



57 CENTRE STREET

City of Vaughan | Committee of Adjustment – August 31, 2023



PLANNING
URBAN DESIGN
& LANDSCAPE
ARCHITECTURE

Subject Lands



Proposed Development: East Elevation



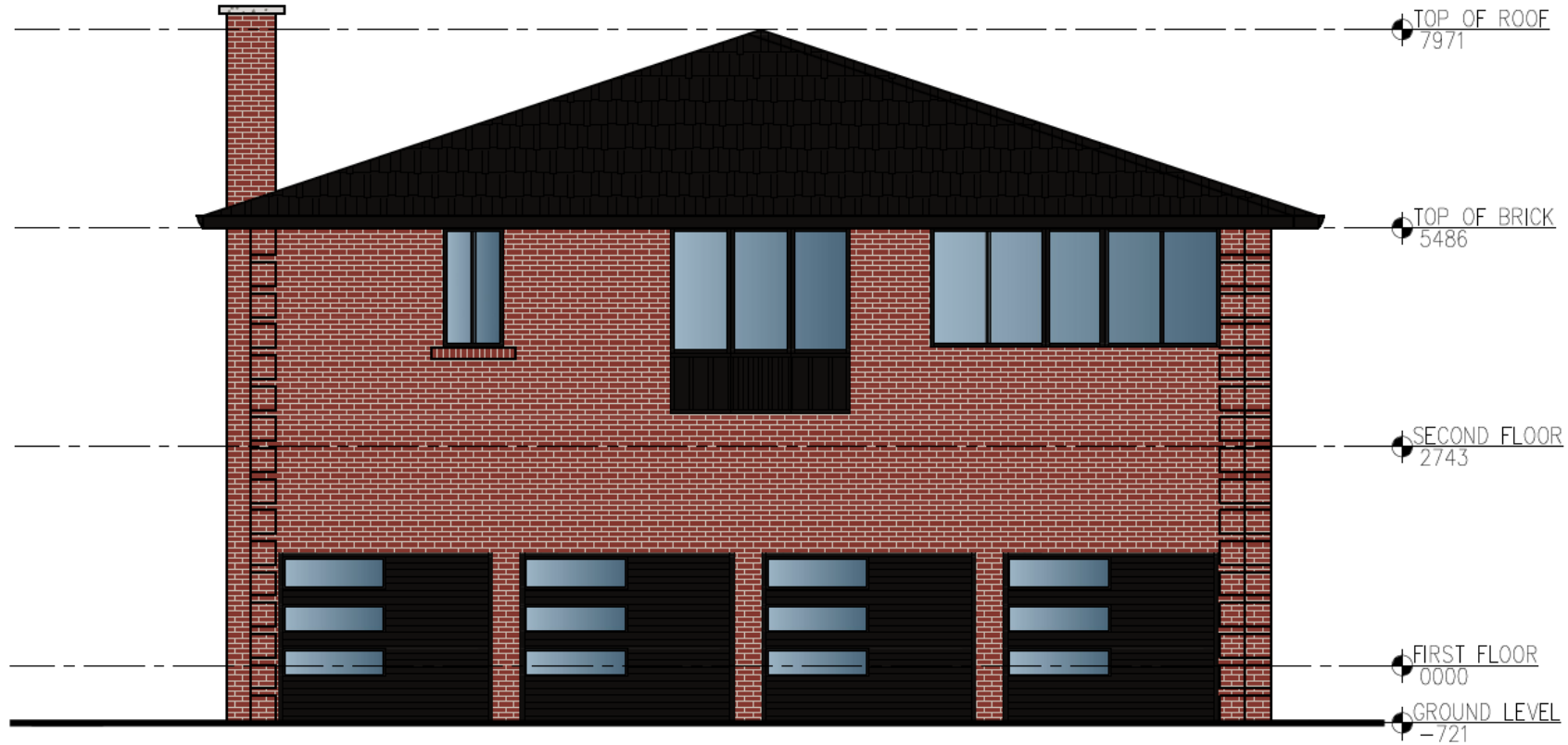
2 EAST ELEVATION
A01 SCALE: 1/75

Proposed Development: North Elevation



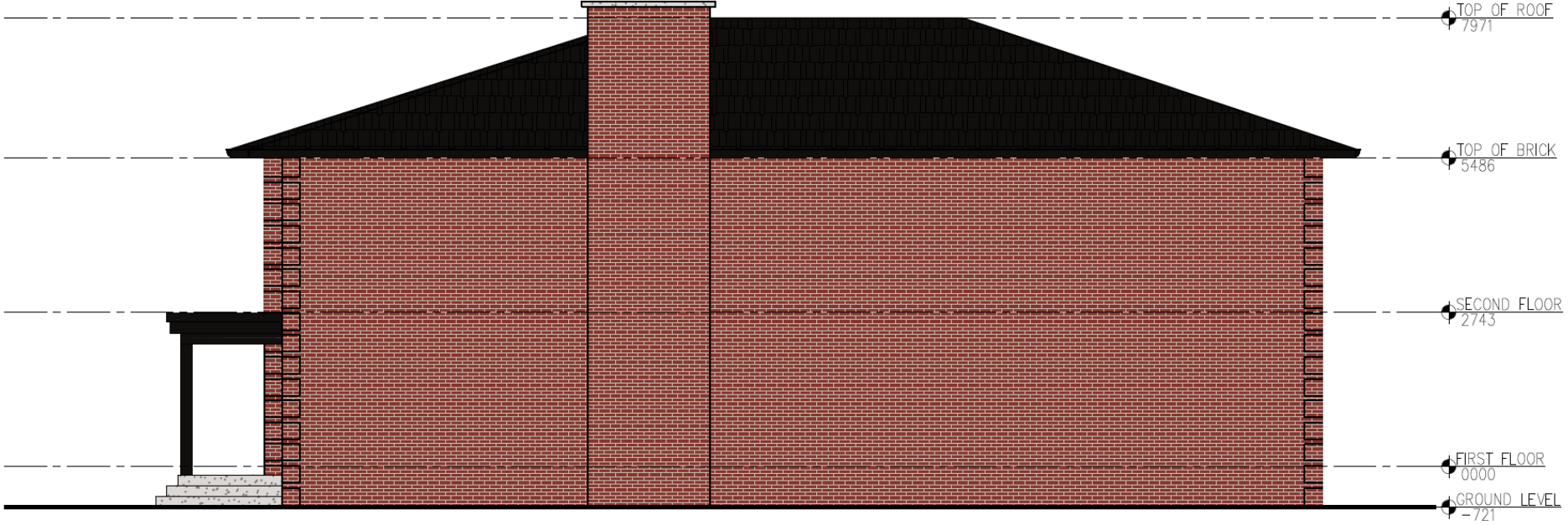
1 NORTH ELEVATION
A01 SCALE: 1:75

Proposed Development: South Elevation



3 SOUTH ELEVATION
A01 SCALE: 1:75

Proposed Development: West Elevation



4 WEST ELEVATION
A01 SCALE: 1:75

Proposed Development: Landscape Plan



Requested Variances

The Subject Lands are subject to the City of Vaughan Zoning By-law 1-88 and By-law 001-2021. A minor variance is requested to bring the site into conformity with the applicable zoning.

Per the memo from the Building Standards Department, dated July 31, 2023, the following variances are required:

City of Vaughan Zoning By-law 001-2021

1. Exception 14.68.1 4

The minimum width of the required landscape strip abutting a street shall be 4.0 m.

The proposed variance seeks a landscape strip of 0.0 metres abutting Elizabeth Street.

2. Exception 14.68.1 3

The minimum width of the required landscape strip abutting the Residential Zone along westerly lot line shall be 1.1 m.

The proposed landscape strip is 0.0 metres from the westerly lot line.

Requested Variances

City of Vaughan Zoning By-law 1-88

3. Exception 9(147) gii

The minimum width of the required landscape strip abutting a street shall be 4 metres.

The proposed variance seeks a landscape strip of 0.0 metres.

4. Exception 9(147) gi

The minimum width of the required landscape strip abutting a "R" Residential Zone along the westerly lot line shall be 1.1 metres.

The proposed landscape strip is 0.0 metres from the westerly lot line.

5. Schedule A – Minimum exterior side yard setback

The required minimum exterior side yard setback is 9.0 metres.

The proposed exterior side yard setback is 6.1 metres to the existing covered stone porch.

6. Parking Requirements Section 3.8 k)

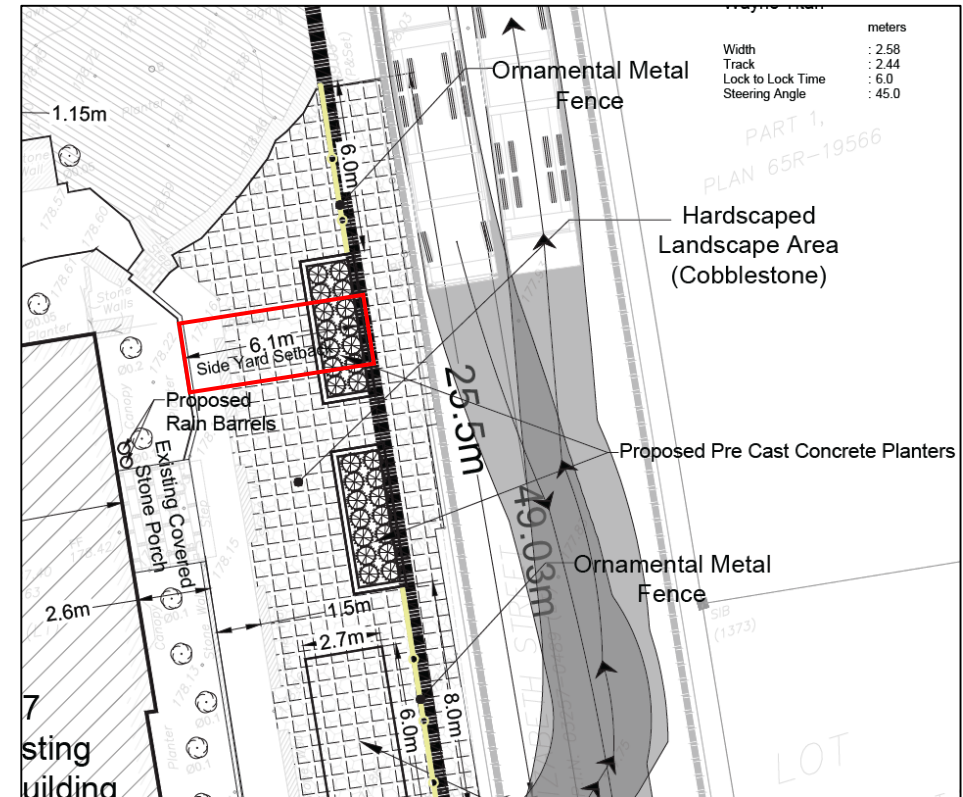
For all commercial, industrial and institutional uses, the surface of all loading spaces and related driveways, parking spaces and maneuvering areas shall be paved with hot-mix asphalt or concrete.

The proposed side yard parking space is currently cobblestone, not hot-mix asphalt or concrete.

Setbacks – Exterior Side Yard Setback

The minimum required side yard setback is 9.0 m, while the proposed is 6.1 m.

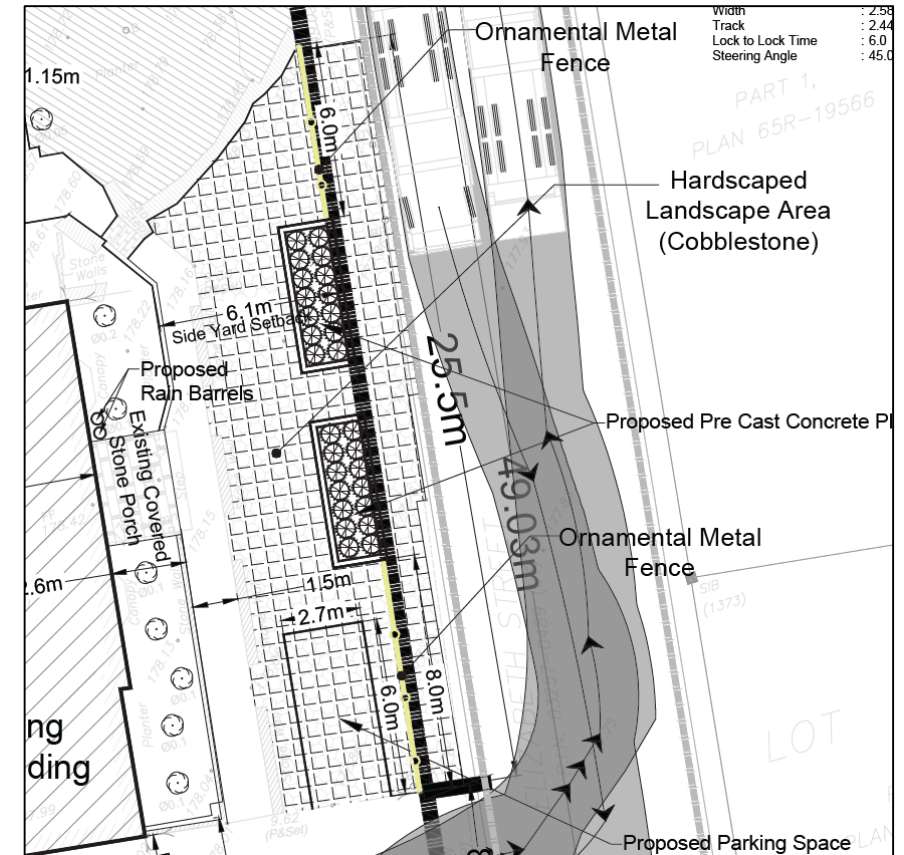
- The proposal recognizes that the general intent and purpose of the minimum setback requirement is to reduce the visual effects of the building and to avoid the potential for overlook, privacy loss, and shadowing impact to adjacent buildings.
- Urban Design staff, through the site development application, confirm that the planters and ornamental fences are being provided to promote privacy to the surrounding properties to the east and will ensure adequate screening to the building.



Landscape Strip

The minimum required landscape strip is 4.0 m abutting Elizabeth Street, while the proposed is 0.0 m.

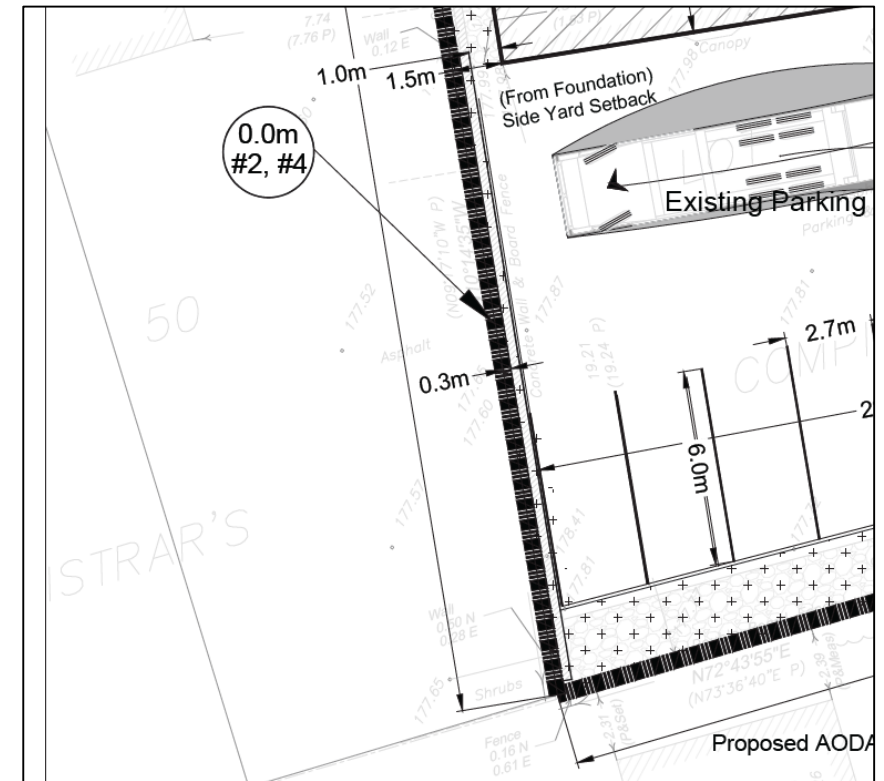
- The general intent and purpose of minimum landscape strip is to ensure appropriate buffering via an attractive treatment along property lines, while also providing area for groundwater recharge and infiltration.
- A Stormwater Management Brief by Crozier Consulting Engineers analyzed the concerns of increased stormwater runoff due to the impervious nature of the cobblestone pavement. In order to improve the existing condition, planters along the cobblestone area and two rain barrels along the north east side of the building are proposed to improve the infiltration.



Landscape Strip

The minimum required landscape strip is 1.1 m abutting the residential zone along the west lot line, while the proposed is 0 m.

- In its current existing condition, there is no landscape strip along the west lot line, south of the existing building to the rear of the site. However an existing concrete wall and board fence screens the site's parking area from the neighbouring property and their respective parking area.
- The intent of the variance along the west side lot line abutting a Residential Zone is to ensure that privacy is adequate. While there are semi-detached dwellings that exists on 67 Centre and 69 Centre Street, the current use of the property immediately west of the Subject Lands is a beauty salon with accessory retail sales. Together, the parking area and the existing fence already provide for adequate separation of distance between the buildings and ensure privacy is maintained.



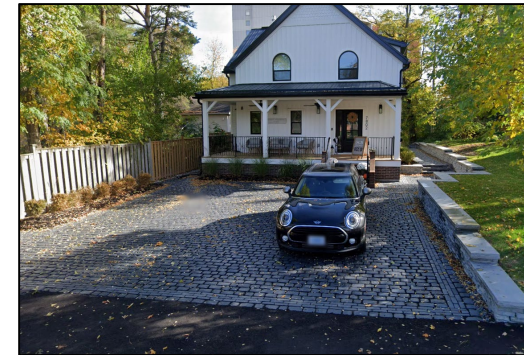
Surface of Parking Space

The surface of all parking is required to be paved with hot-mix asphalt or concrete, while the proposed side yard parking area is cobblestone.

- The intent of the cobblestone area is to beautify the site with additional hardscape landscaped area and to provide an additional parking space for clients visiting the medical office.
- The proposed cobblestone parking area maintains the character of the heritage district and is similar to the properties directly east of the Subject lands, as well as further north along Old Yonge Street, which also provide cobblestone parking areas.
- Through discussions with City staff, the proposal will provide landscaping treatments in the form of new fences and planters to screen the cobblestone surface and the building. These elements will also act as a barrier for any vehicles entering the site on the public boulevard.



39 Centre Street



7802 Old Yonge Street



7820 Old Yonge Street

Minor Variance Conclusions

The proposed variances meet the Four Tests of Section 45(1) of the Planning Act:

- The proposal maintains the general intent of the York Region Official Plan by supporting and furthering the economic function of the Urban Area.
- The proposal maintains the general intent of the City of Vaughan Official Plan by proposing hardscaped landscaping area to keep with the existing heritage character of the surrounding areas.
- Maintains the general intent and purpose of the Zoning By-law to provide appropriate buffering via an attractive landscaped treatment, groundwater recharge and infiltration areas, adequate privacy and screening, barrier to the public boulevard, and maintenance of surrounding cultural heritage.
- The requested variances contributes to an attractive public realm that is harmonious with the existing character of the Thornhill Heritage District and are desirable for the appropriate development of the use of the Subject Lands.
- The proposed hardscaped landscape area will not result in any undue or adverse impacts of a planning nature on the Subject Lands, or to the surrounding properties in the community. It works to beautify the lands, enhance the heritage, and ensures infiltration and snow storage capabilities are incorporated. The requested variances are minor in nature given that drastic changes (ie. Height or density/ coverage variances) are not requested.

THANK YOU



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