

Community Infrastructure and Housing Accelerator (CIHA) Request

661 & 681 Chrislea Road

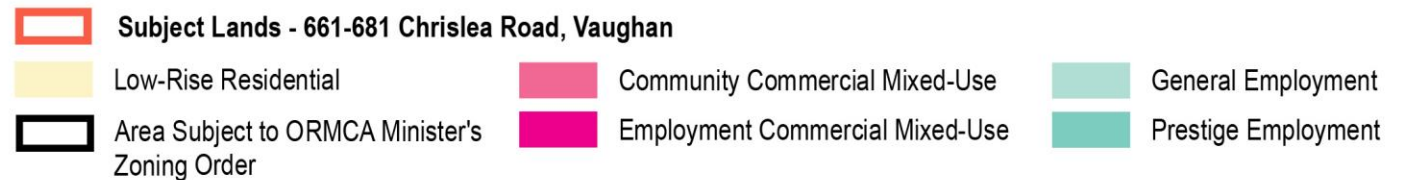
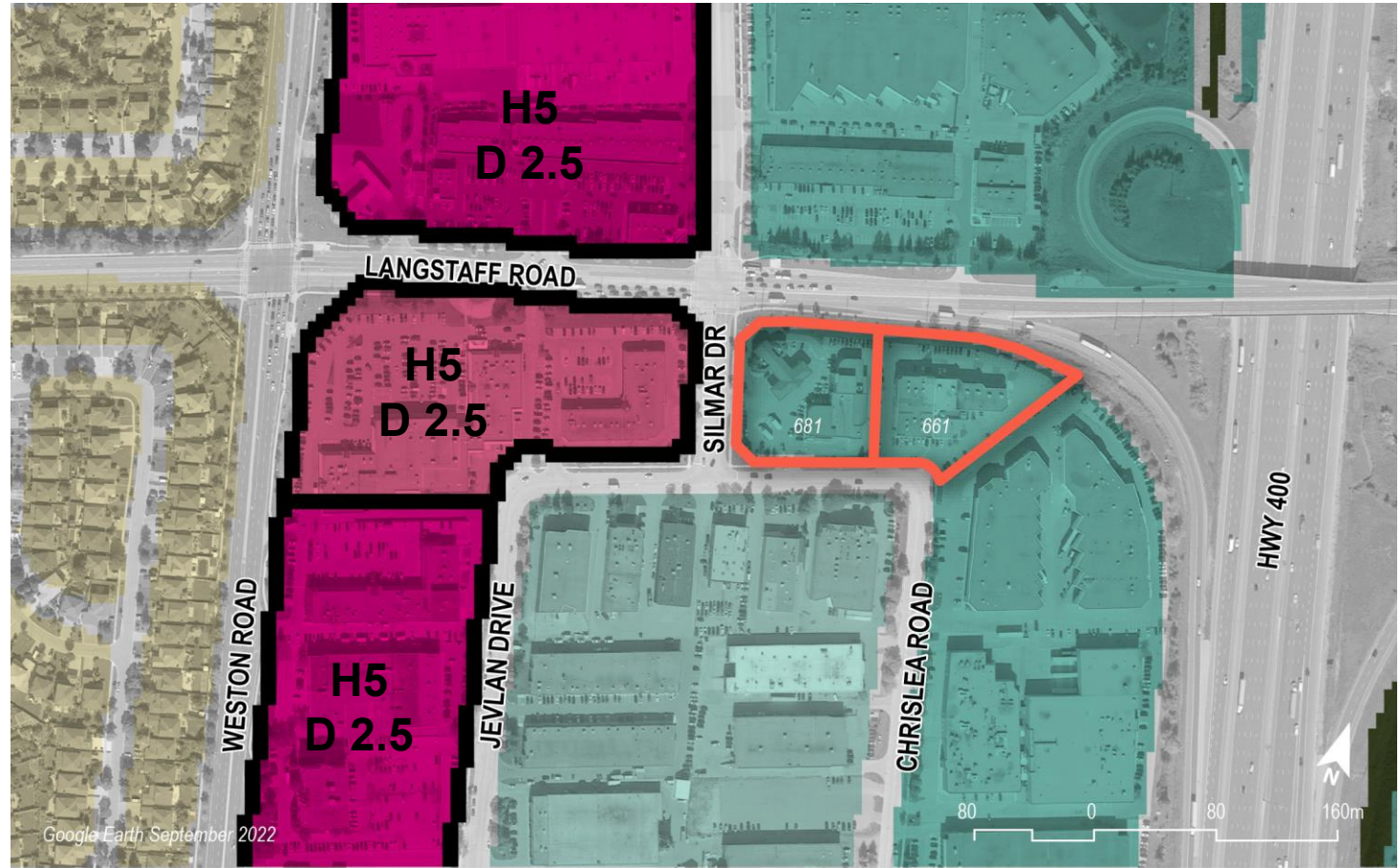
CIHA.23.002

September 12th 2023 Statutory Public Meeting



Communication C8.
Item No. 5
Committee of the Whole
(Public Meeting)
September 12, 2023

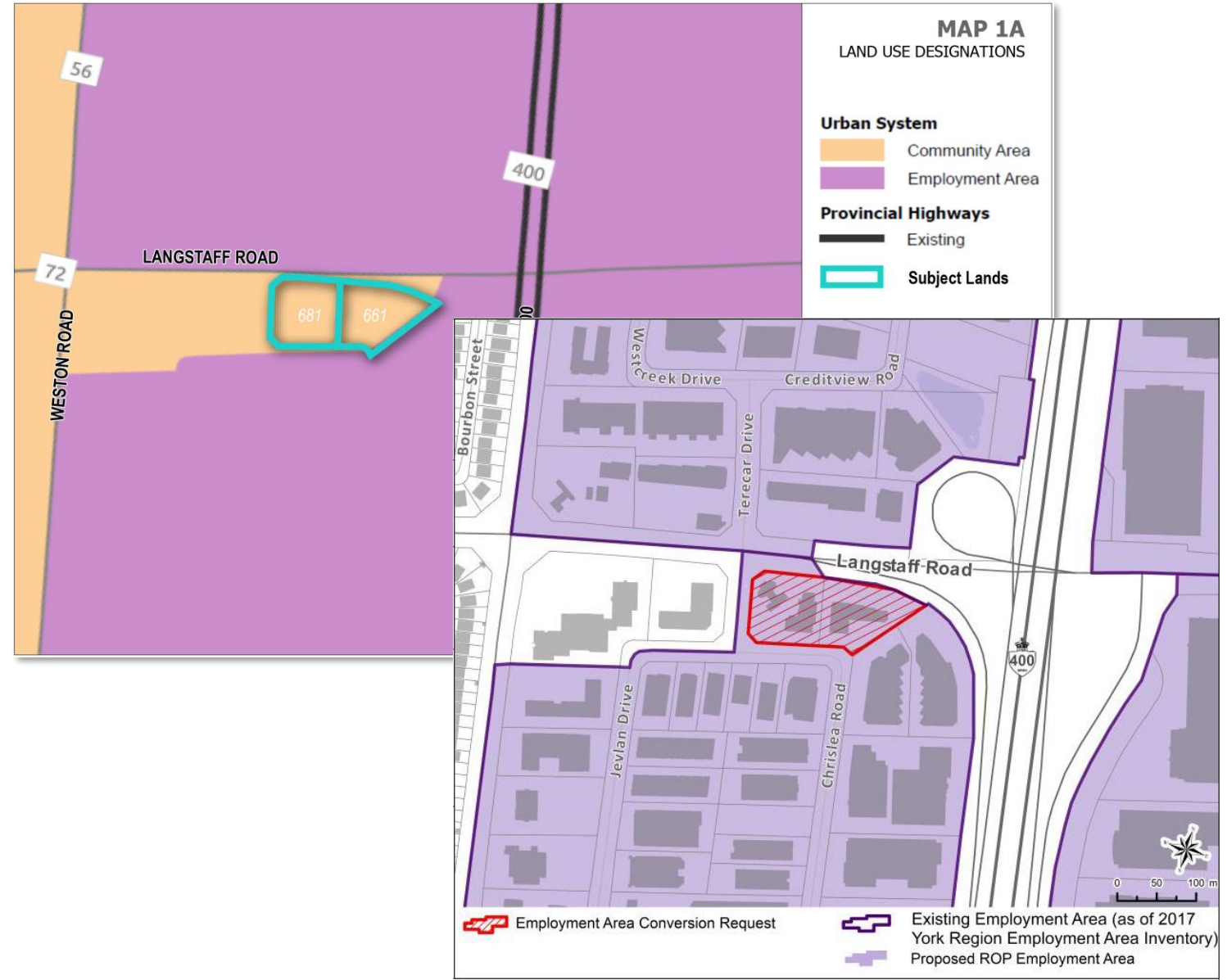
- Located at the south-east corner of Langstaff Road and Silmar Drive
- Surrounded by Commercial and Business Park uses
- Commercial Mixed Use Designations on Weston Road
- Hwy 400 located immediately east



















Planning Context – York Region OP

York Region Ministerial Approved OP – Map 1A (November 2022)

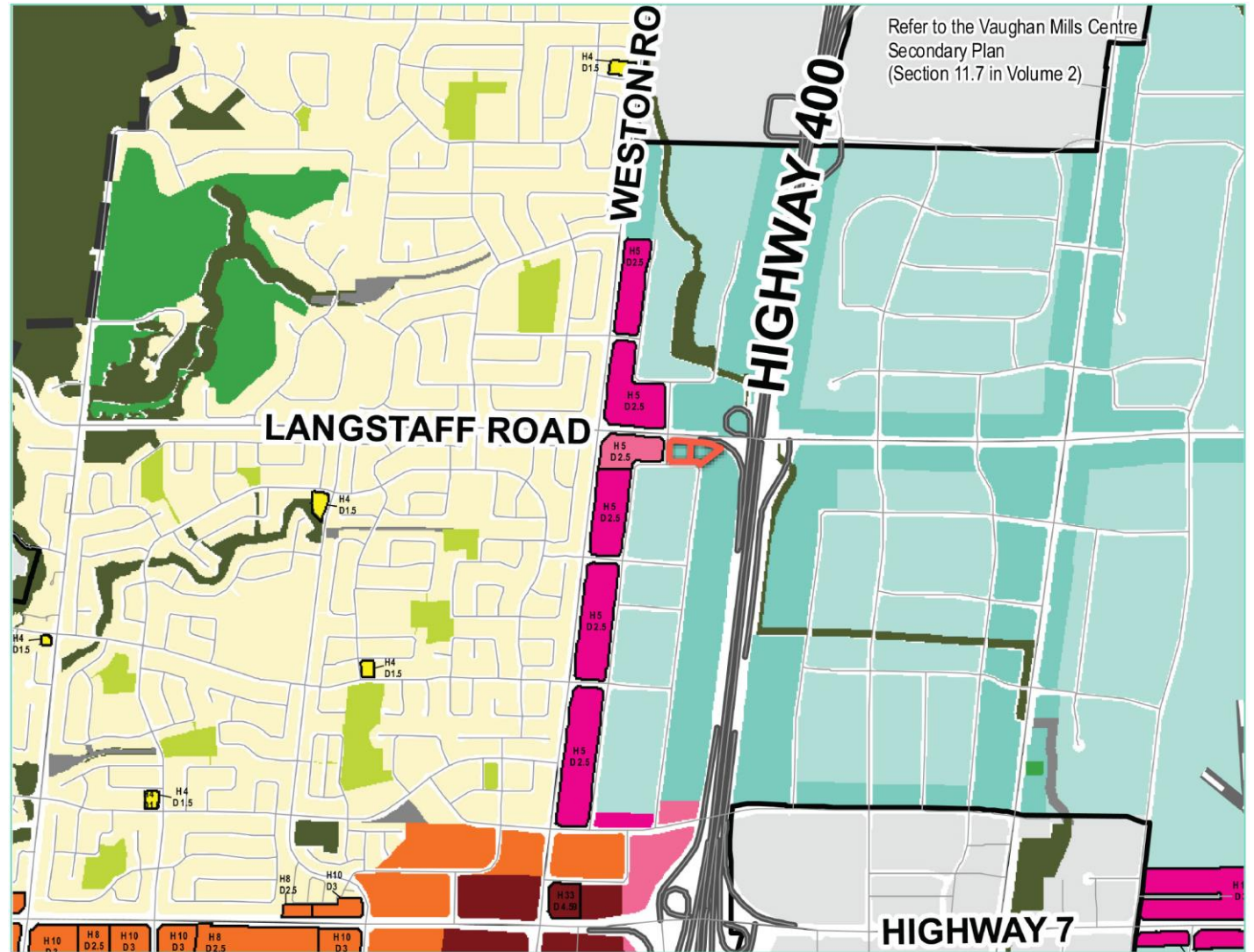
- York Region Council approved the redesignation of the Subject Lands from “Employment Area” to “Community Area” on October 20, 2020.
- The redesignation is incorporated in the approved 2022 York Region Official Plan.
- Community Area Designation allows for residential uses.
- Lands to west are also designated as Community Area, and are anticipated to be redeveloped in the future for residential uses.



- **Subject Lands designated as “Employment Area” and “Prestige Employment” within Vaughan OP (2010).**
- **Vaughan OP Designation is not in conformity with the Regional OP Designation, which permits residential uses.**
- **Modest intensification anticipated for surrounding area; 5 storeys on Weston Road and up to 12 storeys in General/Prestige Employment Areas.**

	Subject Lands		Community Commercial Mixed-Use
	Natural Areas		Employment Commercial Mixed-Use
	Parks		General Employment
	Private Open Spaces		Prestige Employment
	Low-Rise Residential		Lands Subject to Secondary Plans or Particular Area Specific Plans ¹
	Low-Rise Mixed-Use		Roads
	Mid-Rise Residential		Greenbelt Plan Area & Oak Ridges Moraine Conservation Plan Area
	Mid-Rise Mixed-Use		Natural Core Area
	High-Rise Mixed-Use		Area Subject to ORMCA Minister's Zoning Order

Vaughan OP – Schedule 13



Purpose of CIHA

- **The CIHA tool was implemented under Bill 109, *More Homes for Everyone Act*, 2022, which received Royal Assent on April 13, 2022.**
- **CIHAs allow municipalities to submit requests to the Ministry of Municipal Affairs and Housing for the issuance of a zoning order on a site.**
- **CIHA Orders are intended to provide an accelerated approval pathway for development proposals.**

Proposed CIHA

- **From Service Commercial Zone to High Rise Mixed Use Zone, which will permit residential uses.**
- **Includes Site Specific Regulations.**
- **Includes Proposed (H) – Holding Provisions for:**
 - **Reports/Materials provided at Site Plan are to be prepared to the satisfaction of the City of Vaughan.**
 - **Community Benefits Charges are to be determined to the satisfaction of the City of Vaughan.**

Proposed Development

- **1.34 ha Gross Developable Area.**
- **14m MTO setback from Langstaff Road (0.30 ha).**
- **4 towers, 32-35 storeys tall.**
- **1,488 Total Units.**
- **6.34 FSI**
- **Approx. 2,840 persons and 8 jobs.**
- **2,126 persons and jobs/ha.**
- **6,000 m² of Amenity Space.**
 - **3,000 m² indoor & 3,000 m² outside**
- **300 m² of commercial space.**
- **1,514 parking spaces (1.02 space/unit)**
- **1,300 m² (0.13 ha) POPs.**



Proposed Amenities

Ground Level Plan

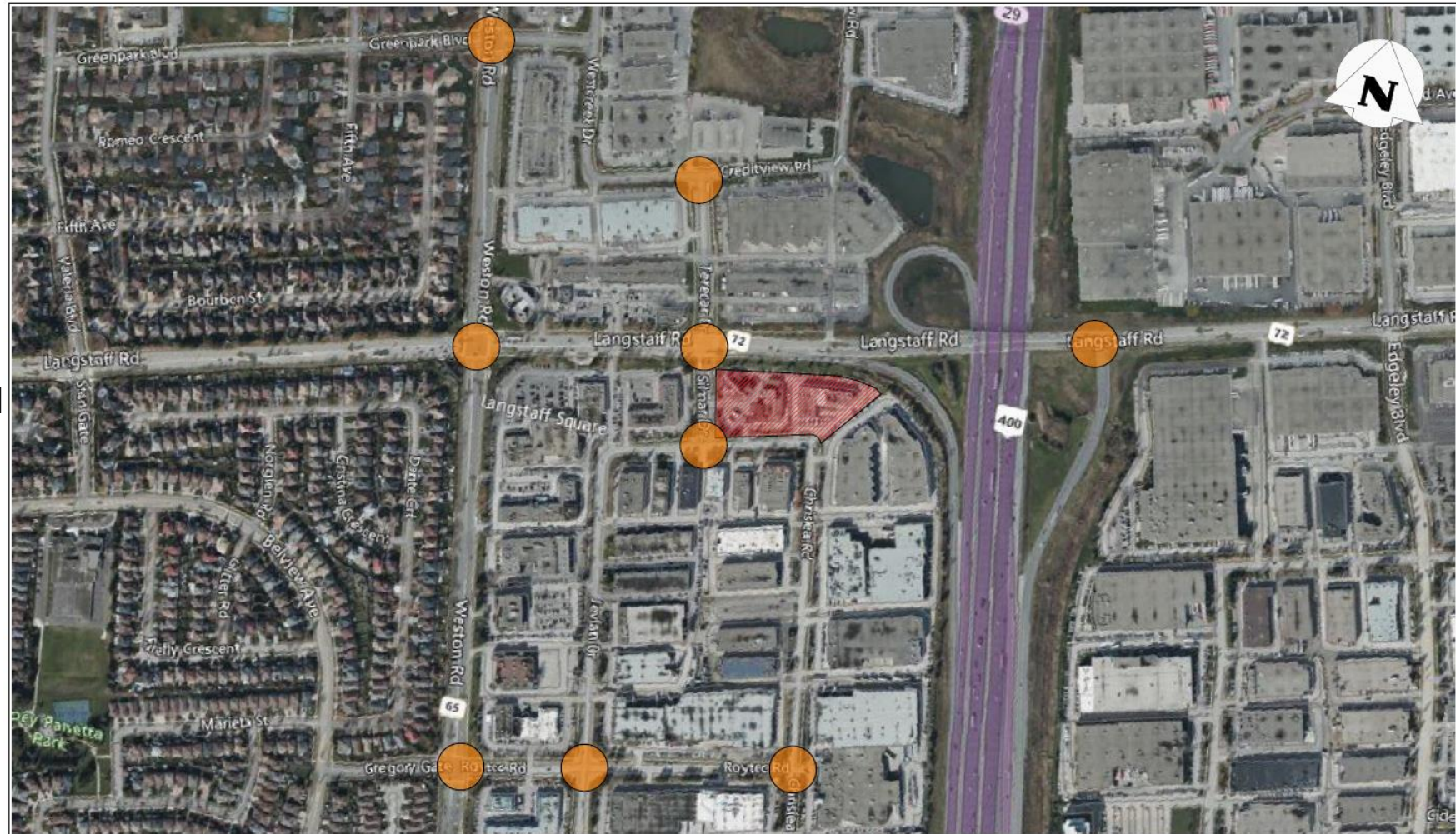


Proposed Amenities

Podium Plan



- 2 vehicular accesses proposed to site from Chrislea Road.
- 1,514 parking spaces
 - 1,210 residential
 - 304 visitor
 - = 1.02 spaces/unit
- Langstaff Road & Weston Road intersections are forecast to operate at similar Levels of Service.
- Recommended that a traffic signal be implemented at Silmar Drive & Chrislea Road intersection.



NOTE:
 1. THIS FIGURE IS FOR SCHEMATIC PURPOSES ONLY & IS NOT TO BE SCALED.
 2. THERE ARE ADDITIONAL STUDY INTERSECTIONS SOUTH OF THIS FIGURE.

	SITE LOCATION		STUDY INTERSECTION
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661 & 681 CHRISLEA ROAD
 CITY OF VAUGHAN
 STUDY INTERSECTIONS

	2481-6735	
	DATE: 08/08/2023	FIG. 1

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