

ITEM: 6.4	COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A094/23 149 ARNOLD AVE, THORNHILL
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THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES:

*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City’s Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Refusal
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Adjournment
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

PUBLIC & APPLICANT CORRESPONDENCE				
*Please see Schedule C of this report for a copy of the public & applicant correspondence listed below.				
The deadline to submit public comments is noon on the last business day prior to the scheduled hearing date.				
Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City’s Website.				
All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.				
Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

PREVIOUS COA DECISIONS ON THE SUBJECT LAND		
*Please see Schedule D for a copy of the Decisions listed below		
File Number	Date of Decision MM/DD/YYYY	Decision Outcome
None		

ADJOURNMENT HISTORY	
* Previous hearing dates where this application was adjourned by the Committee and public notice issued.	
None	



**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A094/23
149 ARNOLD AVE, THORNHILL**

ITEM NUMBER: 6.4	CITY WARD #: 5
APPLICANT:	Arnold Mashiyeve & Elizabeth Mashiyeve
AGENT:	INOVA design inc
PROPERTY:	149 Arnold Ave, Thornhill
ZONING DESIGNATION:	See Below
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit a proposed dwelling.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R1E(EN) – First Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.403 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	The minimum front yard setback required is 14.83 metres. [Section 4.5, 3. b.]	To permit a minimum front yard setback of 9.9 metres.
2	The minimum interior side yard setback total of both sides shall not be less than 6.0 metres. [Exception 14.403, 2. b.]	To permit a minimum total interior side yard setback of both sides of 5.15 metres.
3	The maximum lot coverage permitted is 20%. [Table 7-3]	To permit a maximum lot coverage of 26.75%.
4	The maximum building height permitted is 9.28 metres. [Section 4.5, 1. b.]	To permit a maximum building height of 11.0 metres.

The subject lands are zoned R1V – Old Village Residential Zone and subject to the provisions of Exception 9(662) under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
5	The maximum building height permitted is 9.5 metres. [Schedule 'A']	To permit a maximum building height of 11.0 metres.

HEARING INFORMATION

DATE OF MEETING: Thursday, September 21, 2023

TIME: 6:00 p.m.

MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive

LIVE STREAM LINK: [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil)

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

HEARING INFORMATION
To speak electronically, pre-registration is required by completing the Request to Speak Form on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.
THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS <u>NOON</u> ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION
<p>Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.</p> <p>Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application may consider the following:</p> <p>That the general intent and purpose of the by-law will be maintained. That the general intent and purpose of the official plan will be maintained. That the requested variance(s) is/are acceptable for the appropriate development of the subject lands. That the requested variance(s) is/are minor in nature.</p> <p>Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.</p>

COMMITTEE OF ADJUSTMENT COMMENTS	
Date Public Notice Mailed:	September 7, 2023
Date Applicant Confirmed Posting of Sign:	September 1, 2023
Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small>	Our permitted maximum lot coverage does not accommodate a 2-storey layout that encompasses all our spatial needs and that of our growing family. It is our intentions to remain in this community with our children to continue to experience the quality of life that this community has offered. Over the last few years, we have witnessed numerous developed properties in our immediate neighborhood. Many dwellings exceeding the maximum coverage & height. Watching the other properties develop, we sincerely believe that the character of our proposal would be the most desirable solution for the lot and the existing streetscape, while providing us with the dwelling requirements that our family needs.
Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	<p>On August 30, 2023, Development Planning provided the following to the Applicant:</p> <p>The Development Planning Department has reviewed the revised plans provided and can provide you with the following comments:</p> <ul style="list-style-type: none">As previously mentioned, in 2004 Council endorsed a comprehensive study conducted by Development Planning that identified acceptable variance parameters within established communities zoned R1V (By-law 1-88) and R1E (By-law 001-2021). These zones apply to this property. The study determined two-storey dwellings (including attached garage) may have opportunity increase their maximum lot coverage from 20% to 23% without adverse impacts. <i>The Development Planning Department has consistently not supported increases to lot coverage above this threshold.</i>All variances requested in combination present a mass which we do not believe is in keeping with the character of the area as a large lot neighbourhood. <p>The revised plans show a 24.27% total lot coverage for the dwelling, including garage (dwelling 19.08%, S. Breezeway 0.75%, Garage 4.26%, and Projection 0.18%). With that said, I kindly ask that you please consider reducing the lot coverage to 23% (for the dwelling and</p>

COMMITTEE OF ADJUSTMENT COMMENTS	
	<p>garage combined – all covered and enclosed areas) to be in line with other approvals in the area.</p> <p>While we realize that these comments would necessitate revisions to the proposal, we look forward to working with you to arrive at a mutually agreeable proposal. In addition, we have not yet received the Arborist Report which is required for our review.</p> <p>As such, we are recommending adjournment of the application until such time that the Arborist Report is received and to provide additional time for further revisions and review of the application.</p> <p>On August 30, 2023, the Applicant advised they wish to proceed to the September 21, 2023 hearing as is.</p> <p>On September 7, 2023, the Applicant submitted an Arborist Report as requested by Development Planning.</p>
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: *ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice. *A revised submission may be required to address staff / agency comments received as part of the application review process. *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.	No
Adjournment Fees: In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice. An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice.	
Committee of Adjustment Comments:	Adjournment Fee Applicable if adjourned from the September 21 hearing.
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING) COMMENTS	
**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING COMMENTS	
**See Schedule B for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	None

DEVELOPMENT ENGINEERING COMMENTS	
Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation	
<p>Due to the size of the proposed two-story residence on the subject property, which measures 330.5 m², the Owner/Applicant must acquire a Lot Grading Permit from the Development Inspection and Lot Grading Division of the City's Development Engineering Department. It's important to note that any in-ground structure exceeding 10 m² necessitates a Grading Permit. Once the Grading Permit is obtained, please reach out to the Development Engineering Reviewer to clear the Condition imposed on this application.</p> <p>The Owner/Applicant's proposed work involves increasing the Lot Coverage on the subject property. This addition of hardscape could potentially affect the City's Storm Water management system. Development Engineering highly recommends that the Owner/Applicant incorporate Low-Impact Development (LID) measures, such as bioswales, permeable pavers, rain gardens, rain barrels, etc.,</p>	

DEVELOPMENT ENGINEERING COMMENTS	
Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation	
to minimize the impact on the stormwater system. If additional information is needed, please reach out to the Development Engineering COA reviewer.	
The Development Engineering Department does not object to the Minor Variance application A094/23, subject to the following condition(s):	
Development Engineering Recommended Conditions of Approval:	The Owner/Applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading Division within the City's Development Engineering Department prior to commencing any activities on the property. To acquire the necessary Lot Grading and/or Servicing Permit, kindly refer to the Grading Permit page on the official website of the City of Vaughan. Should you have any inquiries regarding the Grading Permit, please feel free to reach out to the Development Engineering Department via email at DEPermits@vaughan.ca.

PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS	
Forestry: To obtain a tree removal permit from the forestry division.	
PFH Recommended Conditions of Approval:	To obtain a tree removal permit from the forestry division.

DEVELOPMENT FINANCE COMMENTS	
That the payment of the City Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and City-wide Development Charge By-law in effect at time of payment.	
That the payment of Region of York Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Regional Development Charges By-laws in effect at time of payment.	
That the payment of Education Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Education Act and York Region District School Board and York Catholic District School Board Development Charges By-laws in effect at time of payment.	
That the payment of applicable Area Specific Development Charges are payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Area Specific Development Charge By-laws in effect at time of payment.	
Demolition development charge credits valid for a period of 48 months from date of demolition permit issuance. After 48 months, full development charges apply as per by-laws.	
Development Finance Recommended Conditions of Approval:	None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS	
No comments received to date	
BCLPS Recommended Conditions of Approval:	None

BUILDING INSPECTION (SEPTIC) COMMENTS	
No comments received to date	
Building Inspection Recommended Conditions of Approval:	None

FIRE DEPARTMENT COMMENTS	
No comments received to date	
Fire Department Recommended Conditions of Approval:	None

SCHEDULES TO STAFF REPORT	
*See Schedule for list of correspondence	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Staff & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

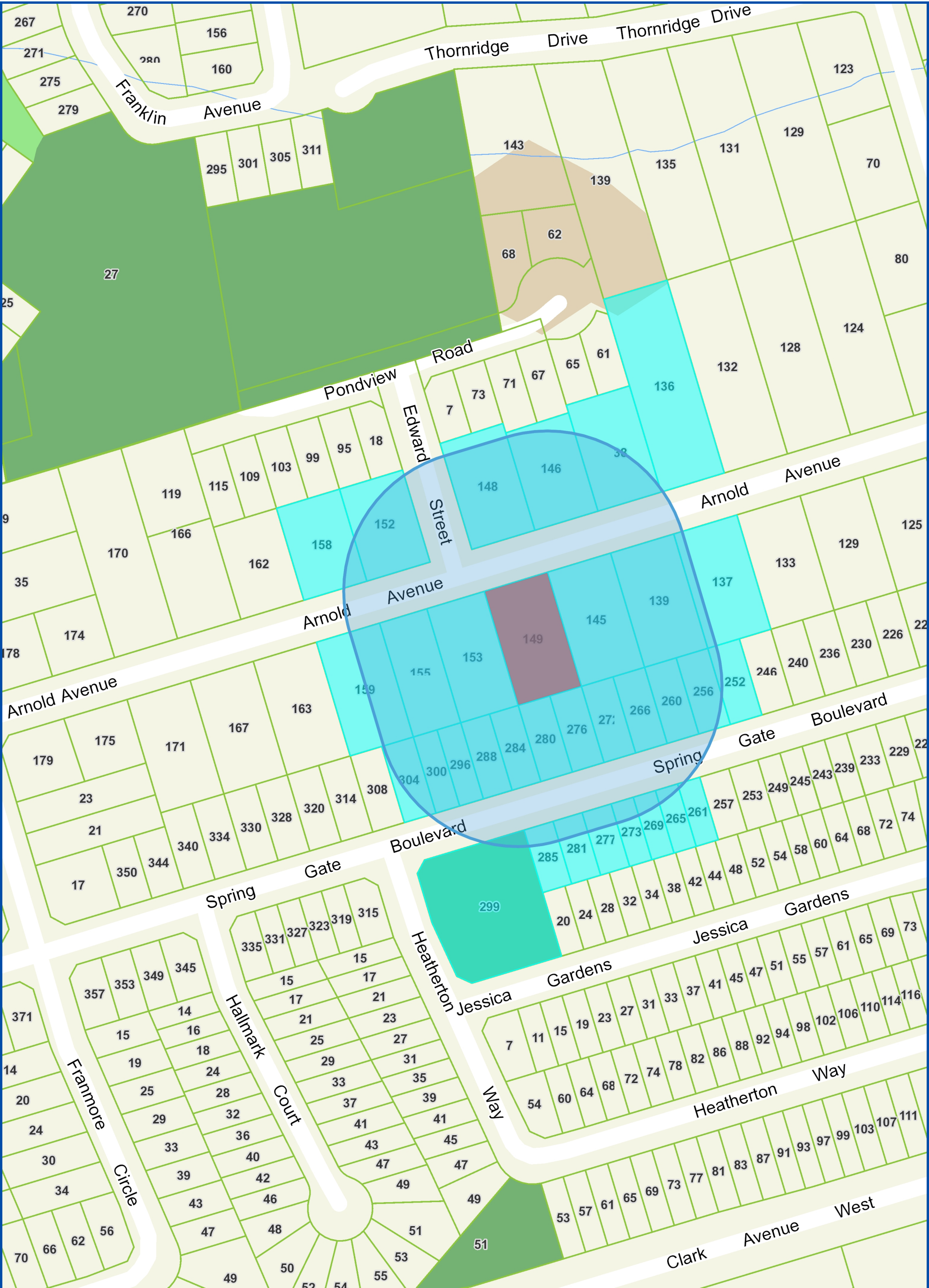
Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL		
All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.		
#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Engineering Rex.bondad@vaughan.ca	The Owner/Applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading Division within the City's Development Engineering Department prior to commencing any activities on the property. To acquire the necessary Lot Grading and/or Servicing Permit, kindly refer to the Grading Permit page on the official website of the City of Vaughan. Should you have any inquiries regarding the Grading Permit, please feel free to reach out to the Development Engineering Department via email at DEPermits@vaughan.ca .

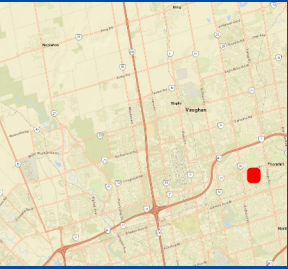
IMPORTANT INFORMATION – PLEASE READ
CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (see condition chart above for contact). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.
APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision. An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval. A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law. Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application. Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.
DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment. That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment. That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

IMPORTANT INFORMATION – PLEASE READ
NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will not receive notice.

SCHEDULE A: DRAWINGS & PLANS



Map Information:



Title: **Minor Variance Application A094/23 (149
Arnold Avenue)**

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: **1: 2,257**

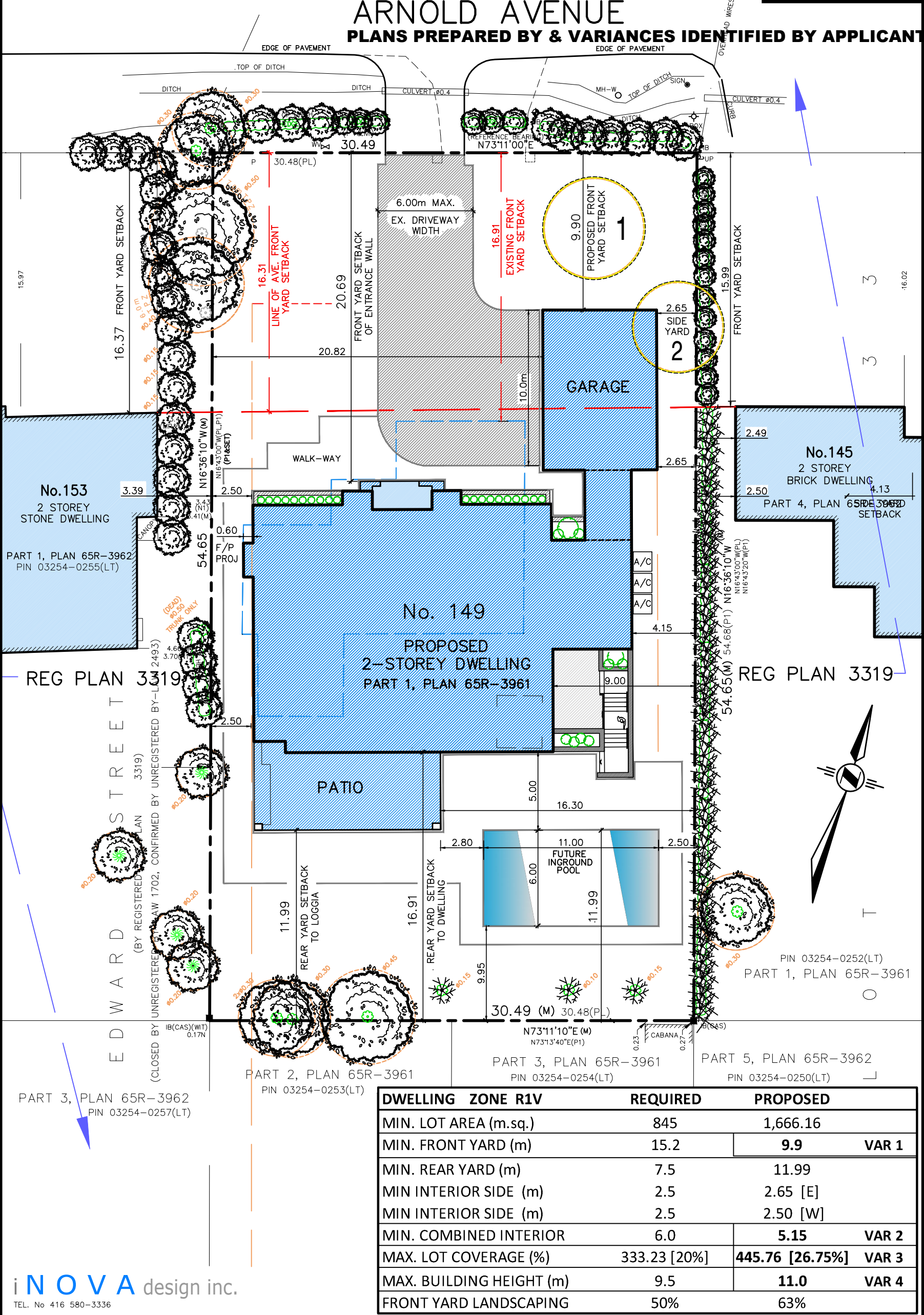
0

0.04 km



Created By:
Infrastructure Delivery
Department
September 7, 2023 3:33 PM

Projection:
NAD 83
UTM Zone
17N



iNOVA design inc.
TEL. No 416 580-3336

149 ARNOLD AVE

PROPOSED (ZONING) SITE PLAN

SCALE: 1:250 DATE: AUG 16 2023

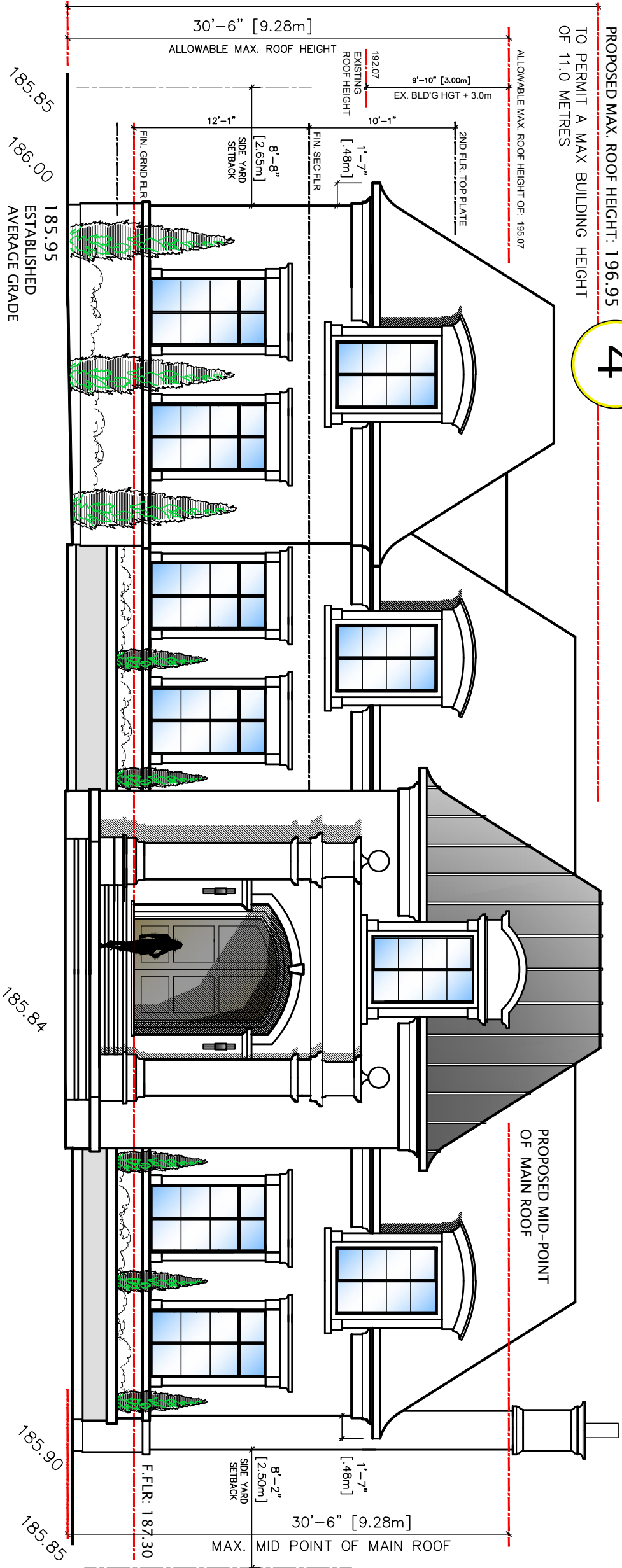
PART OF LOT 32
REGISTERED PLAN 3319
PART 1, PLAN 65R-3961
CITY OF VAUGHAN - REGIONAL MUNICIPALITY OF YORK

NOTE:
LEGAL SURVEY INFORMATION AND LOT DIMENSIONS SHOWN ON
THIS PLAN ARE TAKEN FROM A PLAN PREPARED BY:
VLADMIR DOSEN SURVEYING., ONTARIO LAND SURVEYORS
555 DAVISVILLE AVE., TORONTO, ONTARIO (416) 466-0440
DATED: NOVEMBER 15 2021

PG 1
REV 4.

PROPOSED MAX. ROOF HEIGHT: 196.95
TO PERMIT A MAX BUILDING HEIGHT
OF 11.0 METRES

4



PROPOSED FRONT ELEVATION

LEGAL SURVEY INFORMATION AND LOT DIMENSIONS SHOWN ON THIS PLAN ARE TAKEN FROM A PLAN PREPARED BY:
VLADMIR DOSEN SURVEYING, ONTARIO LAND SURVEYORS, 555 DAVSVILLE AVE.,
TORONTO, ONTARIO (416) 466-0440 DATED: NOVEMBER 15 2021

149 ARNOLD AVE

PART OF LOT 32
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CITY OF VAUGHAN - REGIONAL MUNICIPALITY OF YORK

iNOVA design inc.
TEL. No 416 580-3336

DATE: JULY 21 2023

SCALE: 1:250

pg 3

REV. 3

RECEIVED AUGUST 16/23

GRADING NOTES:

600 MM WIDE UNDISTURBED AREA.
NO GRADE CHANGES OR ALTERATIONS
PERMITTED WITHIN 0.6M OFFSET FROM LOT
LINES.

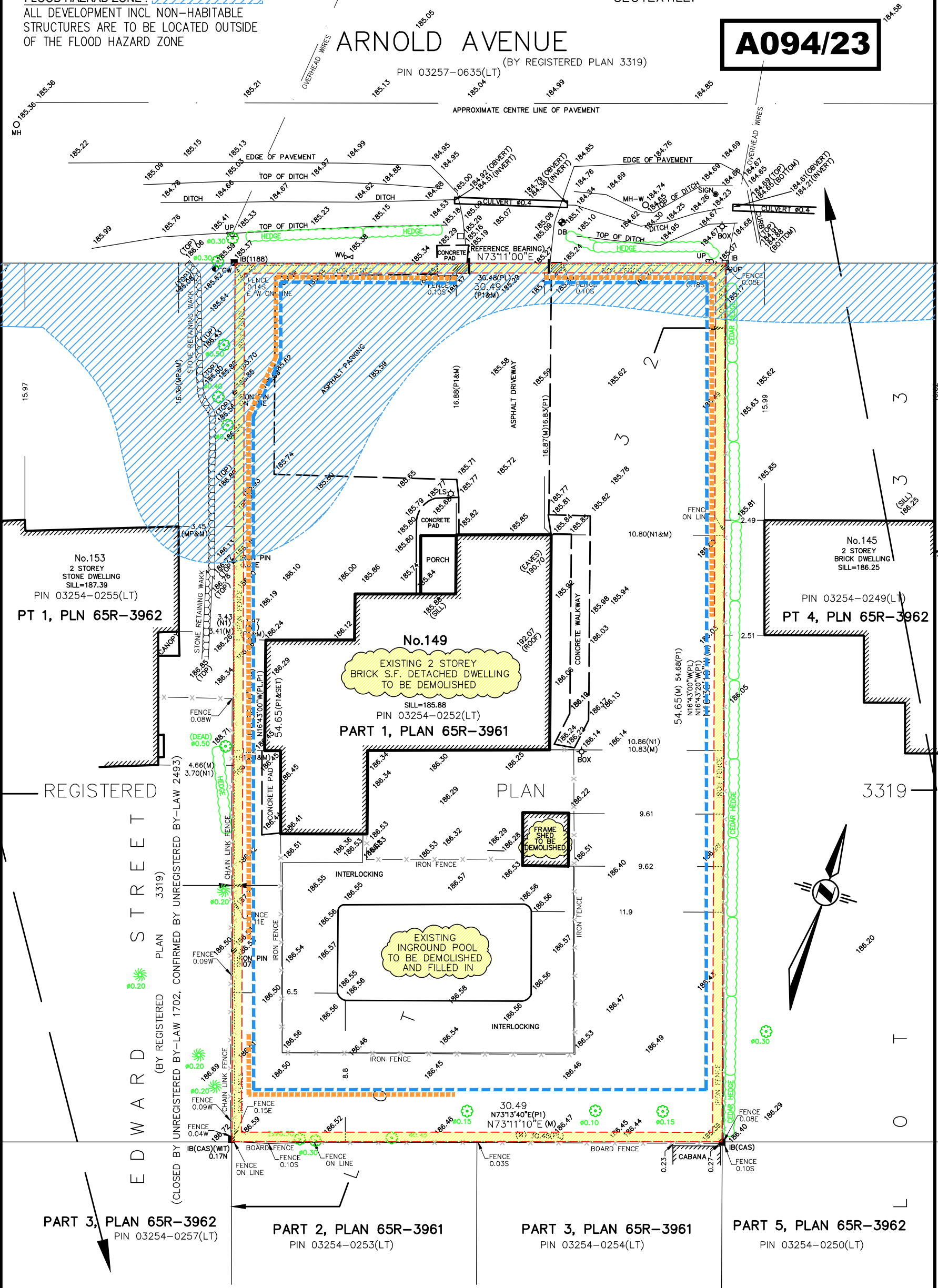
FLOOD HAZRAD ZONE :

ALL DEVELOPMENT INCL NON-HABITABLE
STRUCTURES ARE TO BE LOCATED OUTSIDE
OF THE FLOOD HAZARD ZONE

SOLID FRAMED HOARDING
2 X 4 MEMBERS & SNOW FENCE

PAIGE FENCE SUPPORTED BY T-BARS
FOR FULL DURATION OF THE CONSTRUCTION
W/ SILTATION FENCING
SILT FENCE IS TO BE NON-WOVEN
GEOTEXTILE.

A094/23



149 ARNOLD AVE

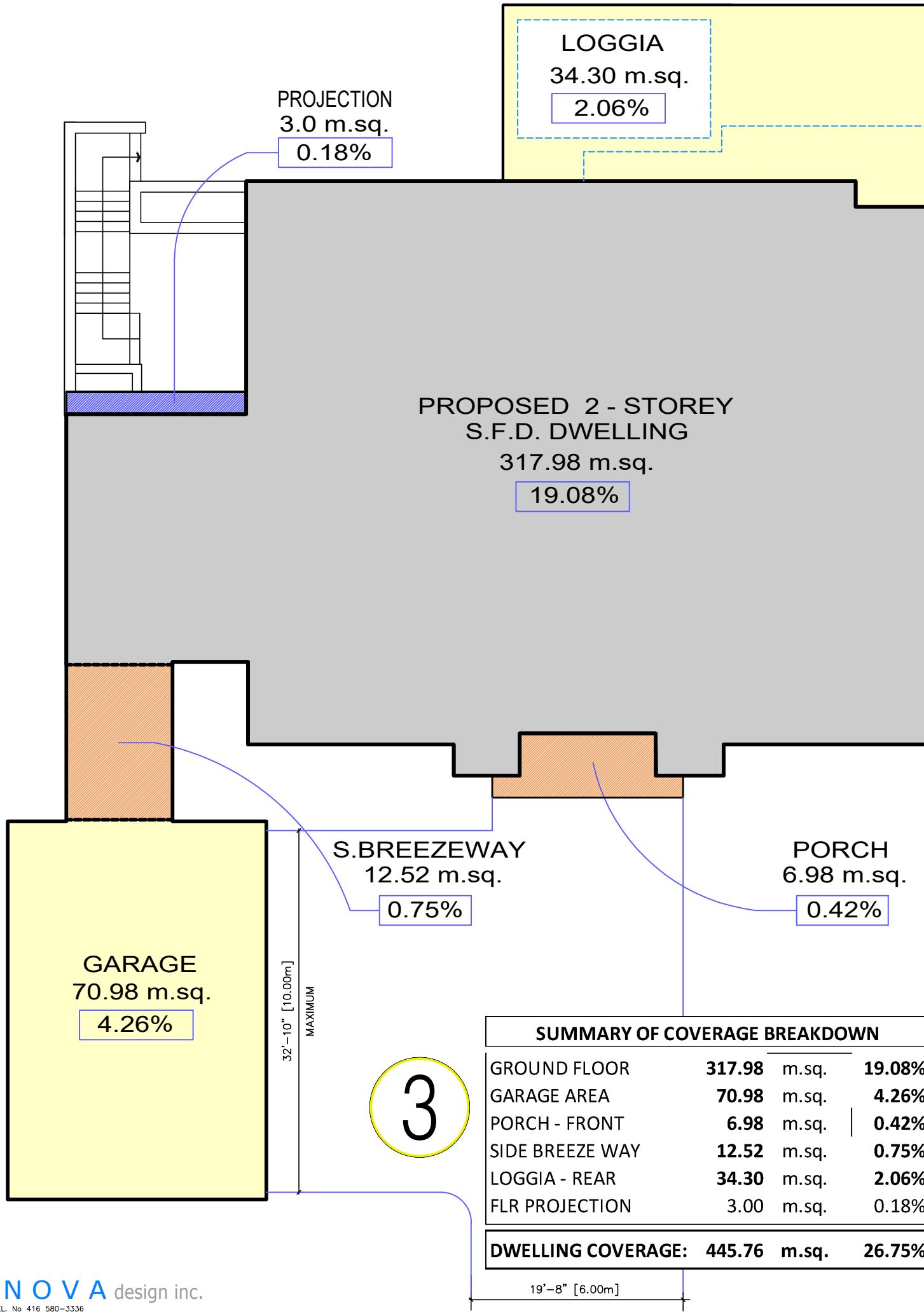
EXISTING SURVEY
SHOWING EXISTING STRUCTURES TO BE REMOVED

SCALE: 1:250 DATE: 08 / 16 / 2023

PART OF LOT 32
REGISTERED PLAN 3319
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DATED: NOVEMBER 15 2021

S-002



SUMMARY OF COVERAGE BREAKDOWN			
GROUND FLOOR	317.98	m.sq.	19.08%
GARAGE AREA	70.98	m.sq.	4.26%
PORCH - FRONT	6.98	m.sq.	0.42%
SIDE BREEZE WAY	12.52	m.sq.	0.75%
LOGGIA - REAR	34.30	m.sq.	2.06%
FLR PROJECTION	3.00	m.sq.	0.18%
DWELLING COVERAGE:		445.76 m.sq.	26.75%

i NOVA design inc.
TEL. No 416 580-3336

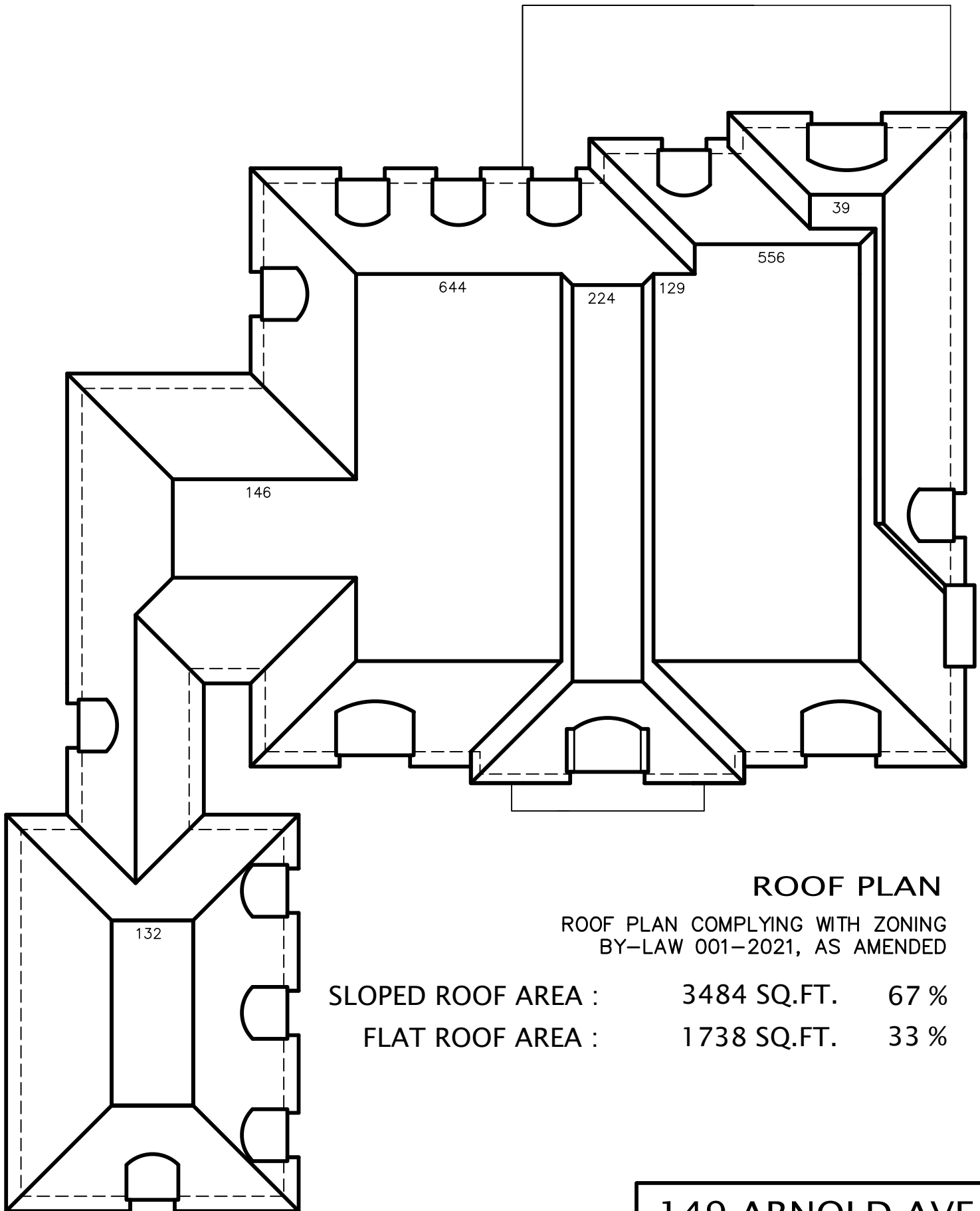
149 ARNOLD AVE

SCALE: 1:250

PART OF LOT 32
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CITY OF VAUGHAN - REGIONAL MUNICIPALITY OF YORK

PROPOSED BLD'G COVERAGE

MINOR VARIANCE		REQUIRE	PROVIDED	pg 2 REV. 4
VARIANCE	LOT AREA	1,666.162 M.SQ.		
3	LOT BUILDING COVERAGE (INCLUDING ALL COVERED STRUCTURES)	20% MAX 333.23 M.SQ.	26.75% 446.58 M.SQ.	



ROOF PLAN

ROOF PLAN COMPLYING WITH ZONING
BY-LAW 001-2021, AS AMENDED

SLOPED ROOF AREA : 3484 SQ.FT. 67 %
FLAT ROOF AREA : 1738 SQ.FT. 33 %

149 ARNOLD AVE

DATE: AUG 08 2023 SCALE: 1 : 3/16"

PART OF LOT 32
REGISTERED PLAN 3319

PART 1, PLAN 65R-3961

CITY OF VAUGHAN - REGIONAL MUNICIPALITY OF YORK

PROPOSED MAX. ROOF HEIGHT: 196.95

TO PERMIT A MAX BUILDING HEIGHT
OF 11.0 METRES

ALLOWABLE MAX. ROOF HEIGHT OF: 195.07

9'-10" [3.00m]
EX. BLD'G HGT + 3.0m

192.07
EXISTING
ROOF HEIGHT

2ND FLR. TOP PLATE

1'-7" [.48m]

FIN. SEC. FLR

8'-2" [2.50m]
SIDE YARD SETBACK

36'-1" [11.00m] MAX BUILDING HEIGHT

30'-6" [9.28m]
ALLOWABLE MAX. ROOF HEIGHT

186.04
185.85

FIN. GRND FLR

185.90

185.95
ESTABLISHED
AVERAGE GRADE

PROPOSED MID-POINT
OF MAIN ROOF

1'-7" [.48m]

8'-2" [2.50m]
SIDE YARD
SETBACK

30'-6" [9.28m]
MAX. MID POINT OF MAIN ROOF

F.FLR: 187.30

185.85

186.00

PROPOSED FRONT ELEVATION

ISSUED (REV)
08/16/23
ZONING ONLY

PROPOSED REAR ELEVATION

15'-6" [4.72m]

2ND FLR. TOP PLATE

10'-1"

FIN. SECOND FLOOR

12'-1"

FIN. GROUND FLOOR

149 ARNOLD AVE

PART OF LOT 32
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PART 1, PLAN 65H-3961

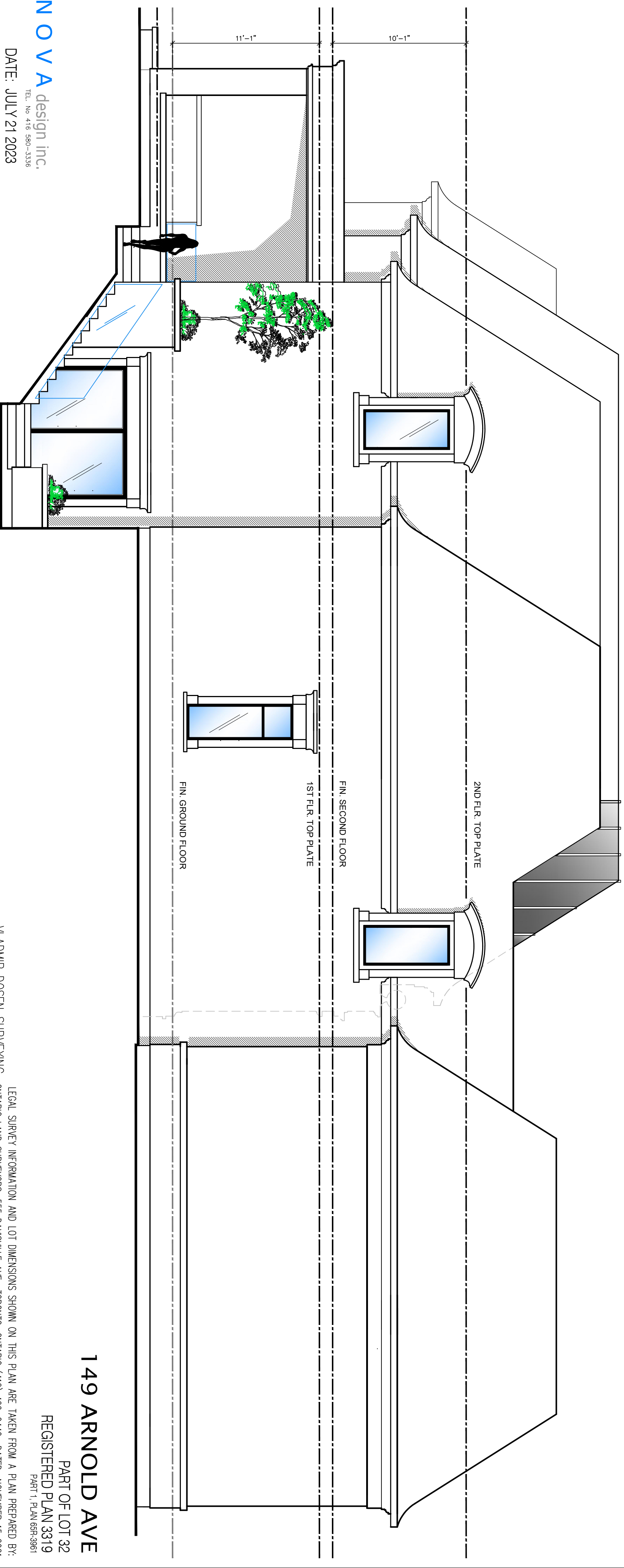
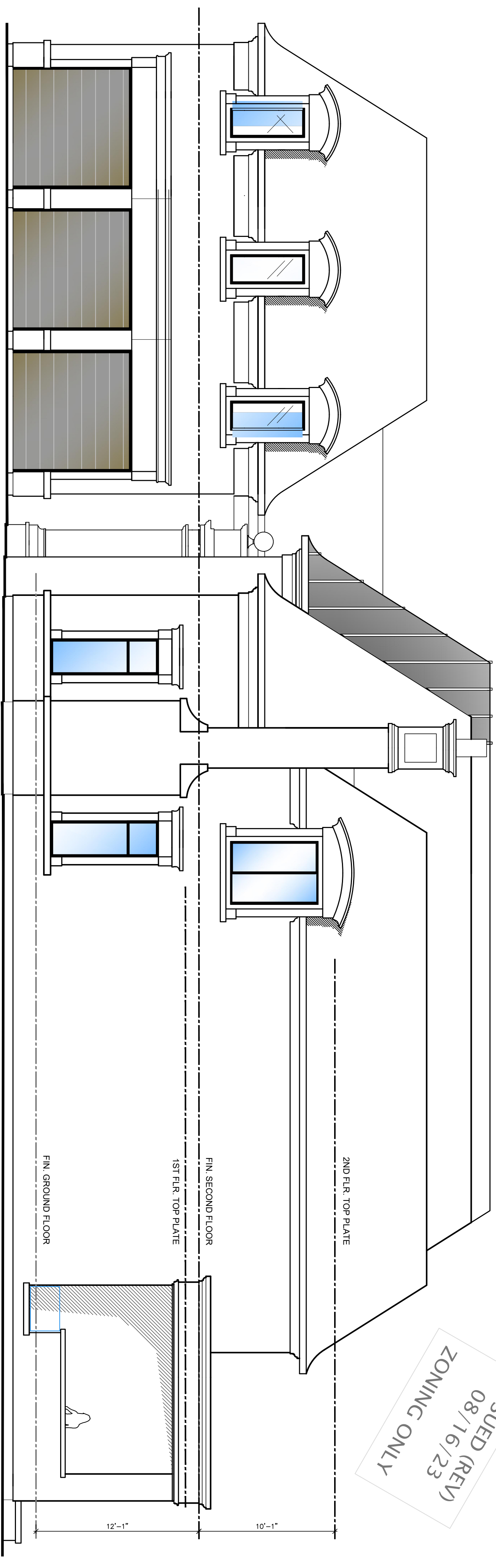
iNOVA design inc.

TEL. No. 416 580-3336

DATE: JULY 21 2023

LEGAL SURVEY INFORMATION AND LOT DIMENSIONS SHOWN ON THIS PLAN ARE TAKEN FROM A PLAN PREPARED BY:
VLADMIR DOSEN SURVEYING, ONTARIO LAND SURVEYORS, 555 DAVENILLE AVE., TORONTO, ONTARIO (416) 466-0440 DATED: NOVEMBER 15 2021

ISSUED (REV)
08/16/23
ZONING ONLY

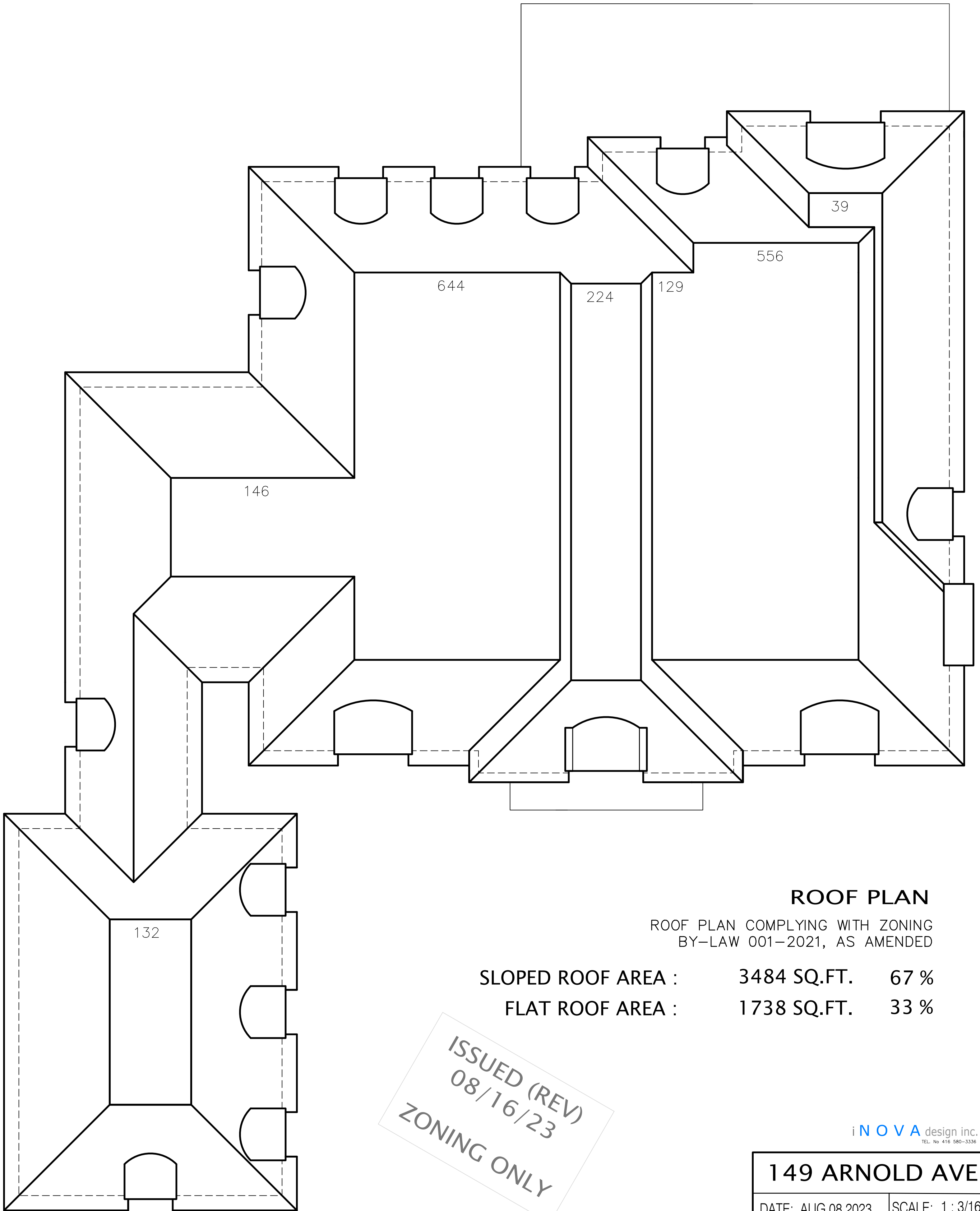


TEL. No 416 580-3356

LEGAL SURVEY INFORMATION AND LOT DIMENSIONS SHOWN ON THIS PLAN ARE TAKEN FROM A PLAN PREPARED BY:
VLADIMIR DOSEN SURVEYING, ONTARIO LAND SURVEYORS, 555 DAVISVILLE AVE., TORONTO, ONTARIO (416) 466-0440 DATED: NOVEMBER 15 2021

149 ARNOLD AVE

PART OF LOT 32
REGISTERED PLAN 3319
PART 1, PLAN 65R-3961



ROOF PLAN

ROOF PLAN COMPLYING WITH ZONING
BY-LAW 001-2021, AS AMENDED

SLOPED ROOF AREA : 3484 SQ.FT. 67 %
FLAT ROOF AREA : 1738 SQ.FT. 33 %

ISSUED (REV)
08/16/23
ZONING ONLY

iNOVA design inc.
TEL. No 416 580-3336

149 ARNOLD AVE

DATE: AUG 08 2023 SCALE: 1 : 3/16"

PART OF LOT 32
REGISTERED PLAN 3319

PART 1, PLAN 65R-3961
CITY OF VAUGHAN - REGIONAL MUNICIPALITY OF YORK

SCHEDULE B: STAFF & AGENCY COMMENTS				
DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Adjournment
Ministry of Transportation (MTO) *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York *Schedule B	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra *Schedule B	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada *Schedule B	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline *Schedule B	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Refusal
Building Standards (Zoning)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments

Date: June 27th 2023

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A094-23**

Related Files:

Applicant INOVA design Inc.

Location 149 Arnold Avenue

COMMENTS:

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

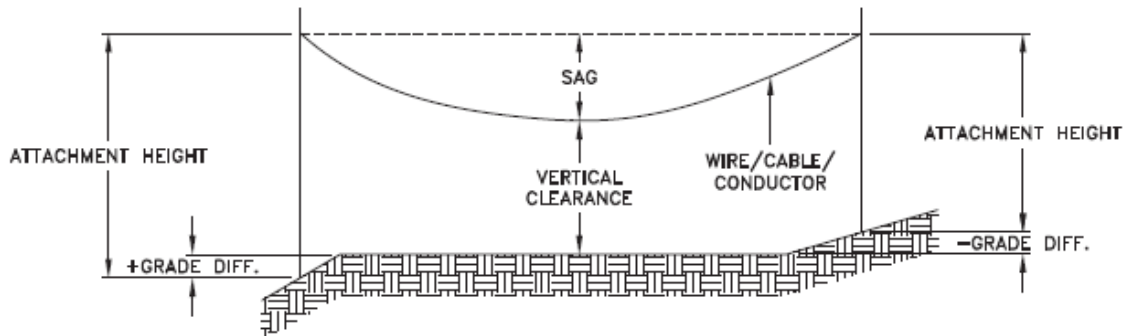
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
	MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)			
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 + GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

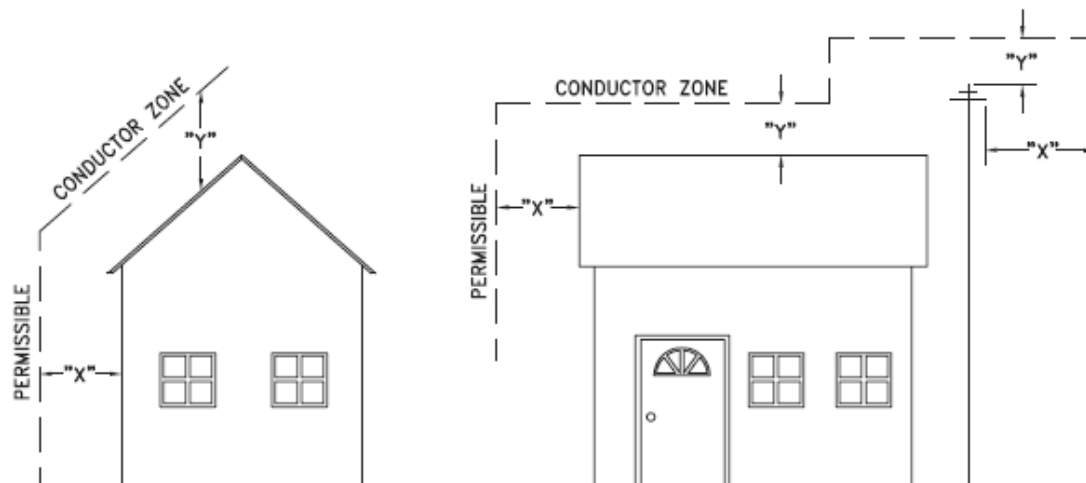
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:

PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working folder\Section 3\3-4\DWG 03-4 R0 May 5, 2010.dwg, 5/5/2010 8:22:02 AM, Adobe PDF

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P.Eng. Approval By: D. Dadwani

To: Committee of Adjustment

From: Christian Tinney, Building Standards Department

Date: August 30, 2023

Applicant: INOVA design inc

Location: 149 Arnold Avenue
PLAN RP3319 Part of Lot 32

File No.(s): A094/23

Zoning Classification:

The subject lands are zoned R1E(EN) – First Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.403 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	The minimum front yard setback required is 14.83 metres. [Section 4.5, 3. b.]	To permit a minimum front yard setback of 9.9 metres.
2	The minimum interior side yard setback total of both sides shall not be less than 6.0 metres. [Exception 14.403, 2. b.]	To permit a minimum total interior side yard setback of both sides of 5.15 metres.
3	The maximum lot coverage permitted is 20%. [Table 7-3]	To permit a maximum lot coverage of 26.75%.
4	The maximum building height permitted is 9.28 metres. [Section 4.5, 1. b.]	To permit a maximum building height of 11.0 metres.

The subject lands are zoned R1V – Old Village Residential Zone and subject to the provisions of Exception 9(662) under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
6	The maximum building height permitted is 9.5 metres. [Schedule 'A']	To permit a maximum building height of 11.0 metres.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m²

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
2	The subject lands may be subject to Ontario Regulation 166/06 (TRCA - Toronto and Region Conservation Authority).
3	Air Conditioner and/or Heat Pump Units shall be permitted in the interior side yard with a minimum setback of 0.6 metres and may encroach a maximum of 1.5 metres into the required rear yard or exterior side yard.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer

From: Nancy Tuckett, Director of Development Planning

Date: September 8, 2023

Name of Owners: Arnold and Elizabeth Mashiyev

Location: 149 Arnold Avenue

File No.(s): A094/23

Proposed Variance(s) (By-law 001-2021):

1. To permit a minimum front yard setback of 9.5 metres.
2. To permit a minimum total interior side yard setback of both sides of 5.15 metres.
3. To permit a maximum lot coverage of 26.75%.
4. To permit a maximum building height of 11.0 metres.

By-Law Requirement(s) (By-law 001-2021):

1. The minimum front yard setback required is 14.83 metres.
2. The minimum interior side yard setback total of both sides shall not be less than 6.0 metres.
3. The maximum lot coverage permitted is 20%.
4. The maximum building height permitted is 9.28 metres.

Proposed Variance(s) (By-law 1-88):

5. To permit a maximum building height of 11.0 metres.

By-Law Requirement(s) (By-law 1-88):

5. The maximum building height permitted is 9.5 metres.

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential".

Comments:

The Owners are proposing to demolish the existing requesting relief to demolish the existing 2-storey single detached dwelling and construct a new 2-storey single detached dwelling with the above noted variances.

The Subject Lands are within the R1V – Residential Old Village ('R1V') Zone category by Zoning By-law 1-88 ('By-law 1-88'). In 2004, Vaughan City Council directed Development Planning staff to undertake a comprehensive study and review of the redevelopment occurring in neighbourhoods with the R1V Zone category. The objective was to establish development criteria that balanced the evolution of neighbourhoods with existing built form and character. As a result of the report, a maximum 26% lot coverage for 1-storey detached dwellings not exceeding 7 m in height, and 23% lot coverage for 2-storey detached dwellings was determined to be appropriate in R1V Zones. These coverages relate to the enclosed space related/attached to the dwelling. Some additional lot coverage above those maximums may be considered through site specific analysis for accessory structures and covered but unclosed porches and decks.

The Development Planning Department ('Development Planning') has previously supported other variances for a maximum lot coverage of 23% 2-storey dwellings (excluding covered but unenclosed areas and accessory structures) in this area.

The Subject Lands are now also zoned "R1E(EN) First Density Residential Zone" ('R1E(EN) Zone') under the City's new Comprehensive Zoning By-law 001-2021. Recognizing the consistency of various Minor Variance Application approvals in the previous R1V Zone areas of the City, the R1E(EN) Zone affords a lot coverage of 23% for 2-storey dwellings as-of-right provided the maximum height does not exceed 9.5 m. In this case, the Owner is requesting a height of 11 m, and as such, the maximum lot coverage permitted under By-law 001-2021 is 20%.

The Subject Lands are identified in Schedule 1B of Vaughan Official Plan 2010 ('VOP 2010') as being within an Established Large-Lot Neighbourhood ('LLN'). Policies 9.1.2.2 and 9.1.2.3 outline criteria (i.e., front yard, lot coverage, building height and mass) to be considered when dealing with an application to redevelop property within established neighbourhoods. These guidelines ensure new development complements the existing neighbourhood character with respect to characteristics such as building placement and scale. The dwelling's proposed lot coverage exceeds previous approvals for 2-storey dwellings in the area, does not reinforce the existing physical character of the neighbourhood and therefore does not maintain the general intent and purpose of VOP 2010.

Development Planning is not in a position to support Variance 3. As noted above, the Subject Lands are zoned R1E(EN) Zone under Zoning By-law 001-2021 and R1V Zone under By-law 1-88, which permits the use of a single detached dwelling and provides development standards that support the character of the area. The request to permit a lot coverage of 24.09% for the dwelling's enclosed spaces exceeds past approvals for a 2-storey dwelling supported by the Development Planning Department in this area. Variance 3, when combined with the other requested variances, establishes a building envelope and mass not contemplated by either applicable zone.

Variances 1 and 2 seek to permit a minimum front yard setback of 9.5 m and a total of 5.15 m combined interior side yard setback for both sides. The sought reliefs are tied to a building envelope request (lot coverage), which Development Planning cannot support. As such, the Development Planning Department is not in position to support Variances 1 and 2 for the reduced front yard and interior side yard setbacks.

Development Planning is not in a position to support Variances 4 and 5 for the maximum building height of 11 m. Development Planning is of the opinion that Variances 1-3, when coupled with a maximum building height of 11 m, establishes a massing not contemplated by either applicable zone.

The Development Planning is not in a position to support the above noted variances for the increased lot coverage and height and reduced front yard and interior side yard setbacks for the proposed 2-storey dwelling, as the above noted variances, when combined, establish a building envelope tied to a lot coverage and mass that is not in keeping with the neighbourhood, and is therefore not considered to be minor in nature, not desirable and appropriate for the use of the land, does not maintain the general intent and purpose of Zoning By-laws 1-88 and 001-2021, and does not maintain the general intent and purpose of the Official Plan. Development Planning is open to continuing to work with the applicant should the enclosed portions of the proposed dwelling be reduced to 23% in keeping with past decisions, which have determined to be in keeping with the character of LLNs.

Accordingly, Development Planning is not in a position to support the requested variances and is of the opinion that the proposal is not minor in nature, does not maintain the general intent and purpose of the Official Plan and Zoning By-laws, and is not desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends **refusal** of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None

Comments Prepared by:

Michelle Perrone, Planner 1
David Harding, Senior Planner

July 10, 2023

CFN 68446.23

SENT BY E-MAIL: Christine.Vigneault@vaughan.ca

Christine Vigneault
Secretary Treasurer
Committee of Adjustment
City of Vaughan
2141 Major Mackenzie Drive
Vaughan, Ontario L6A 1T1

Dear Christine:

**Re: Minor Variance Application A094/23
Part Lot 29, Concession 1
PLAN RP3319 Part of Lot 32
149 Arnold Avenue
City of Vaughan, Region of York
Applicant: INOVA Design Inc.**

This letter acknowledges receipt of the above-noted application circulated by the City of Vaughan. The materials were received by Toronto and Region Conservation Authority (TRCA) on June 22, 2023. TRCA staff have reviewed the application and offer the following comments for the consideration of the Committee of Adjustment.

Purpose of the Application

It is our understanding that the purpose of the above noted application is to request variances under By-Law 001-2021:

- To permit a minimum front yard setback of 9.5 metres, whereas the minimum front yard setback required is 14.83 metres.
- To permit a minimum total interior side yard setback of both sides of 5.0 metres, whereas the minimum interior side yard setback total of both sides shall not be less than 6.0 metres.
- To permit a maximum lot coverage of 27.5 %, whereas the maximum lot coverage permitted is 20%.
- To permit a maximum building height of 11.0 metres, whereas the maximum building height permitted is 9.28 metres.

The noted variances are being requested to facilitate the construction of a replacement dwelling.

Ontario Regulation 166/06

A portion of the subject property is located within TRCA's Regulated Area due to a Regional Storm flood plain associated with a tributary of the Don River that impacts the northern end of the site. In accordance with Ontario Regulation 166/06 (Regulation of Development, Interference with Wetlands and Alterations to Shorelines and Watercourses), development, interference or alteration may be permitted in the Regulated Area where it can be demonstrated to TRCA's satisfaction that the control of flooding, erosion, dynamic beaches, pollution, or the conservation of land will not be affected.

Application-Specific Comments

Based on TRCA's engineered flood plain mapping and modelling, the Regional Storm flood plain (i.e., flood hazard) on the subject property reaches an elevation of 185.7 metres above sea level (masl). The depth of flooding around the front (northern) portion of the property ranges from approximately 0.70 – 0.20 m with an associated velocity of 0.38 m/s. As a part of a revised site plan, the noted flood elevation should be plotted on a topographic survey to confirm the extent of the flood hazard on the property.

TRCA policies typically require that habitable structures (i.e., houses) be located outside of a flood hazard with an associated buffer of 10 metres between the dwelling and flood hazard to reduce the risks to life and property damage that could occur during significant storm events.

Based on a review of the plans submitted with this application, the existing dwelling on the site was located at the edge of the flood hazard. The proposed replacement dwelling will be located a few metres deeper into the lot, which represents a reduction in risk, as it will be setback further from the flood hazard.

The proposed garage structure is located within the flood hazard. TRCA's first approach to risk reduction is to ensure that all development, including non-habitable accessory structures, is located outside of the flood hazard if there is a feasible location/area.

Based on staff's review of the site plan, it appears that it could be feasible to revise the proposed site layout to maximize the setback from the flood hazard. Moving forward, TRCA would be happy to meet with the proponent to discuss the feasibility of possible revisions to the proposed plans.

Until it has been determined that the proposed development is adequately setback from the limits of the flood hazard TRCA recommends deferral of the subject minor variance application.

Fees

By copy of this letter, the applicant is advised that the TRCA has implemented a fee schedule for our planning application review services. This application is subject to a \$950.00 (Minor Variance – Residential - Standard) review fee. The applicant is responsible for fee payment and should forward the application fee to this office as soon as possible.

Recommendations

Based on the comments noted above, TRCA staff recommend **deferral** of Minor Variance Application A094/23 to allow for further consultation between TRCA staff and the proponent to address the above noted flood hazard concerns.

We trust these comments are of assistance. Should you have any questions, please contact me at 437-880-2129 or at Kristen.regier@trca.ca

Sincerely,



Kristen Regier
Planner I
Development Planning and Permits

KR/sb

From: [Development Services](#)
To: [Christine Vigneault](#)
Cc: [Committee of Adjustment](#)
Subject: [External] RE: A094/23 (149 Arnold Avenue) - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Tuesday, June 27, 2023 1:55:18 PM
Attachments: [image001.png](#)
[image003.png](#)

Hi Christine,

The Regional Municipality of York has completed its review of the minor variance application – A094/23 and has no comment.

Many thanks,

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Development Services, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

Our Values: Integrity, Commitment, Accountability, Respect, Excellence



Our Mission: **Working together to serve our thriving communities – today and tomorrow**

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE
--

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				