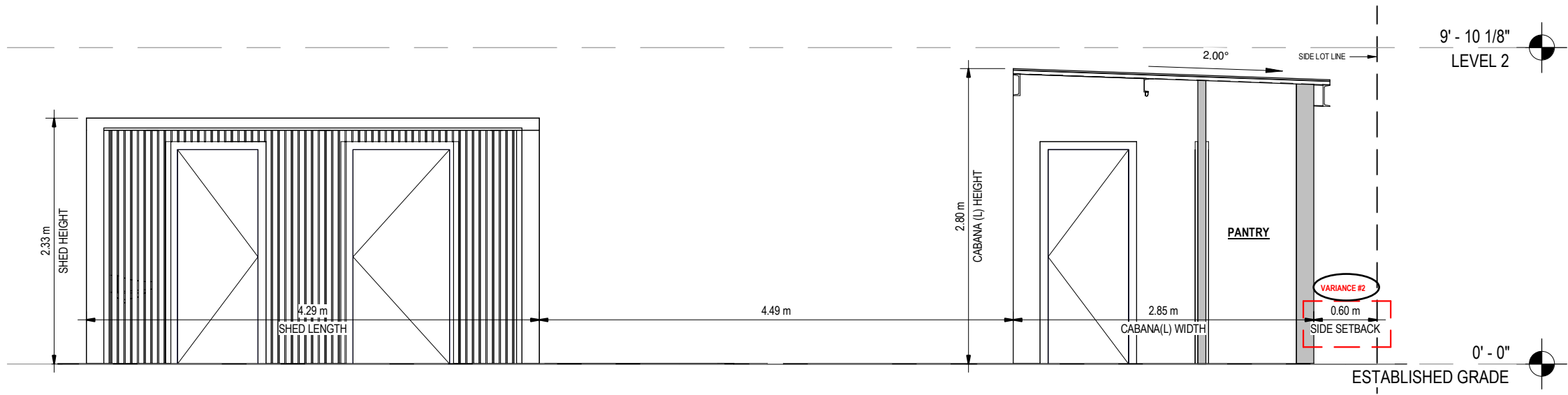
**NOTE:**

**ALL ACCESSORY BUILDING TO BE MAX. 2.8m IN HEIGHT FROM ESTABLISHED GRADE**

**2** SHED - SIDE ELEVATION  
A-006 SCALE: 1:50



**1** SHED - FRONT ELEVATION  
A-006 SCALE: 1:50



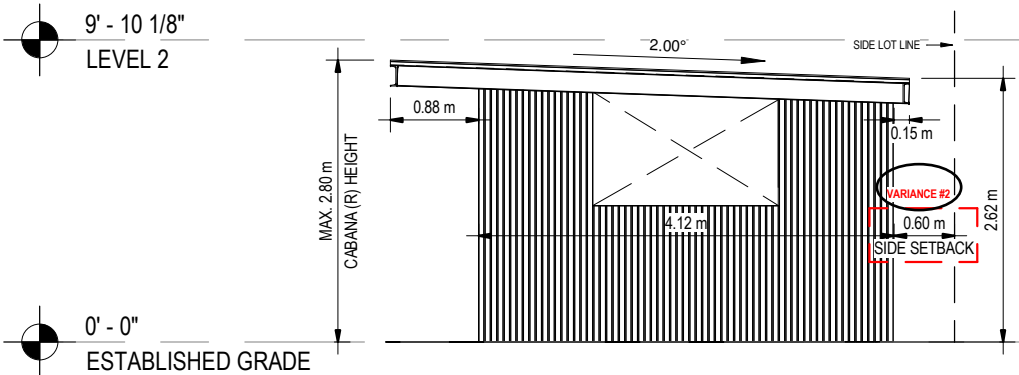
PROJECT NAME:	NEW REAR CABANA & STORAGE ROOM
PROJECT ADDRESS:	10 SPRINGRAIN CT, VAUGHAN, ON L0J 1C0
DRAWING NAME:	SHED ELEVATIONS

No.	ISSUED FOR	BY	MM/DD/YY
8	C.O.A STEP 2 REVISED PLAN	DAI	08.29.2023
4	MINOR VARIANCE REVIEW	DAI	08.23.2022

PREPARED BY:	DM	PROJECT No.:	022-045
SCALE:	AS NOTED	DRAWING No.:	A-006
CURRENT REVISION DATE:	08.29.2023		

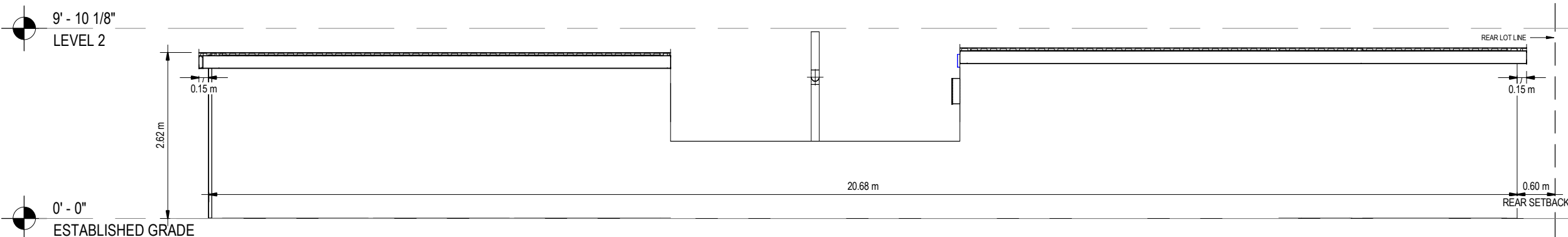
**DUTRA ARCHITECT INC.**  
DESIGN & DEVELOPMENT CONSULTANTS  
49 SPADINA AVENUE, SUITE 301, TORONTO, ONTARIO, M5V 2J1  
TEL: (416) 979-5813  
FAX: (416) 979-8567

2023-08-29 4:56:27 PM

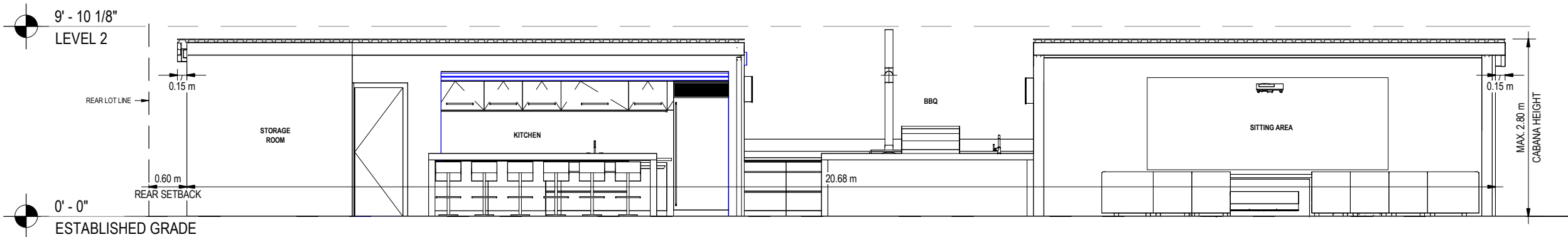


**3** CABANA, SIDE ELEVATION  
A-007 SCALE: 1:75

**NOTE:**  
ALL ACCESSORY BUILDING TO BE MAX. 2.8m IN HEIGHT FROM ESTABLISHED GRADE



**2** CABANA, REAR ELEVATION  
A-007 SCALE: 1:75



**1** CABANA, FRONT ELEVATION  
A-007 SCALE: 1:75

2023-08-29 4:56:27 PM

**DUTRA ARCHITECT INC.**  
DESIGN & DEVELOPMENT CONSULTANTS  
49 SPADINA AVENUE, SUITE 301, TORONTO, ONTARIO, M5V 2J1  
TEL: (416) 979-5813  
FAX: (416) 979-8567

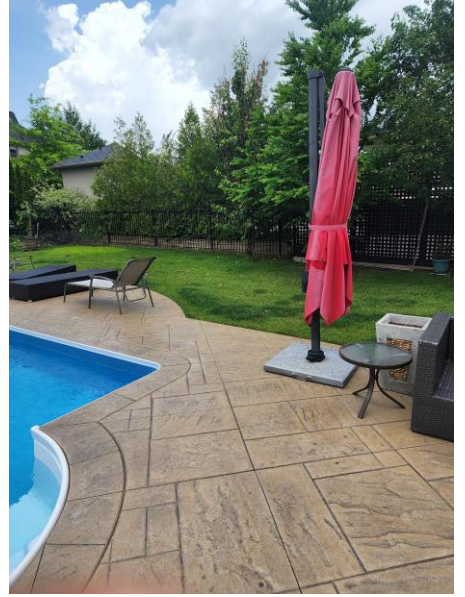
PROJECT NAME: **NEW REAR CABANA & STORAGE ROOM**  
PROJECT ADDRESS: **10 SPRINGRAIN CT, VAUGHAN, ON L0J 1C0**  
DRAWING NAME: **CABANA ELEVATIONS**

No.	ISSUED FOR	BY	MM/DD/YY
8	C.O.A STEP 2 REVISED PLAN	DAI	08.29.2023
4	MINOR VARIANCE REVIEW	DAI	08.23.2022

PREPARED BY: **DM**  
SCALE: **AS NOTED**  
CURRENT REVISION DATE: **08.29.2023**

PROJECT No.: **022-045**  
DRAWING No.: **A-007**

10 SPRINGRAIN CRT – BACKYARD EXISTING CONDITION





**SCHEDULE B: STAFF & AGENCY COMMENTS**

<b>DEPT/AGENCY</b>	<b>Circulated</b>	<b>Comments Received</b>	<b>Conditions</b>	<b>Nature of Comments</b>
TRCA *Schedule B	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Ministry of Transportation (MTO) *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York *Schedule B	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra *Schedule B	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada *Schedule B	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline *Schedule B	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Building Standards (Zoning)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments

**Date:** September 28<sup>th</sup> , 2022

**Attention:** **Christine Vigneault**

**RE:** Request for Comments

**File No.:** **A257-22**

**Related Files:**

**Applicant** Paul Raposo and Rosa Raposo

**Location** 10 Springrain Court



Discover the possibilities

### COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

### References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

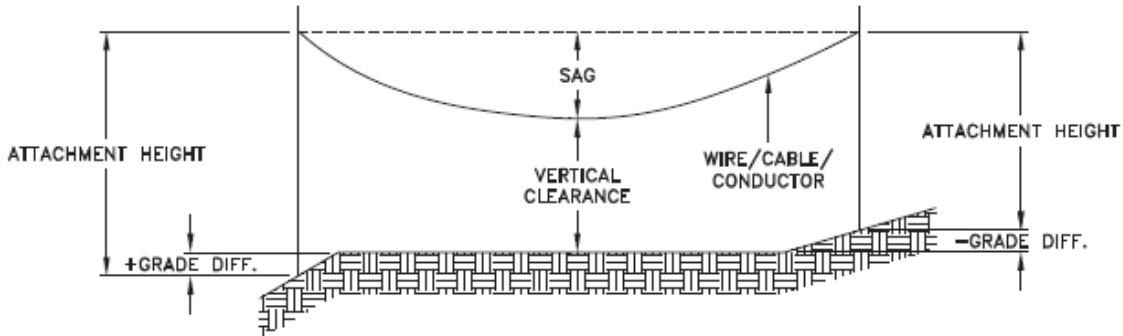
Mr. Stephen Cranley, C.E.T  
Supervisor, Distribution Design, ICI & Layouts (North)  
**Phone:** 1-877-963-6900 ext. 31297

**E-mail:** [stephen.cranley@alectrautilities.com](mailto:stephen.cranley@alectrautilities.com)

Mitchell Penner  
Supervisor, Distribution Design-Subdivisions  
**Phone:** 416-302-6215

**Email:** [Mitchell.Penner@alectrautilities.com](mailto:Mitchell.Penner@alectrautilities.com)

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG  
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)  
 ± GRADE DIFFERENCE  
 + 0.3m (VEHICLE OR RAILWAY LOCATION)  
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

**NOTES:**

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

**CONVERSION TABLE**

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

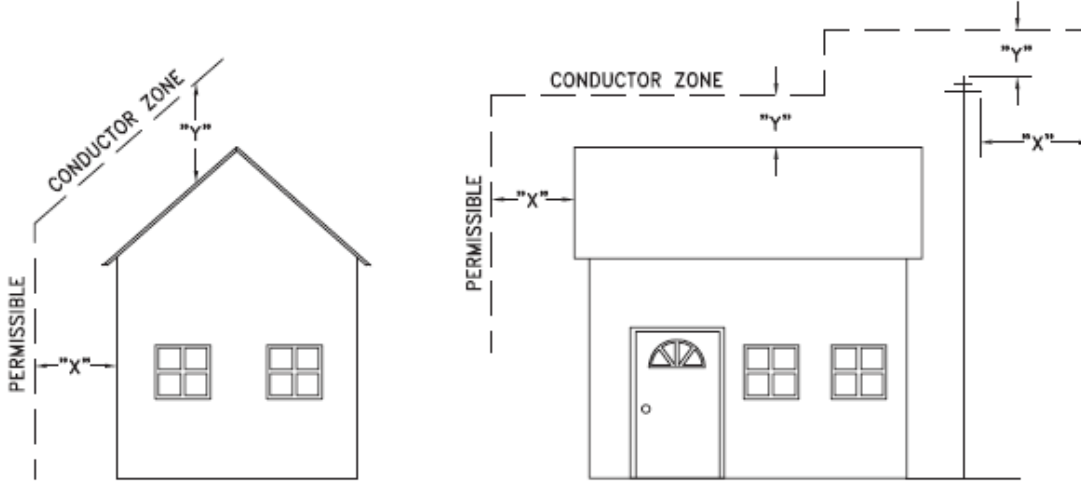
**REFERENCES**

SAGS AND TENSIONS | SECTION 02

**MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS**

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

**NOTES**

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

**MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)**

**Certificate of Approval**  
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04  
Debbie Dadwani, P.Eng. 2010-MAY-05  
Name Date  
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:  
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

**To:** Committee of Adjustment  
**From:** Catherine Saluri, Building Standards Department  
**Date:** August 29, 2023  
**Applicant:** Paul Raposo and Rosa Raposo  
**Location:** 10 Springrain Court  
 PLAN 65M3895 Lot 150  
**File No.(s):** A257/22

**Zoning Classification:**

The subject lands are zoned R1B(EN) – First Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.815 under Zoning By-law 001-2021.

#	Zoning By-law 001-2021	Variance requested
1	In the R1B Zone, any portion of a yard in excess of 135.0 m <sup>2</sup> shall be comprised of a minimum 60% soft landscape. 4.19.1, 1] (440.25 -135 x .6 = 183.15 m <sup>2</sup> soft landscape in the rear yard is required)	To permit a minimum of 47.7% (145.61 m <sup>2</sup> ) of the rear yard in excess of 135.0 m <sup>2</sup> to be composed of soft landscape.
2	A minimum interior side yard setback of 1.5 m is required. [4.1.1 a, Table 7-3]	To permit a minimum northerly interior side yard setback of 0.6 m for an accessory structure (new cabana L & R).

**Staff Comments:**

**Building Permit(s) Issued:**

A building permit is required for the construction of the accessory structures.

**Other Comments:**

General Comments	
1	The Agent has confirmed that the height of the proposed cabana and shed has been measured from Established Grade.
2	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit.

**Conditions of Approval:**

If the committee finds merit in the application, the following conditions of approval are recommended.

None

\* Comments are based on the review of documentation supplied with this application.

**To:** Christine Vigneault, Committee of Adjustment Secretary Treasurer  
**From:** Nancy Tuckett, Director of Development Planning  
**Date:** September 13, 2023  
**Name of Owners:** Rosa and Paul Raposo  
**Location:** 10 Springrain Court  
**File No.(s):** A257/22

---

**Proposed Variance(s) (By-law 001-2021):**

1. To permit a minimum of 47.7% (145.61 m<sup>2</sup>) of the rear yard in excess of 135.0 m<sup>2</sup> to be composed of soft landscape.
2. To permit a minimum northerly interior side yard setback of 0.6 m for an accessory structure (new cabana L & R).

**By-Law Requirement(s) (By-law 001-2021):**

1. In the R1B Zone, any portion of a yard in excess of 135.0 m<sup>2</sup> shall be comprised of a minimum 60% soft landscape.
2. A minimum interior side yard setback of 1.5 m is required.

**Official Plan:**

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

**Comments:**

The Owners are requesting relief to permit the construction of two cabanas, and the proposed rear yard hard landscaping, with the above-noted variances.

The Development Planning Department has no objection to Variance 1 for the proposed rear yard soft landscaping as the reduction in soft landscaping is minor in nature and will maintain an appropriate balance of soft landscaping to facilitate drainage, reduce urban heat island effects, and facilitate the establishment of vegetation. The Development Engineering Department has also reviewed the proposal and is satisfied that drainage in the rear yard will be maintained.

Upon recommendations from the Development Planning Department, the Owners have revised their application to break up the size and distribution of covered rear yard amenity space. The Development Planning Department has no objection to Variance 2 for the reduced interior side yard setback for the two revised cabanas. The cabanas comply with the height requirements of the Zoning By-law. The cabanas are also separated by a 4.57 m uncovered area, which will mitigate the amount of mass facing the neighbouring property to the north. As such, due to their modest height, the reduced interior side yard setbacks are not anticipated to have adverse impacts to the neighbouring properties and an appropriate area for maintenance access is maintained.

In support of the application, the Owners have submitted an Arborist Report prepared by Thomson Watson Consulting Arborists Inc., dated July 17, 2023. The report inventoried six trees, none of which are proposed to be removed. Urban Design staff have reviewed the report and concur with its recommendations.

Accordingly, the Development Planning Department can support the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

**Recommendation:**

The Development Planning Department recommends approval of the application.

**Conditions of Approval:**

If the Committee finds merit in the application, the following conditions of approval are recommended:

None

**Comments Prepared by:**

Joshua Cipolletta, Planner

David Harding, Senior Planner



**Lenore Providence**

---

**Subject:** FW: [External] RE: A257/22 (10 Springrain Court) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

**From:** Development Services <developmentsservices@york.ca>

**Sent:** September-27-22 3:55 PM

**To:** Christine Vigneault <Christine.Vigneault@vaughan.ca>

**Cc:** Committee of Adjustment <CofA@vaughan.ca>

**Subject:** [External] RE: A257/22 (10 Springrain Court) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

Hello Christine,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Many thanks,

**Christine Meehan, B.U.R.PL.** | Associate Planner, Programs and Process Improvement, Planning and Economic Development, Corporate Services

---

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1  
1-877-464-9675 x73012 | [christine.meehan@york.ca](mailto:christine.meehan@york.ca) | [www.york.ca](http://www.york.ca)

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**SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE**

<b>Correspondence Type</b>	<b>Name</b>	<b>Address</b>	<b>Date Received</b> (mm/dd/yyyy)	<b>Summary</b>
Public	Maria & Phil Bartuccio	2 Springrain Court	10/17/2022	Confirmation – no flooding no ponding

**Received**

October 17, 2022

**A257/22**

October 14, 2022

City of Vaughan  
Development Engineering Dept.  
2141 Major MacKenzie Dr.  
Vaughan, Ontario  
L6A 1T1

Attention: Ian Reynolds

Dear Mr. Reynolds:

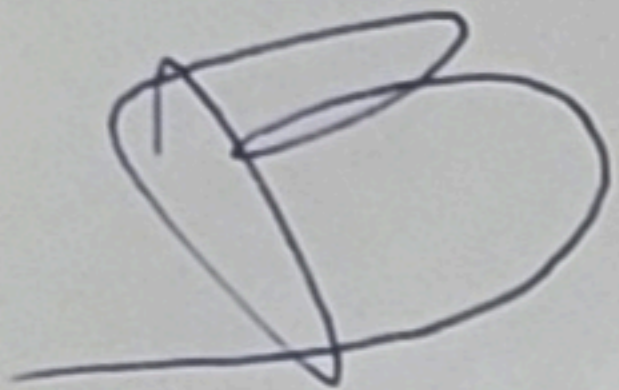
Re: 10 Springrain Court, Kleinburg, Ontario

We are the owners of 2 Springrain Court, Kleinburg, Ontario.

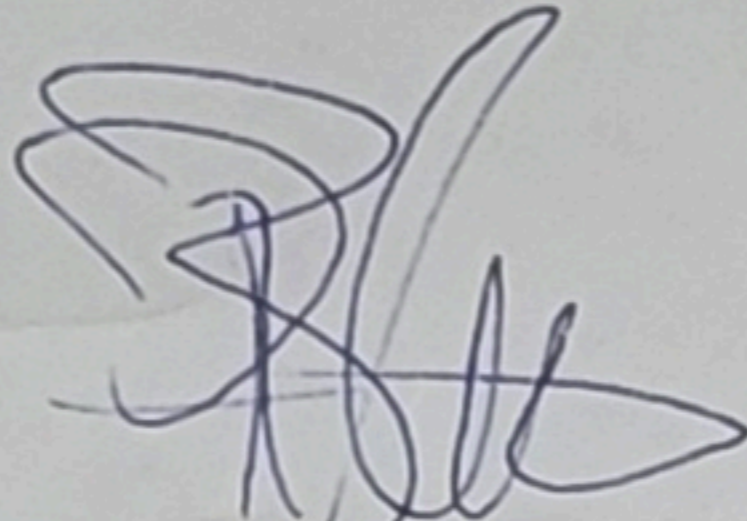
We confirm that we have not experienced any unusual ponding/flooding due to the pathways construction.

Please let us know if you require anything further.

Thank you



Maria Bartuccio



& Phil Bartuccio