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| ITEM: 6.3 | COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A080/23 184 CABINET CRESCENT, WOODBRIDGE |
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**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES:**

*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

| DEPARTMENTS | Circulated | Comments Received | Conditions | Nature of Comments |
|---|-------------------------------------|-------------------------------------|-------------------------------------|---------------------------------|
| Committee of Adjustment | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | General Comments |
| Building Standards (Zoning Review) | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | General Comments |
| Building Inspection (Septic) | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | No Comments Received to Date |
| Development Planning | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | Recommend Approval w/Conditions |
| Development Engineering | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | Recommend Approval w/Conditions |
| Parks, Forestry and Horticulture Operations | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | General Comments |
| By-law & Compliance, Licensing & Permits | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | No Comments Received to Date |
| Development Finance | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | General Comments |
| Real Estate | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Fire Department | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | No Comments Received to Date |
| AGENCIES | Circulated | Comments Received | Conditions | Nature of Comments |
| TRCA | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | General Comments |
| Ministry of Transportation (MTO) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Region of York | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | General Comments |
| Alectra | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | General Comments |
| Bell Canada | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | No Comments Received to Date |
| YRDSB | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| YCDSB | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| CN Rail | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| CP Rail | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| TransCanada Pipeline | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | No Comments Received to Date |
| Metrolinx | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Propane Operator | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| | | | | |

PUBLIC & APPLICANT CORRESPONDENCE

*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

| Correspondence Type | Name | Address | Date Received (mm/dd/yyyy) | Summary |
|---------------------|------|---------|-------------------------------|---------|
| None | | | | |

PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

| File Number | Date of Decision MM/DD/YYYY | Decision Outcome |
|--------------------|---------------------------------------|-------------------------|
| None | | |

ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

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| None | |
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**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A080/23
184 CABINET CRESCENT, WOODBRIDGE**

| | |
|--|--|
| ITEM NUMBER: 6.3 | CITY WARD #: 2 |
| APPLICANT: | Anita Perri, Anthony Perri, & Luigi Perri |
| AGENT: | Great Room Inc. |
| PROPERTY: | 184 Cabinet Cr, Woodbridge |
| ZONING DESIGNATION: | See Below |
| VAUGHAN OFFICIAL PLAN (2010) DESIGNATION: | Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential" |
| RELATED DEVELOPMENT APPLICATIONS: | None |
| PURPOSE OF APPLICATION: | Relief from the Zoning By-law is being requested to permit the construction of a proposed cabana and pavilion. |

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R4(EN) – Fourth Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.249 under Zoning By-law 001-2021, as amended.

| # | Zoning By-law 01-2021 | Variance requested |
|---|---|---|
| 1 | A residential accessory structure with a height greater than 2.8 metres shall not be located closer than 2.4 metres to any lot line [Section 4.1.2.1 b]. | To permit a residential accessory structure (pavilion) with a height greater than 2.8 metres to be located 0.91 metres to the rear lot line. |
| 2 | An accessory building or residential accessory structure shall not be located closer the exterior side lot line than the principal building on the lot [Section 4.1.2.1 c]. | To permit residential accessory structure (pavilion) to be located closer to the exterior side lot line than the principal building on the lot in the locations as shown on the sketch. |
| 3 | An accessory building or residential accessory structure shall not be located closer the exterior side lot line than the principal building on the lot [Section 4.1.2.1 c]. | To permit residential accessory structure (cabana) to be located closer to the exterior side lot line than the principal building on the lot in the locations as shown on the sketch. |
| 4 | In any residential zone, the maximum height of an accessory building and residential accessory structure shall be 3.0 metres [Section 4.1.4.1]. | To permit a maximum height of 3.11 metres for a residential accessory structure (pavilion). |

HEARING INFORMATION

DATE OF MEETING: Thursday, September 21, 2023
TIME: 6:00 p.m.
MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive
LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

HEARING INFORMATION

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT COMMENTS

| | | |
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| Date Public Notice Mailed: | September 7, 2023 | |
| Date Applicant Confirmed Posting of Sign: | August 28, 2023 | |
| Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small> | By-law is too restrictive to permit the proposed accessory structures. | |
| Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small> | None | |
| Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice. *A revised submission may be required to address staff / agency comments received as part of the application review process. *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small> | | No |
| Adjournment Fees: In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice. An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice. | | |
| Committee of Adjustment Comments: | None | |
| Committee of Adjustment Recommended Conditions of Approval: | None | |

BUILDING STANDARDS (ZONING) COMMENTS

**See Schedule B for Building Standards (Zoning) Comments

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| Building Standards Recommended Conditions of Approval: | None |
|---|------|

DEVELOPMENT PLANNING COMMENTS

**See Schedule B for Development Planning Comments.

| | |
|---|--|
| Development Planning Recommended Conditions of Approval: | That the final Landscape Plan, identifying trees between the cabana and the exterior lot line, be approved to the satisfaction of the Development Planning Department. |
|---|--|

DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#)
 [Link to Pool Permit](#)
 [Link to Curb Curt Permit](#)
 [Link Culvert Installation](#)

As the proposed cabana in the subject property is 24.10m², the owner/ applicant needs to obtain a lot grading permit from Development Inspection and Lot Grading division of the City's Development Engineering Department. Please note any in ground structure over 10 m² requires a grading permit. Please contact COA application engineering reviewer after receiving the grading permit to clear the condition. (Condition attached)

The Owner/applicant shall apply for a pool permit with the Development Engineering (DE) Department. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the pool permit link provided above to learn how to apply for the pool permit.

The Development Engineering (DE) Department does not object to the variance application A080/23, subject to the following condition:

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|--|---|
| Development Engineering Recommended Conditions of Approval: | The Owner/applicant shall submit a Lot Grading plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval. |
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PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

For the city boulevard tree protection & preservation methods must be followed according to City of Vaughan By-law 052-2018.

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| PFH Recommended Conditions of Approval: | None |
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DEVELOPMENT FINANCE COMMENTS

No comment no concerns.

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| Development Finance Recommended Conditions of Approval: | None |
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BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

No comment no concerns.

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| BCLPS Recommended Conditions of Approval: | None |
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BUILDING INSPECTION (SEPTIC) COMMENTS

No comments received to date.

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| Building Inspection Recommended Conditions of Approval: | None |
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FIRE DEPARTMENT COMMENTS

No comment no concerns.

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| Fire Department Recommended Conditions of Approval: | None |
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SCHEDULES TO STAFF REPORT

*See Schedule for list of correspondence

| | |
|---------------------------------|---|
| Schedule A | Drawings & Plans Submitted with the Application |
| Schedule B | Staff & Agency Comments |
| Schedule C (if required) | Correspondence (Received from Public & Applicant) |
| Schedule D (if required) | Previous COA Decisions on the Subject Land |

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “**if required**”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

| # | DEPARTMENT / AGENCY | CONDITION(S) DESCRIPTION |
|---|--|---|
| 1 | Development Planning Joshua.cipolletta@vaughan.ca | That the final Landscape Plan, identifying trees between the cabana and the exterior lot line, be approved to the satisfaction of the Development Planning Department. |
| 2 | Development Engineering Rex.bondad@vaughan.ca | The Owner/applicant shall submit a Lot Grading plan to the Development Inspection and Lot Grading division of the City’s Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval. |

IMPORTANT INFORMATION – PLEASE READ

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

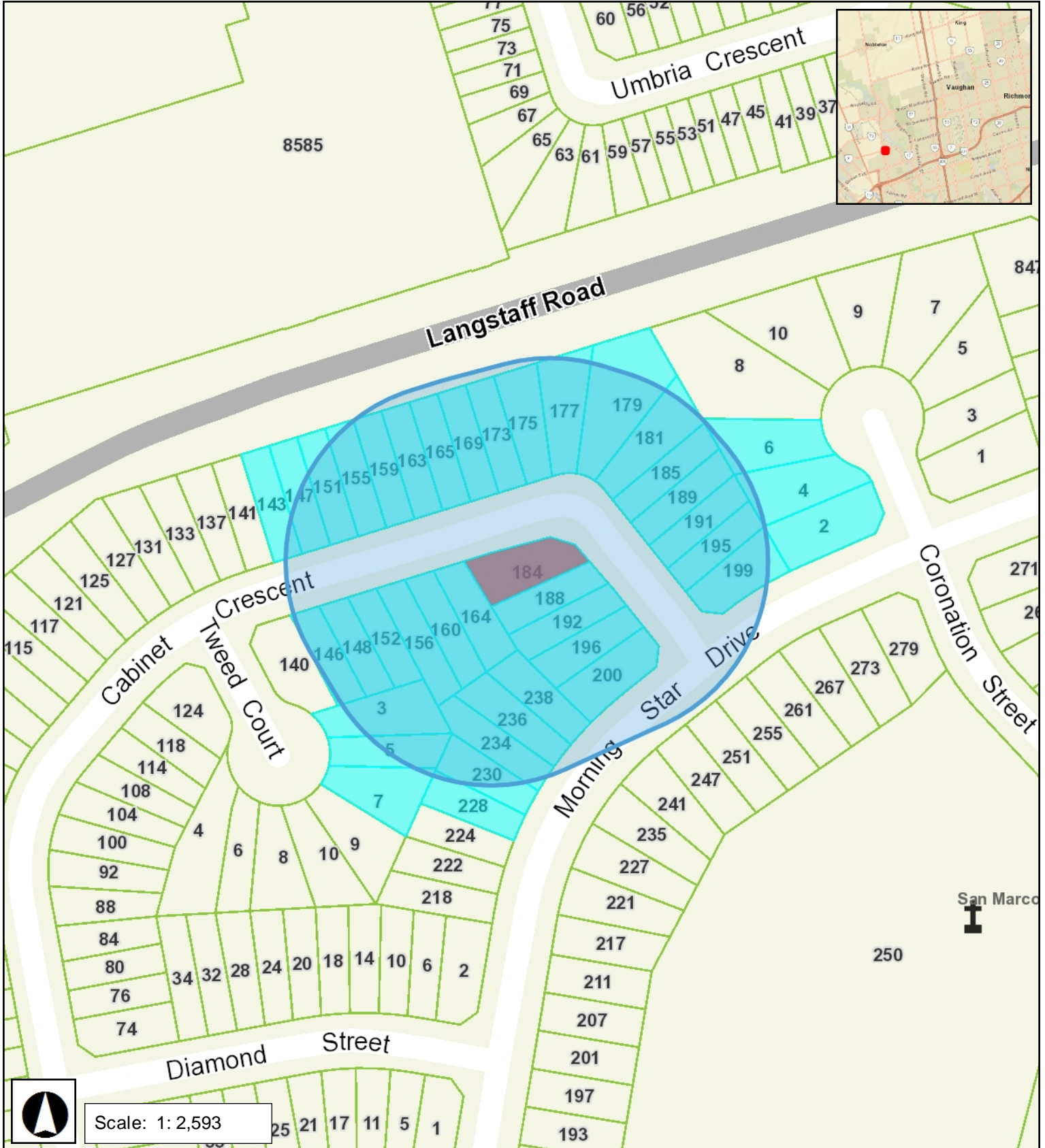
That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City’s Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City’s Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS



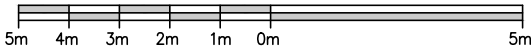
RECEIVED

By Christine Vigneault at 10:12 am, Aug 14, 2023

SITE PLAN & BUILDING STATISTICS

Lot 131
REG. PLAN 65M-2417
CITY of VAUGHAN
MUNICIPALITY of YORK

SCALE 1 : 150



METRIC

DISTANCES SHOWN ON THIS PLAN ARE IN METERS AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

GRADE CONDITION

PLEASE NOTE: ALL EXISTING CONTROL GRADES TO REMAIN UNCHANGED

CURB CUT NOTE

A SEPARATE PERMIT WILL BE OBTAINED FROM THE PUBLIC WORKS DEPARTMENT, PRIOR TO INSTALLATION AND/OR EXTENSION OF THE CURB CUT.

CONSTRUCTION NOTE

THE LOCATION OF ALL UNDERGROUND AND ABOVE GROUND UTILITIES AND STRUCTURES IS NOT NECESSARILY SHOWN ON THE CONTRACT DRAWINGS, AND WHERE SHOWN, THE ACCURACY OF THE LOCATION OF SUCH UTILITIES AND STRUCTURES IS NOT GUARANTEED.

SUMP PUMP NOTE

SUMP PUMP TO DISCHARGE TO CONCRETE SPLASH PAD OR OTHER APPROVED SOLID LANDSCAPE SURFACE.

SITING INFORMATION

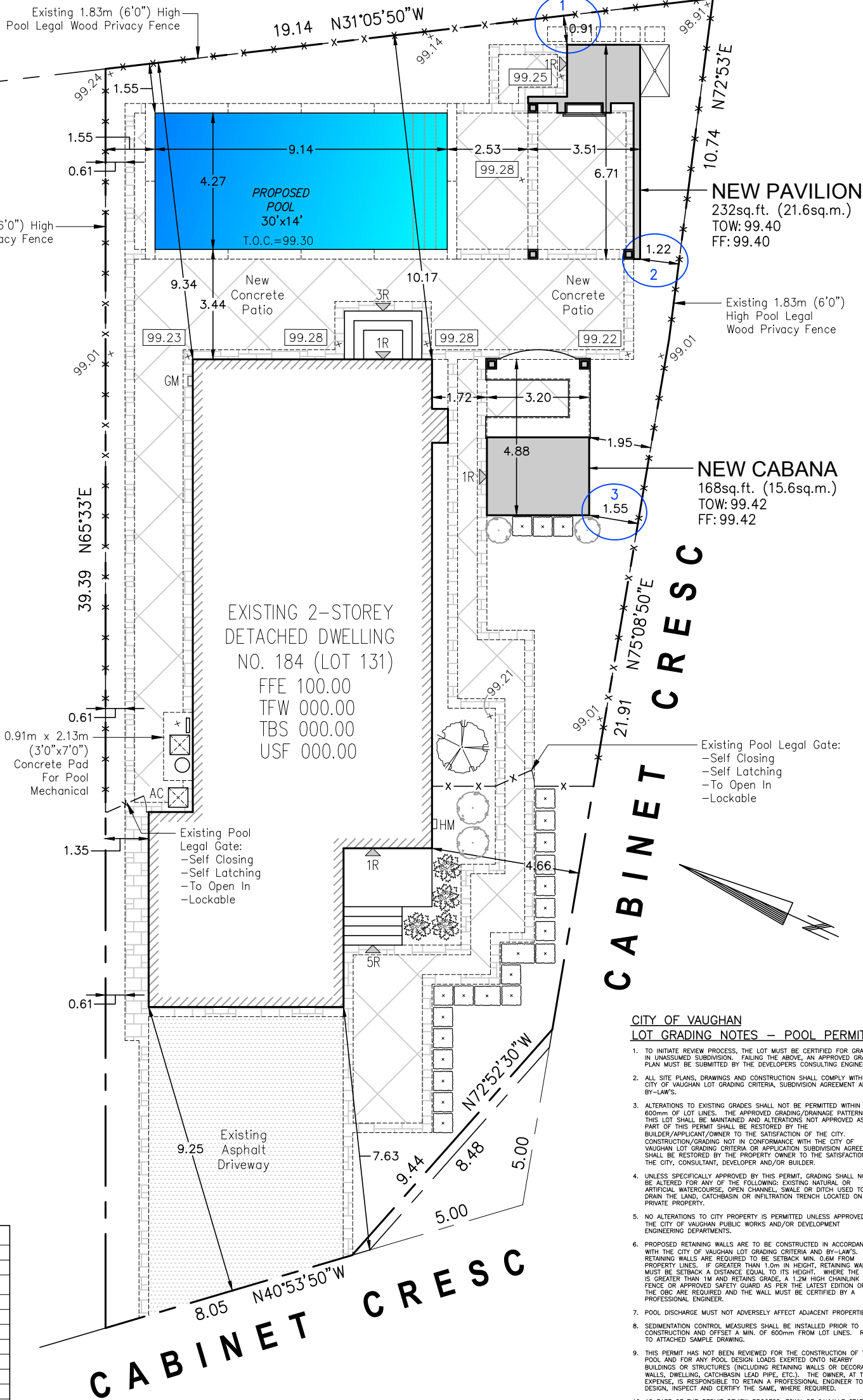
ALL INFORMATION TAKEN FROM FINAL SURVEY PLAN DATED: UNKNOWN, ISSUED BY: UNKNOWN

CITY OF VAUGHAN

RESIDENTIAL LOT GRADING NOTES

- 1. ALL SITE PLANS, DRAWINGS AND CONSTRUCTION SHALL COMPLY WITH THE CITY OF VAUGHAN LOT GRADING CRITERIA, ENGINEERING STANDARDS, AND APPLICABLE PROVINCIAL STANDARDS, THE ONTARIO BUILDING CODE, SUBDIVISION AGREEMENT & BY-LAWS UNLESS OTHERWISE APPROVED.
2. APPROVAL OF THIS SITE PLAN DOES NOT RELEASE THE BUILDER/APPLICANT/OWNER OF THEIR RESPONSIBILITIES TO ENSURE THE PROPOSED DRAINAGE WORKS ARE COMPATIBLE WITH THE OVERALL DRAINAGE WITHIN THE SUBDIVISION. PROPOSED LOT DRAINAGE SHALL NOT ADVERSELY AFFECT ADJACENT PROPERTIES.
3. ALTERATIONS TO EXISTING GRADES SHALL NOT BE PERMITTED WITHIN 600mm OF LOT LINES UNLESS SPECIFICALLY APPROVED AS PART OF THIS PERMIT. THE APPROVED GRADING/DRAINAGE PATTERN FOR THIS LOT/BLOCK SHALL BE MAINTAINED AND ALTERATIONS NOT APPROVED AS PART OF THIS PERMIT SHALL BE RESTORED BY THE BUILDER/APPLICANT/OWNER TO THE SATISFACTION OF THE CITY OF VAUGHAN.
4. SEDIMENTATION/SILTATION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND OFFSET A MIN. OF 600mm FROM LOT LINES. THESE MEASURES SHALL BE MAINTAINED IN ORDER TO PREVENT ADVERSEITIES TO ADJACENT LANDS. REFER TO ATTACHED SAMPLE DRAWING.
5. BUILDER SHALL VERIFY EXISTING AND PROPOSED GRADE ELEVATIONS PRIOR TO CONSTRUCTION. FOOTINGS MUST BEAR ON NATIVE, UNDISTURBED SOIL OR ROCK, AND BE A MIN. OF 1.22m BELOW FINISHED GRADE.
6. PROVIDE ELEVATION FOR: TOP OF FOUNDATION WALL, UNDERSIDE OF FOOTING, TOP OF BASEMENT FLOOR AND FINISHED FLOOR.
7. SHOW REVERSE VENEER WALL WHERE APPLICABLE.
8. SANITARY AND STORM INVERT ELEVATIONS SHALL BE SHOWN AT MAIN LATERAL CONNECTION AND AT PROPERTY LINE. CITY ENGINEERING DEPARTMENT/YORK REGION APPROVAL IS REQUIRED FOR SANITARY, STORM AND WATER BOX LOCATION AND INSTALLATION TO THE LOT LINE PRIOR TO CONSTRUCTION.
9. WATER, STORM AND SANITARY SERVICES THAT ARE TO BE REUSED OR DECOMMISSIONED ARE TO BE IDENTIFIED ON THE DRAWING.
10. DOWNSPOUTS OF RAIN WATER LEADERS SHALL DISCHARGE ONTO SPLASH PADS AND DRAIN TOWARDS THE STREET. SPLASH PADS SHALL OUTLET OVER SLOTTED LAND WHERE POSSIBLE TO ENCOURAGE INFILTRATION OF SURFACE RUNOFF.
11. HIGH POINT ON SPLIT LOT DRAINAGE TO BE A MIN. OF 2.0m BEHIND FRONT DOWNSPOUT LOCATION TO ENSURE DRAINAGE OUTLETS TO STREET.
12. TOP OF FOUNDATION WALLS, EXTERIOR CLADDING, WINDOW AND DOOR SILLS SHALL BE A MIN. OF 150mm ABOVE FINISHED GRADE.
13. THE DESIGNER/CONSULTANT/ENGINEER/ARCHITECT IS RESPONSIBLE TO ENSURE THAT HEIGHT THICKNESS, LATERAL BRACING, ETC. OFF ALL FOUNDATION WALLS CONFORM TO OBC. OBC SUBSECTION 9.15.4 SHALL APPLY.
14. ALL FRONT AND REAR YARDS SHALL BE GRADED AT A 2%-5% GRADIENT WITHIN 5.0m OF THE BUILDING.
15. DRAINAGE SWALES SHALL BE GRADED WITH A 2%-5% GRADIENT. DESIRABLE SWALE DEPTH IS 250mm. MIN. SWALE DEPTH IS 150mm. MAX. SWALE DEPTH IS VARIABLE AND DEPENDS ON LOCATION AND SAFETY CONSIDERATIONS, BUT MUST NOT EXCEED 450mm.
16. CENTERLINE OF SWALES SHALL BE LOCATED 600mm FROM LOT LINES UNLESS OTHERWISE APPROVED.
17. CENTERLINE OF SWALES MUST NOT BE LOCATED LESS THAN 600mm FROM ANY FOUNDATION WALL.
18. ARTIFICIAL EMBANKMENTS AND/OR RETAINING WALLS SHALL NOT BE PERMITTED UNLESS APPROVED AS PART OF THIS PERMIT. THE MAX. EMBANKMENT SLOPE SHALL BE 3:1 (HORIZONTAL TO VERTICAL) WITH A MAX. GRADE DIFFERENTIAL OF 600mm.
19. PROPOSED RETAINING WALLS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF VAUGHAN LOT GRADING CRITERIA AND BY-LAWS. RETAINING WALLS EXCEEDING 1.0m IN HEIGHT SHALL BE DESIGNED, INSPECTED AND CERTIFIED BY A PROFESSIONAL ENGINEER AND SHALL BE SERVED BY GUARDS OR OTHERWISE TREATED TO REDUCE ANY PUBLIC HAZARD. ALL RETAINING WALLS SHALL BE CONSTRUCTED OF STONE, PRECAST BLOCKS OR CONCRETE. A RETAINING WALL THAT EXCEEDS 1.0m IN HEIGHT MUST BE SETBACK FROM THE NEAREST PROPERTY LINE OR DISTANCE OR DISTANCE EQUAL TO ITS HEIGHT.
20. DRIVEWAY GRADES SHALL BE 1.5%-8% AND COMPATIBLE WITH APPROVED SIDEWALK GRADES. BOULEVARD GRADES SHALL BE 2%-5%.
21. DRIVEWAYS SHALL BE A MIN. 1.0m FROM ANY TREE, CATCH BASIN OR ABOVE GROUND UTILITY OR OTHER OBSTRUCTION.
22. WATER SERVICE STOPS ARE TO BE LOCATED IN THE GRASS PORTION OF THE FRONT YARD, AS PER CITY OF VAUGHAN STANDARDS I-1.
23. DRIVEWAYS, CURB CUTS AND DRIVEWAY CULVERTS SHALL BE LOCATED, APPROVED AND CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY ENGINEERING DEPARTMENT, YORK REGION AND BY-LAWS. A SEPARATE PERMIT IS REQUIRED FROM THE TOWN'S ENGINEERING/PUBLIC WORKS DEPARTMENT FOR CURB CUTS AND/OR PROPOSED CULVERTS.
24. FOOTINGS CONSTRUCTED NEXT TO CATCH BASIN LEAD PIPE OR OTHER MUNICIPAL SERVICE SHALL BE INSPECTED BELOW LEAD PIPE EXCAVATION. FOOTINGS MUST BE CONSTRUCTED ON UNDISTURBED SOIL OR SOIL CONSULTANTS VERIFICATION REQUIRED.
25. IF THE PROPOSED CONSTRUCTION IS IN THE AREA OF FILL A PROFESSIONAL ENGINEER IS TO INSPECT THE EXCAVATION AND CERTIFY THE STABILITY AND BEARING CAPACITY OF THE SOIL PRIOR TO CONSTRUCTION.
26. PRIOR TO LETTER OF CREDIT RELEASE THE OWNER SHALL SUBMIT AN AS-BUILT SURVEY ILLUSTRATING BOTH PROPOSED AND AS CONSTRUCTED GRADE ELEVATIONS. A STORM WATER MANAGEMENT REPORT AUTHORED BY PROFESSIONAL ENGINEER AND/OR LOT GRADING CERTIFICATION BY A PROFESSIONAL ENGINEER OR ONTARIO LAND SURVEYOR SHALL BE SUBMITTED TO THE CITY UPON THEIR REQUEST.
27. POST CONSTRUCTION FLOWS, FROM A 5 YEAR STORM FREQUENCY, SHALL NOT EXCEED THE FLOWS FOR THE PRECONSTRUCTION CONDITIONS, FOR THE SAME STORM, UNLESS IT IS DEMONSTRATED TO THE SATISFACTION OF THE CITY THAT CONTROLLED FLOWS WILL NOT ADVERSELY AFFECT THE EXISTING DRAINAGE PATTERNS (THESE FLOWS SHALL BE COMPUTED USING THE RATIONAL METHOD ONLY).
28. THE BUILDING SHALL BE LOCATED OR THE BUILDING SITE GRADED SO THAT THE WATER WILL NOT ACCUMULATE AT OR NEAR THE BUILDING AND WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES. OBC 9.14.6.1.(1)
29. TRCA APPROVAL REQUIRED WHERE GRADE CHANGES WILL OCCUR THAT ADJUT REGULATED AREAS; EXISTING NATURAL OR ARTIFICIAL WATERCOURSE, OPEN CHANNEL, SWALE OR DITCH USED TO DRAIN LAND.

Table with 3 columns: ZONING SUMMARY, REQUIRED, and PROPOSED OR EXISTING. Rows include Lot Frontage, Lot Area, Pavillion Rear Yard Setback, etc.



LANDSCAPE AREA SUMMARY table with columns for area type and total area. Includes rows for Lot Area, Pervious Grass Area, Impervious Area, etc.

CITY OF VAUGHAN LOT GRADING NOTES - POOL PERMIT

- 1. TO INITIATE REVIEW PROCESS, THE LOT MUST BE CERTIFIED FOR GRADING IN UNASSUMED SUBDIVISION. FAILING THE ABOVE, AN APPROVED GRADING PLAN MUST BE SUBMITTED BY THE DEVELOPERS CONSULTING ENGINEER.
2. ALL SITE PLANS, DRAWINGS AND CONSTRUCTION SHALL COMPLY WITH THE CITY OF VAUGHAN LOT GRADING CRITERIA, SUBDIVISION AGREEMENT AND BY-LAWS.
3. ALTERATIONS TO EXISTING GRADES SHALL NOT BE PERMITTED WITHIN 600mm OF LOT LINES. THE APPROVED GRADING/DRAINAGE PATTERN FOR THIS LOT SHALL BE MAINTAINED AND ALTERATIONS NOT APPROVED AS PART OF THIS PERMIT SHALL BE RESTORED BY THE BUILDER/APPLICANT/OWNER TO THE SATISFACTION OF THE CITY. CONSTRUCTION/GRADING NOT IN CONFORMANCE WITH THE CITY OF VAUGHAN LOT GRADING CRITERIA OR APPLICATION SUBDIVISION AGREEMENT SHALL BE RESTORED BY THE PROPERTY OWNER TO THE SATISFACTION OF THE CITY, CONSULTANT, DEVELOPER AND/OR BUILDER.
4. UNLESS SPECIFICALLY APPROVED BY THIS PERMIT, GRADING SHALL NOT BE ALTERED FOR ANY OF THE FOLLOWING: EXISTING NATURAL OR ARTIFICIAL WATERCOURSE, OPEN CHANNEL, SWALE OR DITCH USED TO DRAIN THE LAND, CATCHBASIN OR INFILTRATION TRENCH LOCATED ON THE PRIVATE PROPERTY.
5. NO ALTERATIONS TO CITY PROPERTY IS PERMITTED UNLESS APPROVED BY THE CITY OF VAUGHAN PUBLIC WORKS AND/OR DEVELOPMENT ENGINEERING DEPARTMENTS.
6. PROPOSED RETAINING WALLS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF VAUGHAN LOT GRADING CRITERIA AND BY-LAWS. RETAINING WALLS ARE REQUIRED TO BE SETBACK MIN. 0.6M FROM PROPERTY LINES. IF GREATER THAN 1.0M IN HEIGHT, RETAINING WALLS MUST BE SETBACK A DISTANCE EQUAL TO ITS HEIGHT. WHERE THE WALL IS GREATER THAN 1M AND RETAINS GRADE, A 1.2M HIGH CHAINLINK FENCE OR APPROVED SAFETY GUARD AS PER THE LATEST EDITION OF THE OBC ARE REQUIRED AND THE WALL MUST BE CERTIFIED BY A PROFESSIONAL ENGINEER.
7. POOL DISCHARGE MUST NOT ADVERSELY AFFECT ADJACENT PROPERTIES.
8. SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND OFFSET A MIN. OF 600mm FROM LOT LINES. REFER TO ATTACHED SAMPLE DRAWING.
9. THIS PERMIT HAS NOT BEEN REVIEWED FOR THE CONSTRUCTION OF THE POOL AND FOR ANY POOL DESIGN LOADS EXERTED ONTO NEARBY BUILDINGS OR STRUCTURES (INCLUDING RETAINING WALLS OR DECORATIVE WALLS, DWELLING, CATCHBASIN LEAD PIPE, ETC.). THE OWNER, AT THEIR EXPENSE, IS RESPONSIBLE TO RETAIN A PROFESSIONAL ENGINEER TO DESIGN, INSPECT AND CERTIFY THE SAME, WHERE REQUIRED.
10. AS PART OF THE PERMIT REVIEW PROCESS, TOWN OF OKVILLE STAFF WILL REQUIRE ACCESS TO THE PROPERTY TO TAKE PHOTOS ALONG SIDE AND REAR LOT LINES OF THE PROPERTY BEFORE AND AFTER CONSTRUCTION IN ORDER TO CONFIRM THAT GRADES HAVE REMAINED UNALTERED.
11. FAILING TO THE TERMS AND CONDITIONS OF THE APPROVED PERMIT MAY RESULT IN HOLD BACK OF LETTER OF CREDIT FUNDS.

Project information: NEW RESIDENTIAL PAVILION & CABANA, 184 CABINET CRES., WOODBRIDGE, ONTARIO, CITY OF VAUGHAN. Includes title, scale, date, and owner details.

GREAT ROOM INC. logo and contact information. Includes website, phone number, and address.

REVISIONS table with columns for date, description, and issued for client review. Includes legend for symbols used in the drawing.

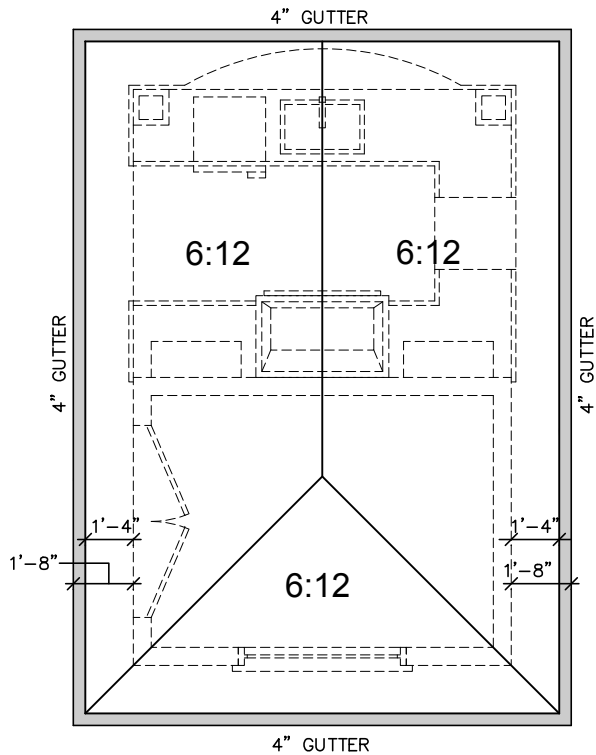
LEGEND table listing symbols for various elements like man hole, invert, culvert, downspout, etc., and their corresponding abbreviations.

Additional project details and notes, including a signature block for MR. ANTHONY PERRI and a date stamp.

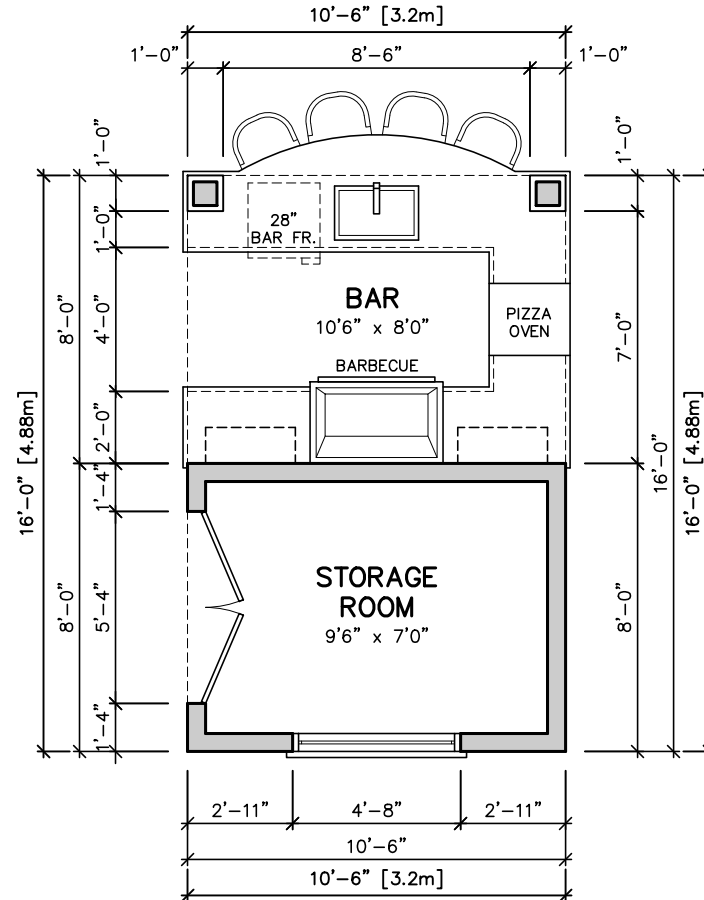
184 Cabinet Cresc.

Cabana Concept

STORAGE ROOM = 84 sq.ft.
 OPEN COVERED AREA = 84 sq.ft.
 COVERAGE = 168 sq.ft. (15.6 sq.m.)



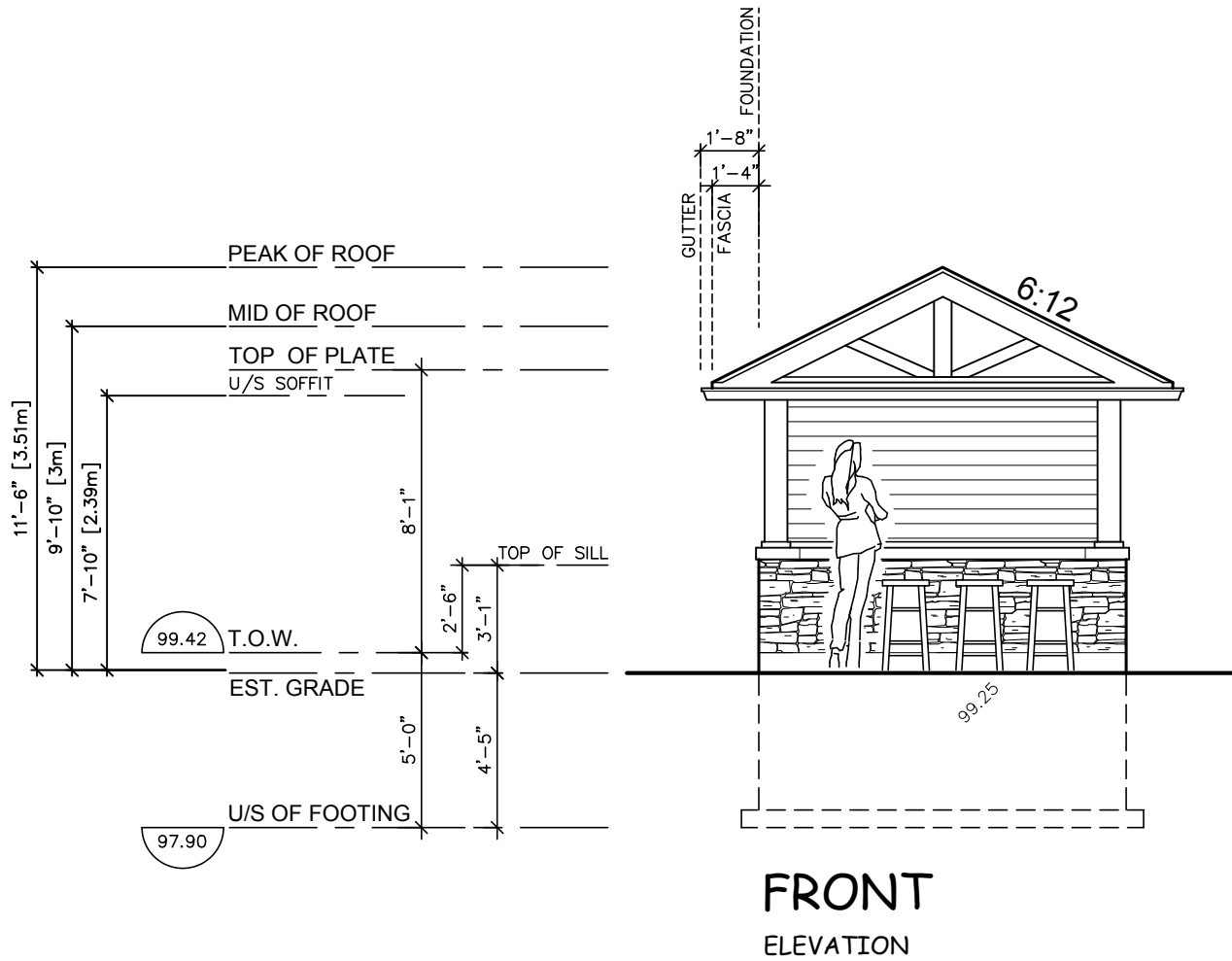
ROOF
PLAN



GROUND
FLOOR PLAN

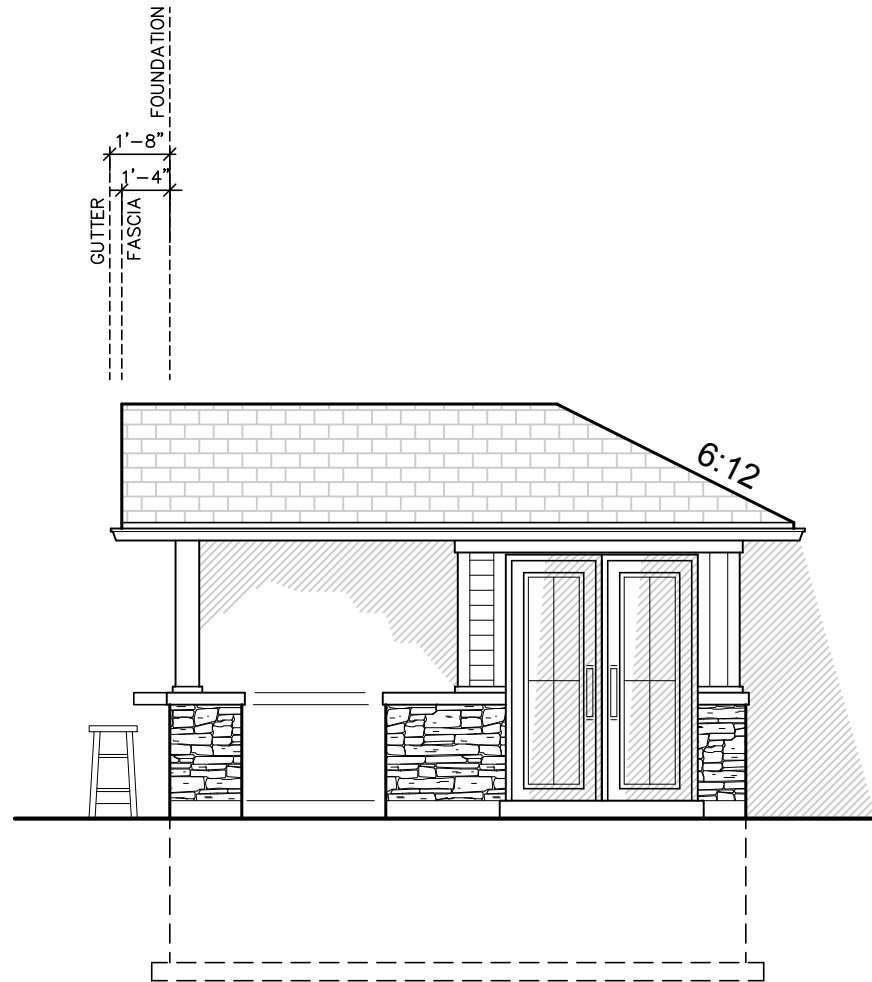
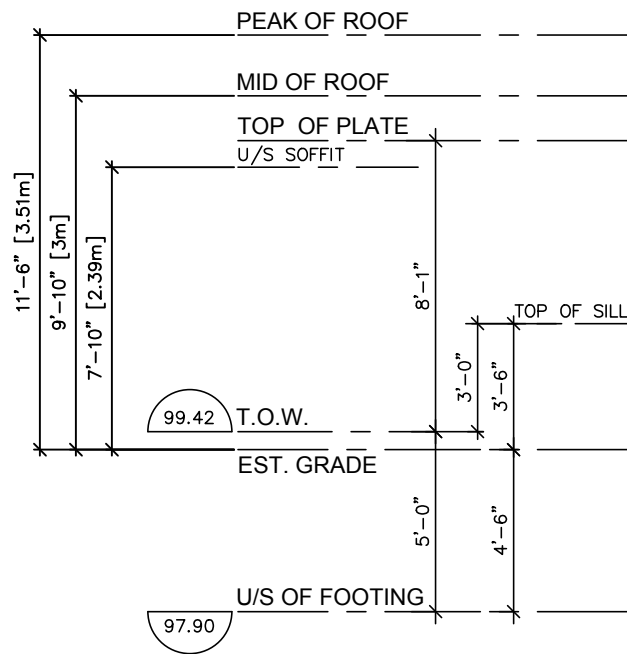
184 Cabinet Cresc.

Cabana Concept



184 Cabinet Cresc.

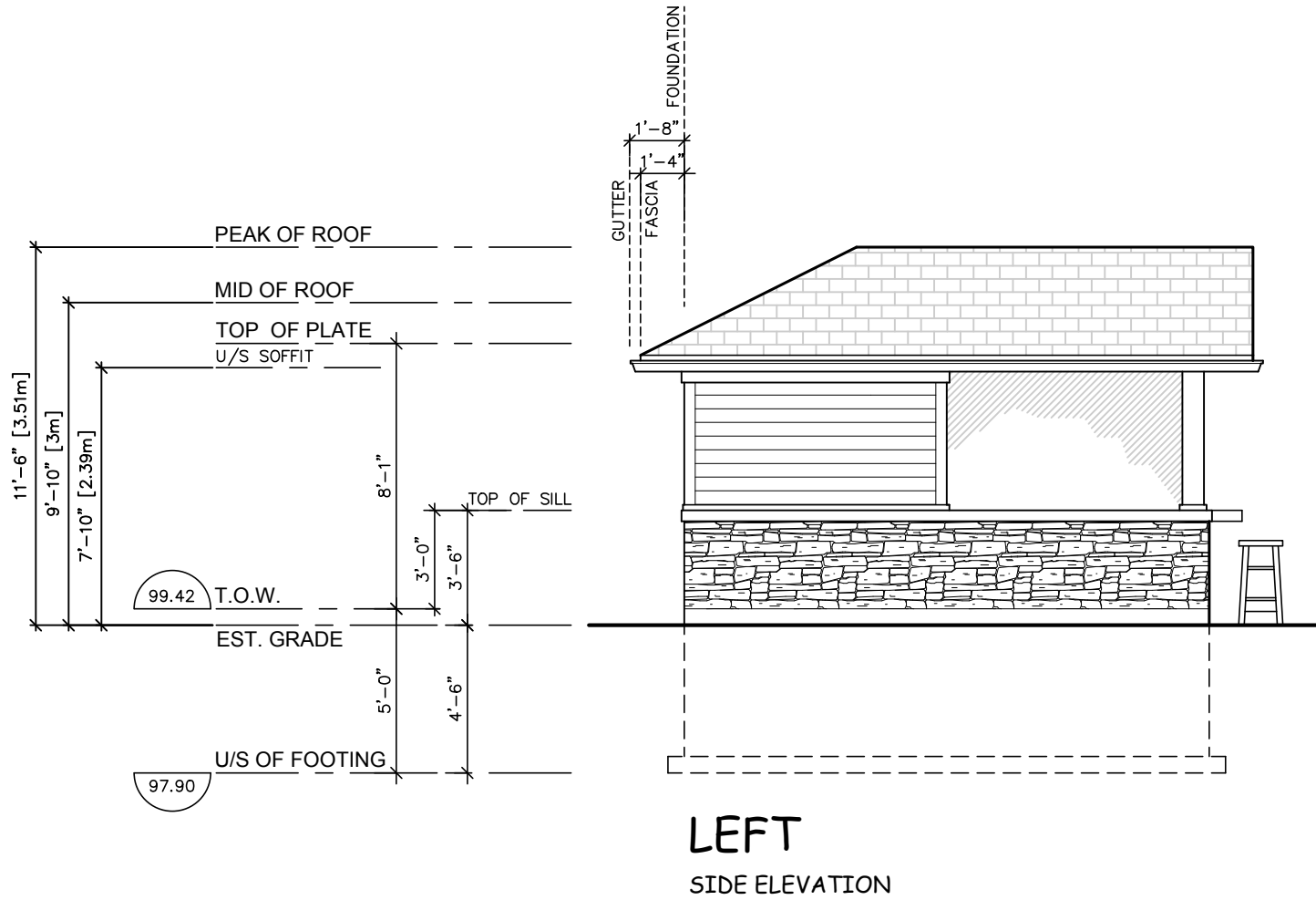
Cabana Concept



RIGHT
SIDE ELEVATION

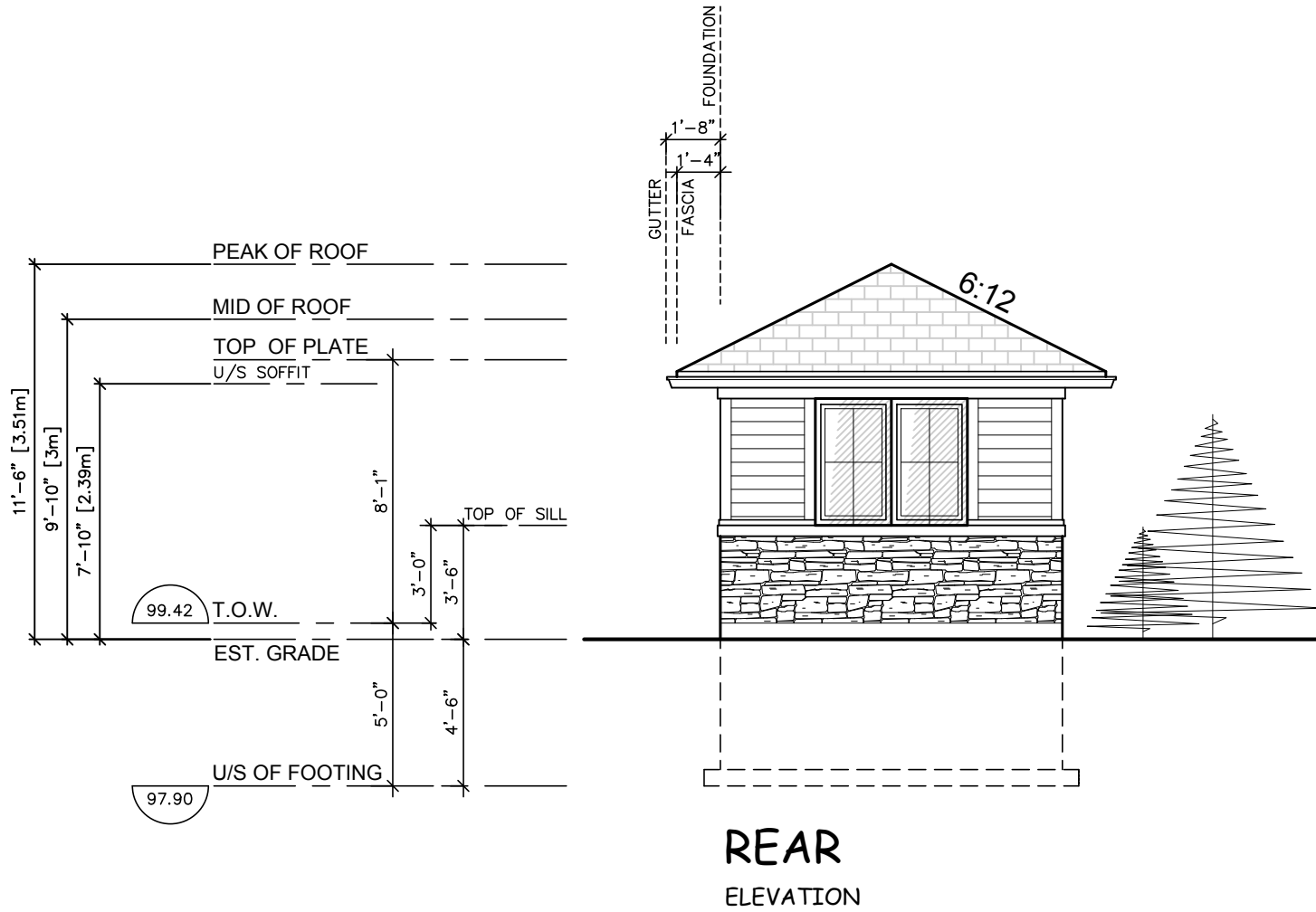
184 Cabinet Cresc.

Cabana Concept



184 Cabinet Cresc.

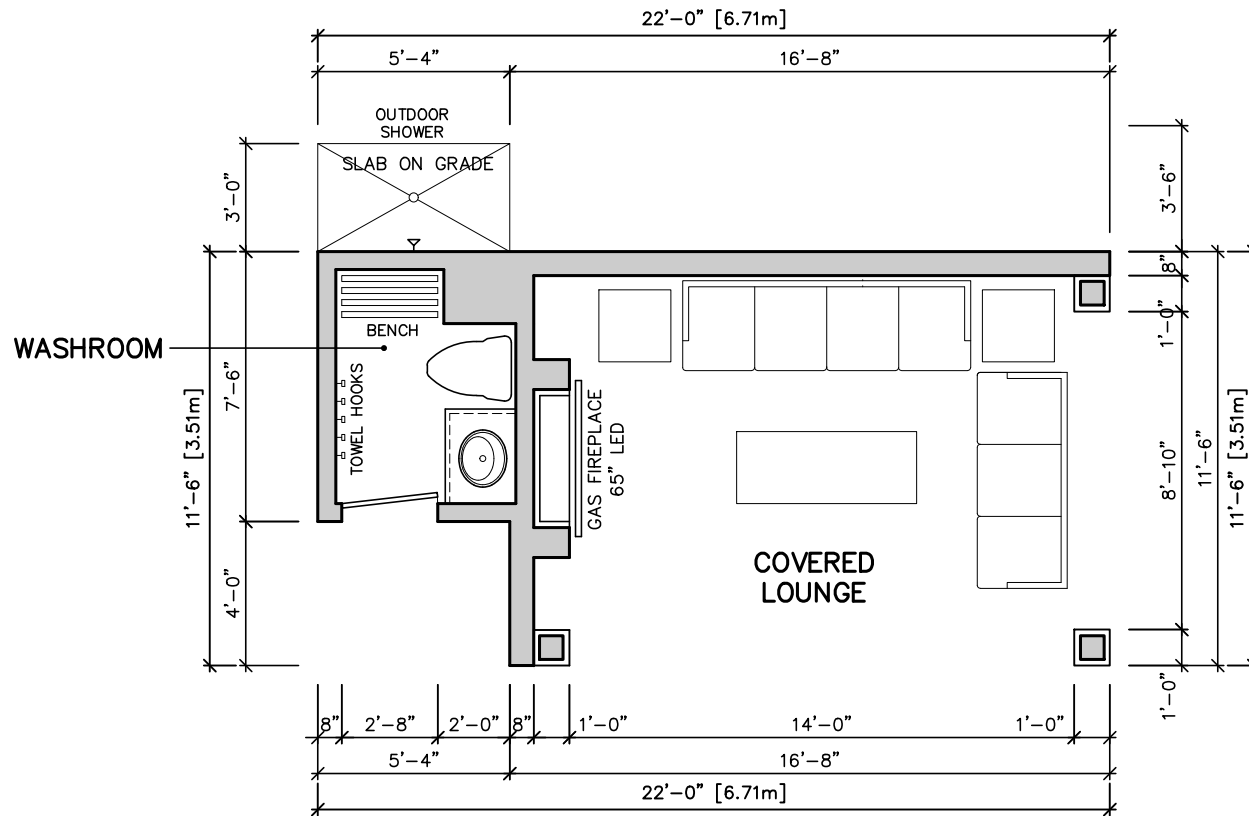
Cabana Concept



184 Cabinet Cresc.

Pavilion Concept

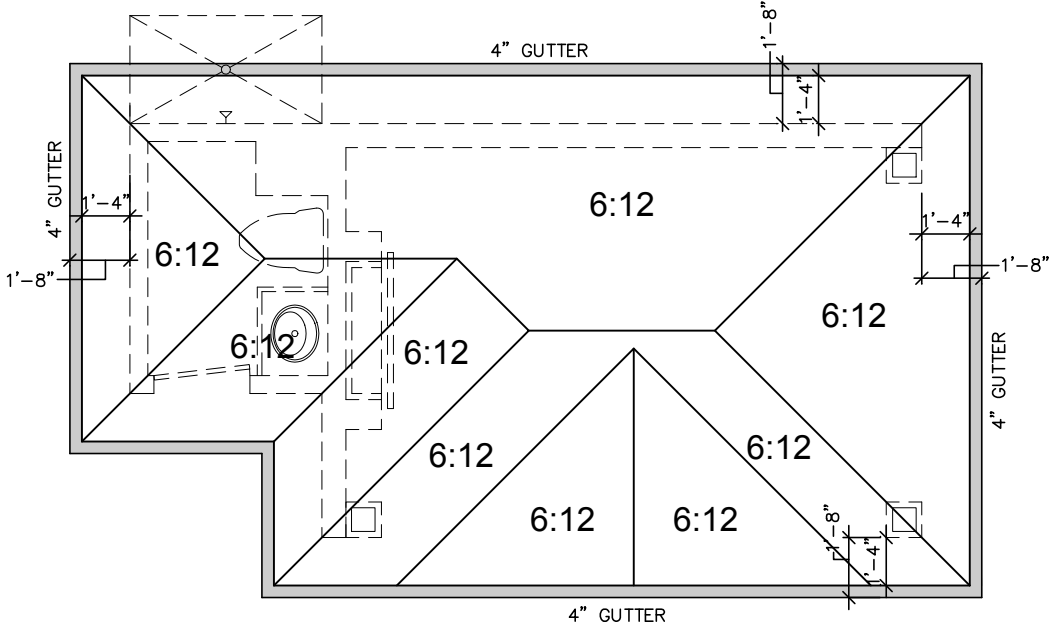
ENCLOSED BUILDING AREA = 48 sq.ft.
OPEN COVERED AREA = 184 sq.ft.
COVERAGE = 232 sq.ft. (21.6 sq.m.)



GROUND
FLOOR PLAN

184 Cabinet Cresc.

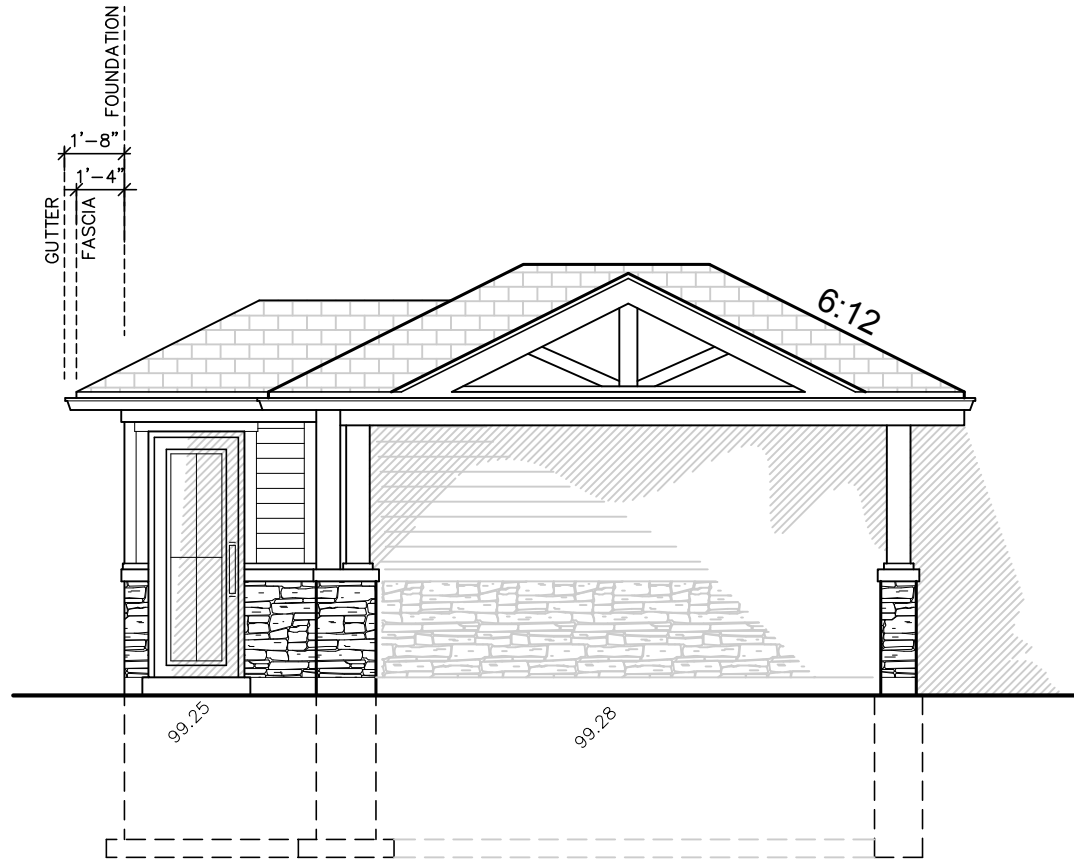
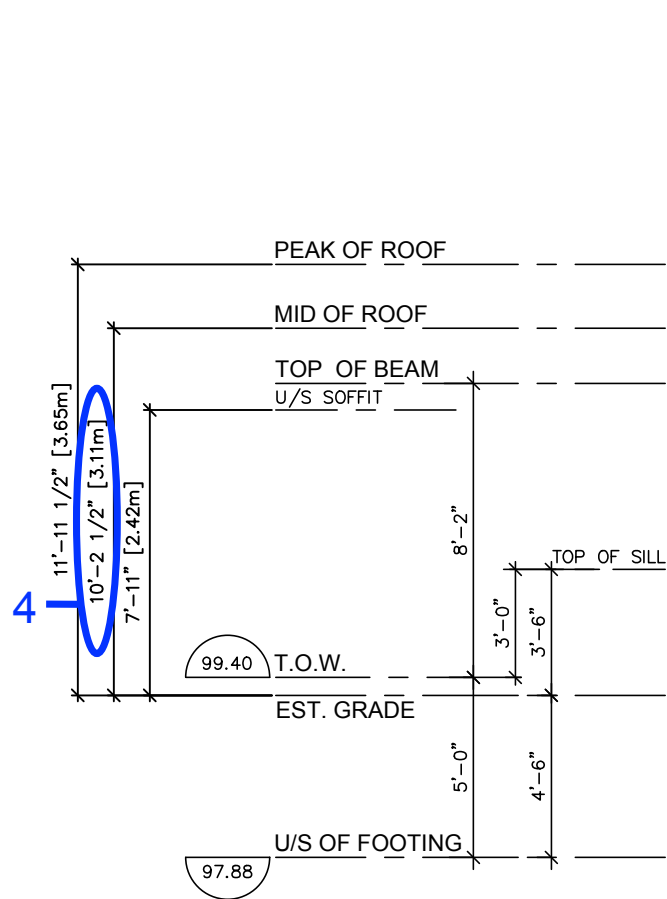
Pavilion Concept



ROOF
PLAN

184 Cabinet Cresc.

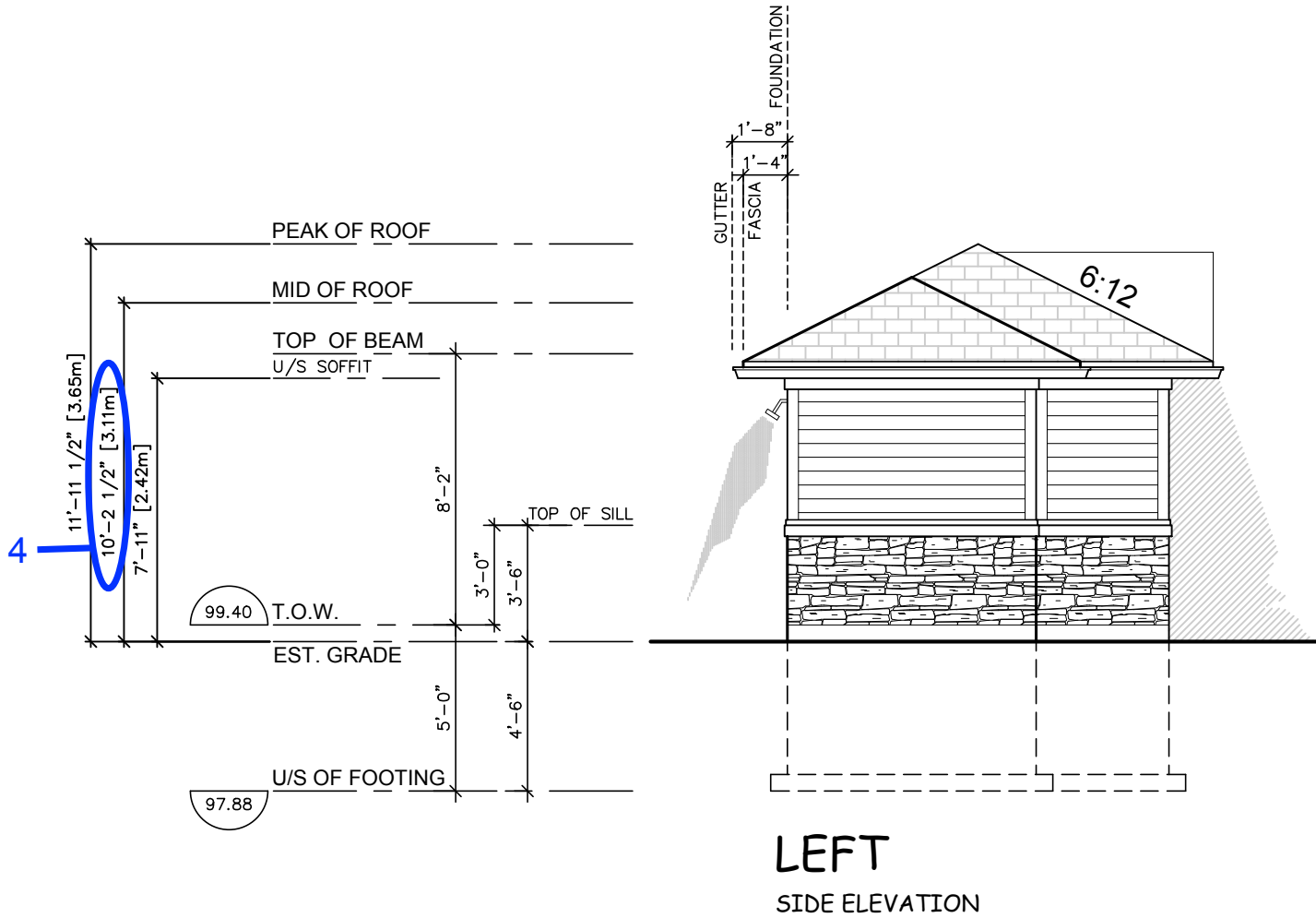
Pavilion Concept



FRONT
ELEVATION

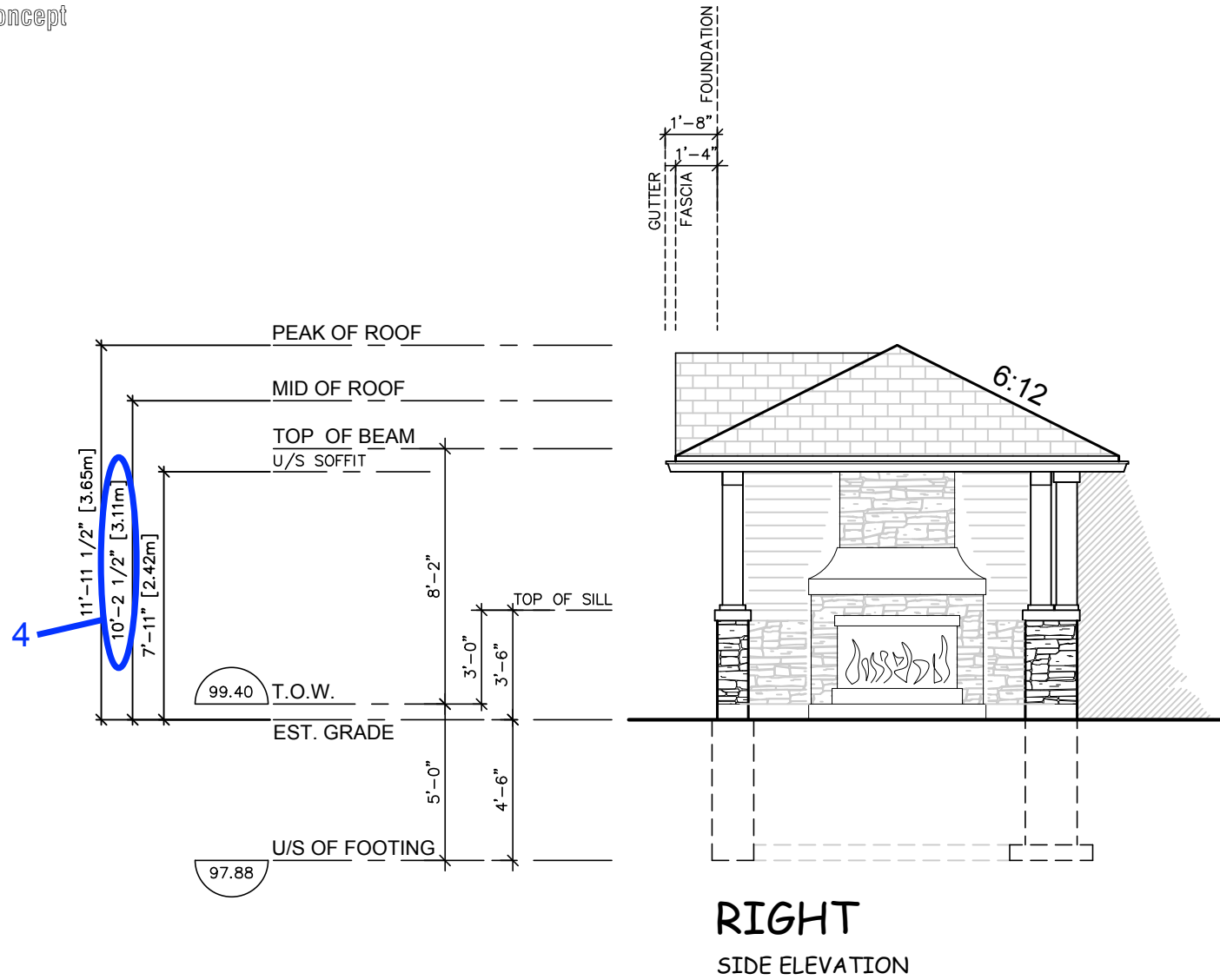
184 Cabinet Cresc.

Pavilion Concept



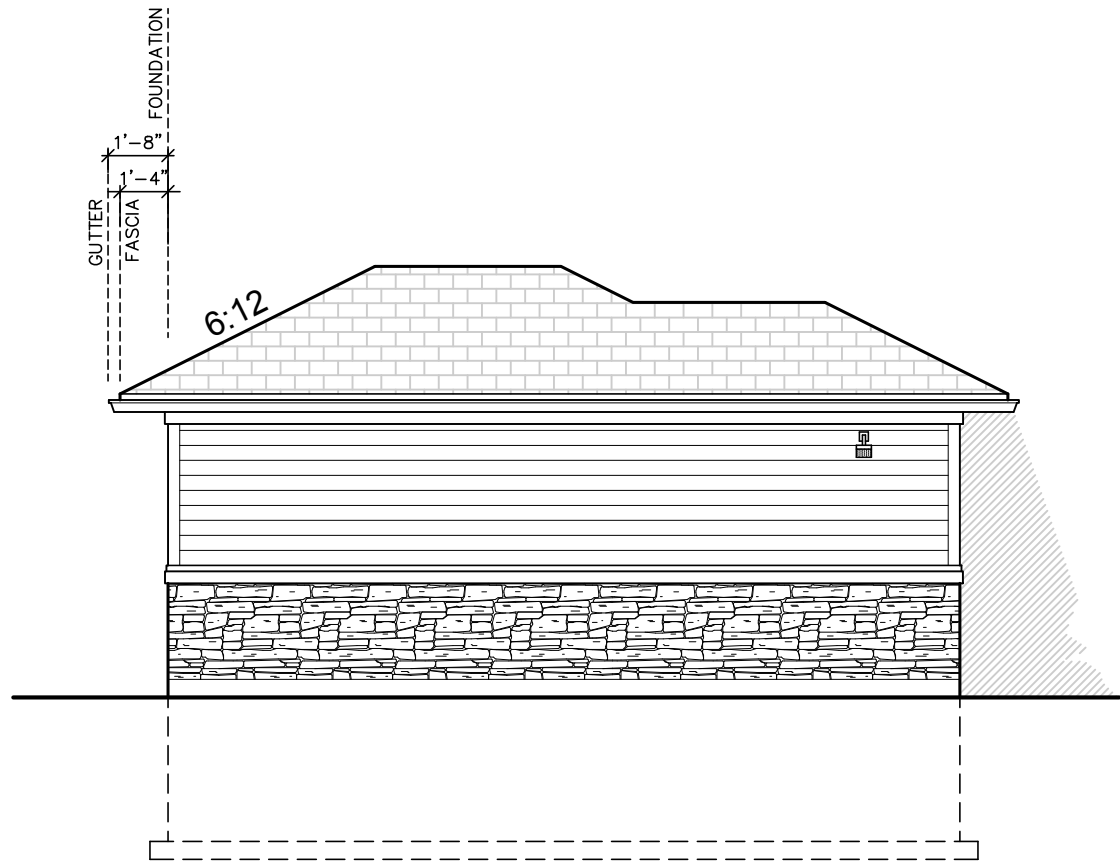
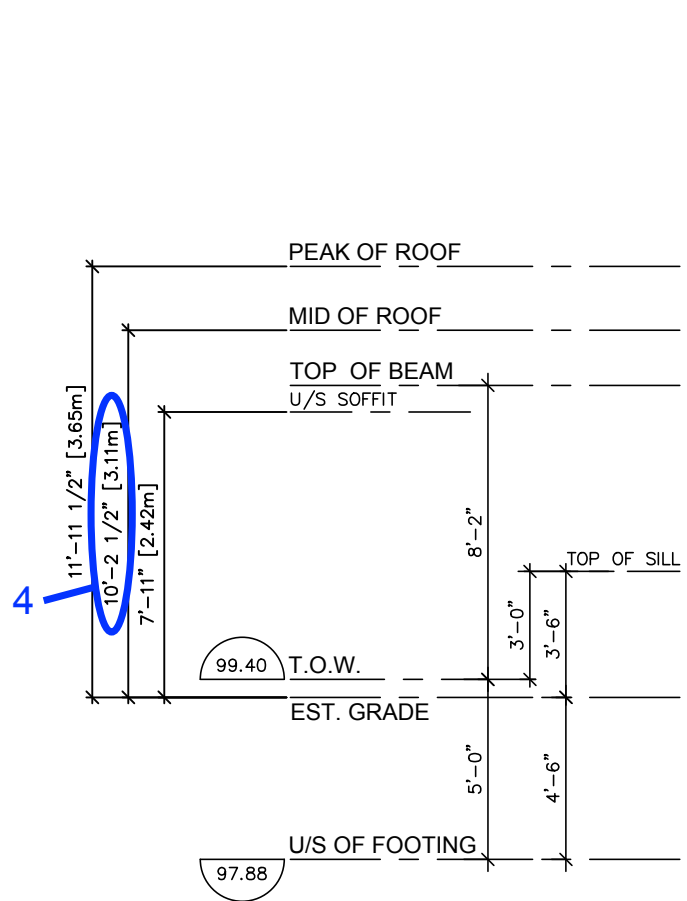
184 Cabinet Cresc.

Pavilion Concept



184 Cabinet Cresc.

Pavilion Concept



REAR
ELEVATION

SCHEDULE B: STAFF & AGENCY COMMENTS

| DEPT/AGENCY | Circulated | Comments Received | Conditions | Nature of Comments |
|--|-------------------------------------|-------------------------------------|-------------------------------------|------------------------------------|
| TRCA *Schedule B | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | General Comments |
| Ministry of Transportation (MTO) *Schedule B | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Region of York *Schedule B | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | General Comments |
| Alectra *Schedule B | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | General Comments |
| Bell Canada *Schedule B | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | No Comments Received to Date |
| YRDSB *Schedule B | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| YCDSB *Schedule B | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| CN Rail *Schedule B | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| CP Rail *Schedule B | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| TransCanada Pipeline *Schedule B | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | No Comments Received to Date |
| Metrolinx *Schedule B | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Propane Operator *Schedule B | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Development Planning | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | Recommend Approval/with conditions |
| Building Standards (Zoning) | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | General Comments |

Date: June 16th 2023

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A080-23**

Related Files:

Applicant Great Room Inc.

Location 184 Cabinet Crescent



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

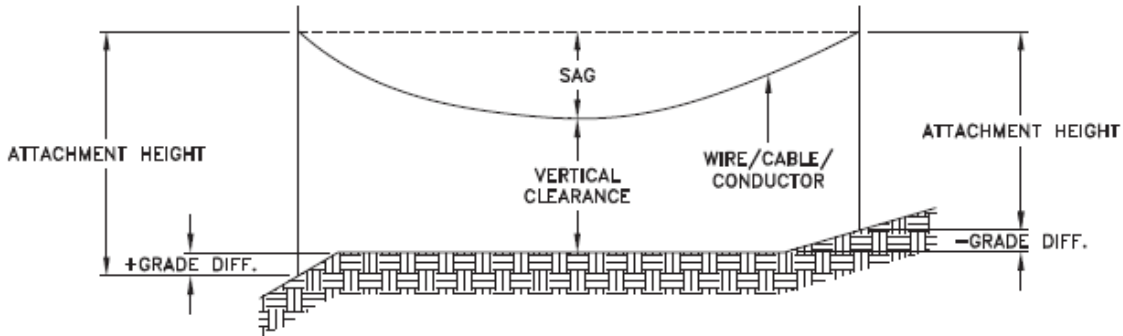
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

| LOCATION OF WIRES, CABLES OR CONDUCTORS | SYSTEM VOLTAGE | | | |
|---|------------------------------------|------------------------|--------------------------------------|-------|
| | SPAN GUYS AND COMMUNICATIONS WIRES | UP TO 600V AND NEUTRAL | 4.16/2.4kV TO 27.6/16kV (SEE NOTE 1) | 44kV |
| MINIMUM VERTICAL CLEARANCES (SEE NOTE 2) | | | | |
| OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u> | 442cm | 442cm | 480cm | 520cm |
| OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u> | 250cm | 310cm | 340cm | 370cm |
| ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u> | 730cm | 730cm | 760cm | 810cm |



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

| METRIC | IMPERIAL (APPROX) |
|--------|-------------------|
| 810cm | 27'-0" |
| 760cm | 25'-4" |
| 730cm | 24'-4" |
| 520cm | 17'-4" |
| 480cm | 16'-0" |
| 442cm | 15'-5" |
| 370cm | 12'-4" |
| 340cm | 11'-4" |
| 310cm | 10'-4" |
| 250cm | 8'-4" |

REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

| Certificate of Approval | |
|---|-------------|
| This construction Standard meets the safety requirements of Section 4 of Regulation 22/04 | |
| Joe Crozier, P.Eng. | 2012-JAN-09 |
| Name | Date |
| P.Eng. Approval By: | Joe Crozier |



| VOLTAGE | MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4) | MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5) |
|--------------------|--|--|
| 0-600V AND NEUTRAL | 100cm | 250cm |
| 4.16/2.4 TO 44kV | 300cm | 480cm |

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

| METRIC | IMPERIAL (APPROX) |
|--------|-------------------|
| 480cm | 16'-0" |
| 300cm | 10'-0" |
| 250cm | 8'-4" |
| 100cm | 3'-4" |

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

To: Committee of Adjustment
From: Lindsay Haviland, Building Standards Department
Date: August 11, 2023
Applicant: Great Room Inc.
Location: 184 Cabinet Crescent
 PLAN 65M2417 Lot 131
File No.(s): A080/23

Zoning Classification:

The subject lands are zoned R4(EN) – Fourth Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.249 under Zoning By-law 001-2021, as amended.

| # | Zoning By-law 01-2021 | Variance requested |
|---|---|---|
| 1 | A residential accessory structure with a height greater than 2.8 metres shall not be located closer than 2.4 metres to any lot line [Section 4.1.2.1 b]. | To permit a residential accessory structure (pavilion) with a height greater than 2.8 metres to be located 0.91 metres to the rear lot line. |
| 2 | An accessory building or residential accessory structure shall not be located closer the exterior side lot line than the principal building on the lot [Section 4.1.2.1 c]. | To permit residential accessory structure (cabana) to be located closer to the exterior side lot line than the principal building on the lot in the locations as shown on the sketch. |
| 3 | An accessory building or residential accessory structure shall not be located closer the exterior side lot line than the principal building on the lot [Section 4.1.2.1 c]. | To permit residential accessory structure (pavilion) to be located closer to the exterior side lot line than the principal building on the lot in the locations as shown on the sketch. |
| 4 | In any residential zone, the maximum height of an accessory building and residential accessory structure shall be 3.0 metres [Section 4.1.4.1]. | To permit a maximum height of 3.11 metres for a residential accessory structure (pavilion). |

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m²

Other Comments:

| General Comments | |
|------------------|--|
| 1 | The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval. |
| 2 | Height shall be measured in accordance with the definitions in Section 3.0 DEFINITIONS of By-law 001-2021, as amended. Established Grade shall be the approved grading at the time of the original building permit for the principal dwelling. |

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development Planning
Date: September 13, 2023
Name of Owners: Anita, Luigi, and Anthony Perri
Location: 184 Cabinet Crescent
File No.(s): A080/23

Proposed Variance(s) (By-law 001-2021):

1. To permit a residential accessory structure (pavilion) with a height greater than 2.8 m to be located 0.91 m to the rear lot line.
2. To permit a residential accessory structure (pavilion) to be located closer to the exterior side lot line than the principal building on the lot in the locations as shown on the sketch.
3. To permit a residential accessory structure (cabana) to be located closer to the exterior side lot line than the principal building on the lot in the locations as shown on the sketch.
4. To permit a maximum height of 3.11 m for a residential accessory structure (pavilion).

By-Law Requirement(s) (By-law 001-2021):

1. A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line.
2. An accessory building or residential accessory structure shall not be located closer the exterior side lot line than the principal building on the lot.
3. An accessory building or residential accessory structure shall not be located closer the exterior side lot line than the principal building on the lot.
4. In any residential zone, the maximum height of an accessory building and residential accessory structure shall be 3.0 m.

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Comments:

The Owners are requesting relief to permit the construction of a pavilion and a cabana, with the above-noted variances.

Upon recommendations from the Development Planning Department, the Owners have revised their application to reduce the height of the proposed pavilion. The Development Planning Department has no objection to Variances 1, 2 and 4 for the pavilion. The pavilion is located within the northwest corner of the rear yard. The rear yard is separated from the road by a wood privacy fence, effectively defining the street-facing and private amenity areas. As the pavilion is buffered by the fence and is relatively modest in scale, it is appropriate to have it closer to the street than the dwelling. The reduction to the rear yard setback will also maintain an appropriate area for maintenance access. The proposed 0.11 m increase in height for the pavilion is minor in nature and not anticipated to be perceptible. As such, the pavilion is not anticipated to pose adverse use or massing impacts to the neighbouring properties or the established streetscape.

The Owners have also revised their application to reduce the height and size of the proposed cabana. The Development Planning Department has no objection to Variance 3 for the cabana as proposed. The cabana complies with the height requirements of the Zoning By-law. Hedge plantings are proposed along the south side of the cabana to provide a vegetative buffer to mitigate the massing impacts and screen the amenity activity from the streetscape. As such, the modest size and height of the cabana in conjunction with the proposed plantings, is not anticipated to pose adverse use or massing impacts to the established streetscape.

Accordingly, the Development Planning Department can support the requested variances and is of the opinion that the proposal is minor in nature, maintains the

general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application, subject to the following condition:

Condition of Approval:

If the Committee finds merit in the application, the following condition of approval is recommended:

1. That the final Landscape Plan, identifying trees between the cabana and the exterior lot line, be approved to the satisfaction of the Development Planning Department.

Comments Prepared by:

Joshua Cipolletta, Planner
David Harding, Senior Planner

From: [Kristen Regier](#)
To: [Committee of Adjustment](#)
Cc: [Christine Vigneault](#); [Lenore Providence](#)
Subject: [External] A080/23 - 184 Cabinet Crescent
Date: Monday, June 19, 2023 4:50:19 PM
Attachments: [image001.png](#)

Hello,

The subject property is not located within TRCA's Regulated Area. TRCA's Planning and Regulatory policy interests are not impacted.

As such, TRCA has no comments on the application.

Best,

Kristen Regier, MA (she / her)

Planner I

Development Planning and Permits | Development and Engineering Services
Toronto and Region Conservation Authority (TRCA)

T: [437-880-2129](tel:437-880-2129)

E: kristen.regier@trca.ca

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](#) | trca.ca



From: [Development Services](#)
To: [Christine Vigneault](#)
Cc: [Committee of Adjustment](#)
Subject: [External] RE: A080/23 (184 Cabinet Crescent) - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Tuesday, June 20, 2023 12:43:39 PM
Attachments: [image001.png](#)
[image003.png](#)

Hi Christine,

The Regional Municipality of York has completed its review of the minor variance application – A080/23 and has no comment.

Many thanks,

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Development Services, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

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SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

None

SCHEDULE D: PREVIOUS COA DECISIONS ON THE SUBJECT LAND

None