

ITEM: 6.13	COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A123/23 68 CARDISH ST, KLEINBURG
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**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES:**

*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Ministry of Transportation (MTO)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

PUBLIC & APPLICANT CORRESPONDENCE

*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

File Number	Date of Decision MM/DD/YYYY	Decision Outcome
A183/21	11/18/2021	Approved by COA

ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

None	
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**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A123/23
68 CARDISH ST, KLEINBURG**

ITEM NUMBER: 6.13	CITY WARD #: 1
APPLICANT:	Michelle Muia & Pamela Duca
AGENT:	Lucas Cocomello
PROPERTY:	68 Cardish Street, Kleinburg
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit a proposed dwelling.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R1B(EN) – First Density Residential Zone (Established Neighbourhood) under Zoning By-law 001-2021, as amended.

#	Zoning By-law 01-2021	Variance requested
1	N/A	

The subject lands are zoned R1 – Residential Zone under Zoning By-law 1-88, as amended.

#	Zoning By-law 1-88	Variance requested
1	A minimum Interior side yard of 1.5 metres is required [Schedule A].	To permit a minimum interior side yard of 0.97 metres to a dwelling.
2	A maximum lot coverage of 30% is required [Schedule A, Note 12].	To permit a maximum lot coverage of 41.70%.
3	A maximum building height of 9.5 metres is required [Schedule A].	To permit a maximum building height of 10.74 metres for a dwelling.

HEARING INFORMATION

DATE OF MEETING: Thursday, August 31, 2023
TIME: 6:00 p.m.
MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive
LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

That the general intent and purpose of the by-law will be maintained.

That the general intent and purpose of the official plan will be maintained.

That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.

That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT COMMENTS

Date Public Notice Mailed:	August 17, 2023
Date Applicant Confirmed Posting of Sign:	August 11, 2023
Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small>	Not in compliance with the previously issued notice of decision.
Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	None
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice. *A revised submission may be required to address staff / agency comments received as part of the application review process. *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>	No
Adjournment Fees: In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice. An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice.	
Committee of Adjustment Comments:	None
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING) COMMENTS

**See Schedule B for Building Standards (Zoning) Comments

Building Standards Recommended Conditions of Approval:	None
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DEVELOPMENT PLANNING COMMENTS

**See Schedule B for Development Planning Comments.

Development Planning Recommended Conditions of Approval:	None
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DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#)
 [Link to Pool Permit](#)
 [Link to Curb Curt Permit](#)
 [Link Culvert Installation](#)

Due to the size of the proposed residence on the subject property, which measures 235.21 m², the Owner/Applicant must acquire a Lot Grading Permit from the Development Inspection and Lot Grading Division of the City's Development Engineering Department. It is important note that any in-ground structure exceeding 10 m² necessitates a Grading Permit. Once the Grading Permit is obtained, please reach out to the Development Engineering Reviewer to clear the Condition imposed on this application.

DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#)
 [Link to Pool Permit](#)
 [Link to Curb Curt Permit](#)
 [Link Culvert Installation](#)

The Owner / Applicant shall apply for a Pool Grading Permit with the Development Engineering (DE) Department. Please visit the grading permits page at City of Vaughan website to learn how to apply for the Pool Permit. If you have any question about Pool Grading Permit, please contact the Development Engineering Department through email at DEPermits@vaughan.ca.

The Owner/Applicant's proposed work involves increasing the Lot Coverage on the subject property. This addition of hardscape could potentially affect the City's Storm Water management system. Development Engineering highly recommends that the Owner/Applicant incorporate Low-Impact Development (LID) measures, such as bioswales, permeable pavers, rain gardens, rain barrels, etc., to minimize the impact on the stormwater system. If additional information is needed, please reach out to the Development Engineering COA reviewer.

The Development Engineering Department does not object to the Minor Variance application A123/23, subject to the following condition(s):

Development Engineering Recommended Conditions of Approval:	The Owner/Applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading Division within the City's Development Engineering Department before initiating any work on the property. To apply for a Grading Permit, please visit the Permit page on the City of Vaughan website. For any inquiries regarding the Grading Permit, please feel free to contact the Development Engineering Department via email at DEPermits@vaughan.ca.
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PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

Forestry has no comment at this time.

PFH Recommended Conditions of Approval:	None
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DEVELOPMENT FINANCE COMMENTS

No comment no concerns

Development Finance Recommended Conditions of Approval:	None
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BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

No comments no concerns

BCLPS Recommended Conditions of Approval:	None
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BUILDING INSPECTION (SEPTIC) COMMENTS

No comments received to date.

Building Inspection Recommended Conditions of Approval:	None
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FIRE DEPARTMENT COMMENTS

No comments received to date.

Fire Department Recommended Conditions of Approval:	None
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SCHEDULES TO STAFF REPORT

*See Schedule for list of correspondence

Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Staff & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Engineering Rex.bondad@vaughan.ca	The Owner/Applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading Division within the City's Development Engineering Department before initiating any work on the property. To apply for a Grading Permit, please visit the Permit page on the City of Vaughan website. For any inquiries regarding the Grading Permit, please feel free to contact the Development Engineering Department via email at DEPermits@vaughan.ca.

IMPORTANT INFORMATION – PLEASE READ

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

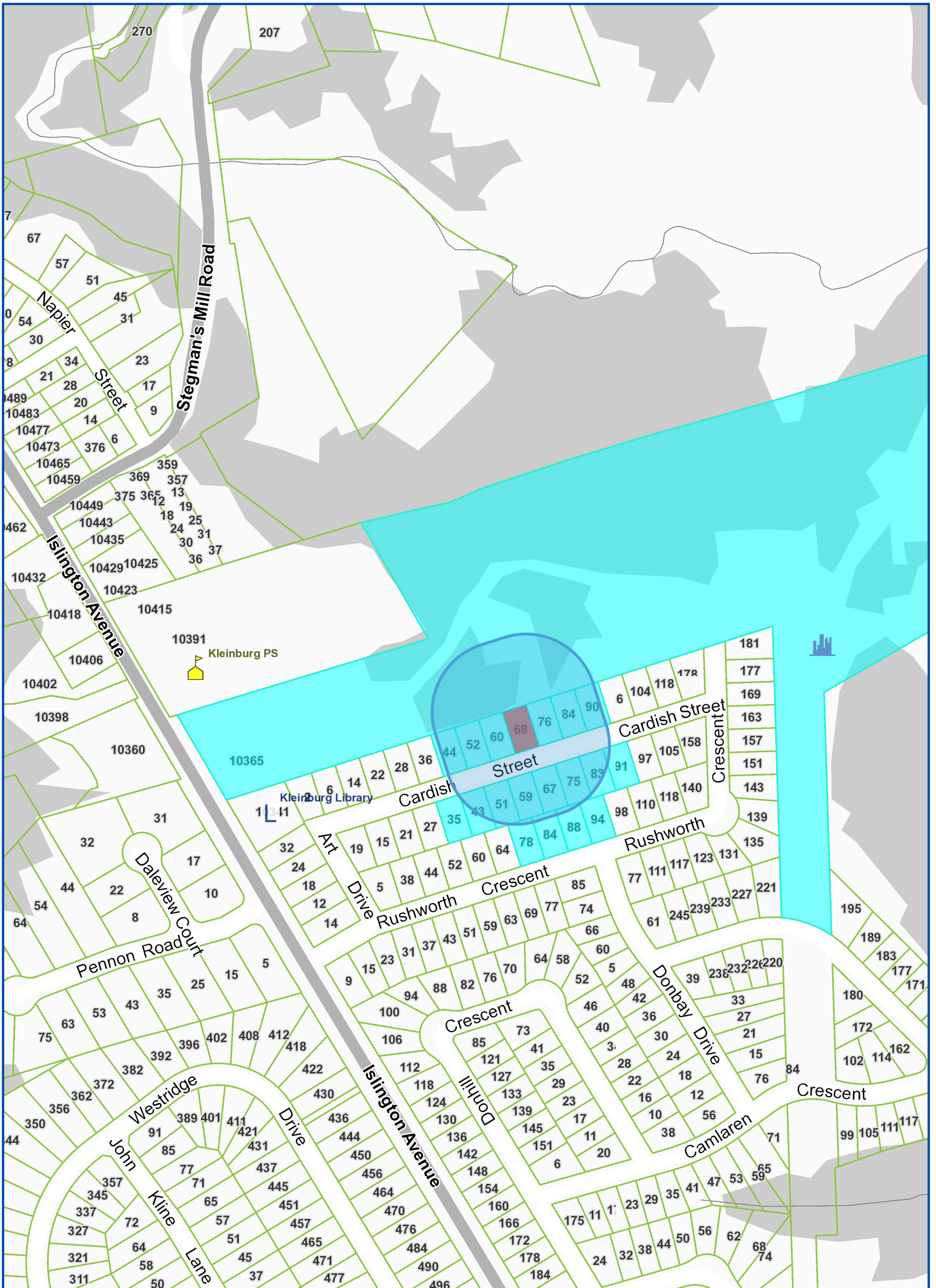
That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

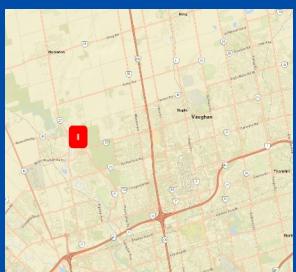
That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS



Map Information:



Title:

68 Cardish Street, Kleinburg

NOTIFICATION MAP - A123/23

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1: 4,514

0 0.07 km



Created By:

Infrastructure Delivery
Department
July 28, 2023 1:48 PM

Projection:
NAD 83
UTM Zone
17N

SCOPE OF WORK

PROPOSED 2 STOREY WOOD FRAMED DWELLING WITH A INTEGRAL GARAGE + POOL AND HARDSCAPING

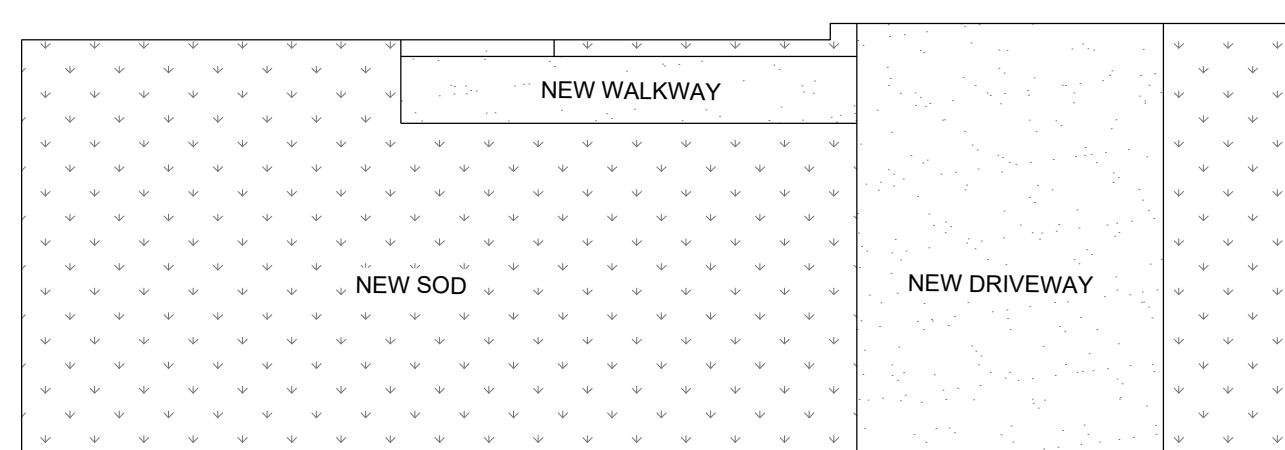
SITE STATISTICS

	METRIC	IMPERIAL
LOT AREA	932.21 S.M.	10034.19 S.F.
GROUND FLOOR PLAN	235.21 S.M.	2531.81 S.F.
SECOND FLOOR PLAN	303.18 S.M.	3263.35 S.F.
GFA	538.39 S.M.	5795.16 S.F.
GARAGE AREA	64.34 S.M.	692.58 S.F.
FRONT PORCH AREA	3.62 S.M.	38.96 S.F.
REAR LOGGIA AREA	85.52 S.M.	920.49 S.F.
POOL AREA	54.81 S.M.	590.00 S.F.
COVERAGE	388.69 S.M.	4183.84 S.F.

ZONING INFORMATION	ZONING	PROPOSED
ZONE	R1	
LOT AREA	540 S.M.	932.21 S.M.
FRONT YARD	7.50M	7.50M
SIDE YARD	1.50M	1.89M
SIDE YARD	1.50M	1.88M
REAR YARD	7.50M	12.10M
COVERAGE	35.00%	41.70%
(GROUND FLOOR, GARAGE, LOGGIA, PORCH)		
MAX HEIGHT - DWELLING	9.50M	9.28M

FRONT YARD LANDSCAPE AREA 69%

FRONT YARD AREA	176.36 S.M.	1898.33 S.F.
WALKWAY/STEP AREA	10.98 S.M.	118.17 S.F.
DRIVEWAY AREA	43.54 S.M.	468.68 S.F.
GRASS AREA	121.84 S.M.	1311.48 S.F.



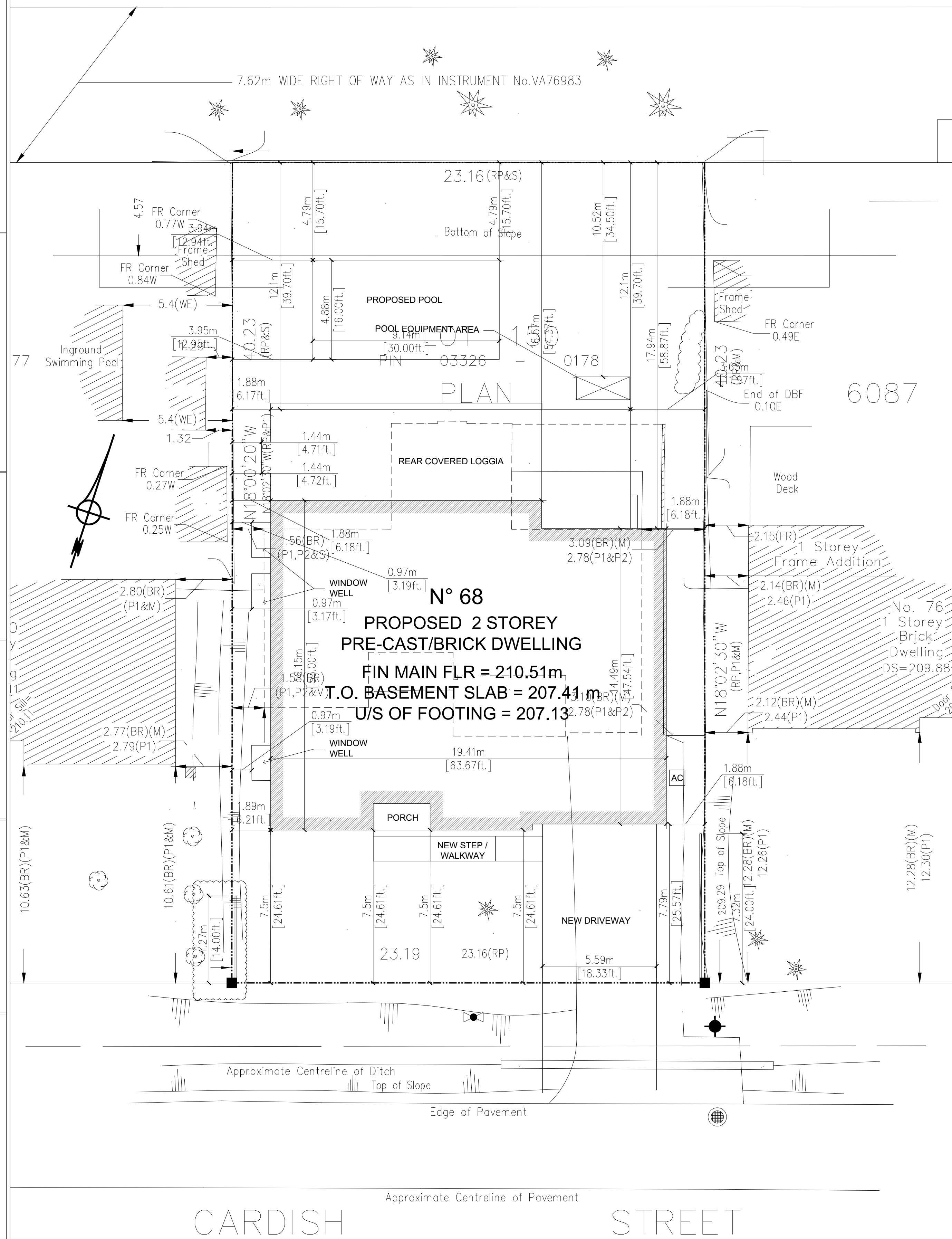
REAR YARD LANDSCAPE AREA 66.21%

REAR YARD AREA	420.03 S.M.	4521.21 S.F.
REAR LOGGIA AREA	85.52 S.M.	920.49 S.F.
POOL AREA	44.59 S.M.	480.00 S.F.
HARDSCAPE AREA	101.19 S.M.	1089.24 S.F.
GRASS AREA	188.73 S.M.	2031.47 S.F.



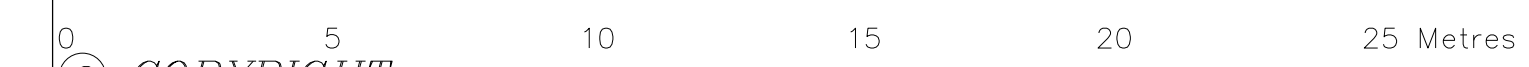
RECEIVED

By Christine Vigneault at 9:00 am, Aug 09, 2023



SURVEYOR'S REAL PROPERTY REPORT-PART 1
PLAN OF SURVEY OF LOT 150
 REGISTERED PLAN 6087
 CITY OF VAUGHAN
 REGIONAL MUNICIPALITY OF YORK

SCALE 1:250



© COPYRIGHT
PEARSON & PEARSON SURVEYING LTD. 2021
 Ontario Land Surveyors

Metric

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

Part 2

DESCRIPTION OF LAND: LOT 150, REGISTERED PLAN 6087, CITY OF VAUGHAN, REGIONAL MUNICIPALITY OF YORK.

REGISTERED EASEMENTS AND/OR RIGHTS OF WAY: SUBJECT TO EASEMENT IN FAVOUR OF THE HYDRO-ELECTRIC POWER COMMISSION OF ONTARIO AS IN INSTRUMENT No.LB74525 AND SUBJECT TO EASEMENT IN FAVOUR OF THE BELL TELEPHONE COMPANY OF CANADA AS IN INSTRUMENT Nos.LB74526 AND LB74524.

BOUNDARY FEATURES: NOTE ALL FENCES, SHEDS, GAZEBO, INGROUND SWIMMING POOL AND OVERHEAD UTILITY WIRES IN RELATION TO THE BOUNDARY.

COMPLIANCE WITH MUNICIPAL ZONING BY-LAWS: THIS PLAN DOES NOT CERTIFY ZONING COMPLIANCE OR IDENTIFY WHAT ZONING RESTRICTIONS ARE INVOLVED.

THIS REPORT WAS PREPARED FOR MIKE MUIA AND THE UNDERSIGNED ACCEPTS. NO RESPONSIBILITY FOR USE BY OTHER PARTIES.

ADDITIONAL REMARKS: NOTE THE OVERHEAD UTILITY WIRES ALONG THE REAR LIMIT.

Legend

■	DENOTES	SURVEY MONUMENT FOUND
SIB	DENOTES	STANDARD IRON BAR
IP	DENOTES	IRON PIPE
IB	DENOTES	IRON BAR
OU	DENOTES	ORIGIN UNKNOWN
S	DENOTES	SET
M	DENOTES	MEASURED
N/S/E/W	DENOTES	NORTH/SOUTH/EAST/WEST
RP	DENOTES	REGISTERED PLAN 6087
P	DENOTES	SURVEYOR'S REAL PROPERTY REPORT BY PEARSON & PEARSON SURVEYING LTD., O.L.S. DATED JULY 23, 2019.
P1	DENOTES	SURVEYOR'S REAL PROPERTY REPORT BY GREATER TORONTO ACRES SURVEYING INC. O.L.S., DATED SEPTEMBER 3, 2019.
P2	DENOTES	SKETCH OF SURVEY BY KENNETH H. MCCONNELL O.L.S., DATED OCTOBER 25, 1961.
TOC	DENOTES	TOP OF CULVERT ELEVATION
BOC	DENOTES	BOTTOM OF CULVERT ELEVATION
TOS	DENOTES	TOP OF SLOPE
TW	DENOTES	TOP OF WALL ELEVATION
WRW	DENOTES	WOODEN RETAINING WALL
DBF	DENOTES	DOUBLE BOARD FENCE
CLF	DENOTES	CHAIN LINK FENCE
BR	DENOTES	TIES TO BRICK
FR	DENOTES	TIES TO FRAME
OHW	DENOTES	OVERHEAD WIRES
MH	DENOTES	MANHOLE
FH	DENOTES	FIRE HYDRANT
WV	DENOTES	WATER VALVE
∅	DENOTES	DIAMETER (ROUND)
DS	DENOTES	DOOR SILL ELEVATION
⊙	DENOTES	DECIDUOUS TREE WITH TRUNK DIAMETER
✱	DENOTES	CONIFEROUS TREE WITH TRUNK DIAMETER

Surveyor's Certificate

I CERTIFY THAT :
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
 2. THE SURVEY WAS COMPLETED ON THE 19TH DAY OF APRIL, 2021.

10933 JANE STREET, SECOND FLOOR, MAPLE
 ONTARIO, L6A 1S1
 O. : (289) 553-5453
 E. : michelepearson@pearsonandpearson.ca

DRAWING : 2106-CardishStreet68-SRPR.DWG PROJECT : 2106
 CALC. BY KR DRAWN BY TM/JM CHECKED BY MP/JM

NOTES

THIS DRAWING, AS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF THE DESIGNER. THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND NOTIFY THE DESIGNER OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION. THE DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL INFORMATION SHOWN ON THIS DRAWING. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS (I.E. FLOOR LAYOUT, TRUSS LAYOUT) BEFORE PROCEEDING WITH THE WORK. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

DRAWINGS SHALL NOT BE SCALED. THESE DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL THE REQUIRED BUILDING PERMITS HAVE BEEN ISSUED.

No.	DATE:	REVISION

SEALS



2157 ROYAL WINDSOR DRIVE, UNIT 4
 MISSISSAUGA, ON L5J 1K5
 PHONE: 905-822-1666
 EMAIL: TRAVIS@SCHILLERENGINEERING.CA

CLIENT

MIKE MUIA

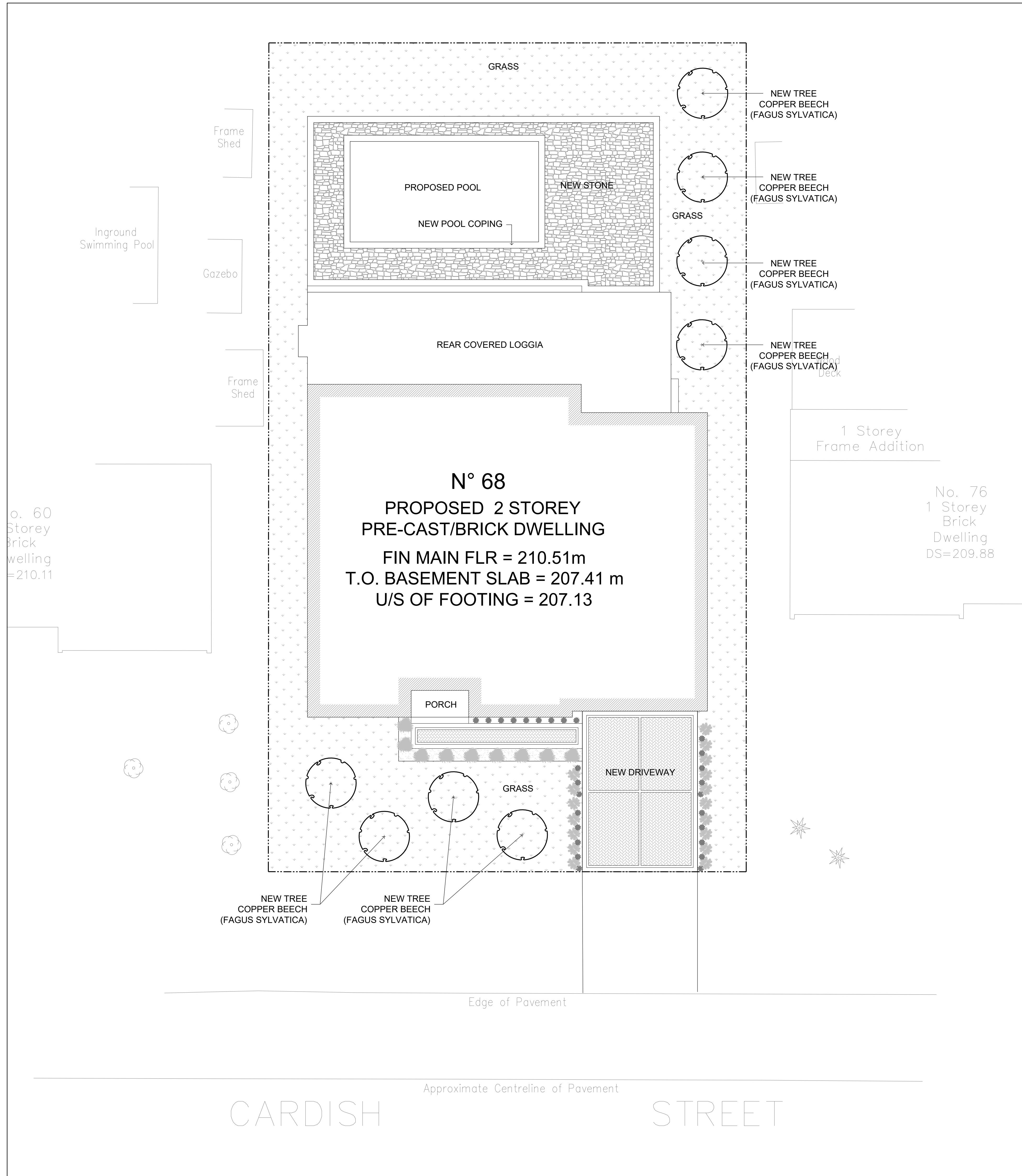
PROJECT

68 CARDISH STREET,
 KLEINBURG, ON.

PAGE

SITE PLAN, GRADING PLAN &
 EROSION CONTROL PLAN

APPROVED BY:	TS	A0.1
DATE:	APR. 2021	
SCALE:	1:300	
PROJECT No.	2020SE300	





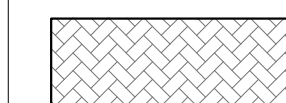
SCOPE OF WORK

PROPOSED 2 STOREY WOOD FRAMED DWELLING WITH A INTEGRAL GARAGE + POOL AND HARDSCAPING

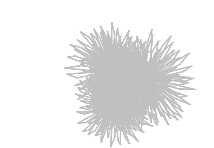


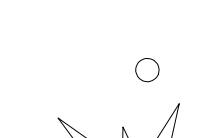
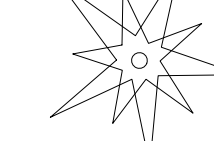
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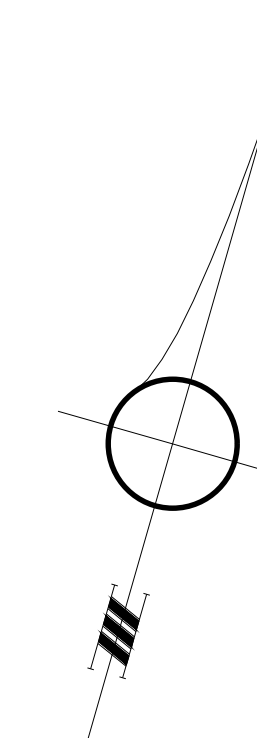
HARDSCAPING MATERIALS

-  FLAGSTONE
-  SOIL
-  HERRINGBONE STONE PATTERN

SOFTSCAPING MATERIALS

-  BOXWOOD
-  HYDRANGEAS
-  PERENNIAL
-  CONIFEROUS TREE
-  DECIDUOUS TREE

NORTH ARROW



NOTES

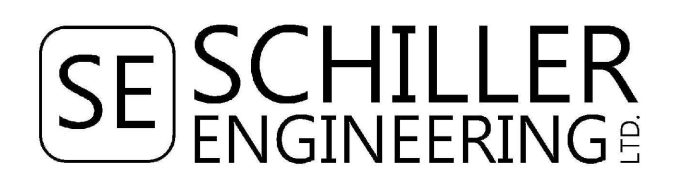
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DRAWINGS SHALL NOT BE SCALED. THESE DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL THE REQUIRED BUILDING PERMITS HAVE BEEN ISSUED.

No.	DATE:	REVISION

SEALS

--	--



2157 ROYAL WINDSOR DRIVE, UNIT 4
 MISSISSAUGA, ON L5J 1K5
 PHONE: 905-822-1666
 EMAIL: TRAVIS@SCHILLERENGINEERING.CA

CLIENT

MIKE MUIA

PROJECT

68 CARDISH STREET,
 KLEINBURG, ON.

PAGE

LANDSCAPE PLAN

APPROVED BY:	TS
DATE:	APR. 2021
SCALE:	1: 300
PROJECT No.	2020SE300

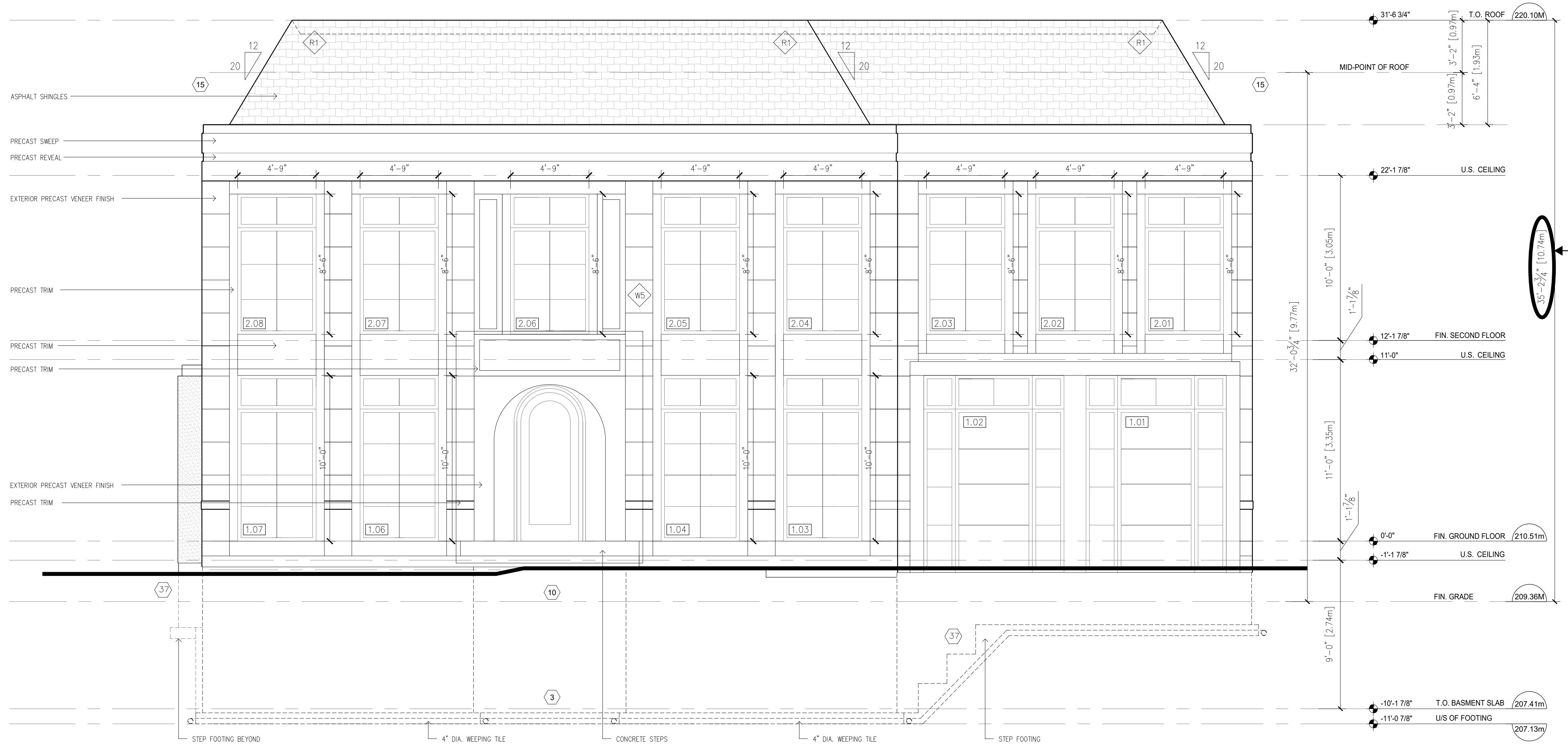
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NOTES

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No.	DATE:	REVISION



68 CARDISH STREET
PROPOSED SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"

SEALS

SE SCHILLER ENGINEERING
 2157 ROYAL WINDSOR DRIVE, UNIT 4
 MISSISSAUGA, ON L5J 1K5
 PHONE: 905-822-1666
 EMAIL: TRAVIS@SCHILLERENGINEERING.CA

CLIENT
 MIKE MUIA

PROJECT
 68 CARDISH STREET,
 KLEINBURG, ON.

PAGE
 PROPOSED SOUTH ELEVATION

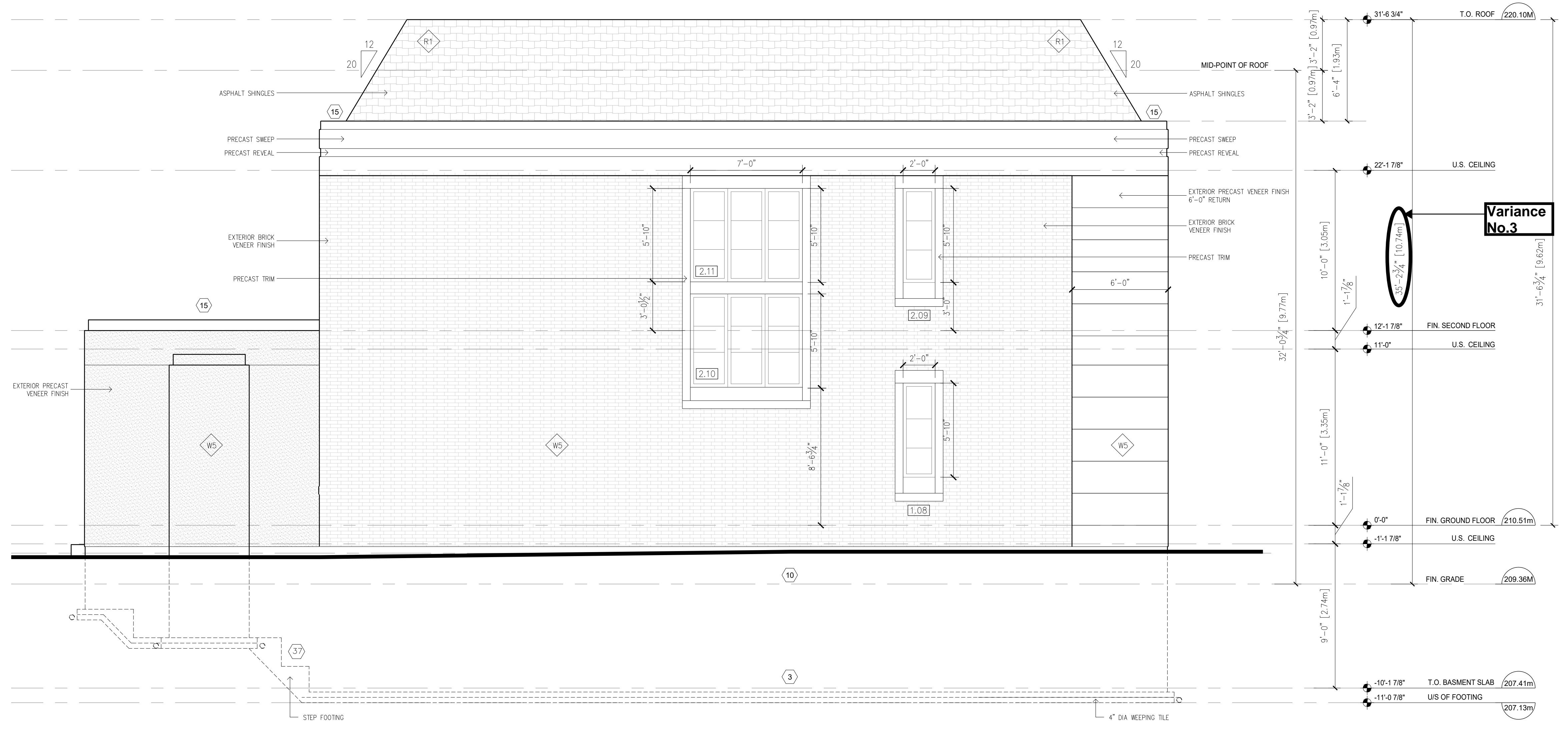
APPROVED BY:	TS	A2.1
DATE:	APR. 2021	
SCALE:	1/4"=1'-0"	
PROJECT No.	2020SE300	

NOTES

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No.	DATE:	REVISION

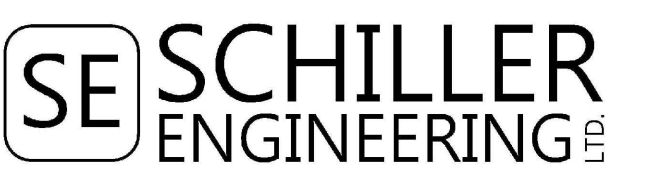


Variance No.3

68 CARDISH STREET

PROPOSED WEST ELEVATION
SCALE: 1/4" = 1'-0"

SEALS



2157 ROYAL WINDSOR DRIVE, UNIT 4
MISSISSAUGA, ON L5J 1K5
PHONE: 905-822-1666
EMAIL: TRAVIS@SCHILLERENGINEERING.CA

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MIKE MUIA

PROJECT

68 CARDISH STREET,
KLEINBURG, ON.

PAGE

PROPOSED WEST ELEVATION

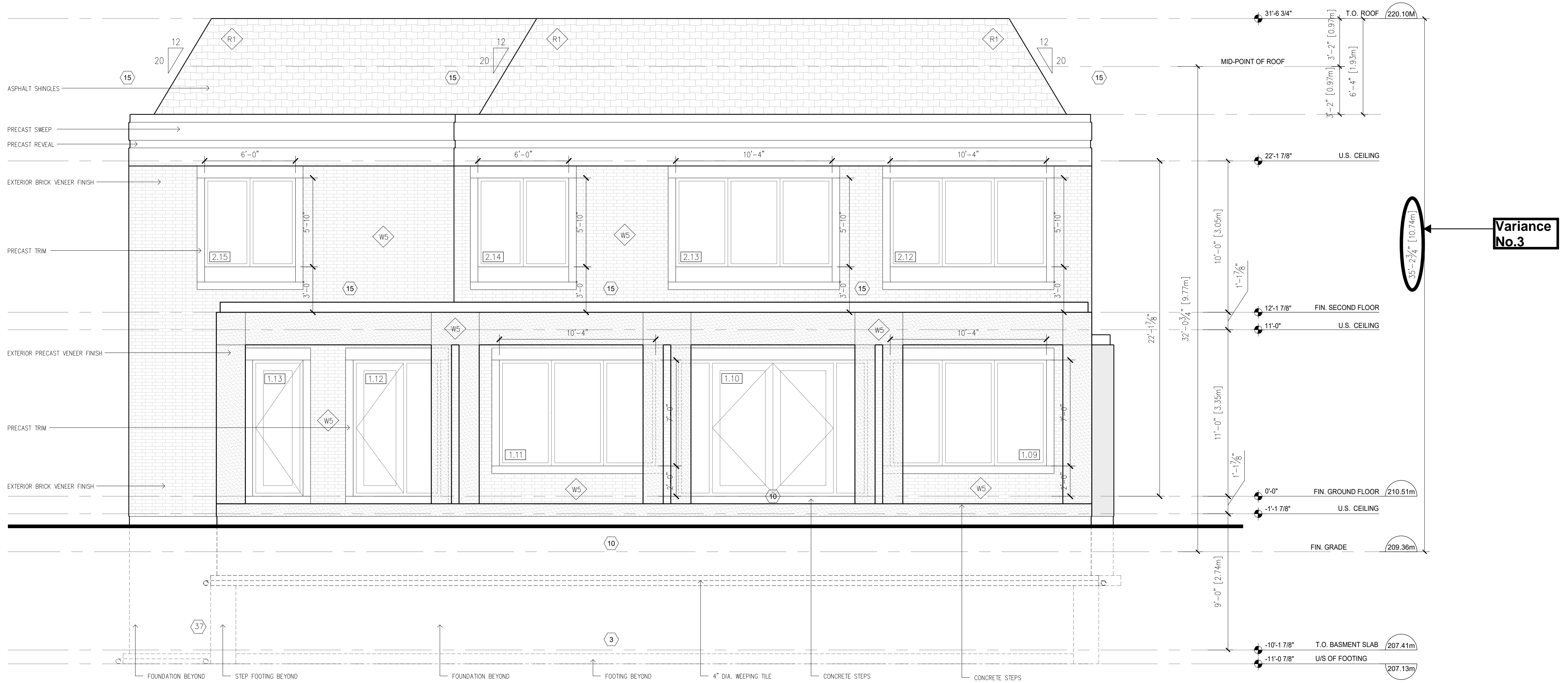
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DATE:	APR. 2021	
SCALE:	1/4"=1'-0"	
PROJECT No.	2020SE300	

NOTES

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DRAWINGS SHALL NOT BE SCALED. THESE DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL THE REQUIRED BUILDING PERMITS HAVE BEEN ISSUED.

No.	DATE:	REVISION



Variance No.3

68 CARDISH STREET
PROPOSED NORTH ELEVATION
 SCALE: 1/4" = 1'-0"

SEALS

SE SCHILLER ENGINEERING
 2157 ROYAL WINDSOR DRIVE, UNIT 4
 MISSISSAUGA, ON L5L 1K5
 PHONE: 905-822-1666
 EMAIL: TRAVIS@SCHILLERENGINEERING.CA

CLIENT
 MIKE MUIA

PROJECT
 68 CARDISH STREET,
 KLEINBURG, ON.

PAGE
 PROPOSED REAR ELEVATION

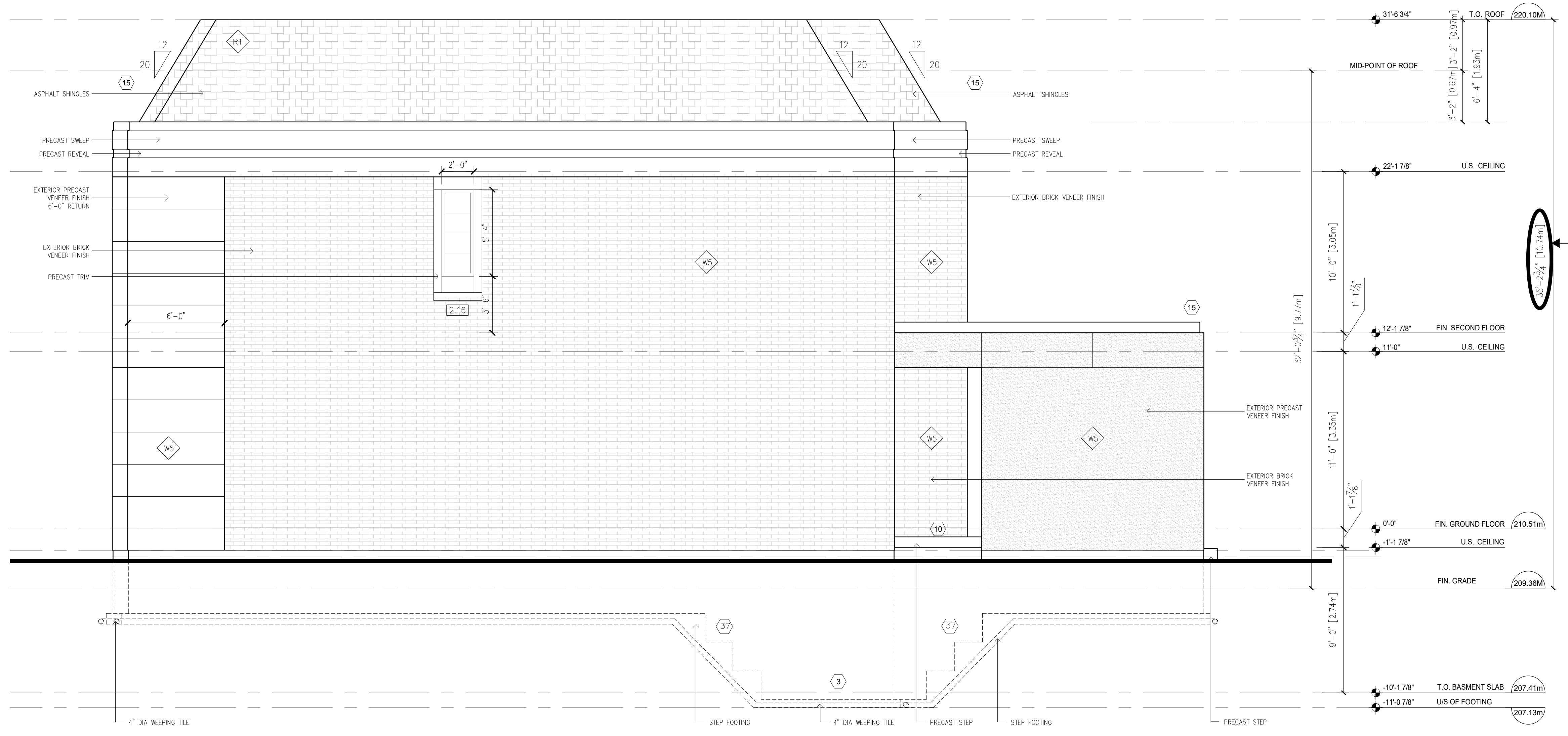
APPROVED BY:	TS	A2.3
DATE:	APR. 2021	
SCALE:	1/4"=1'-0"	
PROJECT No.	2020SE300	

NOTES

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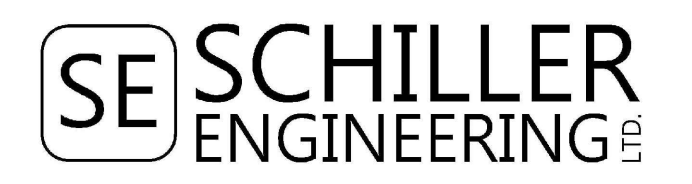
No.	DATE:	REVISION



68 CARDISH STREET

PROPOSED EAST ELEVATION
SCALE: 1/4" = 1'-0"

SEALS



2157 ROYAL WINDSOR DRIVE, UNIT 4
MISSISSAUGA, ON L5L 1K5
PHONE: 905-822-1666
EMAIL: TRAVIS@SCHILLERENGINEERING.CA

CLIENT

MIKE MUIA

PROJECT

68 CARDISH STREET,
KLEINBURG, ON.

PAGE

PROPOSED EAST ELEVATION

APPROVED BY:	TS	A2.4
DATE:	APR. 2021	
SCALE:	1/4"=1'-0"	
PROJECT No.	2020SE300	

SCHEDULE B: STAFF & AGENCY COMMENTS

DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Ministry of Transportation (MTO) *Schedule B	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Region of York *Schedule B	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra *Schedule B	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada *Schedule B	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline *Schedule B	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
<input checked="" type="checkbox"/> Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/no conditions
Building Standards (Zoning)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments

Date: July 31st 2023

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A123-23**

Related Files:

Applicant Schiller Engineering Ltd.

Location 68 Cardish Street



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

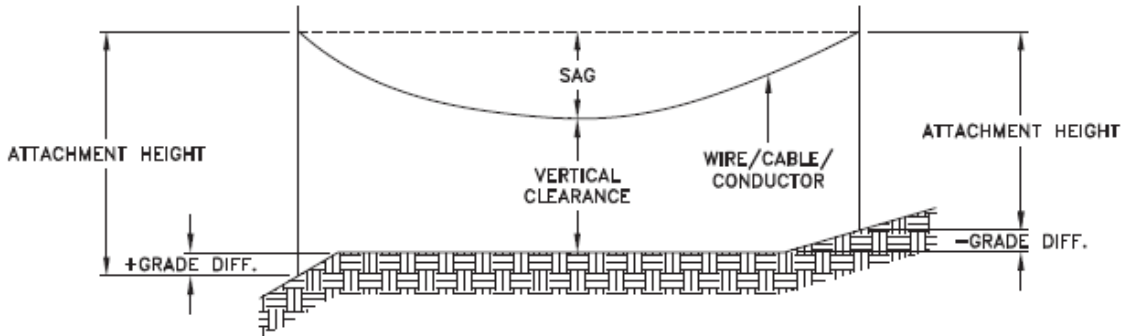
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

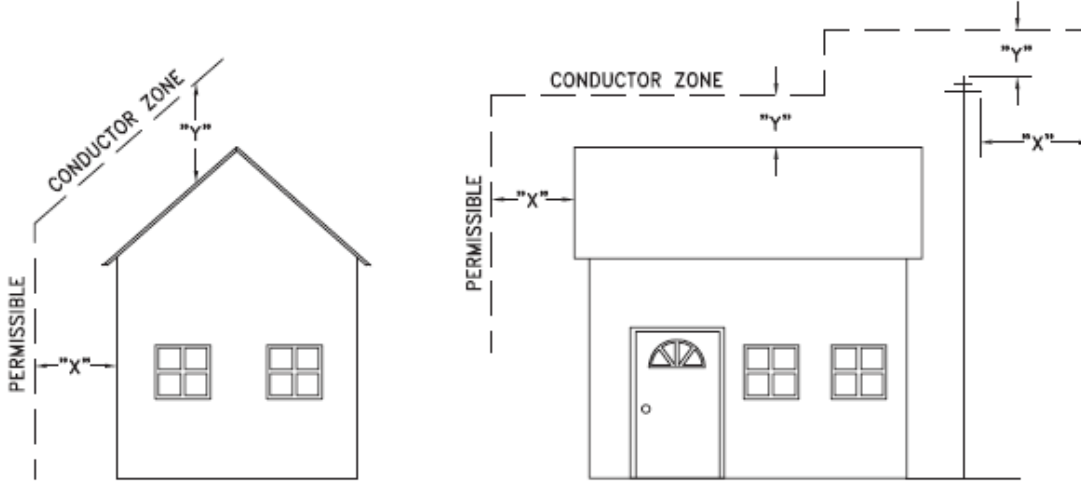
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

To: Committee of Adjustment
From: Lindsay Haviland, Building Standards Department
Date: July 27, 2023
Applicant: Schiller Engineering Ltd.
Location: 68 Cardish Street
 PLAN RP6087 Lot 150
File No.(s): A123/23

Zoning Classification:

The subject lands are zoned R1B(EN) – First Density Residential Zone (Established Neighbourhood) under Zoning By-law 001-2021, as amended.

#	Zoning By-law 01-2021	Variance requested
1	N/A	

The subject lands are zoned R1 – Residential Zone under Zoning By-law 1-88, as amended.

Zoning By-law 1-88		Variance requested
1	A minimum Interior side yard of 1.5 metres is required [Schedule A].	To permit a minimum interior side yard of 0.97 metres to a dwelling.
2	A maximum lot coverage of 30% is required [Schedule A, Note 12].	To permit a maximum lot coverage of 41.70%.
3	A maximum building height of 9.5 metres is required [Schedule A].	To permit a maximum building height of 10.74 metres for a dwelling.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

Building Permit No. 22-113225 for Single Detached Dwelling - New, Issue Date: Sep 09, 2022
 Building Permit No. 22-113225 for Single Detached Dwelling - Alteration, Issue Date: (Not Yet Issued)

Other Comments:

Zoning By-law 01-2021	
1	This application has been determined to be transitioned in accordance with Subsection 1.6.3.1.1(a) (Minor Variance File A183/21) and therefore is subject to Zoning By-law 1-88, as amended, only.

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.



2141 Major Mackenzie Drive
Vaughan, Ontario
Canada L6A 1T1
(905) 832-2281

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development Planning
Date: August 24, 2023
Name of Owner: Pamela Duca
Location: 68 Cardish Street
File No.(s): A123/23

Proposed Variance(s) (By-law 1-88):

1. To permit a minimum interior side yard of 0.97 m to a dwelling.
2. To permit a maximum lot coverage of 41.70%.
3. To permit a maximum building height of 10.74 m for a dwelling.

By-Law Requirement(s) (By-law 1-88):

1. A minimum Interior side yard of 1.5 m is required.
2. A maximum lot coverage of 30% is required.
3. A maximum building height of 9.5 m is required.

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Comments:

The Owner is requesting relief to permit the construction of a two-storey single detached dwelling, with the above-noted variances. Minor Variance Application A183/21 was approved on November 18, 2021, for the same above noted variances but was accompanied with a different dwelling design.

The Development Planning Department has no objection to Variance 1 for the reduced westerly interior side yard setback for the proposed dwelling. The requested 0.97 m setback would only be utilized by the projection of the window wells. The main wall of the dwelling is setback 1.88 m from the westerly interior side lot line, which complies with the Zoning By-law. As such, the proposed interior side yard setback will not have adverse massing impacts to the neighbouring property or the streetscape.

The proposed dwelling, loggia and covered porch will have lot coverages of 32.13%, 9.17% and 0.39% respectively. The 32.13% lot coverage for the dwelling represents a minor increase to the permitted lot coverage of 30%. The 2.13% increase to the permitted lot coverage is minor in nature, appropriate for the size of the lot and will not pose a significant impact to the neighbouring properties or surrounding area. The remaining lot coverage for the front porch and rear loggia are considered non-livable space. The loggia is also one-storey in height and located entirely in the rear yard, and as such, will not have adverse impacts to the neighbouring properties or streetscape. The proposed increase in lot coverage is also in line with previous approvals for dwellings with attached loggias in the neighbourhood. As such, the Development Planning Department has no objection to Variance 2 for the increased lot coverage.

The Development Planning Department has no objection to Variance 3 for the proposed dwelling height. The 10.74 m height is measured to the top of the roof and is consistent with the heights of similar dwellings in the neighbourhood. As such, the height is appropriate for the size of the lot and is not anticipated to have negative massing impacts to the neighbourhood or the existing streetscape.

Accordingly, the Development Planning Department can support the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None

Comments Prepared by:

Joshua Cipolletta, Planner

David Harding, Senior Planner

From: [Development Services](#)
To: [Christine Vigneault](#)
Cc: [Committee of Adjustment](#)
Subject: [External] RE: A123/23 (68 Cardish Street) - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: August-08-23 12:01:14 PM
Attachments: [image001.png](#)
[image003.png](#)

Hi Christine,

The Regional Municipality of York has completed its review of the minor variance application – A123/23 (68 Cardish St.) and has no comment.

Please provide us with a copy of the notice of decision for our records.

Many thanks,

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Development Services, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

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SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

SCHEDULE D: PREVIOUS COA DECISIONS ON THE SUBJECT LAND

File Number	Date of Decision MM/DD/YYYY	Decision Outcome
A183/21	11/18/2021	Approved by COA

NOTICE OF DECISION
Minor Variance Application A183/21
 Section 45 of the Planning Act, R.S.O., 1990, c.P.13

Date of Hearing: Thursday, November 18, 2021
Applicant: Michael Muia and Pamela Duca
Agent: Schiller Engineering Ltd.
Property: **68 Cardish Street, Kleinburg**
Zoning: The subject lands are zoned R1, Residential Zone, under By-law 1-88 as amended.
OP Designation: Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
Related Files: None
Purpose: Relief from the By-law 1-88, as amended, is being requested to permit the construction of a proposed single family dwelling with attached covered loggia to be located in the rear yard.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
1. A minimum Interior side yard of 1.5 metres is required (Schedule A).	1. To permit a minimum Interior side yard of 0.97 metres to a dwelling.
2. A maximum Lot coverage of 30% is required (Schedule A, Note 12).	2. To permit a maximum Lot coverage of 41.70% (Dwelling - 25.23%, Garage - 6.90%, Loggia - 9.19%, Porch - 0.38%).
3. A maximum Building Height of 9.5 metres is required (Schedule A).	3. To permit a maximum Building Height of 10.74 metres to a dwelling.

Sketch: A sketch illustrating the request has been attached to the decision.

Having regard to the requirements of Section 45 of the *Planning Act*, R.S.O. 1990, c. P. 13, as amended, including the written and oral submissions related to the application, it is the decision of the Committee:

THAT Application No. A183/21 on behalf of Michael Muia Pamela Duca be **APPROVED**, in accordance with the sketch submitted with the application (as required by Ontario Regulation 200/96) and subject to the following conditions:

	Department/Agency	Condition
1	Development Planning Michael Torres 905-832-8585 x 8112 Michael.Torres@vaughan.ca	The Owner shall submit a revised Landscape Plan to the satisfaction of the Development Planning Department.
2	Development Engineering Farzana Khan 905-832-8585 x 3608 Farzana.Khan@Vaughan.ca	1. The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit https://www.vaughan.ca/services/residential/dev-eng/permits/Pages/default.aspx to learn how to apply for lot grading and/or servicing approval.

Department/Agency	Condition
	2. The owner/applicant shall provide a brief to demonstrate the appropriate LID (Low-impact Development) measures and show the measures taken in the drawing to the satisfaction of DE to address the increased lot coverage from 30% to 41.7% in order to mitigate potential impacts on the municipal storm water system.

For the following reasons:

1. The general intent and purpose of the by-law will be maintained.
2. The general intent and purpose of the official plan will be maintained.
3. The requested variance(s) is/are acceptable for the appropriate development of the subject lands.
4. The requested variance(s) is/are minor in nature.

Please Note:

It is the responsibility of the owner/applicant and/or authorized agent to address any condition(s) of approval noted in this decision to the satisfaction of the commenting department or agency. Once conditions have been satisfied, the Secretary Treasurer will be in a position to issue a clearance letter which is required prior to the issuance of a Building Permit.

Relief granted from the City’s Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City’s Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

Written & oral submissions considered in the making of this decision were received from the following:

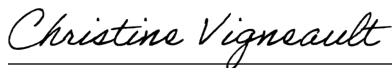
Public Written Submissions * Public Correspondence received and considered by the Committee in making this decision	Public Oral Submissions *Please refer to the approved Minutes of November 18, 2021 meeting for submission details.
None	None

Late Written Public Submissions: None

Public written submissions on an Application shall only be received by the Secretary Treasurer until **noon** on the last business day prior to the day of the scheduled Meeting.

MEMBERS PRESENT WHO CONCUR IN THIS DECISION:

<i>H. Zheng</i>	<i>A. Perrella</i>	<i>R. Buckler</i>
H. Zheng Member	A. Perrella Chair	R. Buckler Member
<i>S. Kerwin</i>		<i>A. Antinucci</i>
S. Kerwin Vice Chair		A. Antinucci Member

DATE OF HEARING:	November 18, 2021
DATE OF NOTICE:	November 26, 2021
LAST DAY FOR *APPEAL: *Please note that appeals must be received by this office no later than 4:30 p.m. on the last day of appeal.	December 8, 2021 4:30 p.m.
CERTIFICATION: I hereby certify that this is a true copy of the decision of the City of Vaughan's Committee of Adjustment and this decision was concurred in by a majority of the members who heard the application.  _____ Christine Vigneault, AMP, ACST Manager Development Services & Secretary Treasurer to the Committee of Adjustment	

Appealing to The Ontario Land Tribunal
 The *Planning Act*, R.S.O. 1990, as amended, Section 45

The applicant, the Minister or any other person or public body who has an interest in the matter may within 20 days of the making of the decision appeal to the Ontario Land Tribunal (OLT) against the decision of the Committee by filing with the Secretary-Treasurer of the Committee a notice of appeal setting out the objection to the decision and the reasons in support of the objection accompanied by payment to the Secretary-Treasurer of the fee prescribed by the Tribunal under the *Ontario Land Tribunal Act*.

A notice of appeal may not be filed by an unincorporated association or group. However, a notice of appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

When **no appeal is lodged** within twenty days after the giving of notice the decision becomes final and binding and notice to that effect will be issued by the Secretary-Treasurer.

PLEASE NOTE: As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time. **Please notify the Secretary Treasurer by email at cofa@vaughan.ca** that you will be filing an appeal and mail or courier appeals and prescribed fees to:

Office of the City Clerk - Committee of Adjustment
 2141 Major Mackenzie Drive
 Vaughan Ontario, L6A 1T1

If you have questions regarding the appeal process, please email cofa@vaughan.ca

Appeal Fees & Forms

ONTARIO LAND TRIBUNAL (OLT): The OLT appeal fee is \$400 plus \$25 for each additional consent/variance appeal filed by the same appellant against connected applications. The OLT Appeal Fee must be paid by certified cheque or money order payable to the "Minister of Finance". OLT appeals must be filed with the Secretary Treasurer, City of Vaughan.

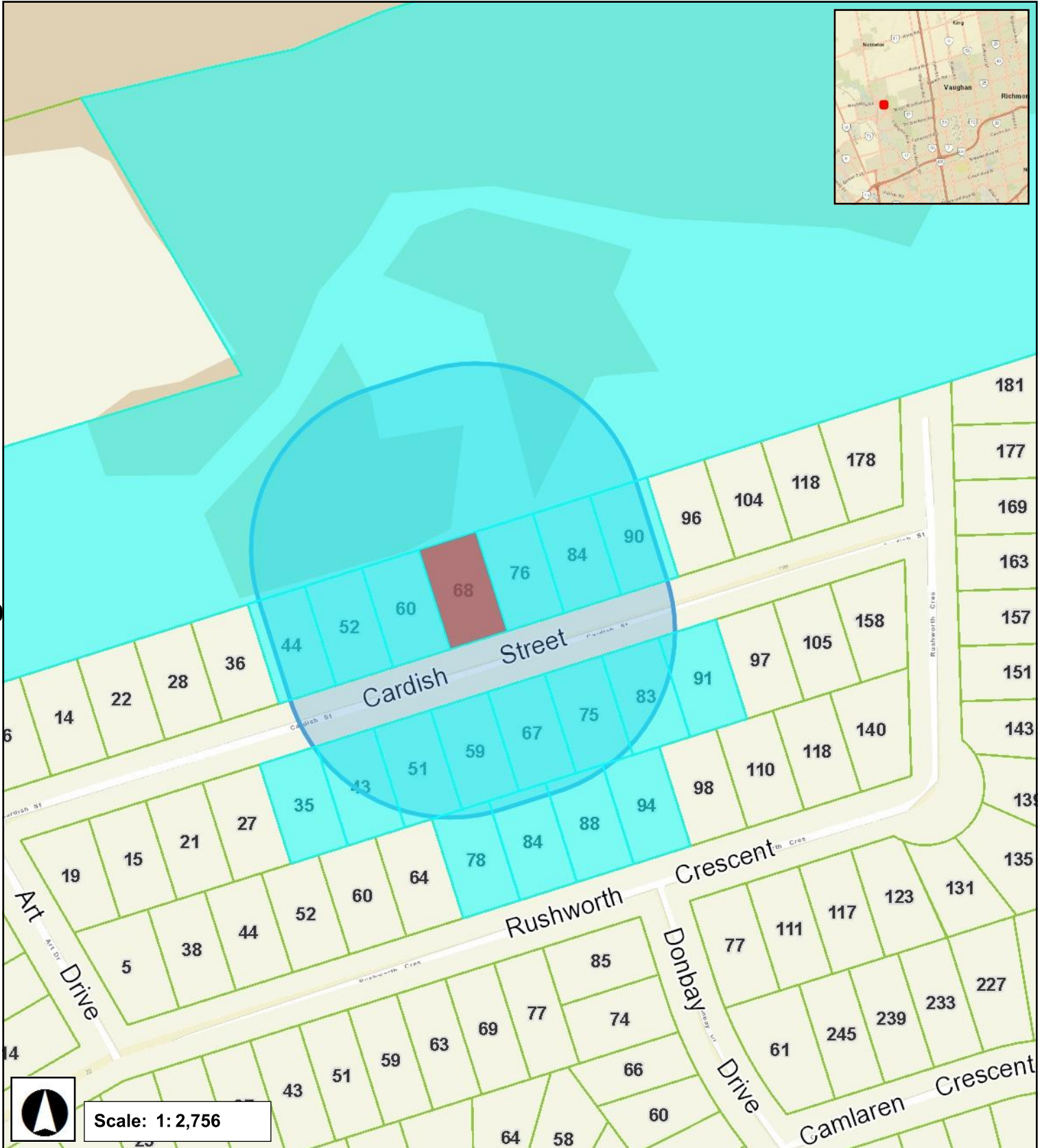
City of Vaughan OLT Processing Fee: \$866.00 per application

*Please note that all fees are subject to change.



A183/21 - Notification Map

68 Cardish Street, Kleinburg



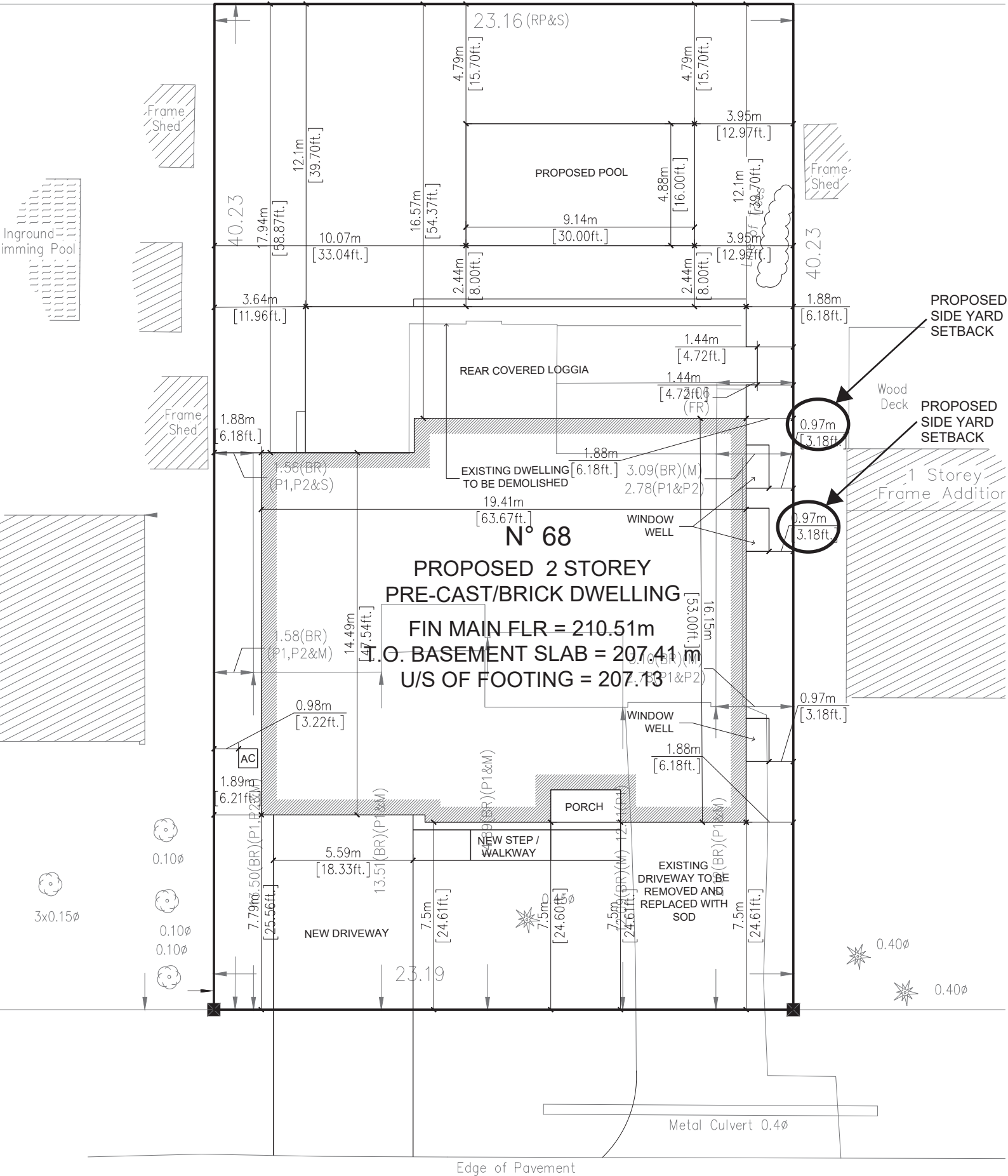
Major Mackenzie Drive

November 4, 2021 10:07 AM

Proposal:

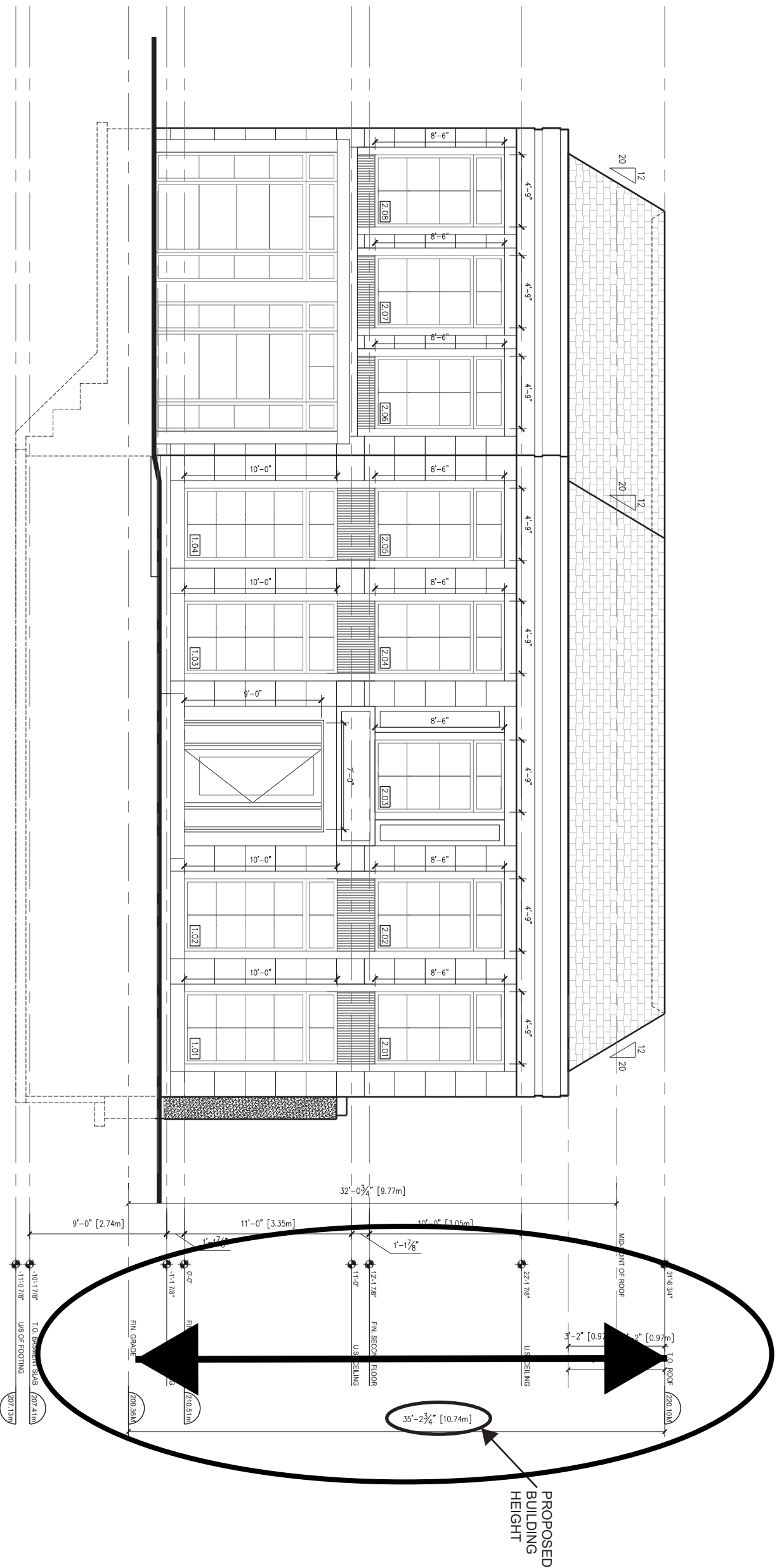
1. To permit a minimum Interior side yard of 0.97 metres to a dwelling.
2. To permit a maximum Lot coverage of 41.70% (Dwelling - 25.23%, Garage - 6.90%, Loggia - 9.19%, Porch - 0.38%).
3. To permit a maximum Building Height of 10.74 metres to a dwelling

A183/21



CARDISH

STREET



68 CARDISH STREET

PROPOSED SOUTH ELEVATION
SCALE: 1/8" = 1'-0"