

| | |
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| ITEM: 6.11 | COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A225/22 110 RUSHWORTH CRESCENT, KLEINBURG |
|------------|--|

THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES:

*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City’s Website.

| DEPARTMENTS | Circulated | Comments Received | Conditions | Nature of Comments |
|---|-------------------------------------|-------------------------------------|-------------------------------------|---------------------------------|
| Committee of Adjustment | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | General Comments |
| Building Standards (Zoning Review) | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | General Comments |
| Building Inspection (Septic) | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | No Comments Received to Date |
| Development Planning | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | Recommend Approval w/Conditions |
| Development Engineering | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | Recommend Approval w/Conditions |
| Parks, Forestry and Horticulture Operations | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Recommend Approval w/Conditions |
| By-law & Compliance, Licensing & Permits | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | No Comments Received to Date |
| Development Finance | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | General Comments |
| Real Estate | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Fire Department | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | General Comments |
| AGENCIES | Circulated | Comments Received | Conditions | Nature of Comments |
| TRCA | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | General Comments |
| Ministry of Transportation (MTO) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Region of York | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | General Comments |
| Alectra | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | General Comments |
| Bell Canada | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | No Comments Received to Date |
| YRDSB | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| YCDSB | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| CN Rail | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| CP Rail | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| TransCanada Pipeline | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | No Comments Received to Date |
| Metrolinx | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Propane Operator | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |

| PUBLIC & APPLICANT CORRESPONDENCE | | | | |
|--|------|---------|-------------------------------|---------|
| *Please see Schedule C of this report for a copy of the public & applicant correspondence listed below. | | | | |
| The deadline to submit public comments is noon on the last business day prior to the scheduled hearing date. | | | | |
| Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City’s Website. | | | | |
| All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application. | | | | |
| Correspondence Type | Name | Address | Date Received (mm/dd/yyyy) | Summary |
| None | | | | |

| PREVIOUS COA DECISIONS ON THE SUBJECT LAND | | |
|--|--------------------------------|------------------|
| *Please see Schedule D for a copy of the Decisions listed below | | |
| File Number | Date of Decision MM/DD/YYYY | Decision Outcome |
| None | | |

| ADJOURNMENT HISTORY | |
|--|--|
| * Previous hearing dates where this application was adjourned by the Committee and public notice issued. | |
| None | |



**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A225/22
110 Rushworth Cr Kleinburg**

| | |
|---|--|
| ITEM NUMBER: 6.11 | CITY WARD #: 1 |
| | |
| APPLICANT: | Tania Scarangella |
| | |
| AGENT: | Ida Evangelista |
| | |
| PROPERTY: | 110 Rushworth Crescent, Kleinburg |
| | |
| ZONING DESIGNATION: | See below. |
| | |
| VAUGHAN OFFICIAL PLAN (2010) DESIGNATION: | Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential" |
| | |
| RELATED DEVELOPMENT APPLICATIONS: | None |
| | |
| PURPOSE OF APPLICATION: | Relief from the Zoning By-law is being requested to permit a proposed two car garage (including feature wall) and the existing cabana. |

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned **R1B (EN) Established Neighbourhood First Density Residential Zone** under Zoning By-law 001-2021, as amended.

| # | Zoning By-law 001-2021 | Variance requested |
|---|--|--|
| 1 | The minimum required front yard setback is 9.0m. Table 7-3 | To permit a minimum front yard setback of 7.0 metres. |
| 2 | The minimum required interior side yard setback for the residential accessory structure is 2.4m where the height exceeds 2.8m. Section 4.1.2 1 b | To permit a minimum interior side yard setback of 0.30m for the residential accessory structure where the height exceeds 2.8m. |
| 3 | The maximum permitted height for a residential accessory structure is 3.0m. Section 4.1.4 1 | To permit a maximum height of 3.30m for the residential accessory structure. |

| HEARING INFORMATION |
|---|
| DATE OF MEETING: Thursday, September 21, 2023 TIME: 6:00 p.m. MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2 nd Floor), 2141 Major Mackenzie Drive LIVE STREAM LINK: Vaughan.ca/LiveCouncil |
| PUBLIC PARTICIPATION If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the Request to Speak Form and submit to cofa@vaughan.ca If you would like to submit written comments, please quote file number above and submit by mail or email to: Email: cofa@vaughan.ca Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1 To speak electronically, pre-registration is required by completing the Request to Speak Form on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting. THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING. |

| INTRODUCTION | |
|---|--|
| <p>Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.</p> <p>Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application may consider the following:</p> <p>That the general intent and purpose of the by-law will be maintained. That the general intent and purpose of the official plan will be maintained. That the requested variance(s) is/are acceptable for the appropriate development of the subject lands. That the requested variance(s) is/are minor in nature.</p> <p>Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.</p> | |

| COMMITTEE OF ADJUSTMENT COMMENTS | |
|--|--|
| Date Public Notice Mailed: | September 7, 2023 |
| Date Applicant Confirmed Posting of Sign: | August 29, 2023 |
| Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small> | Building upon existing home Using existing sfd for the addition to the home & all existing structures to remain. |
| Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small> | None |
| Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small> <small>*A revised submission may be required to address staff / agency comments received as part of the application review process.</small> <small>*Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small> | No |
| Adjournment Fees: In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice. An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice. | |
| Committee of Adjustment Comments: | General Comments |
| Committee of Adjustment Recommended Conditions of Approval: | None |

| BUILDING STANDARDS (ZONING) COMMENTS | |
|--|------|
| **See Schedule B for Building Standards (Zoning) Comments | |
| Building Standards Recommended Conditions of Approval: | None |

| DEVELOPMENT PLANNING COMMENTS | |
|---|--|
| **See Schedule B for Development Planning Comments. | |
| Development Planning Recommended Conditions of Approval: | That a Consent Letter from the neighbouring property to the west regarding the impacts to their cedar hedge, be provided to the satisfaction of the Development Planning Department. |

| DEVELOPMENT ENGINEERING COMMENTS | |
|---|--|
| Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation | |
| Due to the size of the proposed addition to the existing residence on the subject property, which measures 295.41 m², the Owner/Applicant must acquire a Lot Grading Permit from the Development Inspection and Lot Grading Division of the City’s Development Engineering Department. It’s important to be aware that any in-ground structure exceeding 10 m² necessitates a Grading Permit. Once the Grading Permit is obtained, please reach out to the Development Engineering Reviewer to clear the Condition imposed on this application. | |

| DEVELOPMENT ENGINEERING COMMENTS | |
|--|--|
| Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation | |
| <p>The Owner / Applicant shall contact Transportation and Fleet Management Services if there is any work required related to the driveway culvert. Please visit the Culvert Installation page at City of Vaughan website for more information.</p> <p>The Owner/Applicant's proposed work involves increasing the Lot Coverage on the subject property. This addition of hardscape could potentially affect the City's Storm Water management system. Development Engineering highly recommends that the Owner/Applicant incorporate Low-Impact Development (LID) measures, such as bioswales, permeable pavers, rain gardens, rain barrels, etc., to minimize the impact on the stormwater system. If additional information is needed, please reach out to the Development Engineering COA reviewer.</p> <p>The Development Engineering Department does not object to the Minor Variance application A225/22, subject to the following condition(s):</p> | |
| Development Engineering Recommended Conditions of Approval: | <p>The Owner/Applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading Division within the City's Development Engineering Department before initiating any work on the property. To apply for a Grading Permit, please visit the Permit page on the City of Vaughan website: https://www.vaughan.ca/about-city-v Vaughan/departments/development-engineering/permits. For any inquiries regarding the Grading Permit, please feel free to contact the Development Engineering Department via email at DEPermits@vaughan.ca.</p> <p>The Owner/Applicant shall initiate the process of relocating or upgrading service connections for the subject property in accordance with city standards by contacting the Development Inspection and Lot Grading Division of Development Engineering. This process should include the submission of a servicing and lot grading plan. The Owner/Applicant should reach out to the Development Inspection and Grading Department via serviceconnections@vaughan.ca to request a cost estimate. Once the service connection estimates have been confirmed for the installation of necessary services, the Owner/Applicant is responsible for paying all associated fees, including administration charges. The service connection application process typically takes 4-6 weeks, so the Owner/Applicant is encouraged to allow sufficient time for the entire procedure to be completed.</p> |

| PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS | |
|--|---|
| Forestry: General comments with condition | |
| PFH Recommended Conditions of Approval: | Applicant/owner shall obtain a “Private Property Tree Removal & Protection” permit through the forestry division prior to any construction works on the subject property. |

| DEVELOPMENT FINANCE COMMENTS | |
|--|------|
| No comment no concerns | |
| Development Finance Recommended Conditions of Approval: | None |

| BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS | |
|---|------|
| No comments received to date | |
| BCLPS Recommended Conditions of Approval: | None |

| BUILDING INSPECTION (SEPTIC) COMMENTS | |
|---------------------------------------|--|
| No comments received to date | |

| BUILDING INSPECTION (SEPTIC) COMMENTS | |
|---|------|
| Building Inspection Recommended Conditions of Approval: | None |

| FIRE DEPARTMENT COMMENTS | |
|---|------|
| General comments | |
| Fire Department Recommended Conditions of Approval: | None |

| SCHEDULES TO STAFF REPORT | |
|--|---|
| *See Schedule for list of correspondence | |
| Schedule A | Drawings & Plans Submitted with the Application |
| Schedule B | Staff & Agency Comments |
| Schedule C (if required) | Correspondence (Received from Public & Applicant) |
| Schedule D (if required) | Previous COA Decisions on the Subject Land |

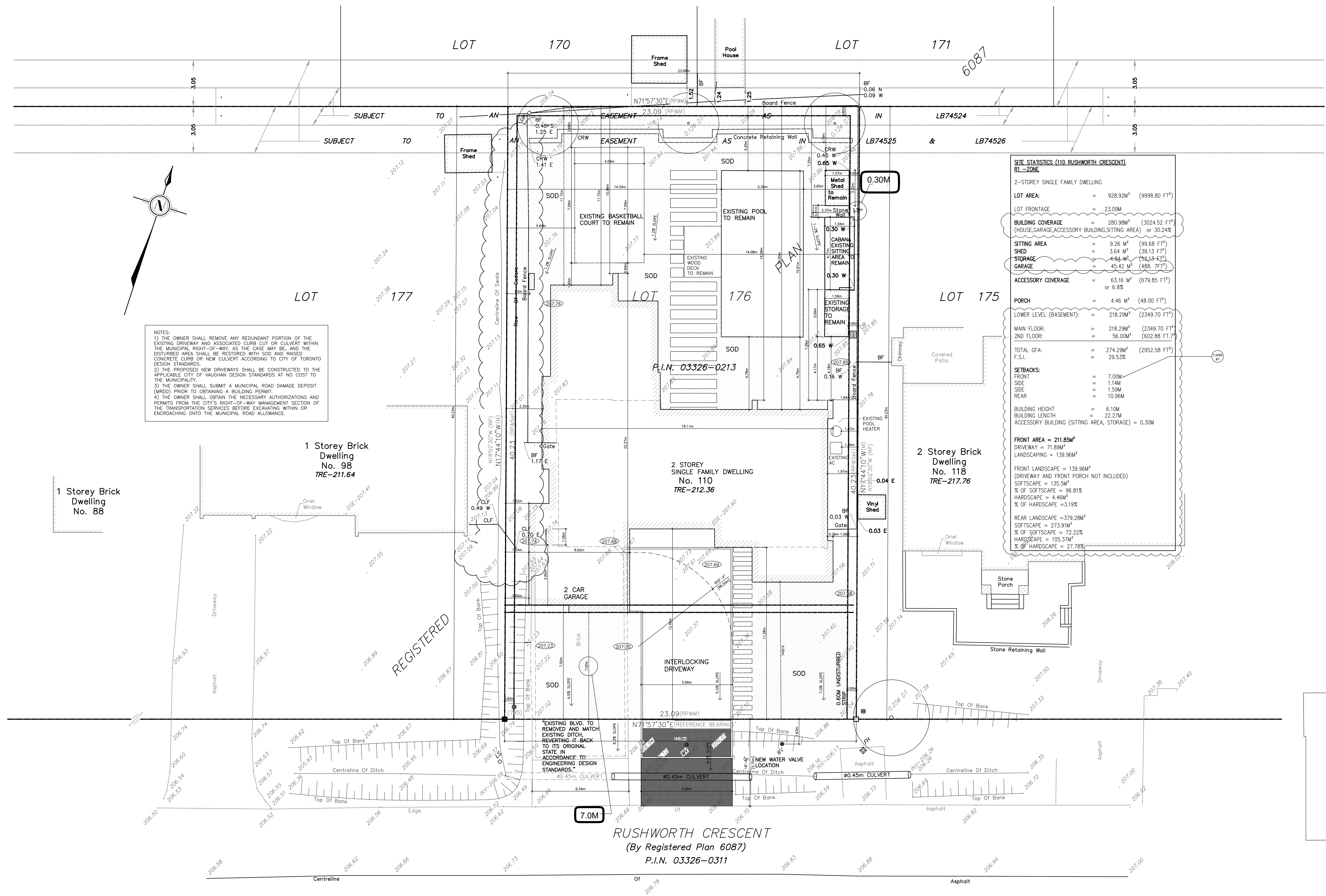
Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

| SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL | | |
|---|---|--|
| All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency. | | |
| # | DEPARTMENT / AGENCY | CONDITION(S) DESCRIPTION |
| 1 | Development Planning Joshua.cipolletta@vaughan.ca | That a Consent Letter from the neighbouring property to the west regarding the impacts to their cedar hedge, be provided to the satisfaction of the Development Planning Department. |
| 2 | Development Engineering Rex.bondad@vaughan.ca | <div>1. The Owner/Applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading Division within the City's Development Engineering Department before initiating any work on the property. To apply for a Grading Permit, please visit the Permit page on the City of Vaughan website: https://www.vaughan.ca/about-city-vaughan/departments/development-engineering/permits. For any inquiries regarding the Grading Permit, please feel free to contact the Development Engineering Department via email at DEPermits@vaughan.ca.</div> <div>2. The Owner/Applicant shall initiate the process of relocating or upgrading service connections for the subject property in accordance with city standards by contacting the Development Inspection and Lot Grading Division of Development Engineering. This process should include the submission of a servicing and lot grading plan. The Owner/Applicant should reach out to the Development Inspection and Grading Department via serviceconnections@vaughan.ca to request a cost estimate. Once the service connection estimates have been confirmed for the installation of necessary services, the Owner/Applicant is responsible for paying all associated fees, including administration charges. The service connection application process typically takes 4-6 weeks, so the Owner/Applicant is encouraged to allow sufficient time for the entire procedure to be completed.</div> |
| 3 | Parks, Forestry and Horticulture Operations zachary.quizzetti@vaughan.ca | Applicant/owner shall obtain a “Private Property Tree Removal & Protection” permit through the forestry division prior to any construction works on the subject property. |

| IMPORTANT INFORMATION – PLEASE READ |
|--|
| CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (see condition chart above for contact). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit. |

| IMPORTANT INFORMATION – PLEASE READ | |
|---|--|
| <p>APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.</p> <p>An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.</p> <p>A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.</p> <p>Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.</p> <p>Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.</p> | |
| <p>DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment</p> <p>That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.</p> | |
| <p>NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will not receive notice.</p> | |

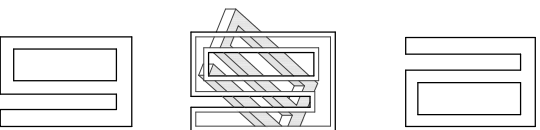
SCHEDULE A: DRAWINGS & PLANS



| | |
|------|-----------------------|
| 1 | PROPOSED SITE PLAN |
| A101 | SCALE : 3/32" = 1'-0" |

All material herein remains property of the architect noted below

Giancarlo Garofalo Architect Inc.
www.ggarchitect.ca



943 St. Clair Ave. West
Toronto, Ontario M6C 1C7
t: 416.531.1265
f: 416.531.4733
e: info@ggarchitect.ca

THE GENERAL CONTRACTOR SHALL REPORT AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO THE ARCHITECT. DRAWINGS MUST NOT BE SCALED.

THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS COUNTERSIGNED BY:

Consultant
Address
Address
Phone
Fax
e-mail

[illegible]

110 Rushworth Crescent
Woodbridge, Ontario

PROPOSED SITE PLAN

| | |
|----------------|----------|
| Project number | |
| Date | JAN 2022 |
| Drawn by | J.C. |
| Checked by | G.G. |

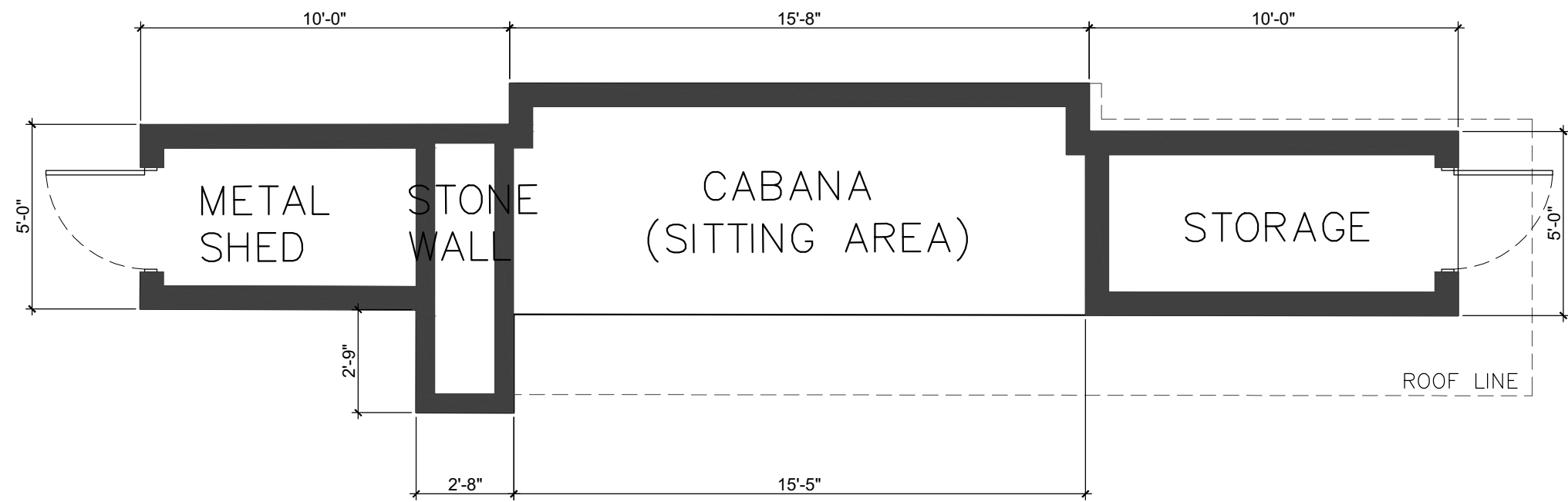
A101

| | |
|-------|----------|
| Scale | as noted |
|-------|----------|

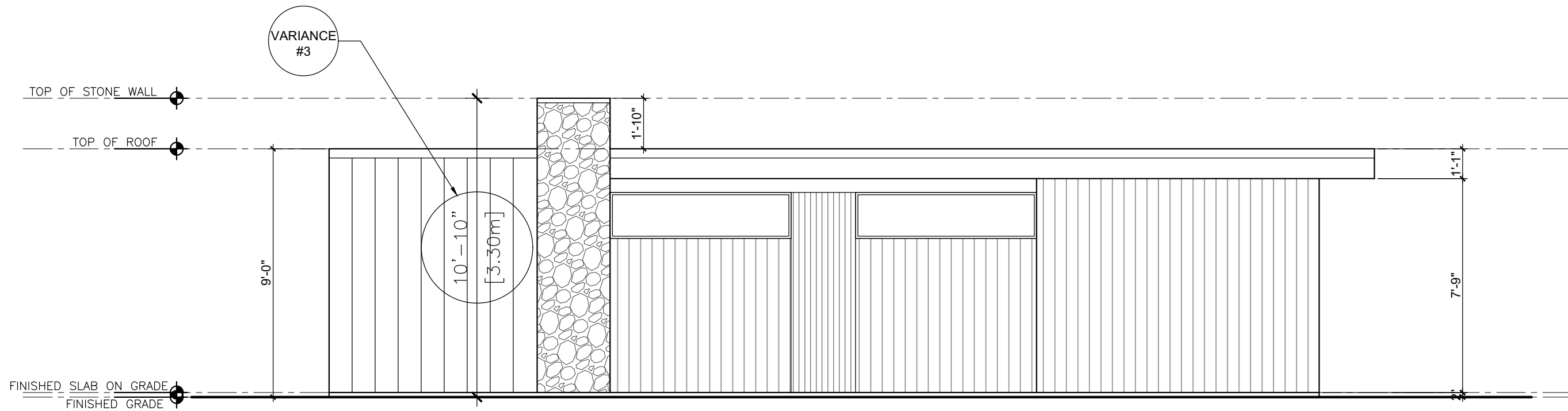
RECEIVED
By RECEIVED at 9:53 am, Aug 21, 2023

PLANS PREPARED BY APPLICANT

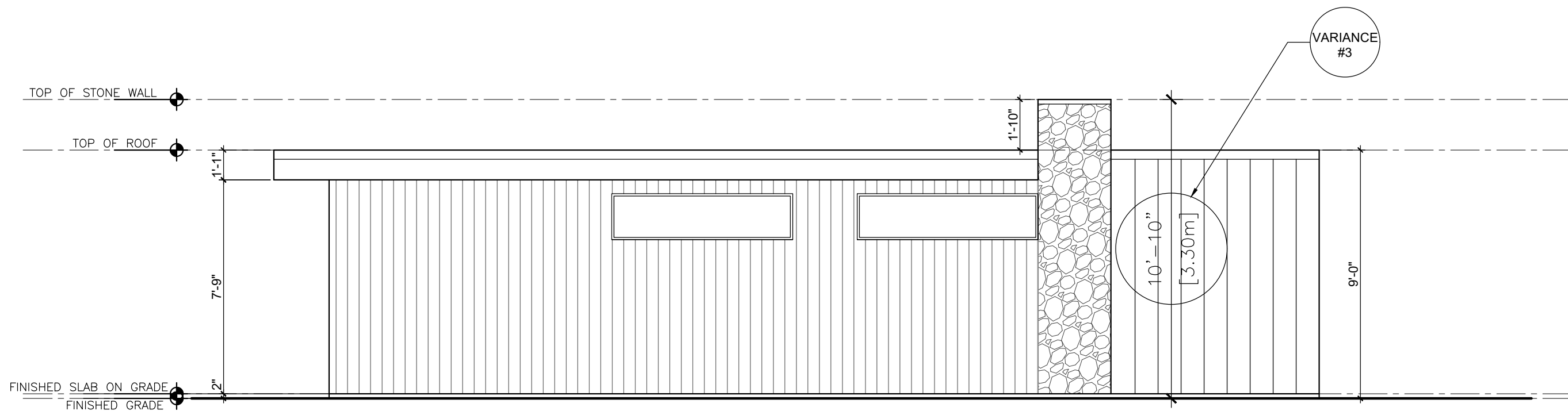
A225/22



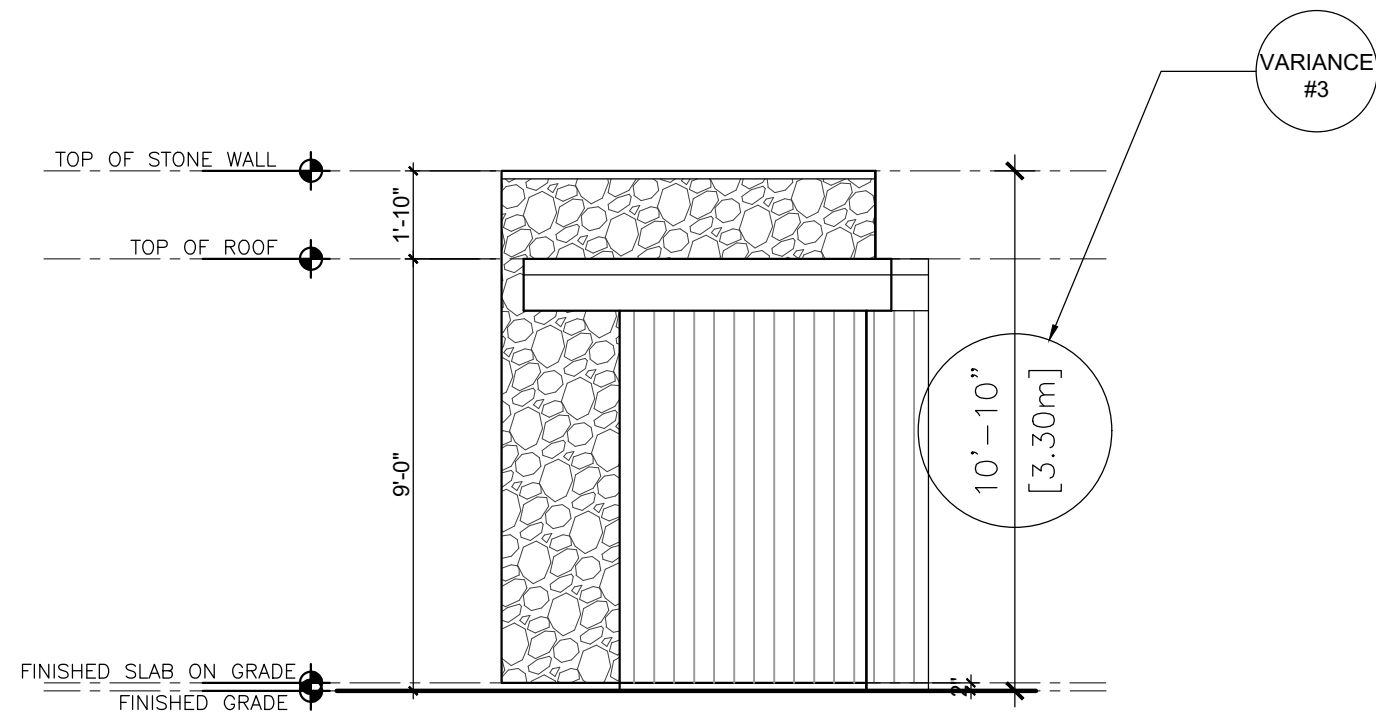
1 CABANA PLAN TO REMAIN
A304 SCALE : 1/4" = 1'-0"



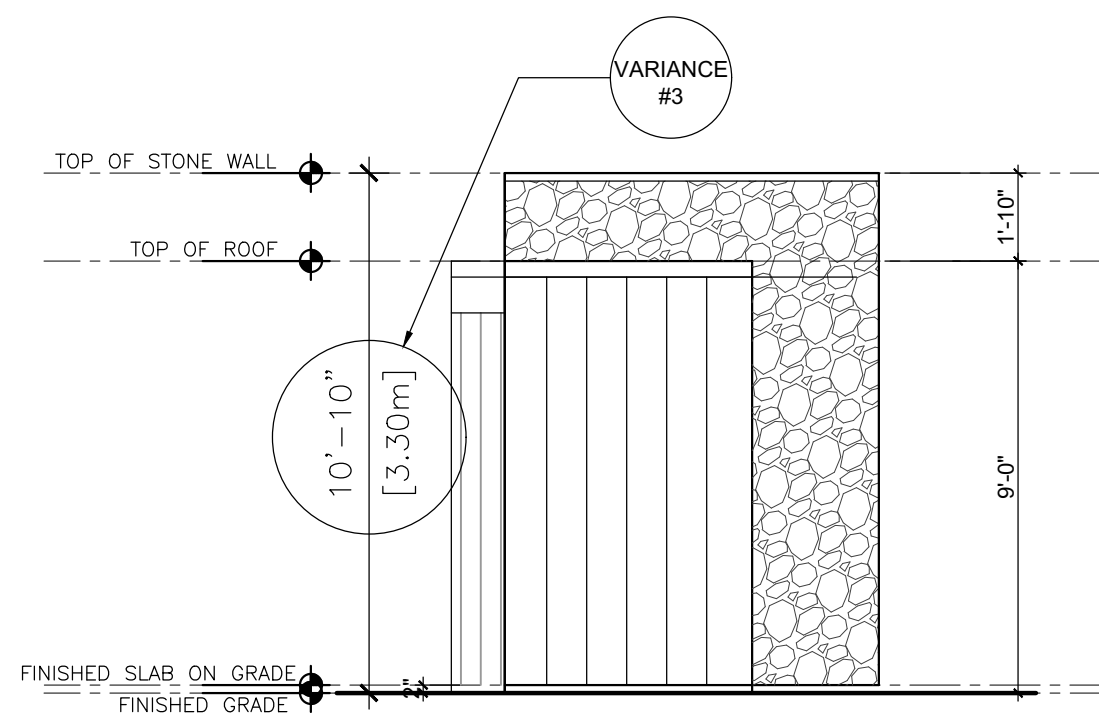
2 EXISTING FRONT ELEV.
A304 SCALE : 1/4" = 1'-0"



3 EXISTING REAR ELEV.
A304 SCALE : 1/4" = 1'-0"



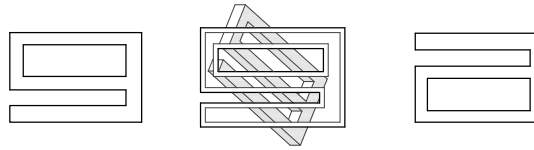
4 EXISTING RIGHT-SIDE ELEV.
A304 SCALE : 1/4" = 1'-0"



5 EXISTING LEFT-SIDE ELEV.
A304 SCALE : 1/4" = 1'-0"

All material herein remains property of the architect noted below.

Giancarlo Garofalo Architect Inc.
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t: 416.531.1265
f: 416.531.4733
e: info@ggarchitect.ca

THE GENERAL CONTRACTOR SHALL REPORT AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO THE ARCHITECT. DRAWINGS MUST NOT BE SCALED.

THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS COUNTERSIGNED BY:

| No. | Description | Date |
|-----|----------------------------|---------------|
| 1 | Issued for Review | Oct. 11/ 2019 |
| 2 | Issued for Review | Dec. 02/ 2019 |
| 3 | Issued for Review | Dec. 11/ 2019 |
| 4 | Issued for Prelim. Pricing | Jan. 17/ 2020 |
| 5 | Issued for Review | Jan. 19/ 2022 |
| 6 | Issued for C of A | Jan. 31/ 2022 |
| 7 | Issued for C of A | Apr. 08/ 2022 |
| 8 | Issued for C of A | Aug. 19/ 2022 |
| 9 | Issued for C of A | Jan. 10/ 2023 |
| 10 | Issued for C of A | June 21/ 2023 |
| 11 | Issued for C of A | July 13/ 2023 |
| 12 | Issued for C of A | July 20/ 2023 |
| 13 | Issued for C of A | Aug 14/ 2023 |

110 Rushworth Crescent
Woodbridge, Ontario

Existing
Cabana

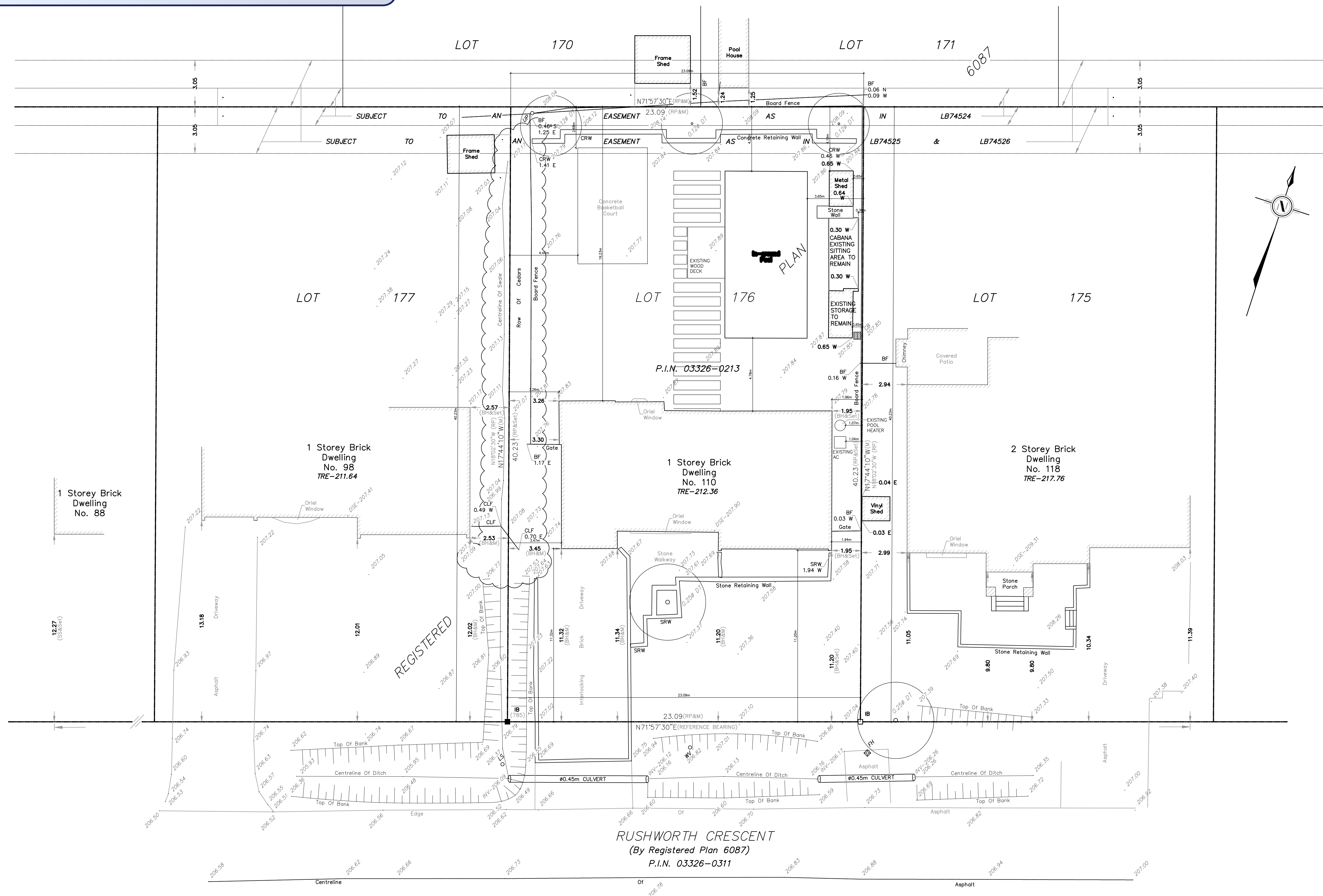
| | |
|----------------|-------|
| Project number | 14 |
| Date | SEPT. |
| Drawn by | D.D. |
| Checked by | G.G. |

A304

Scale as noted

RECEIVED

By Christine Vigneault at 4:20 pm, Aug 14, 2023



1
A100
EXISTING SITE PLAN
SCALE : 3/32" = 1'-0"

All material herein remains property of the architect noted below.

Giancarlo Garofalo Architect Inc.
www.ggarchitect.ca

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t: 416.531.1265
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THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS COUNTERSIGNED BY:

Consultant
Address
Address
Phone
Fax
e-mail

ONTARIO ASSOCIATION OF ARCHITECTS
GIANCARLO GAROFALO
LICENCE 3604

| No. | Description | Date |
|-----|-------------------|---------------|
| 1 | Issued for Review | Jan. 19/ 2022 |
| 2 | Issued for C of A | Jan. 31/ 2022 |
| 3 | Issued for C of A | Apr. 08/ 2022 |
| 4 | Issued for C of A | Jun. 21/ 2022 |
| 5 | Issued for C of A | Aug. 19/ 2022 |
| 6 | Issued for C of A | Jan. 10/ 2023 |
| 7 | Issued for C of A | July 20/ 2023 |
| 8 | Issued for C of A | Aug 14/ 2023 |

110 Rushworth Crescent
Woodbridge, Ontario

EXISTING
SITE PLAN

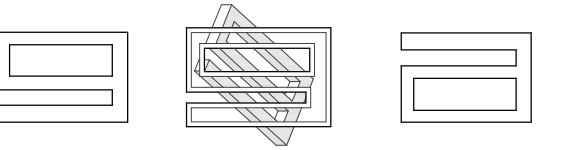
Project number
Date
Drawn by
Checked by

A100

Scale
as noted

All material herein remains property of the architect noted below.

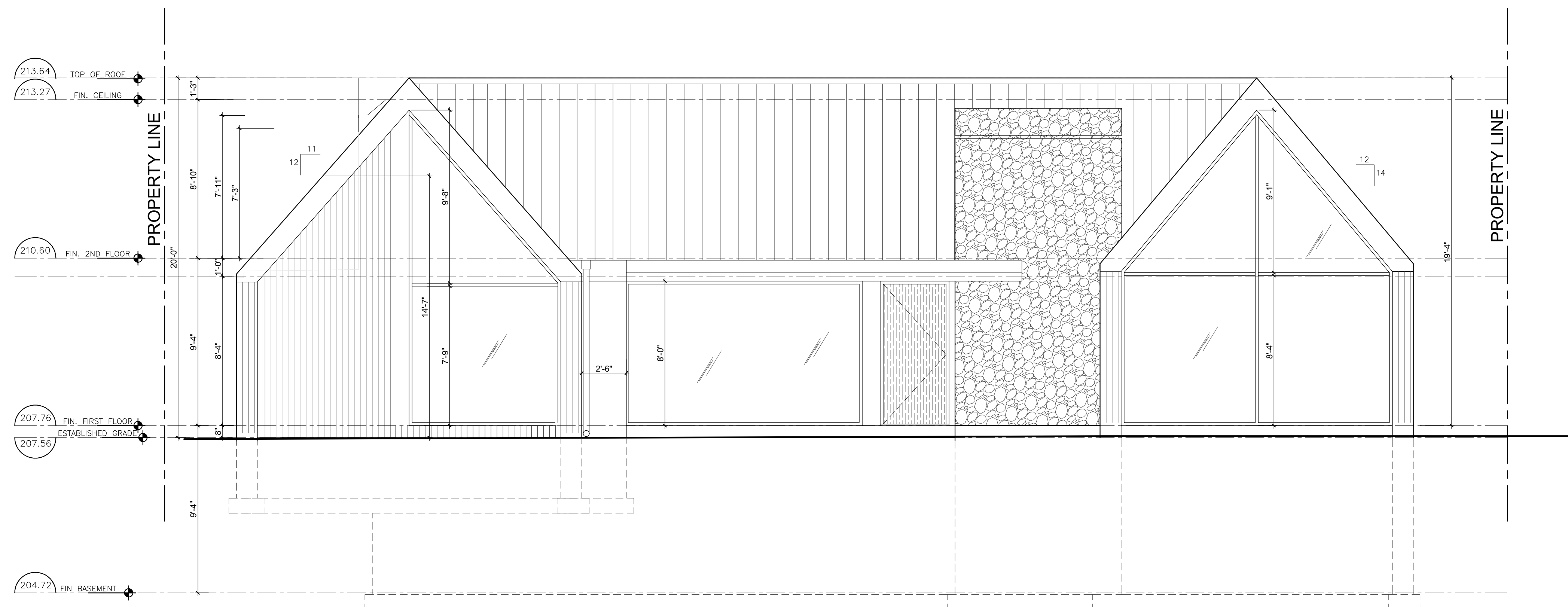
Giancarlo Garofalo Architect Inc.
www.ggarchitect.ca



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THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS COUNTERSIGNED BY:

[illegible]

110 Rushworth Crescent
Woodbridge, Ontario

Proposed Main Elevation

| | |
|----------------|-------|
| Project number | 14 |
| Date | SEPT. |
| Drawn by | D.D. |
| Checked by | G.G. |

A300

| | |
|-------|----------|
| Scale | as noted |
|-------|----------|

1

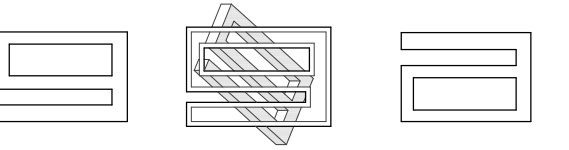
A300

PROPOSED MAIN ELEVATION

SCALE : 1/4" = 1'-0"

All material herein remains property of the architect noted below.

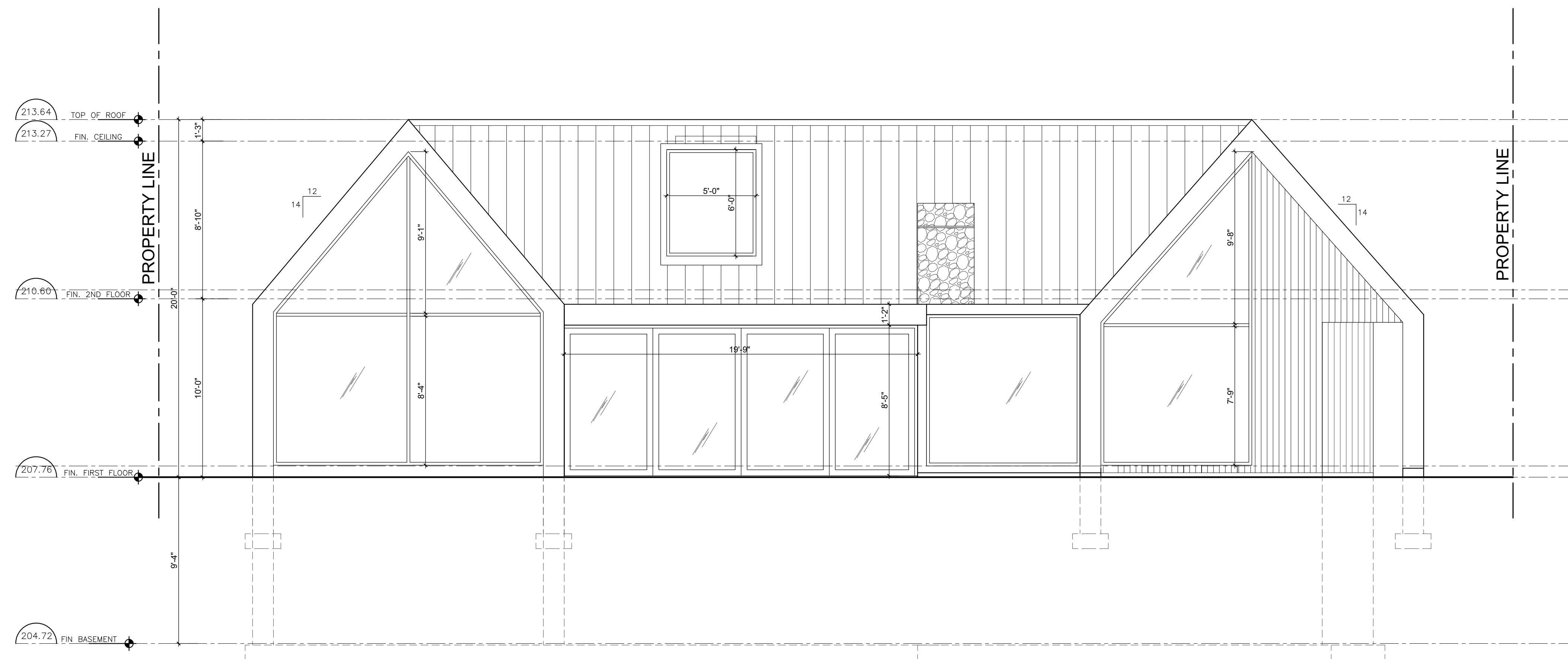
Giancarlo Garofalo Architect Inc.
www.ggarchitect.ca



943 St. Clair Ave. West
Toronto, Ontario M6C 1C7
t: 416.531.1265
f: 416.531.4733
e: info@ggarchitect.ca

THE GENERAL CONTRACTOR SHALL REPORT AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO THE ARCHITECT. DRAWINGS MUST NOT BE SCALED.

THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS COUNTERSIGNED BY:



1 PROPOSED REAR ELEVATION
A301 SCALE : 1/4" = 1'-0"

110 Rushworth Crescent
Woodbridge, Ontario

Proposed Rear Elevation

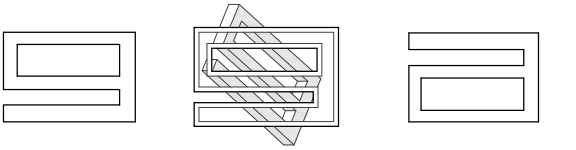
| | |
|----------------|-------|
| Project number | 14 |
| Date | SEPT. |
| Drawn by | D.D. |
| Checked by | G.G. |

A301

| | |
|-------|----------|
| Scale | as noted |
|-------|----------|

All material herein remains property of the architect noted below.

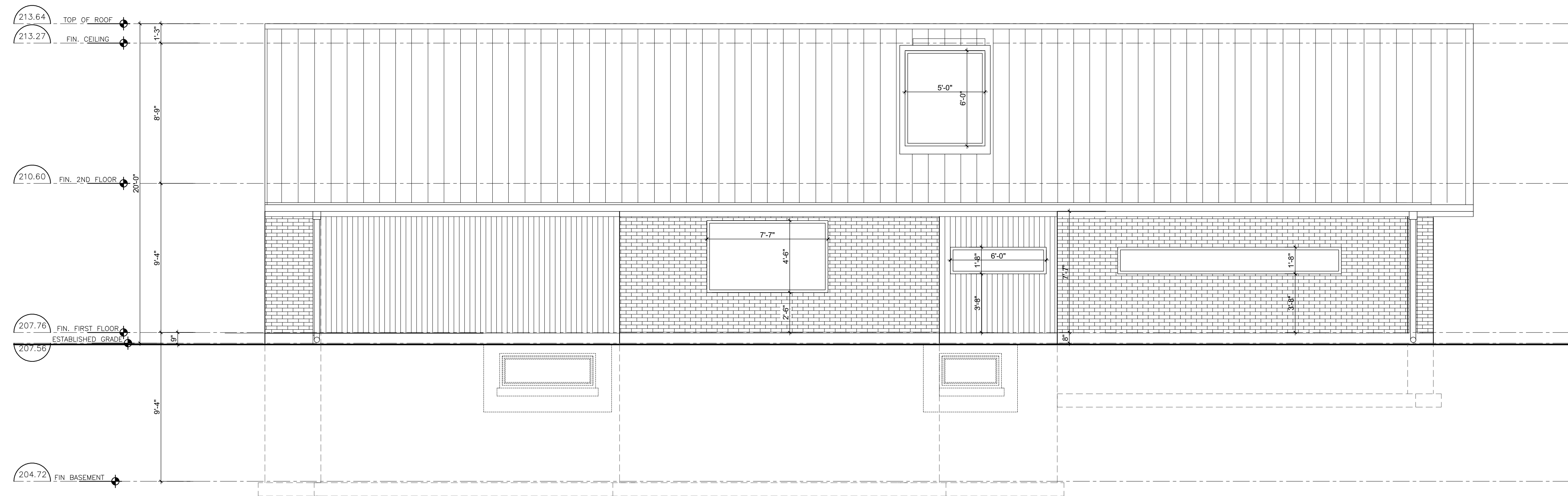
Giancarlo Garofalo Architect Inc.
www.ggarchitect.ca



943 St. Clair Ave. West
Toronto, Ontario M6C 1C7
t: 416.531.1265
f: 416.531.4733
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THE GENERAL CONTRACTOR SHALL REPORT AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO THE ARCHITECT. DRAWINGS MUST NOT BE SCALED.

THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS COUNTERSIGNED BY:



1 PROPOSED LEFT ELEVATION
A302 SCALE : 1/4" = 1'-0"

[illegible]

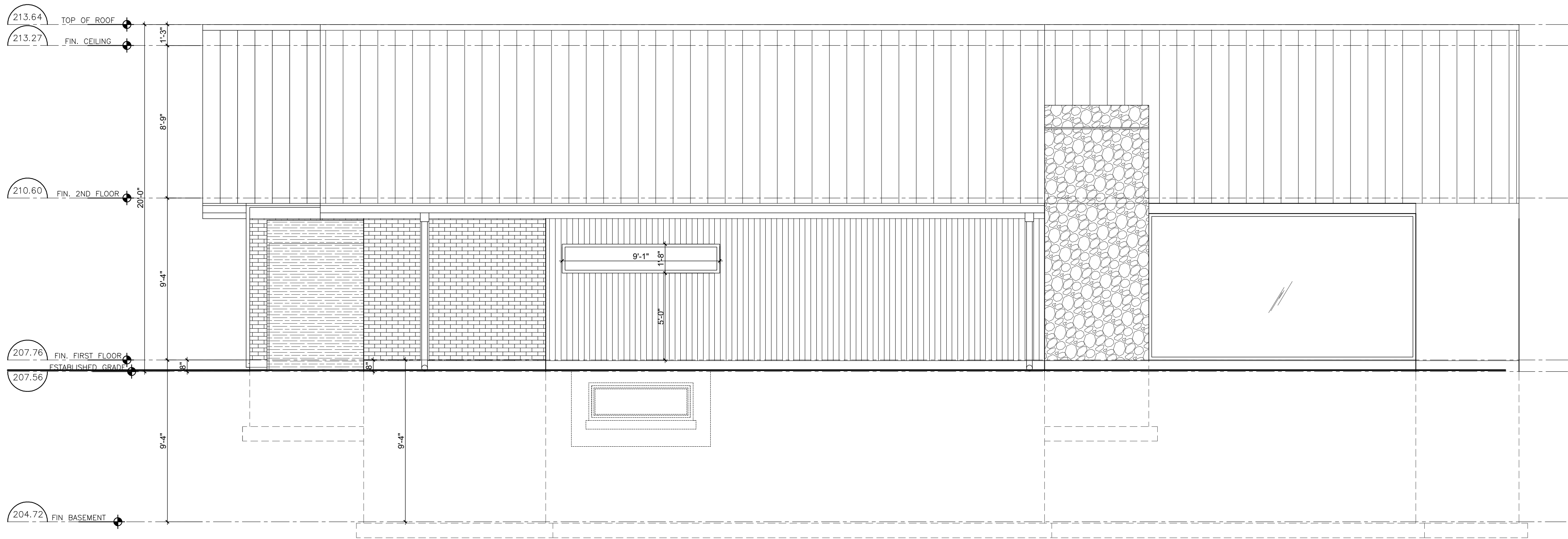
110 Rushworth Crescent
Woodbridge, Ontario

Proposed
Left Elevation

| | |
|----------------|-------|
| Project number | 14 |
| Date | SEPT. |
| Drawn by | D.D. |
| Checked by | G.G. |

A302

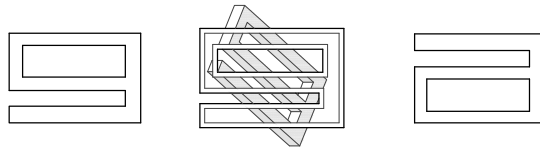
| | |
|-------|----------|
| Scale | as noted |
|-------|----------|



1 PROPOSED RIGHT ELEVATION
A303 SCALE : 1/4" = 1'-0"

All material herein remains property of the architect noted below.

Giancarlo Garofalo Architect Inc.
www.ggarchitect.ca



943 St. Clair Ave. West
Toronto, Ontario M6C 1C7
t: 416.531.1265
f: 416.531.4733
e: info@ggarchitect.ca

THE GENERAL CONTRACTOR SHALL REPORT AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO THE ARCHITECT. DRAWINGS MUST NOT BE SCALED.

THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS COUNTERSIGNED BY:

| No. | Description | Date |
|-----|----------------------------|---------------|
| 1 | Issued for Review | Oct. 11/ 2019 |
| 2 | Issued for Review | Dec. 02/ 2019 |
| 3 | Issued for Review | Dec. 11/ 2019 |
| 4 | Issued for Prelim. Pricing | Jan. 17/ 2020 |
| 5 | Issued for Review | Jan. 19/ 2022 |
| 6 | Issued for C of A | Jan. 31/ 2022 |
| 7 | Issued for C of A | Apr. 08/ 2022 |
| 8 | Issued for C of A | Aug. 19/ 2022 |
| 9 | Issued for C of A | Jan. 10/ 2023 |
| 10 | Issued for C of A | July 20/ 2023 |
| 11 | Issued for C of A | Aug 14/ 2023 |

110 Rushworth Crescent
Woodbridge, Ontario

Proposed
Right Elevation

Project number 14
Date SEPT.
Drawn by D.D.
Checked by G.G.

A303

Scale as noted

| SCHEDULE B: STAFF & AGENCY COMMENTS | | | | |
|--|-------------------------------------|-------------------------------------|-------------------------------------|---------------------------------|
| DEPT/AGENCY | Circulated | Comments Received | Conditions | Nature of Comments |
| TRCA *Schedule B | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | General Comments |
| Ministry of Transportation (MTO) *Schedule B | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Region of York *Schedule B | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | General Comments |
| Alectra *Schedule B | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | General Comments |
| Bell Canada *Schedule B | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | No Comments Received to Date |
| YRDSB *Schedule B | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| YCDSB *Schedule B | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| CN Rail *Schedule B | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| CP Rail *Schedule B | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| TransCanada Pipeline *Schedule B | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | No Comments Received to Date |
| Metrolinx *Schedule B | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Propane Operator *Schedule B | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Development Planning | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | Recommend Approval w/Conditions |
| Building Standards (Zoning) | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | General Comments |

Date: July 13th 2023

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A225-22**

Related Files:

Applicant Tina Scarangella

Location 110 Rushworth Crescent

COMMENTS:

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

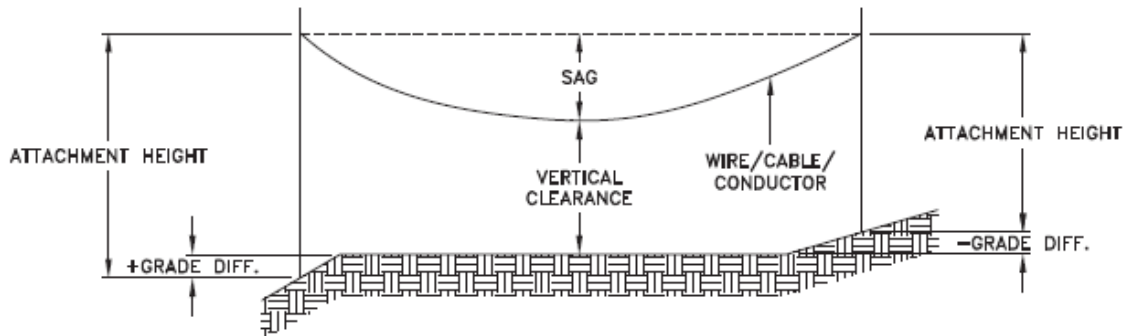
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

| LOCATION OF WIRES, CABLES OR CONDUCTORS | SYSTEM VOLTAGE | | | |
|---|--|------------------------|--------------------------------------|-------|
| | SPAN GUYS AND COMMUNICATIONS WIRES | UP TO 600V AND NEUTRAL | 4.16/2.4kV TO 27.6/16kV (SEE NOTE 1) | 44kV |
| | MINIMUM VERTICAL CLEARANCES (SEE NOTE 2) | | | |
| OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u> | 442cm | 442cm | 480cm | 520cm |
| OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u> | 250cm | 310cm | 340cm | 370cm |
| ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u> | 730cm | 730cm | 760cm | 810cm |



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 + GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

| CONVERSION TABLE | |
|------------------|-------------------|
| METRIC | IMPERIAL (APPROX) |
| 810cm | 27'-0" |
| 760cm | 25'-4" |
| 730cm | 24'-4" |
| 520cm | 17'-4" |
| 480cm | 16'-0" |
| 442cm | 15'-5" |
| 370cm | 12'-4" |
| 340cm | 11'-4" |
| 310cm | 10'-4" |
| 250cm | 8'-4" |

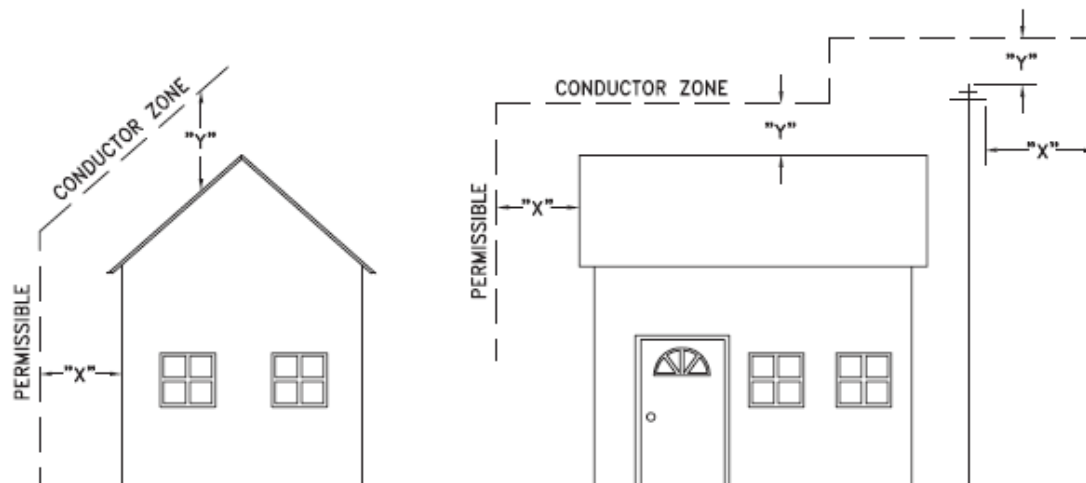
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

| Certificate of Approval | |
|---|-------------|
| This construction Standard meets the safety requirements of Section 4 of Regulation 22/04 | |
| Joe Crozier, P.Eng. | 2012-JAN-09 |
| Name | Date |
| P.Eng. Approval By: | Joe Crozier |



| VOLTAGE | MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4) | MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5) |
|--------------------|---|---|
| 0-600V AND NEUTRAL | 100cm | 250cm |
| 4.16/2.4 TO 44kV | 300cm | 480cm |

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

| CONVERSION TABLE | |
|------------------|-------------------|
| METRIC | IMPERIAL (APPROX) |
| 480cm | 16'-0" |
| 300cm | 10'-0" |
| 250cm | 8'-4" |
| 100cm | 3'-4" |

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:

PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working folder\Section 3\3-4\DWG 03-4 R0 May 5, 2010.dwg, 5/5/2010 8:22:02 AM, Adobe PDF

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P.Eng. Approval By: D. Dadwani

To: Committee of Adjustment

From: Bernd Paessler, Building Standards Department

Date: August 18, 2023

Applicant: Tina Scarangella

Location: 110 Rushworth Crescent PLAN RP6087 Lot 176

File No.(s): A225/22

Zoning Classification:

The subject lands are zoned R1B (EN) Established Neighbourhood First Density Residential Zone under Zoning By-law 001-2021, as amended.

| # | Zoning By-law 001-2021 | Variance requested |
|---|---|--|
| 1 | The minimum required front yard setback is 9.0m. Table 7-3 | To permit a minimum front yard setback of 7.0 metres. |
| 2 | The minimum required interior side yard setback for the residential accessory structure is 2.4m where the height exceeds 2.8m. Section 4.1.2 1 b | To permit a minimum interior side yard setback of 0.30m for the residential accessory structure where the height exceeds 2.8m. |
| 3 | The maximum permitted height for a residential accessory structure is 3.0m. Section 4.1.4 1 | To permit a maximum height of 3.30m for the residential accessory structure. |

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file.

Building Permit(s) Issued:

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m².

| General Comments | |
|------------------|---|
| 1 | The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit. |

Conditions of Approval:

None

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer

From: Nancy Tuckett, Director of Development Planning

Date: September 14, 2023

Name of Owner: Tina Scarangella

Location: 110 Rushworth Crescent

File No.(s): A225/22

Proposed Variance(s) (By-law 001-2021):

1. To permit a minimum front yard setback of 7.0 m.
2. To permit a minimum interior side yard setback of 0.30 m for the residential accessory structure where the height exceeds 2.8 m.
3. To permit a maximum height of 3.30 m for the residential accessory structure.

By-Law Requirement(s) (By-law 001-2021):

1. The minimum required front yard setback is 9.0 m.
2. The minimum required interior side yard setback for the residential accessory structure is 2.4 m where the height exceeds 2.8 m.
3. The maximum permitted height for a residential accessory structure is 3.0 m.

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Comments:

The Owner is requesting relief to permit the reconstruction and expansion of an existing single storey dwelling into a 2-storey dwelling and to permit the existing accessory structure, with the above-noted variances.

Upon recommendations from the Development Planning Department, the Owner has revised their application to increase the front yard setback for the proposed dwelling. The Development Planning Department has no objection to Variance 1 for the dwelling as proposed. When viewed from the road, the dwelling will have a "C" shaped footprint with a front courtyard-like appearance. The 7.0 m front yard setback is measured to the proposed garage on the southwest side. The garage, being the longer end of the "C" shape, is the only portion of the dwelling that would utilize the requested front yard setback relief. The remainder of the dwelling has a front yard setback ranging from 9.0 m to 12.49 m, which complies with the Zoning By-law. The 9.0 m front yard setback applies to the southeast corner of the dwelling, providing the other end to the "C" shape. This stepping of the proposed built form will help mitigate any adverse massing impacts, while respecting the established deeper front yard setbacks along Rushworth Crescent. The dwelling also complies with the height requirements of the Zoning By-law. As such, the proposed front yard setback is not anticipated to have negative massing impacts to the neighbouring properties or the existing streetscape and is sufficient in this case to maintain the established character of the neighbourhood.

The Development Planning Department has no objection to Variances 2 and 3 for the accessory structure. The accessory structure, which contains a decorative stone accent wall, is comprised of a sitting area, a storage area, and a shed. The height of the structure is measured to the top of the stone wall, which rises above the roof. When measured to the top of the roof, the height is approximately 2.75 m which would comply with the height requirements of the Zoning By-law. The full extent of the interior side yard setback relief would only be utilized by the sitting area portion of the structure. The storage area, stone wall, and shed are set back 0.65 m from the interior side lot line. The eaves of the structure are flush with the wall of sitting area, therefore, no portion of the eaves will encroach beyond the 0.3 m interior side yard setback. The Development Engineering Department has also reviewed the 0.3 m interior side yard setback and are satisfied that drainage in the rear side yard will be maintained. As such, the accessory structure is not anticipated to pose adverse massing impacts to the neighbouring properties.

In support of the application, the Owner has submitted an Arborist Report prepared by Al Miley & Associates, dated June 9, 2022. The report inventoried five trees, one of which is proposed to be removed. Urban Design staff have reviewed the report and concur with its recommendations.

Accordingly, the Development Planning Department can support the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application, subject to the following condition:

Condition of Approval:

If the Committee finds merit in the application, the following condition of approval is recommended:

1. That a Consent Letter from the neighbouring property to the west regarding the impacts to their cedar hedge, be provided to the satisfaction of the Development Planning Department.

Comments Prepared by:

Joshua Cipolletta, Planner
David Harding, Senior Planner

From: [Kristen Regier](#)
To: [Committee of Adjustment](#); [Lenore Providence](#)
Cc: [Christine Vigneault](#)
Subject: [External] RE: A225/22 (110 Rushworth Crescent) - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Friday, July 14, 2023 3:06:28 PM
Attachments: [image001.png](#)

Hello,

The subject property at 110 Rushworth Crescent, Vaughan is not located within TRCA's Regulated Area. TRCA's Planning and Regulatory policy interests are not impacted.

As such, TRCA has no comments on the application.

Best,

Kristen Regier, MA (she / her)

Planner I

Development Planning and Permits | Development and Engineering Services
Toronto and Region Conservation Authority (TRCA)

T: [437-880-2129](tel:437-880-2129)

E: kristen.regier@trca.ca

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](#) | trca.ca



From: [Rajevan, Niranjan](#)
To: [Christine Vigneault](#)
Cc: [Committee of Adjustment](#)
Subject: [External] RE: A225/22 (110 Rushworth Crescent) - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Thursday, July 13, 2023 11:46:06 AM
Attachments: [image001.png](#)
[image003.png](#)

Hi Christine,

The Regional Municipality of York has completed its review of the minor variance application – A225/22 and has no comment.

Please provide us with a copy of the notice of decision for our records.

Many thanks,

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Development Services, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

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Please consider the environment before printing this email.

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

| Correspondence Type | Name | Address | Date Received (mm/dd/yyyy) | Summary |
|---------------------|------|---------|-------------------------------|---------|
| None | | | | |