

ITEM: 6.10	COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A130/23 7420 BATHURST ST BLDG A, VAUGHAN
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THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING  
DEPARTMENTS & AGENCIES:

\*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City’s Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Adjournment
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

PUBLIC & APPLICANT CORRESPONDENCE				
*Please see <b>Schedule C</b> of this report for a copy of the public & applicant correspondence listed below.				
The deadline to submit public comments is <b>noon on the last business day prior to the scheduled hearing date.</b>				
Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City’s Website.				
All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.				
Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

PREVIOUS COA DECISIONS ON THE SUBJECT LAND		
*Please see <b>Schedule D</b> for a copy of the Decisions listed below		
File Number	Date of Decision MM/DD/YYYY	Decision Outcome
None		

ADJOURNMENT HISTORY	
* Previous hearing dates where this application was adjourned by the Committee and public notice issued.	
None	



**COMMITTEE OF ADJUSTMENT REPORT  
MINOR VARIANCE APPLICATION  
A130/23  
7420 BATHURST ST BLDG A, VAUGHAN**

<b>ITEM NUMBER: 6.10</b>	<b>CITY WARD #: 5</b>
<b>APPLICANT:</b>	York Region Condominium Corporation No. 585, York Region Condominium Corporation No. 622 & York Region Condominium Corporation No. 605
<b>AGENT:</b>	Pavlo Tourko
<b>PROPERTY:</b>	7420 Bathurst St Bldg A, Vaughan
<b>ZONING DESIGNATION:</b>	See below.
<b>VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:</b>	Vaughan Official Plan 2010 ('VOP 2010'): "High-Rise Mixed-Use"
<b>RELATED DEVELOPMENT APPLICATIONS:</b>	None
<b>PURPOSE OF APPLICATION:</b>	Relief from the Zoning By-law is being requested to permit the construction of a proposed pavilion.

The following variances have been requested from the City's Zoning By-law:

**The subject lands are zoned RM2 – Multiple Unit Residential Zone and subject to the provisions of Exception 14.281 under Zoning By-law 001-2021, as amended.**

#	Zoning By-law 001-2021	Variance requested
1	In any Residential Zone, the maximum height of an accessory building and residential accessory structure shall be 3.0 m. [Section 4.1.4.1]	To permit a maximum height of 4.53m for the residential accessory structure (Pavilion).

### HEARING INFORMATION

**DATE OF MEETING:** Thursday, September 21, 2023

**TIME:** 6:00 p.m.

**MEETING LOCATION:** Vaughan City Hall, Woodbridge Room (2<sup>nd</sup> Floor), 2141 Major Mackenzie Drive

**LIVE STREAM LINK:** [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil)

#### PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

If you would like to submit written comments, please quote file number above and submit by mail or email to:

**Email:** [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

**Mail:** City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to [cofa@vaughan.ca](mailto:cofa@vaughan.ca) no later than NOON on the last business day before the meeting.

**THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.**

### INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

INTRODUCTION	
<p>That the general intent and purpose of the by-law will be maintained.</p> <p>That the general intent and purpose of the official plan will be maintained.</p> <p>That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.</p> <p>That the requested variance(s) is/are minor in nature.</p> <p>Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.</p>	

COMMITTEE OF ADJUSTMENT COMMENTS		
Date Public Notice Mailed:	September 7, 2023	
Date Applicant Confirmed Posting of Sign:	September 13, 2023 <b>**Posting of sign was not completed in accordance with statutory requirements**</b>	
Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small>	Height of the ancillary Building	
Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	<p>On September 14, 2023, Committee of Adjustment staff provided the following:</p> <p>Under the Planning Act, the sign must be posted a minimum 10 days prior to a hearing to meet statutory public notice requirements.</p> <p>You have indicated that the sign was posted on September 13, this does not meet the statutory requirements for notice.</p> <p>This application has been adjourned to the October 19 Committee of Adjustment hearing, to accommodate statutory requirements.</p>	
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:  <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>  <small>*A revised submission may be required to address staff / agency comments received as part of the application review process.</small>  <small>*Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>		No
<b>Adjournment Fees:</b> In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice.  An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff <b>after</b> the issuance of public notice.		
Committee of Adjustment Comments:	None	
Committee of Adjustment Recommended Conditions of Approval:	None	

BUILDING STANDARDS (ZONING) COMMENTS	
<b>**See Schedule B for Building Standards (Zoning) Comments</b>	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING COMMENTS	
<b>**See Schedule B for Development Planning Comments.</b>	
Development Planning Recommended Conditions of Approval:	None

DEVELOPMENT ENGINEERING COMMENTS	
<a href="#">Link to Grading Permit</a> <a href="#">Link to Pool Permit</a> <a href="#">Link to Curb Curt Permit</a> <a href="#">Link Culvert Installation</a>	
Due to the size of the proposed pavilion on the subject property, which measures a total of 62.73 m², the Owner/Applicant must acquire a Lot Grading Permit from the Development Inspection and Lot Grading Division of the City's Development Engineering Department. It's important note that any in-ground structure exceeding 10 m² necessitates a Grading Permit. Once the Grading Permit is obtained, please reach out to the Development Engineering Reviewer to clear the Condition imposed on this application.	
The Development Engineering Department does not object to the Minor Variance application A130/23, subject to the following condition(s):	
<b>Development Engineering Recommended Conditions of Approval:</b>	The Owner/Applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading Division within the City's Development Engineering Department before initiating any work on the property. To apply for a Grading Permit, please visit the Permit page on the City of Vaughan website: <a href="https://www.vaughan.ca/about-city-vaughan/departments/development-engineering/permits">https://www.vaughan.ca/about-city-vaughan/departments/development-engineering/permits</a> . For any inquiries regarding the Grading Permit, please feel free to contact the Development Engineering Department via email at <a href="mailto:DEPermits@vaughan.ca">DEPermits@vaughan.ca</a> .

PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS	
Forestry has no comment.	
<b>PFH Recommended Conditions of Approval:</b>	None

DEVELOPMENT FINANCE COMMENTS	
No comment no concerns.	
<b>Development Finance Recommended Conditions of Approval:</b>	None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS	
No comments received to date	
<b>BCLPS Recommended Conditions of Approval:</b>	None

BUILDING INSPECTION (SEPTIC) COMMENTS	
No comments received to date	
<b>Building Inspection Recommended Conditions of Approval:</b>	None

FIRE DEPARTMENT COMMENTS	
No comments received to date	
<b>Fire Department Recommended Conditions of Approval:</b>	None

SCHEDULES TO STAFF REPORT	
*See Schedule for list of correspondence	
<b>Schedule A</b>	Drawings & Plans Submitted with the Application
<b>Schedule B</b>	Staff & Agency Comments
<b>Schedule C</b> (if required)	Correspondence (Received from Public & Applicant)
<b>Schedule D</b> (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL		
All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.		
#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Engineering <a href="mailto:Rex.bondad@vaughan.ca">Rex.bondad@vaughan.ca</a>	The Owner/Applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading Division within the City's Development Engineering Department before initiating any work on the property. To apply for a Grading Permit, please visit the Permit page on the City of Vaughan website: <a href="https://www.vaughan.ca/about-city-vaughan/departments/development-engineering/permits">https://www.vaughan.ca/about-city-vaughan/departments/development-engineering/permits</a> . For any inquiries regarding the Grading Permit, please feel free to contact the Development Engineering Department via email at <a href="mailto:DEPermits@vaughan.ca">DEPermits@vaughan.ca</a> .

IMPORTANT INFORMATION – PLEASE READ
<p><b>CONDITIONS:</b> It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (<b>see condition chart above for contact</b>). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.</p> <p><b>APPROVALS:</b> Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.</p> <p>An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.</p> <p>A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.</p> <p>Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.</p> <p>Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.</p> <p><b>DEVELOPMENT CHARGES:</b> That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment</p> <p>That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.</p> <p><b>NOTICE OF DECISION:</b> If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will <b>not</b> receive notice.</p>

**SCHEDULE A: DRAWINGS & PLANS**

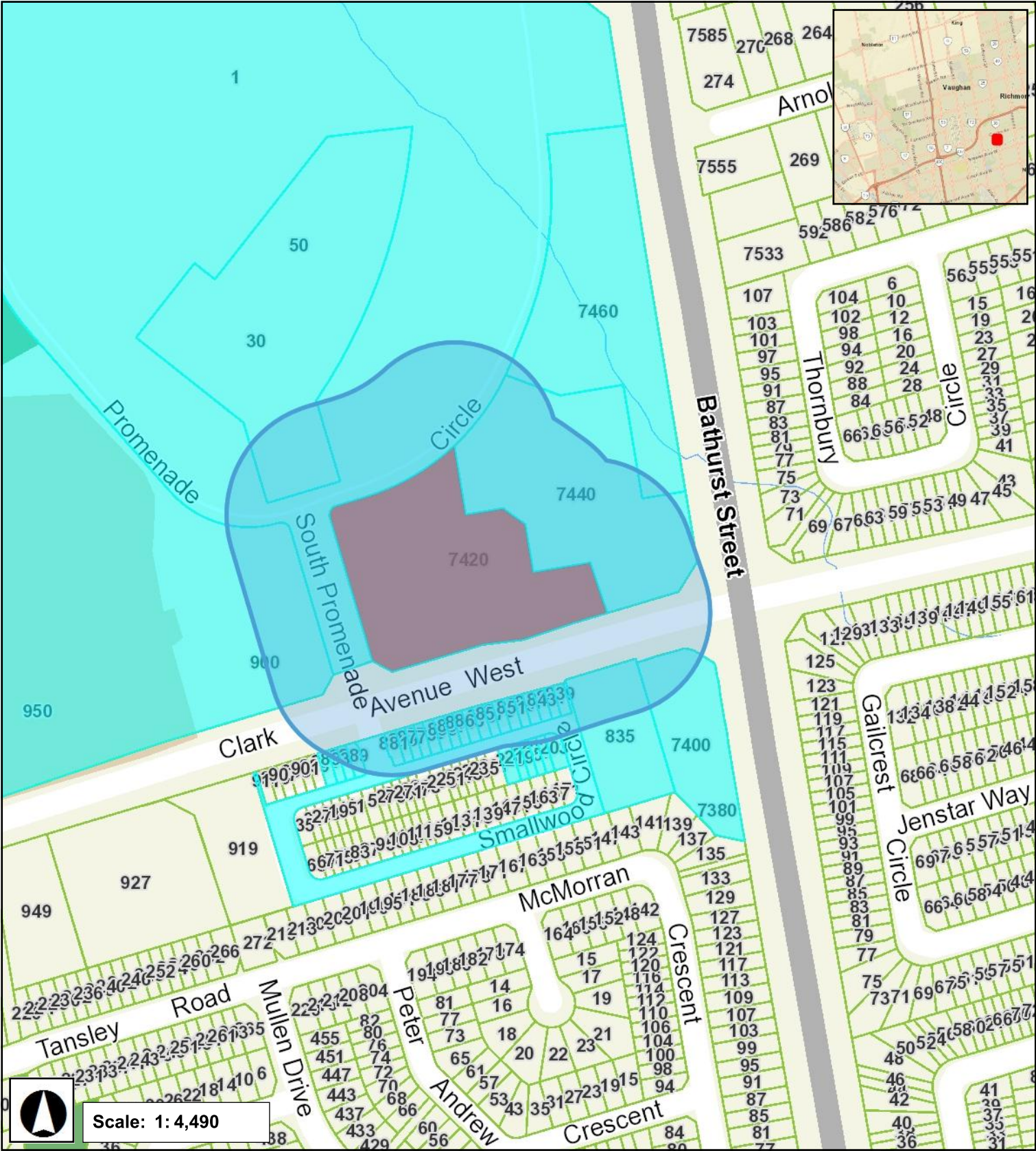




LOCATION MPA - A130/23

7420 BATHURST STREET, BLDG A, VAUGHAN

Highway 7



Steeles Avenue West

August 31, 2023 9:54 AM

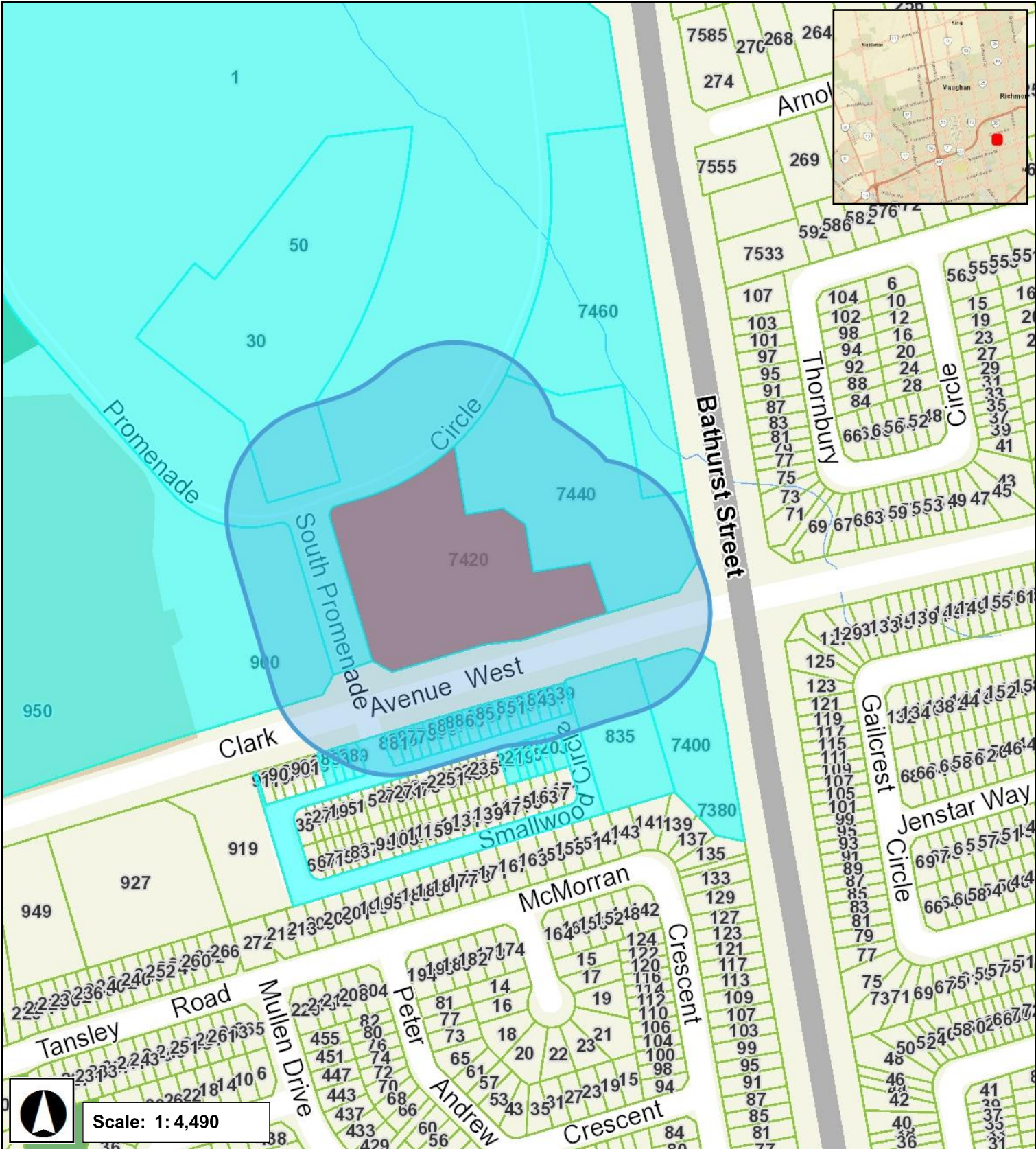




# LOCATION MPA - A130/23

7420 BATHURST STREET, BLDG A, VAUGHAN

Highway 7



Steeles Avenue West

August 31, 2023 9:54 AM



A-10 SECTION B-B






**By RECEIVED at 12:16 pm, Aug 17, 2023**

**A130/23**

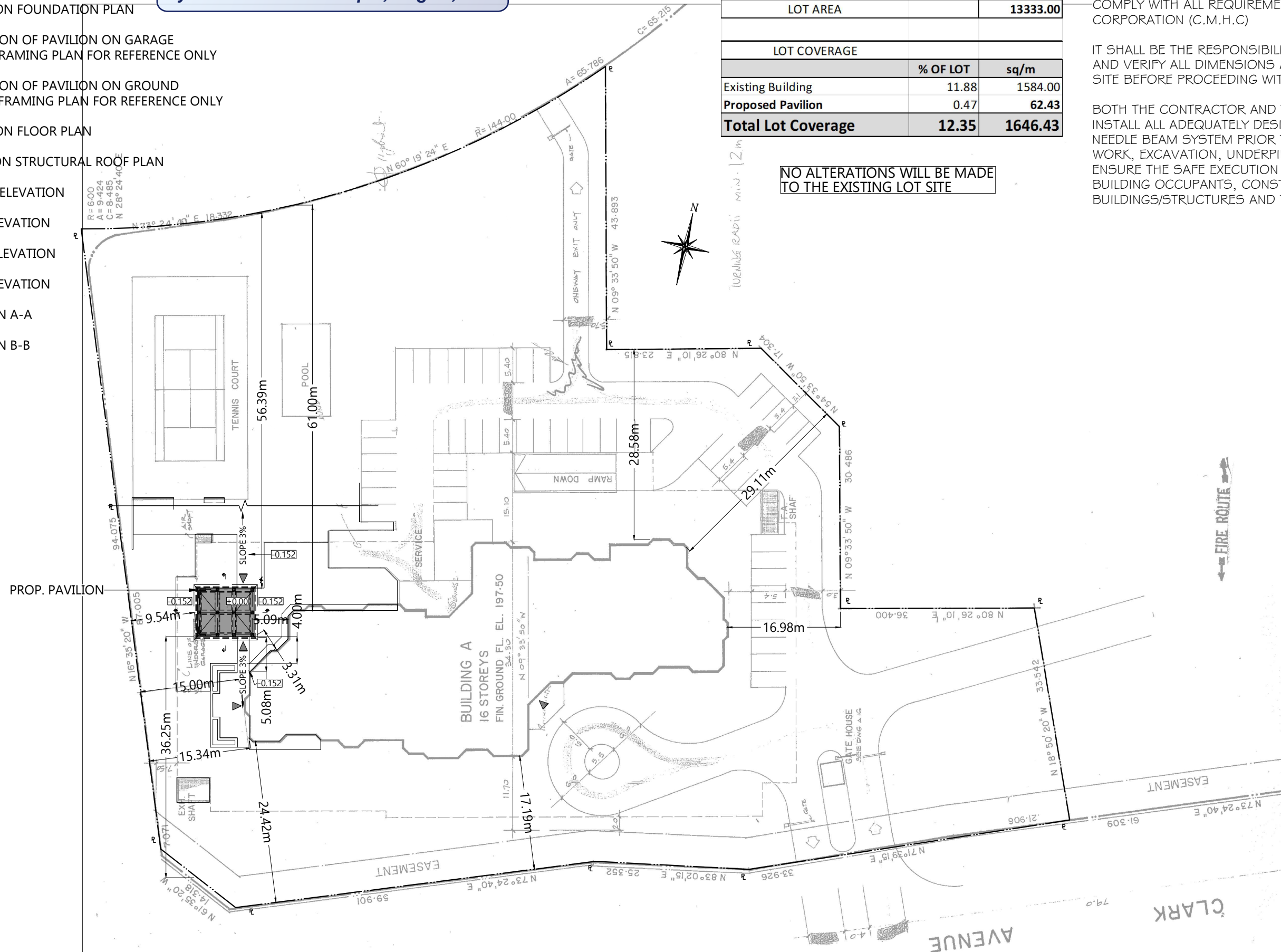
## 12.35

NO ALTERATIONS WILL BE MADE  
TO THE EXISTING LOT SITE

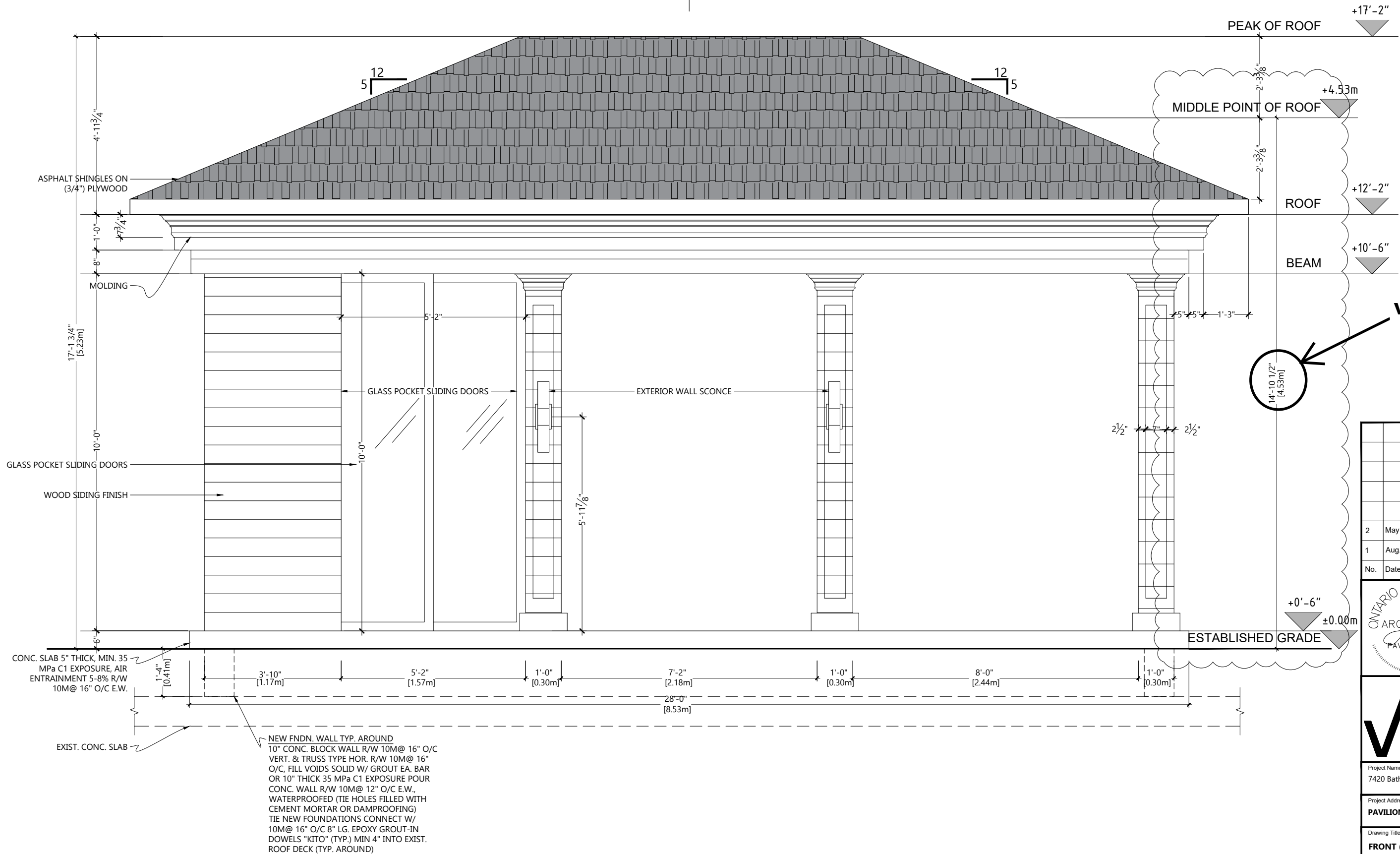
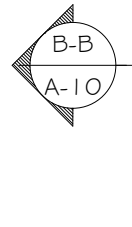
BOTH THE CONTRACTOR AND THE PROPERTY OWNER(S) ARE RESPONSIBLE TO INSTALL ALL ADEQUATELY DESIGNED TEMPORARY SHORING, BRACING AND NEEDLE BEAM SYSTEM PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION WORK, EXCAVATION, UNDERPINNING, OR OTHER CONSTRUCTION ACTIVITIES, TO ENSURE THE SAFE EXECUTION OF THIS WORK FOR THE PROTECTION FOR ALL BUILDING OCCUPANTS, CONSTRUCTION WORKERS, ADJACENT BUILDINGS/STRUCTURES AND THIS BUILDING UNDERGOING CONSTRUCTION.

	EXISTING BUILDING
	PROPOSED PAVILION
	PROPERTY LINE
	MAIN ENTRANCE
	PAVILION ENTRANCE

2		
1	Aug. 15, 2021	Issued for Building Permit
No.	Date	Issuance / Revision
		
		10 Plastics Avenue, Toronto, ON M8Z 4B7  Phone: 416-805-8635 Email: pavlo@varchitect.ca
Project Name: 7420 Bathurst St, Vaughan, ON L4J 6X4		
Project Address: <b>PAVILION</b>		
Drawing Title: <b>SITE PLAN &amp; COVER PAGE</b>		
Date : May 24, 2022		Drawing No. <b>A-1</b>
Scale : 1:600		



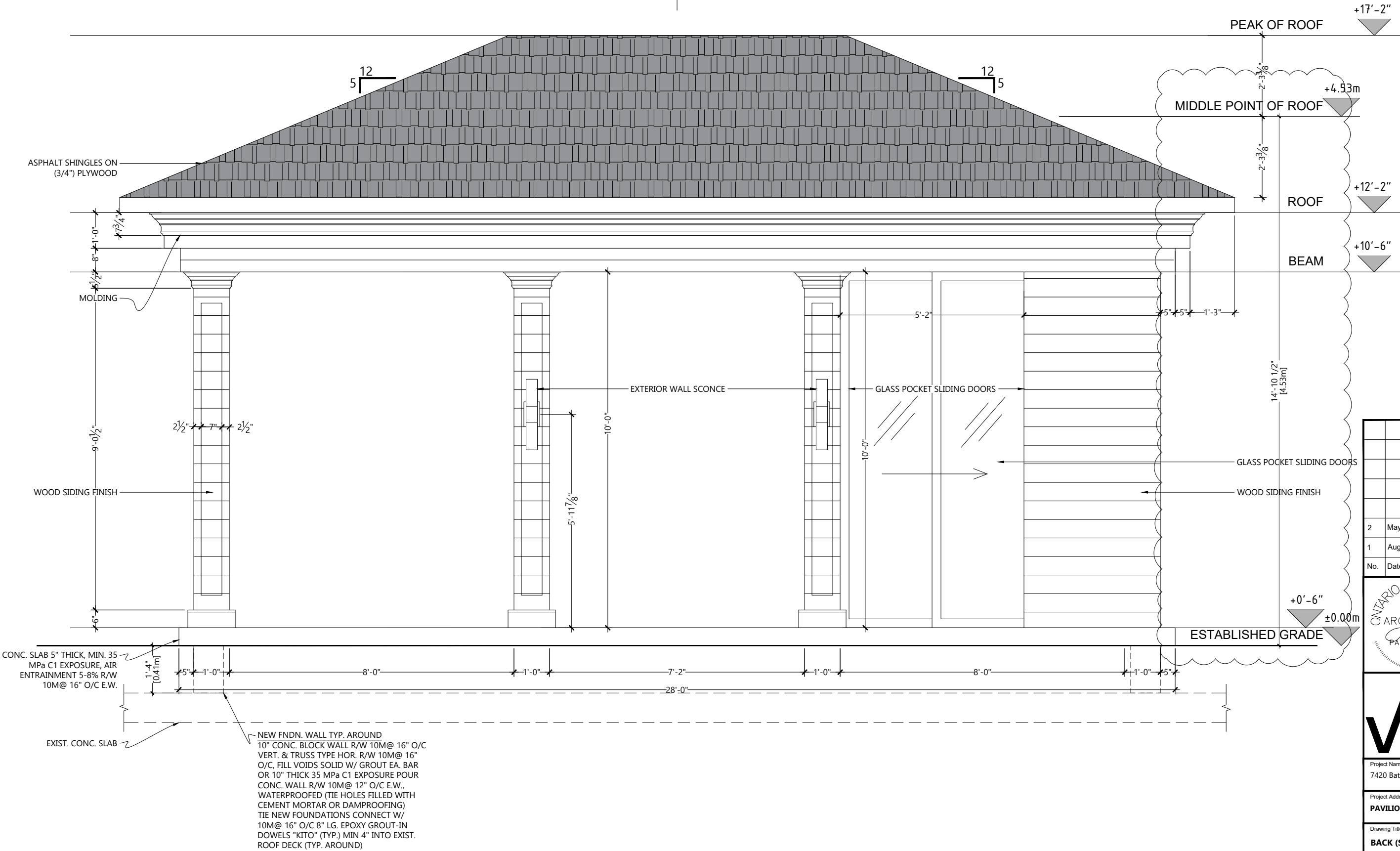
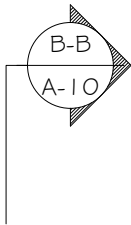
**A130/23**



## Variance #1

2	May 19, 2023	Revision of Building Height
1	Aug. 15, 2021	Issued for Building Permit
No.	Date	Issuance / Revision
		 <i>for structural information only</i> <i>JOE PAOLO BARNARD SR</i> <i>VAUGHAN, ON</i>
		10 Plastics Avenue, Toronto, ON M8Z 4B7
		Phone: 416-805-8635 Email: pavlo@varchitect.ca
Project Name: 7420 Bathurst St, Vaughan, ON L4J 6X4		
Project Address: <b>PAVILION</b>		
Drawing Title: <b>FRONT (NORTH) ELEVATION</b>		
Date : May 24, 2022		Drawing No. A-5
Scale : 3/8"=1'-0"		





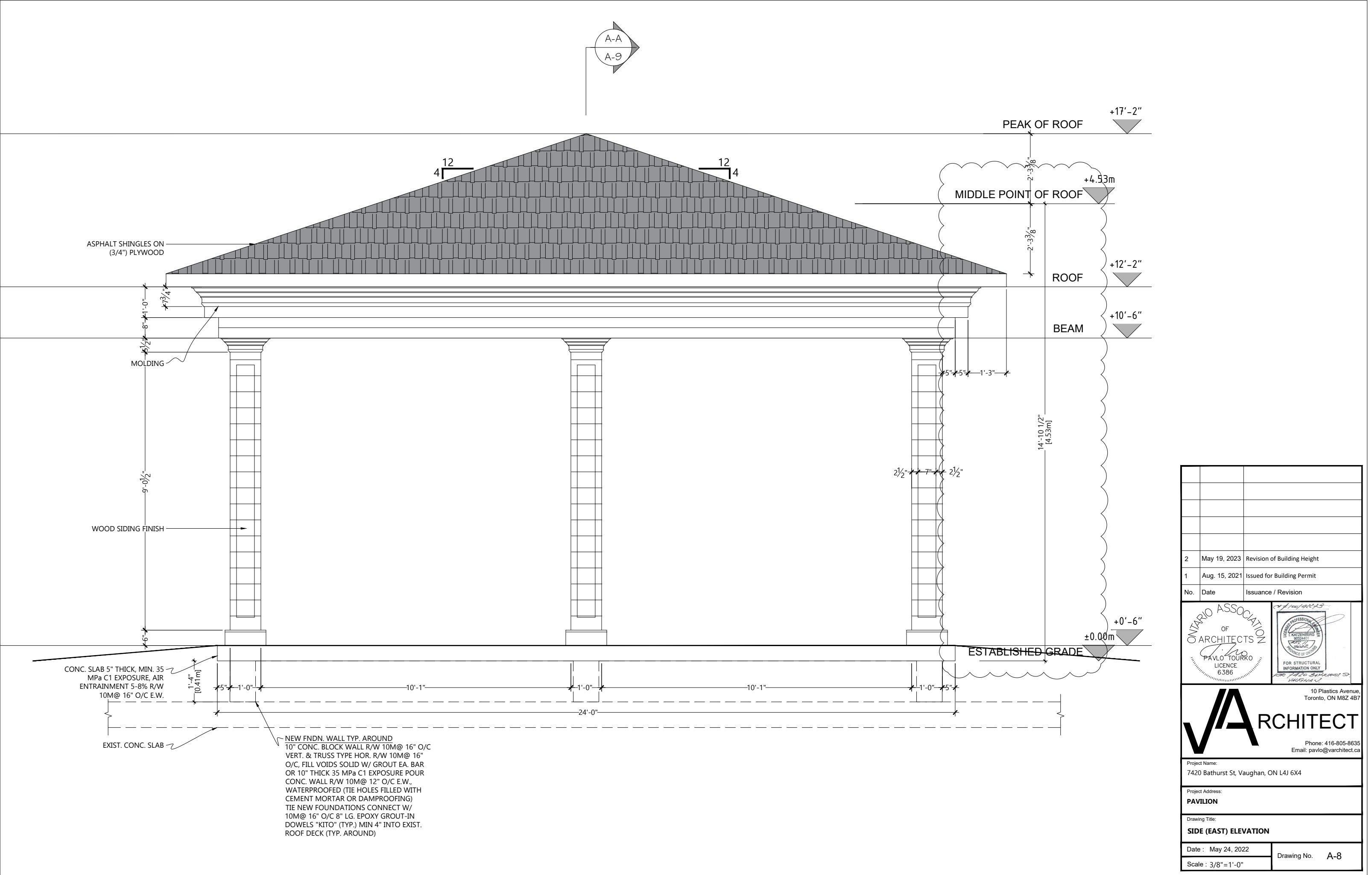
2	May 19, 2023	Revision of Building Height
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No.	Date	Issuance / Revision

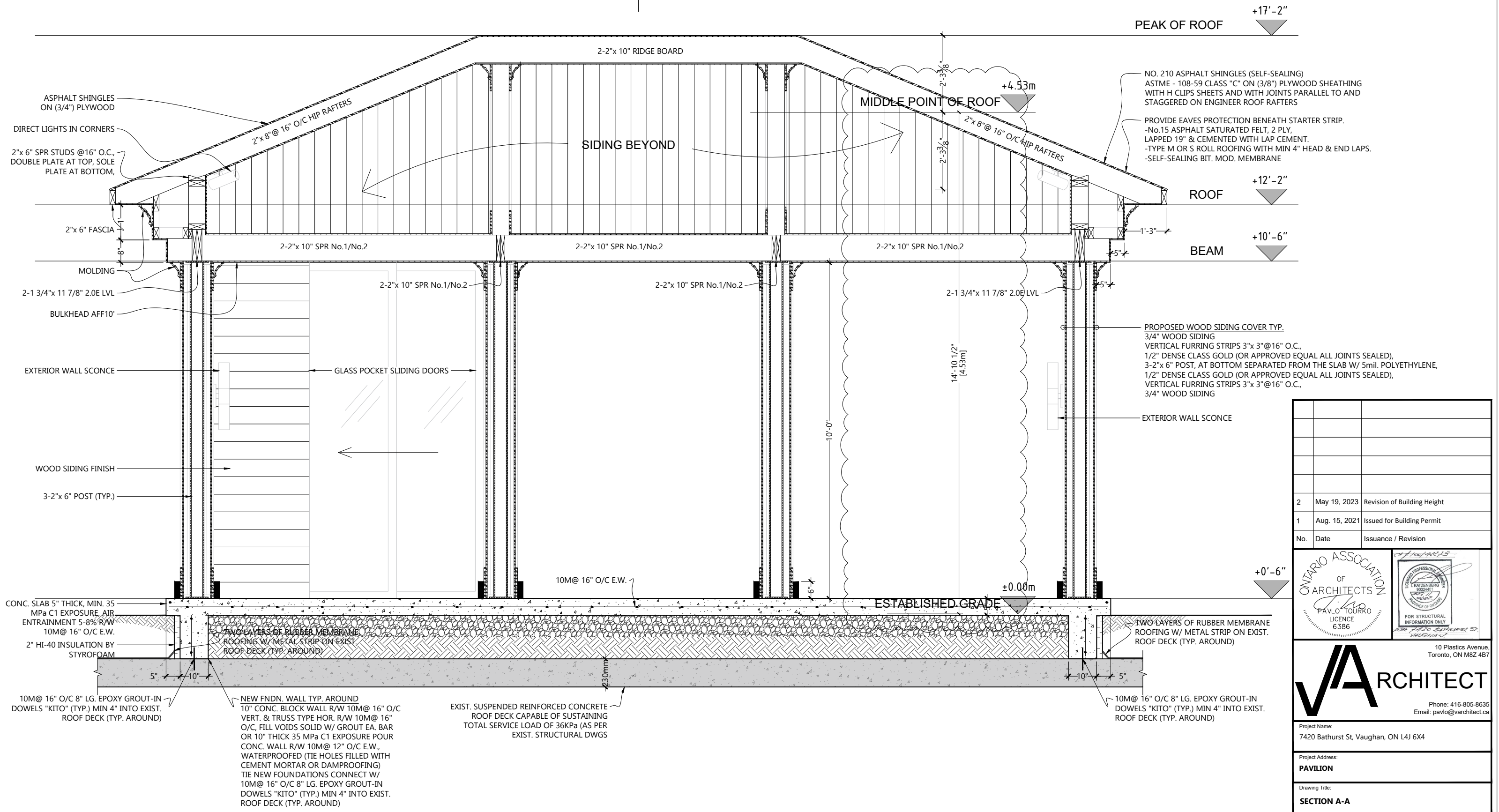
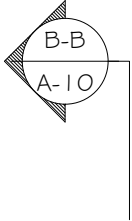
10 Plastics Avenue,  
Toronto, ON M8Z 4B7

Phone: 416-805-8635  
Email: pavlo@varchitect.ca

Project Name: 7420 Bathurst St, Vaughan, ON L4J 6X4	
Project Address: <b>PAVILION</b>	
Drawing Title: <b>BACK (SOUTH) ELEVATION</b>	
Date : May 24, 2022	Drawing No. A-7
Scale : 3/8" = 1'-0"	







2	May 19, 2023	Revision of Building Height
1	Aug. 15, 2021	Issued for Building Permit
No.	Date	Issuance / Revision

10 Plastics Avenue,  
Toronto, ON M8Z 4B7

Phone: 416-805-8635  
Email: pavlo@varchitect.ca

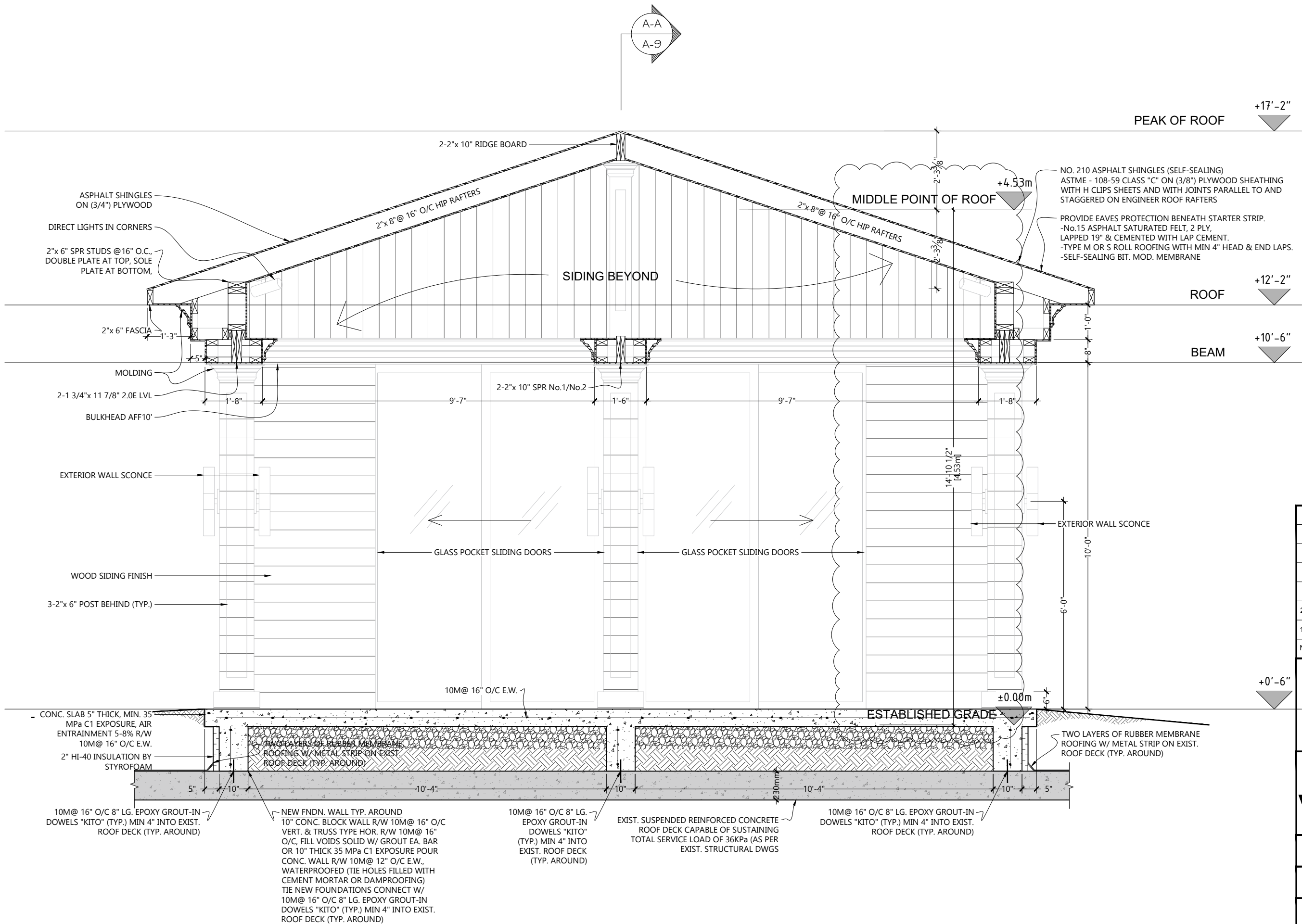
Project Name:  
7420 Bathurst St, Vaughan, ON L4J 6X4

Project Address:  
**PAVILION**

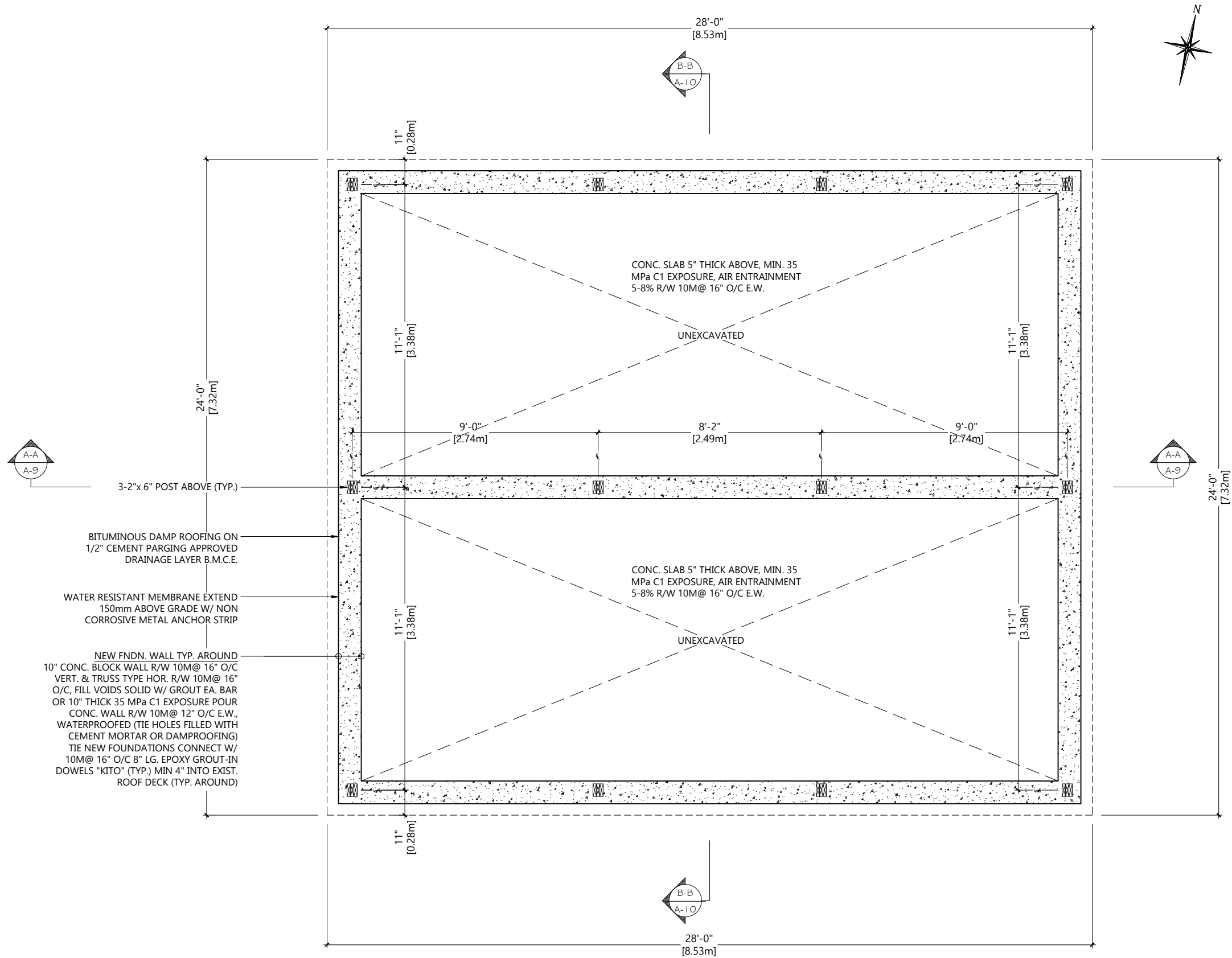
Drawing Title:  
**SECTION A-A**

Date : May 24, 2022  
Scale : 3/8" = 1'-0"

Drawing No. **A-9**



2	May 19, 2023	Revision of Building Height
1	Aug. 15, 2021	Issued for Building Permit
No.	Date	Issuance / Revision
<div><div><div>ONTARIO ASSOCIATION OF ARCHITECTS <i>P. Tourko</i> PAVLO TOURKO LICENCE 6386</div></div><div><div><div>PROFESSIONAL ENGINEER</div><div>PAVLO TOURKO 0024401 PROVINCE OF ONTARIO</div><div>FOR STRUCTURAL INFORMATION ONLY</div></div><div>10 Plastics Avenue, Toronto, ON M8Z 4B7</div></div></div>		
<div><div><div>ARCHITECT</div><div>Phone: 416-805-8635 Email: pavlo@varchitect.ca</div></div></div>		
Project Name: 7420 Bathurst St, Vaughan, ON L4J 6X4		
Project Address: PAVILION		
Drawing Title: SECTION B-B		
Date : May 24, 2022		Drawing No. A-10
Scale : 3/8" = 1'-0"		



1	Aug. 15, 2021	Issued for Building Permit
No.	Date	Issuance / Revision

ONTARIO ASSOCIATION  
OF  
ARCHITECTS

*Pavlo Tourko*

PAVLO TOURKO  
LICENCE  
6386

*Pavlo Tourko*

L. KATZENBERG  
90324401  
PROFESSIONAL ENGINEER  
PROVINCE OF ONTARIO

FOR STRUCTURAL  
INFORMATION ONLY

*Pavlo Tourko*

**ARCHITECT**

10 Plastics Avenue,  
Toronto, ON M8Z 4B7

Phone: 416-805-8635  
Email: pavlo@varchitect.ca

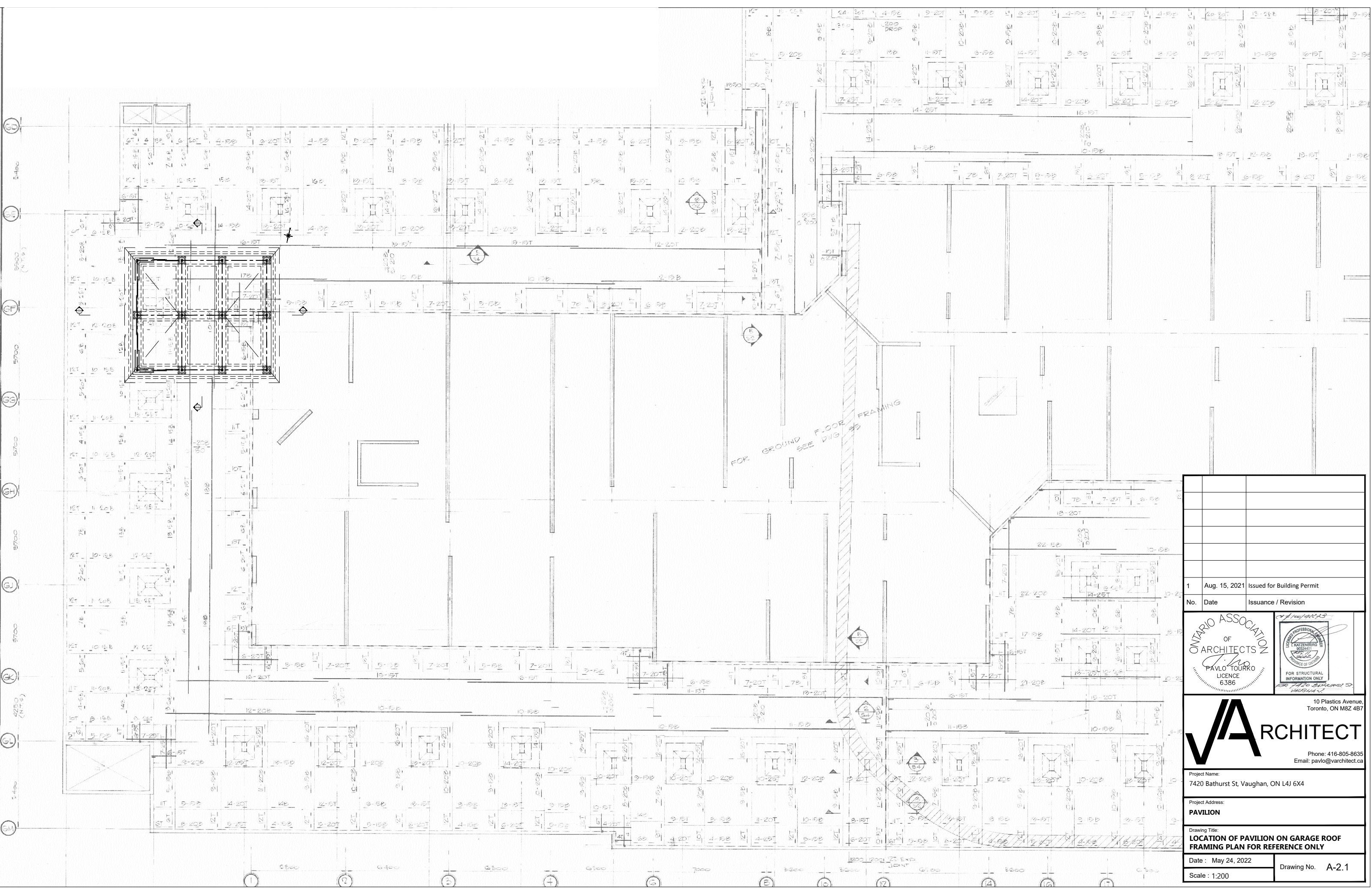
Project Name:  
7420 Bathurst St, Vaughan, ON L4J 6X4


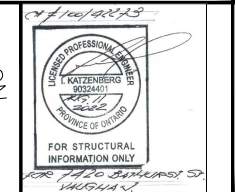

Project Address:  
**PAVILION**

Drawing Title:  
**PAVILION FOUNDATION PLAN**

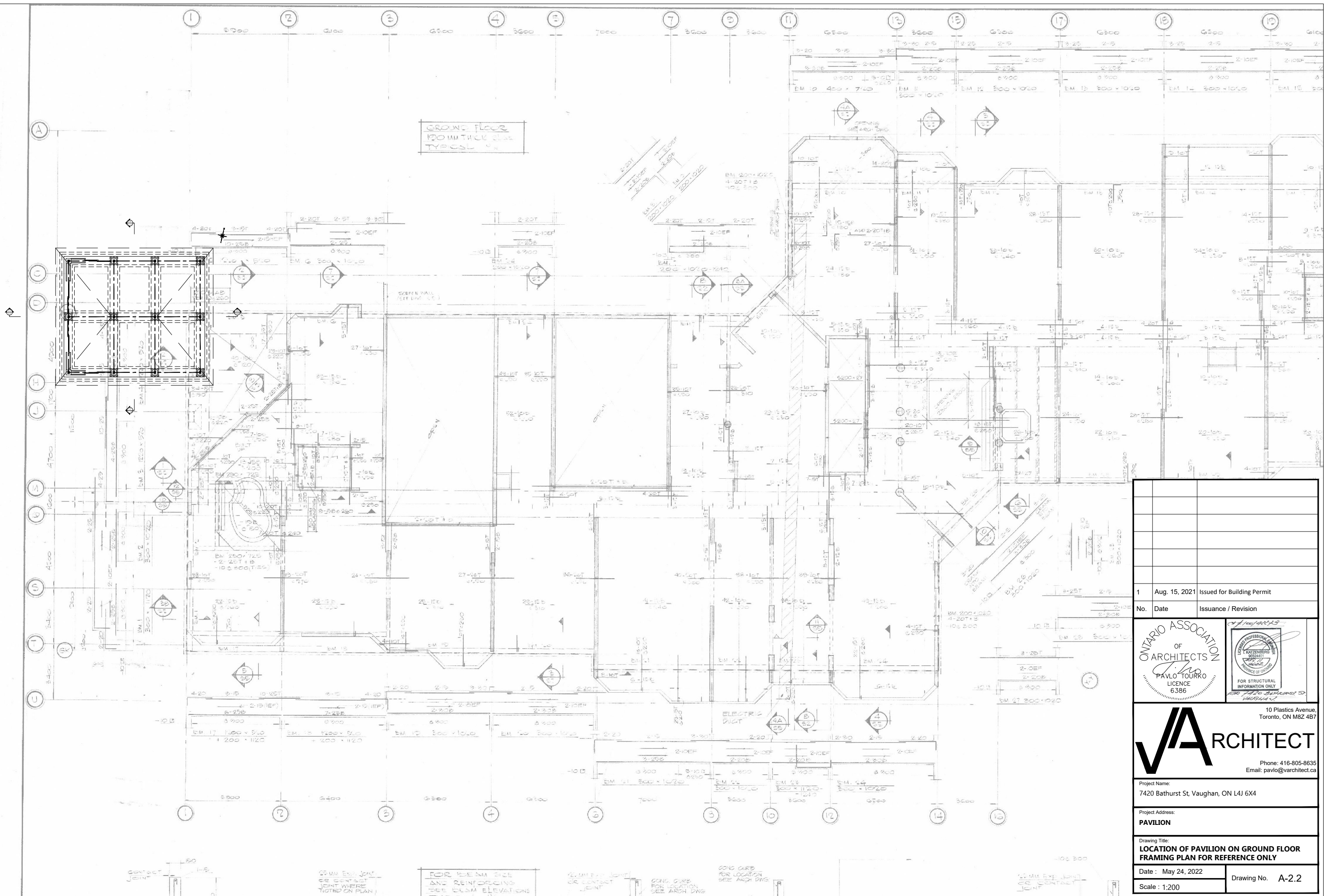
Date : May 24, 2022	Drawing No. <b>A-2</b>
Scale : 1/4" = 1'-0"	








1 Aug. 15, 2021 Issued for Building Permit		
No.	Date	Issuance / Revision
<div><div><p>ONTARIO ASSOCIATION OF ARCHITECTS <i>Pavlo Tourro</i> Pavlo Tourro LICENCE 6386</p></div><div><p>FOR STRUCTURAL INFORMATION ONLY</p></div></div>		
 <p>ARCHITECT</p>		
Project Name: 7420 Bathurst St, Vaughan, ON L4J 6X4		
Project Address: PAVILION		
Drawing Title: LOCATION OF PAVILION ON GARAGE ROOF FRAMING PLAN FOR REFERENCE ONLY		
Date : May 24, 2022		Drawing No. A-2.1
Scale : 1:200		





1	Aug. 15, 2021	Issued for Building Permit
No.	Date	Issuance / Revision
		
<div><div></div><div>ARCHITECT</div></div> <div>10 Plastics Avenue, Toronto, ON M8Z 4B7</div> <div>Phone: 416-805-8635 Email: pavlo@varchitect.ca</div>		
Project Name: 7420 Bathurst St, Vaughan, ON L4J 6X4		
Project Address: <b>PAVILION</b>		
Drawing Title: <b>LOCATION OF PAVILION ON GROUND FLOOR FRAMING PLAN FOR REFERENCE ONLY</b>		
Date : May 24, 2022		Drawing No. A-2.2
Scale : 1:200		

GENERAL NOTES

ALL CONSTRUCTION TO CONFORM TO THE CONSTRUCTION REQUIREMENTS OF THE ONTARIO BUILDING CODE REGULATION (403/97), PART 9 DRAWINGS MUST NOT BE SCALED HANDWRITTEN NOTES WHICH APPEAR ON THE DRAWINGS HAVE PRECEDENCE. MANUFACTURED ITEMS, MATERIALS, AND CONSTRUCTION MUST COMPLY WITH ALL REQUIREMENTS OF THE MORTGAGE AND HOUSING CORPORATION (C.M.H.C.)

ALL REFERENCES TO AND FINISHED GRADE LINES AS INDICATED ON THE ARCHITECTURAL WORKING DRAWINGS ARE FOR REFERENCE ONLY AND DO NOT NECESSARY DEPICT FINISHED GRADING CONDITIONS OF ANY PARTICULAR LOT.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR OR BUILDER TO CHECK AND VERIFY ALL DIMENSIONS AND CHECK ALL JOB CONDITIONS ON THE JOB SITE BEFORE PROCEEDING WITH THE WORK.

BOTH THE CONTRACTOR AND THE PROPERTY OWNER(S) ARE RESPONSIBLE TO INSTALL ALL ADEQUATELY DESIGNED TEMPORARY SHORING, BRACING AND NEEDLE BEAM SYSTEM PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION WORK, EXCAVATION, UNDERPINNING, OR OTHER CONSTRUCTION ACTIVITIES, TO ENSURE THE SAFE EXECUTION OF THIS WORK FOR THE PROTECTION FOR ALL BUILDING OCCUPANTS, CONSTRUCTION WORKERS, ADJACENT BUILDINGS/STRUCTURES AND THIS BUILDING UNDERGOING CONSTRUCTION.

FLOOR SLAB

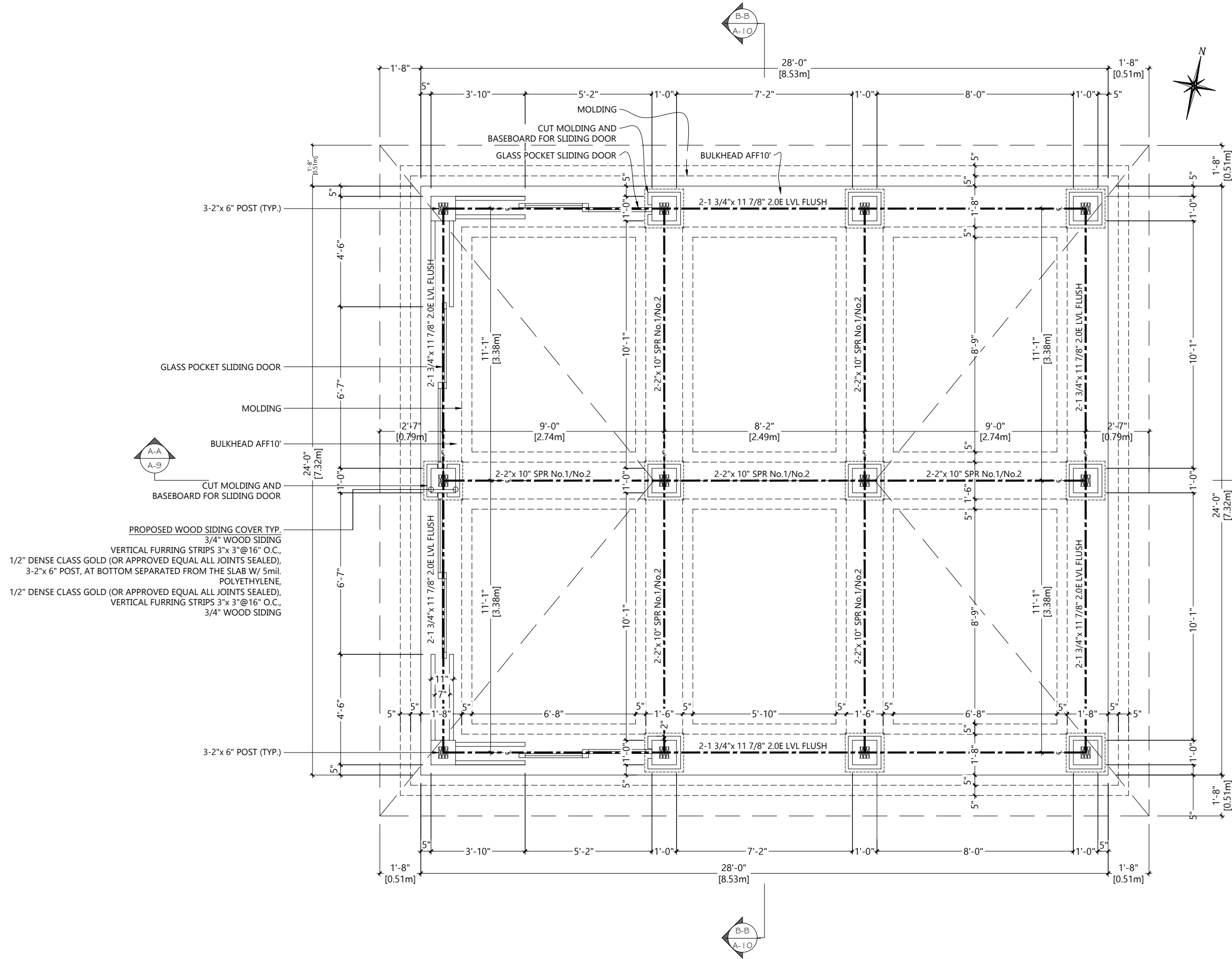
(FROM 4" TO 6") POURED CONCRETE SLAB 35 MPA AT 28 DAYS ON MIN. (6") GRAVEL OR CRUSHED STONE. CONCRETE TO HAVE 5 TO 7% AIR ENTRAINMENT. REINFORCE WITH (6 X 6 6/6 W.W.M.). LOCATED NEAR MID DEPTH OF SLAB.

PROTECTION FROM DAMPNESS

ALL WOOD FRAMING MEMBERS THAT ARE NOT PRESSURE TREATED WITH WOOD PRESERVATIVE AND WHICH ARE SUPPORTED ON CONCRETE IN CONTACT WITH GROUND OR FILL SHALL BE SEPARATED FROM THE CONCRETE BY AT LEAST 2 MIL POLYETHYLENE FILM NO. 50 (45 LB) ROLL ROOFING OR OTHER DAMPROOFING MATERIAL AS PER OBC. 9.23.2.3.(1) & (2). SUCH DAMPROOFING IS NOT REQUIRED WHERE THE WOOD MEMBER IS AT LEAST (6") ABOVE THE GROUND.

BEARING SOIL NOTES

- ALL SOILS TO BE STABLE WITH MINIMUM ALLOWABLE SOIL BEARING PRESSURE OF 75 KPa (10.9psi)
- NEW FOOTINGS DEPTH DOES NOT EXCEED EXISTING HOUSE FOOTING DEPTH
- EXISTING BEARING SOIL WILL NOT BE DISTURBED BY EXCAVATION
- FOOTPRINT OF THE NEW BUILDING IS LOCATED IN THE AREA OF EXISTING HOUSE FOOTPRINT.



1	Aug. 15, 2021	Issued for Building Permit
No.	Date	Issuance / Revision

ONTARIO ASSOCIATION  
OF  
ARCHITECTS

*Pavlo Tourko*  
PAVLO TOURKO  
LICENCE  
6386

FOR STRUCTURAL  
INFORMATION ONLY

FOR PAVILION ST  
VAUGHAN

10 Plastics Avenue,  
Toronto, ON M8Z 4B7

**ARCHITECT**

Phone: 416-805-8635  
Email: pavlo@varchitect.ca

Project Name:  
7420 Bathurst St, Vaughan, ON L4J 6X4

Project Address:  
**PAVILION**

Drawing Title:  
**PAVILION FLOOR PLAN**

Date : May 24, 2022

Drawing No. **A-3**

Scale : 1/4" = 1'-0"





SCHEDULE B: STAFF & AGENCY COMMENTS				
DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Ministry of Transportation (MTO) *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York *Schedule B	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra *Schedule B	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada *Schedule B	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline *Schedule B	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Building Standards (Zoning)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments

**Date:** August 18<sup>th</sup> 2023

**Attention:** **Christine Vigneault**

**RE:** Request for Comments

**File No.:** **A130-23**

**Related Files:**

**Applicant** Architect

**Location** 7420 Bathurst Street Bldg A



**COMMENTS:**

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

**References:**

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

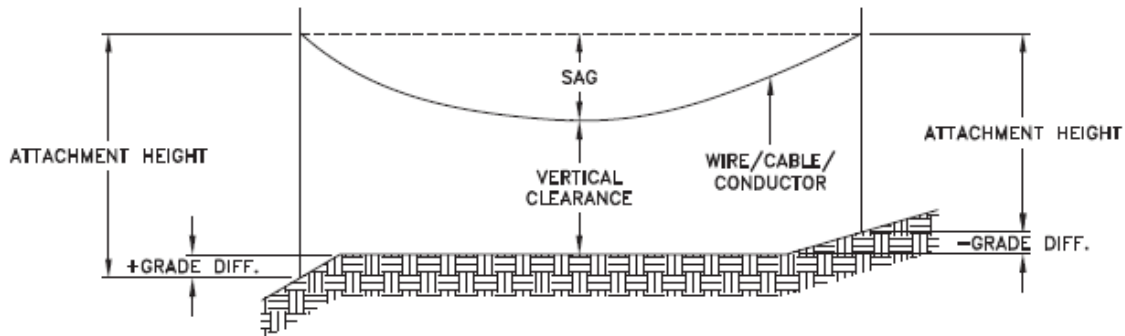
Mr. Stephen Cranley, C.E.T  
Supervisor, Distribution Design, ICI & Layouts (North)  
**Phone:** 1-877-963-6900 ext. 31297

**E-mail:** [stephen.cranley@alectrautilities.com](mailto:stephen.cranley@alectrautilities.com)

Mitchell Penner  
Supervisor, Distribution Design-Subdivisions  
**Phone:** 416-302-6215

**Email:** [Mitchell.Penner@alectrautilities.com](mailto:Mitchell.Penner@alectrautilities.com)

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
	MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)			
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG  
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)  
 + GRADE DIFFERENCE  
 + 0.3m (VEHICLE OR RAILWAY LOCATION)  
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

**NOTES:**

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

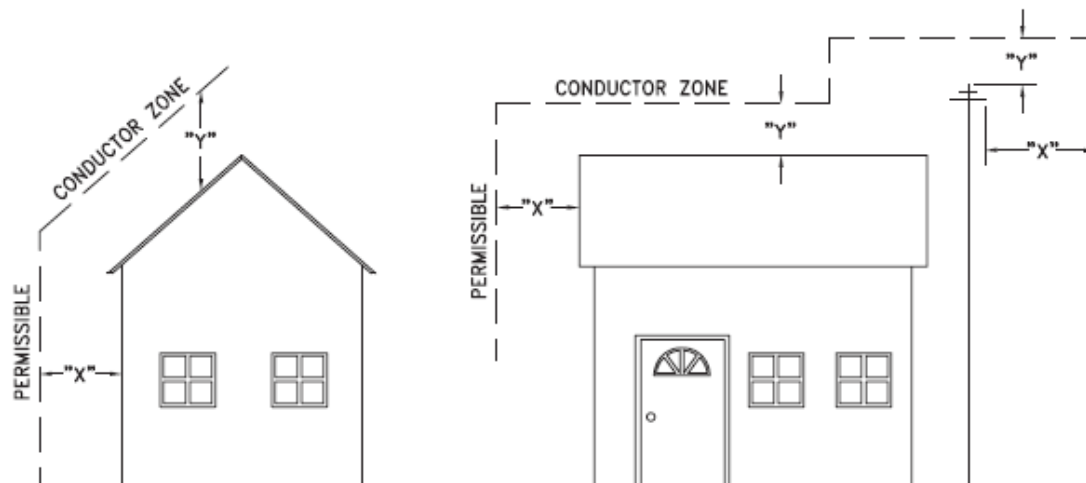
**REFERENCES**

SAGS AND TENSIONS | SECTION 02

**MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS**

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

**NOTES**

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

**MINIMUM VERTICAL & HORIZONTAL CLEARANCES  
OF CONDUCTORS FROM BUILDINGS OR OTHER  
PERMANENT STRUCTURES (CONDUCTORS NOT  
ATTACHED TO BUILDINGS)**

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:  
P:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working folder\Section 3\3-4\DWG 03-4 R0 May 5, 2010.dwg, 5/5/2010 8:22:02 AM,  
Adobe PDF

**Certificate of Approval**  
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04  
Debbie Dadwani, P.Eng. 2010-MAY-05  
Name Date  
P.Eng. Approval By: D. Dadwani



**To:** Committee of Adjustment

**From:** Faegheh Gholami, Building Standards Department

**Date:** August 16, 2023

**Applicant:** Oleg Gordon

**Location:** 7420 Bathurst Street, Bldg A  
PLAN 65M2325 Part of Block 9  
YCC 585 (Null)

**File No.(s):** A130/23

**Zoning Classification:**

The subject lands are zoned RM2 – Multiple Unit Residential Zone and subject to the provisions of Exception 14.281 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	In any Residential Zone, the maximum height of an accessory building and residential accessory structure shall be 3.0 m. [Section 4.1.4.1]	To permit a maximum height of 4.53m for the residential accessory structure (Pavilion).

**Staff Comments:**

**Stop Work Order(s) and Order(s) to Comply:**

There are no outstanding Orders on file

**Building Permit(s) Issued:**

Building Permit No. 06-005204 for Condo. Apartment Building - Interior Unit Alteration, Issue Date: Mar 23, 2007  
Building Permit No. 22-129776 for Condo. Apartment Building - New, Issue Date: (Not Yet Issued)

**Other Comments:**

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
2	Height of residential accessory structures shall be measured in accordance with the definition in Section 3.0 DEFINITIONS of By-Law 001-2021, as amended. Established Grade shall be the approved grading at the time of the original building permit for the principal dwelling.

**Conditions of Approval:**

If the committee finds merit in the application, the following conditions of approval are recommended.

\* Comments are based on the review of documentation supplied with this application.

**To:** Christine Vigneault, Committee of Adjustment Secretary Treasurer

**From:** Nancy Tuckett, Director of Development Planning

**Date:** September 6, 2023

**Name of Owner:** Oleg Gordon

**Location:** 7420 Bathurst Street, Bldg A

**File No.(s):** A130/23

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**Proposed Variance(s) (By-law 001-2021):**

1. To permit a maximum height of 4.53 m for the residential accessory structure (Pavilion).

**By-Law Requirement(s) (By-law 001-2021):**

1. In any Residential Zone, the maximum height of an accessory building and residential accessory structure shall be 3.0 m.

**Official Plan:**

City of Vaughan Official Plan 2010 ('VOP 2010'): "High-Rise Mixed-Use"

**Comments:**

The Owner is requesting relief to permit the proposed pavilion with the above noted variance.

Related Site Development Application DA.23.005 was submitted to facilitate the proposed modification to the building's outdoor amenity space. In order to proceed with the approval of the Site Development Application, a variance is required for the proposed pavilion to bring it into compliance with By-law 001-2021.

The Development Planning Department has no objection to the 1.53 m height increase for the proposed pavilion as it will be accessory to the existing 16-storey residential building located on site. As the pavilion is anticipated to provide sheltered outdoor amenity area to the residents of the high-rise mixed-use building, the pavilion should be larger in scale to accommodate the anticipated increased usage. It is anticipated that the pavilion will enhance the use of the building's outdoor patio area. The patio area abuts the pool and tennis court. Given the generous size of the lot, the substantial vegetative screening along Bathurst Street and South Promenade, and the scale of the high-rise building on the subject lands, the increased height will not pose a significant massing impact to the existing streetscape, nor impact the function of the abutting uses.

Accordingly, the Development Planning Department can support the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

**Recommendation:**

The Development Planning Department recommends approval of the application, subject to the following conditions:

**Conditions of Approval:**

If the Committee finds merit in the application, the following conditions of approval are recommended:

None

**Comments Prepared by:**

Michelle Perrone, Planner 1  
David Harding, Senior Planner

## Pravina Attwala

---

**Subject:** FW: [External] RE: A130/23 (7420 Bathurst Street Bldg A) - REQUEST FOR COMMENTS

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**From:** Kristen Regier <Kristen.Regier@trca.ca>

**Sent:** August-21-23 10:45 AM

**To:** Committee of Adjustment <CofA@vaughan.ca>

**Cc:** Lenore Providence <Lenore.Providence@vaughan.ca>; Christine Vigneault <Christine.Vigneault@vaughan.ca>

**Subject:** [External] RE: A130/23 (7420 Bathurst Street Bldg A) - REQUEST FOR COMMENTS

Hello,

The subject property at 7420 Bathurst Street, Vaughan is not located within TRCA's Regulated Area. TRCA's Planning and Regulatory policy interests are not impacted.

As such, TRCA has no comments on the application.

Best,

**Kristen Regier, MA (she / her)**

Planner I

Development Planning and Permits | Development and Engineering Services

Toronto and Region Conservation Authority (TRCA)

T: [437-880-2129](tel:437-880-2129)

E: [kristen.regier@trca.ca](mailto:kristen.regier@trca.ca)

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca) | [trca.ca](https://www.trca.ca)





**Pravina Attwala**

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**Subject:** FW: [External] RE: A130/23 (7420 Bathurst Street Bldg A) - REQUEST FOR COMMENTS

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**From:** Development Services <developmentsservices@york.ca>  
**Sent:** August-18-23 5:30 PM  
**To:** Lenore Providence <Lenore.Providence@vaughan.ca>  
**Cc:** Committee of Adjustment <CofA@vaughan.ca>  
**Subject:** [External] RE: A130/23 (7420 Bathurst Street Bldg A) - REQUEST FOR COMMENTS

Hi Lenore,

The Regional Municipality of York has completed its review of the minor variance application (A130/23) and has no comment.

Please provide us with a copy of the notice of decision for our records.

Many thanks,

*Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let’s work together to help foster healthy work-life boundaries.*

**Niranjana Rajeevan, M.Pl.** | Associate Planner, Development Services, Planning and Economic Development, Corporate Services

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The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1  
1-877-464-9675 ext. 71521 | [niranjana.rajeevan@york.ca](mailto:niranjana.rajeevan@york.ca) | [www.york.ca](http://www.york.ca)  
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<b>SCHEDULE C: PUBLIC &amp; APPLICANT CORRESPONDENCE</b>
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None

**SCHEDULE D: PREVIOUS COA DECISIONS ON THE SUBJECT LAND**

None