

| | |
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| ITEM: 6.12 | COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A122/23 13 ROSSHAVEN CR, WOODBRIDGE |
|-------------------|--|

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES:**

*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

| DEPARTMENTS | Circulated | Comments Received | Conditions | Nature of Comments |
|---|-------------------------------------|-------------------------------------|-------------------------------------|----------------------------------|
| Committee of Adjustment | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | General Comments |
| Building Standards (Zoning Review) | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | General Comments |
| Building Inspection (Septic) | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | No Comments Received to Date |
| Development Planning | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Recommend Approval/No Conditions |
| Development Engineering | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | Recommend Approval w/Conditions |
| Parks, Forestry and Horticulture Operations | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | General Comments |
| By-law & Compliance, Licensing & Permits | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | No Comments Received to Date |
| Development Finance | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | General Comments |
| Real Estate | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Fire Department | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | No Comments Received to Date |
| AGENCIES | Circulated | Comments Received | Conditions | Nature of Comments |
| TRCA | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | No Comments or Concerns |
| Ministry of Transportation (MTO) | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | No Comments Received to Date |
| Region of York | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | General Comments |
| Alectra | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | General Comments |
| Bell Canada | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | No Comments Received to Date |
| YRDSB | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| YCDSB | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| CN Rail | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| CP Rail | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| TransCanada Pipeline | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | No Comments Received to Date |
| Metrolinx | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Propane Operator | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |

PUBLIC & APPLICANT CORRESPONDENCE

*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

| Correspondence Type | Name | Address | Date Received (mm/dd/yyyy) | Summary |
|---------------------|------|---------|-------------------------------|---------|
| None | | | | |

PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

| File Number | Date of Decision MM/DD/YYYY | Decision Outcome |
|-------------|--------------------------------|------------------|
| None | | |

ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

| | |
|------|--|
| None | |
|------|--|



**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A122/23
13 ROSSHAVEN CR, WOODBRIDGE**

| | |
|--|---|
| ITEM NUMBER: 6.12 | CITY WARD #: 3 |
| APPLICANT: | Emilio & Teresa Caruso |
| AGENT: | Square Design Group |
| PROPERTY: | 13 Rosshaven Crescent, Woodbridge |
| ZONING DESIGNATION: | See below. |
| VAUGHAN OFFICIAL PLAN (2010) DESIGNATION: | Vaughan Official Plan 2010 ('VOP 2010'): "Low Density Residential," Volume 2, Area Specific Policy 12.13, Block 40/47 |
| RELATED DEVELOPMENT APPLICATIONS: | None |
| PURPOSE OF APPLICATION: | Relief from the Zoning By-law is being requested to permit a proposed cabana, swimming pool and pool equipment. |

The following variances have been requested from the City's Zoning By-law:

| # | Zoning By-law 001-2021 | Variance requested |
|---|--|--------------------|
| | Application is transitioned in accordance with Section 1.6 | |

The subject lands are zoned RD3 – Residential Zone and subject to the provisions of Exception 9(1455) under Zoning By-law 1-88, as amended.

| | Zoning By-law 1-88 | Variance requested |
|---|---|--|
| 1 | The minimum rear yard setback required is 7.5 metres. [Section 4.1.1, c)] | To permit a minimum rear yard setback of 1.02 metres to an Accessory Building (cabana). |
| 2 | The minimum interior side yard setback required is 1.2 metres. [Section 4.1.1, c)] | To permit a minimum interior side yard setback of 0.61 metres to an Accessory Building (cabana). |
| 3 | The minimum setback of an outdoor swimming pool to the rear lot line shall be 1.5 metres. [Section 4.1.1, i)] | To permit a minimum rear yard setback of 1.22 metres to a pool. |
| 4 | The minimum setback of an outdoor swimming pool to an interior side lot line shall be 1.5 metres. [Section 4.1.1, i)] | To permit a minimum interior side yard setback of 0.99 metres to a pool. |

HEARING INFORMATION

DATE OF MEETING: Thursday, August 31, 2023
TIME: 6:00 p.m.
MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive
LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

HEARING INFORMATION

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

That the general intent and purpose of the by-law will be maintained.

That the general intent and purpose of the official plan will be maintained.

That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.

That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT COMMENTS

| | |
|---|---|
| Date Public Notice Mailed: | August 17, 2023 |
| Date Applicant Confirmed Posting of Sign: | August 11, 2023 |
| Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small> | Cannot comply with bylaw setbacks and lot coverage. |
| Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small> | None |
| Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: *ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice. *A revised submission may be required to address staff / agency comments received as part of the application review process. *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice. | No |
| Adjournment Fees: In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice. An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice. | |
| Committee of Adjustment Comments: | General Comments |
| Committee of Adjustment Recommended Conditions of Approval: | General Comments |

BUILDING STANDARDS (ZONING) COMMENTS

**See Schedule B for Building Standards (Zoning) Comments

| | |
|---|------|
| Building Standards Recommended Conditions of Approval: | None |
|---|------|

DEVELOPMENT PLANNING COMMENTS

**See Schedule B for Development Planning Comments.

| | |
|---|------|
| Development Planning Recommended Conditions of Approval: | None |
|---|------|

DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

Due to the size of the proposed pool and cabana on the subject property, which measures 35.0 m² and 20.1 m² respectively, the Owner/Applicant must acquire a Lot Grading Permit from the Development Inspection and Lot Grading Division of the City's Development Engineering Department.

DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#)
 [Link to Pool Permit](#)
 [Link to Curb Curt Permit](#)
 [Link Culvert Installation](#)

It's important note that any in-ground structure exceeding 10 m² necessitates a Grading Permit. Once the Grading Permit is obtained, please reach out to the Development Engineering Reviewer to clear the Condition imposed on this application.

The Owner / Applicant shall apply for a Pool Grading Permit with the Development Engineering (DE) Department. Please visit the grading permits page at City of Vaughan website to learn how to apply for the Pool Permit. If you have any question about Pool Grading Permit, please contact the Development Engineering Department through email at DEPermits@vaughan.ca.

The Owner/Applicant's proposed work involves increasing the Lot Coverage on the subject property. This addition of hardscape could potentially affect the City's Storm Water management system. Development Engineering highly recommends that the Owner/Applicant incorporate Low-Impact Development (LID) measures, such as bioswales, permeable pavers, rain gardens, rain barrels, etc., to minimize the impact on the stormwater system. If additional information is needed, please reach out to the Development Engineering COA reviewer.

The Development Engineering Department does not object to the Minor Variance application A122/23, subject to the following condition(s):

| | |
|--|---|
| Development Engineering Recommended Conditions of Approval: | The Owner/Applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading Division within the City's Development Engineering Department before initiating any work on the property. To apply for a Grading Permit, please visit the Permit page on the City of Vaughan website. For any inquiries regarding the Grading Permit, please feel free to contact the Development Engineering Department via email at DEPermits@vaughan.ca . |
|--|---|

PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

Forestry has no comment at this time.

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| PFH Recommended Conditions of Approval: | None |
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DEVELOPMENT FINANCE COMMENTS

No comment no concerns

| | |
|--|------|
| Development Finance Recommended Conditions of Approval: | None |
|--|------|

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

No objections or comments

| | |
|--|------|
| BCLPS Recommended Conditions of Approval: | None |
|--|------|

BUILDING INSPECTION (SEPTIC) COMMENTS

No comments received to date.

| | |
|--|------|
| Building Inspection Recommended Conditions of Approval: | None |
|--|------|

FIRE DEPARTMENT COMMENTS

No comments received to date.

| | |
|--|------|
| Fire Department Recommended Conditions of Approval: | None |
|--|------|

SCHEDULES TO STAFF REPORT

*See Schedule for list of correspondence

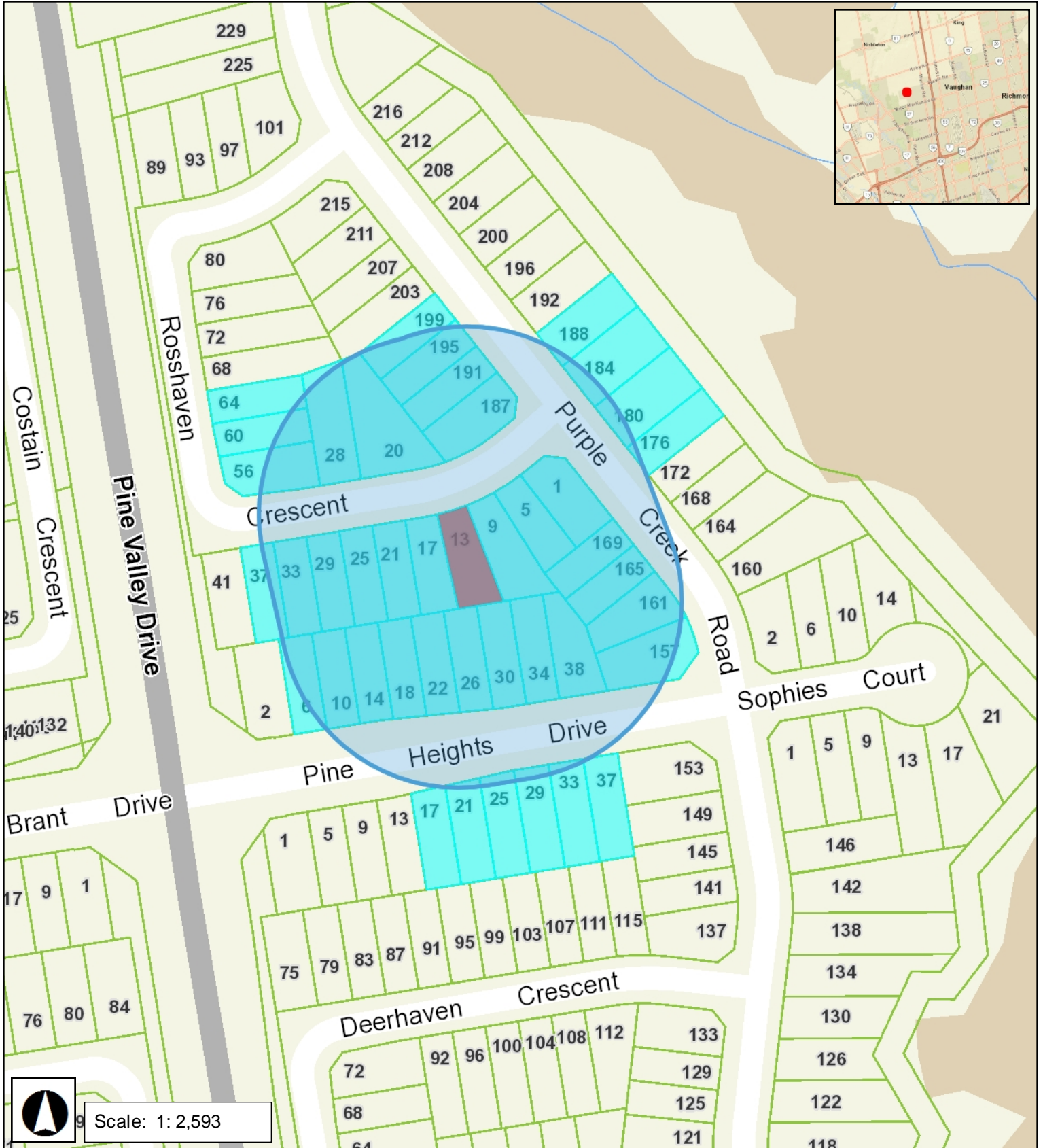
| | |
|---------------------------------|---|
| Schedule A | Drawings & Plans Submitted with the Application |
| Schedule B | Staff & Agency Comments |
| Schedule C (if required) | Correspondence (Received from Public & Applicant) |
| Schedule D (if required) | Previous COA Decisions on the Subject Land |

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

| SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL | | |
|---|---|--|
| All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency. | | |
| # | DEPARTMENT / AGENCY | CONDITION(S) DESCRIPTION |
| 1 | Development Engineering Rex.bondad@vaughan.ca | The Owner/Applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading Division within the City's Development Engineering Department before initiating any work on the property. To apply for a Grading Permit, please visit the Permit page on the City of Vaughan website. For any inquiries regarding the Grading Permit, please feel free to contact the Development Engineering Department via email at DEPermits@vaughan.ca. |

| IMPORTANT INFORMATION – PLEASE READ |
|---|
| <p>CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (see condition chart above for contact). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.</p> |
| <p>APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.</p> <p>An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.</p> <p>A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.</p> <p>Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.</p> <p>Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.</p> |
| <p>DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment</p> <p>That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.</p> |
| <p>NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will not receive notice.</p> |

SCHEDULE A: DRAWINGS & PLANS



RECEIVED

By Christine Vigneault at 8:29 am, Aug 16, 2023

PROPOSED CABANA

13 Rosshaven Cres., Woodbridge, ON

A0-COVER PAGE

A1-CONSTRUCTION NOTES

A2-SITE PLAN

A3-KEY PLAN

A4-CABANA FOUNDATION PLAN

A5-CABANA MAIN FLOOR PLAN

A6-CABANA ROOF PLAN

A7-CABANA ROOF DRAINAGE PLAN

A8-CABANA ELEVATIONS

A9-CABANA ELEVATIONS

**Square
Design
Group**

1. Workmanship and materials shall be in accordance with part 9 of the Ontario Building Code and local regulations.
2. See Architectural drawings for dimensions, elevations and finishes.
3. All structural components shall be interconnected to resist code mandated live, dead and environmental loads.
4. DESIGN LIVE LOADS ARE (Woodbridge):
 ROOF : $S_s = 1.1$ KPA, $S_r = 0.4$ KPA
 FLOORS : 40 PSF
 WIND 1/50 : 0.44 KPA BASIC
 EARTHQUAKE : $S_a(0.2) = 0.19$
5. Contractor is responsible for safe execution of work, as per osha and other applicable safety codes. a temporary shoring plan and construction sequence duly signed by an Ontario licensed professional engineer to be submitted for approval before start of any relevant work. Approved shop drawings along with approve permit drawings shall be always available at site for reference.

Foundations

1. Footings shall be placed on undisturbed soil capable of supporting 2000 psf.
2. Footings excavations shall be inspected by soils engineer before concrete is placed.
3. Footings exposed to freezing shall be placed at least 4'-0" below finished grade.
4. Protect footings exposed to frost action during construction by 4'-0" minimum of soil or its equivalent.
5. The line of slope between adjacent footings or excavations or along stepped footings shall not exceed a rise of 7 in a run of 10. maximum step shall be 2'-0".
6. Where a foundation wall retains soil on each side, place backfill on both sides simultaneously.
7. Foundation walls retaining earth between slabs at different levels shall be shored until the slab at higher level is in place and has reached its required strength.

Concrete specification

1. The ultimate 28 days compressive strength of concrete shall be 20.0 MPA unless noted otherwise.
2. The ultimate 28 days compressive strength of concrete exposed to freezing and thawing (exterior slabs, garage floor slab, side walks, curbs, retaining walls, etc.) shall be 32 MPA with minimum air entrainment content of 5%-8% and maximum water/cement ratio by mass of 0.45.
3. Do not use calcium chloride or other salts in concrete.
4. Reinforcing steel shall be deformed bars to CSA G30.18 with a minimum yield strength of 400 MPA.
5. Welded wire mesh shall conform to CSA G30.5, welded steel wire fabric for concrete reinforcement.
6. Detail reinforcing in accordance with reinforcing steel manual of standard practice prepared by RSIO.
7. Only ready mix concrete is permitted on this job. the concrete supplier shall be responsible for concrete mix design.
8. Supply and install concrete, reinforcing steel and formwork including placing, finishing and curing as shown on the drawings in accordance with CSA A23 and CSA G 30.
9. Non-shrink, non-metallic grout shall be used by Sika Canada inc. or an approved equal.

STEEL LINTEL SCHEDULE

| | | |
|----|----------------------|---------------------------------|
| L1 | Up to 4'-6" Opening | L 3 1/2" x 3 1/2" x 5/16" |
| L2 | Up to 5'-6" Opening | L 4" x 3 1/2" x 5/16" |
| L3 | Up to 6'-6" Opening | L 5" x 3 1/2" x 5/16" |
| L4 | Up to 7'-6" Opening | L 5" x 3 1/2" x 3/8" |
| L5 | Up to 9'-10" Opening | L 6" x 4" x 3/8" |
| L6 | Up to 11'-0" Opening | L 7" x 4" x 3/8" |
| L7 | Up to 19'-0" Opening | (I-BEAM) W8x15 BEARING ON BRICK |

WOOD LINTEL SCHEDULE

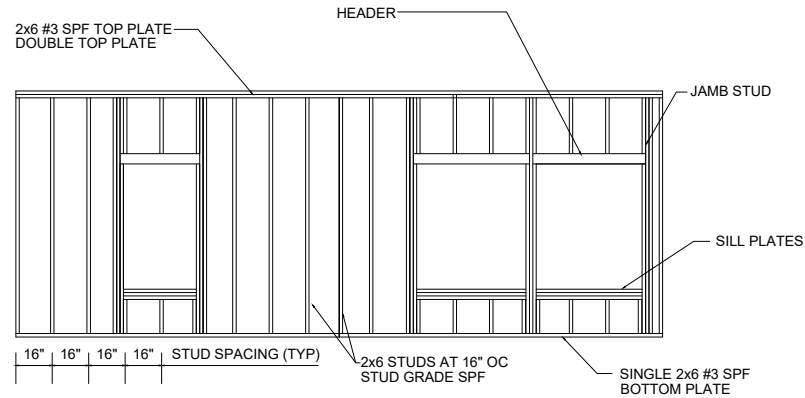
| | | |
|-----|---------------------|--------------|
| WB1 | Up to 3'-6" Opening | 3 - 2" x 6" |
| WB2 | Up to 5'-6" Opening | 3 - 2" x 8" |
| WB3 | Up to 6'-6" Opening | 3 - 2" x 10" |
| WB4 | Up to 7'-6" Opening | 3 - 2" x 12" |

Structural Steel

1. Structural steel shall be as follows
 W, S, HP, WWF SHAPES CAN/CSA G40.21-350W.
 HSS CAN/CSA G40.21-350W. CLASS C
 L, PL. CAN/CSA G40.21-300W
2. Obtain field measurements as required.
3. Provide holes where required for attachment of other work to steel. place holes so as not to cause any appreciable reduction in strength of the member.
4. Fabricate, supply and erect structural steel work in accordance with the following standards:
 Design, fabrication and erection CSA-S16.1
 Welding CSA-W47
 Cleaning SSPC-SP3-63
 Bolts 3/4" Ø U.N.O ASTM-325-80A
 Paint (1 shop coat + field touch up) CGSB-1.40-M89
5. Design connections for the reactions produced by the loading conditions.
6. No splices in new beams and columns shall be allowed unless approved by the engineer.
7. All steel lintels bearing on masonry to have minimum 6" bearing

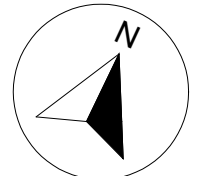
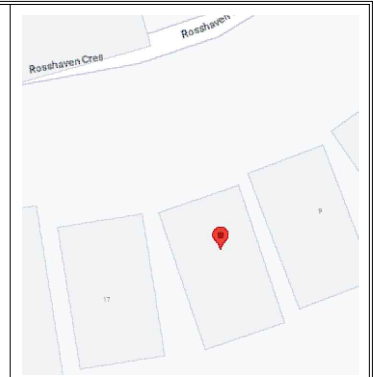
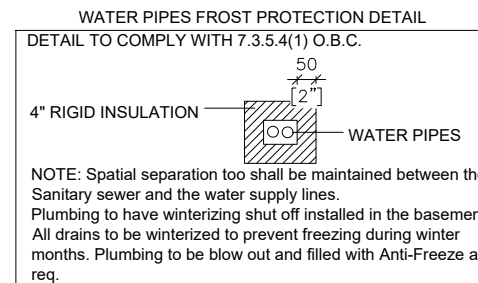
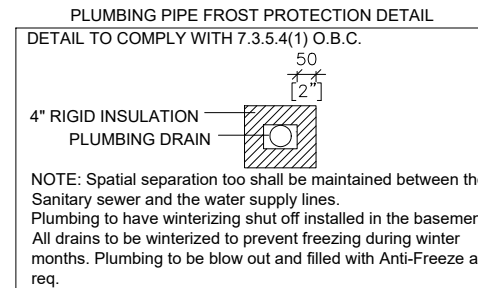
Wood

1. All wood construction to be in accordance with CSA standard CAN3-086-01.
2. All lumber to be grade stamped and shall be dry spruce #1 or #2 conforming to CSA-086-01 u/n otherwise.
3. Lumber for stud walls shall be spruce stud grade u/n otherwise.
4. Trus joists, LSL and PSL beams shall be as manufactured by Trus Joist Canada Ltd. or an approved equal. the supplier shall be responsible for design of all connections and shall submit shop drawings bearing a stamp of P. Eng. responsible for the design.
5. All connections, unless noted otherwise, to be in accordance with O.B.C. 2012
6. All load bearing stud walls shall have one row of solid blocking at mid height unless noted otherwise.
7. Bridging for trus joists shall be as recommended by the manufacturer. however, spacing of bridging shall not exceed 12 feet.
8. Metal hangers shall be made from light gauge galvanized metal and shall have allowable load capacity (as per manufacturer's data) greater than reactions produced by loading conditions. Use Simpson Strong-tie or equal.
9. Protect lumber in direct contact with concrete or mortar with 10 mil. polyethylene sheet.
10. Provide adequate temporary bracing for all stud walls during construction.
11. Double up studs at each end of an opening unless noted otherwise.
12. Plywood as per CSA O 86.1



TYP. WALL

- NOTES:
1. TOP AND BOTTOM PLATE TO STUD WITH (3) .131x3" P.D. NAILS.
 2. WALL TO FLOOR #8x3" SREW 16" O.C. AND (2) .131x3" P.D. NAILS.
 3. WALL TO WALL AND CEILING #8x3" SCREW 16" O.C.



| No. | DESCRIPTION |
|-----------|-------------|
| REVISIONS | |
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ISSUED FOR CONSTRUCTION
 ISSUED FOR BID
 ISSUED FOR BUILDING PERMIT
 ISSUED FOR SITE PLAN APPROVAL DATE: _____
 SUBMITTALS

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.

THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SEALED AND SIGNED BY THE DESIGNER.

DO NOT SCALE DRAWINGS. BURLINGTON



PROJECT:
 Proposed Cabana & Pool

ON
 13 Rosshaven Cres.
 Woodbridge, ON



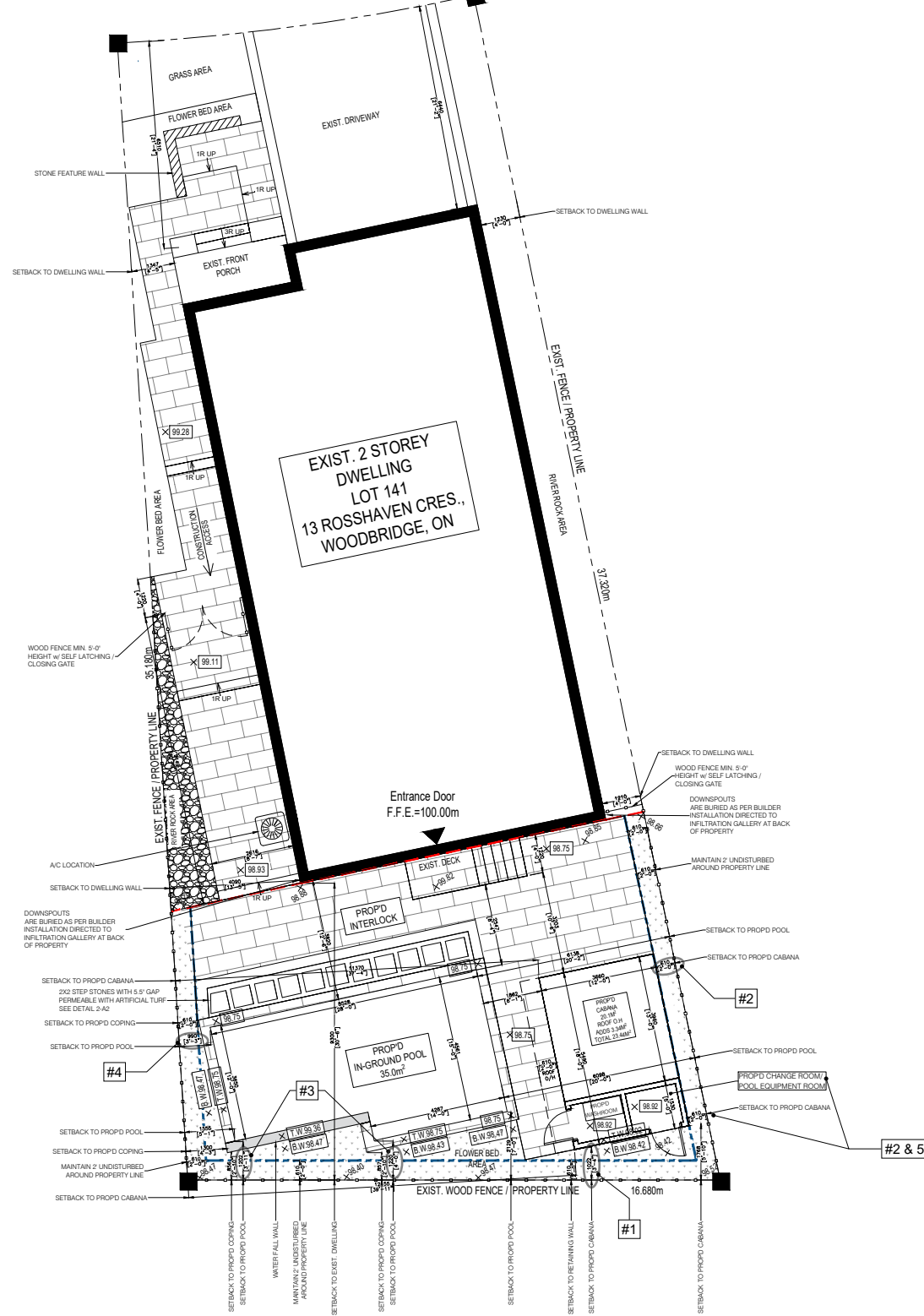
DRAWING:
 Construction Notes

PLOTTED:

| | |
|---------------------|------------------------|
| DATE: 2023-07-11 | PROJECT No. 2023-85 |
| SCALE: AS NOTED | DRAWING No. A1 |
| DRAWN BY: | REVIEWED BY: |

XREFS: FILE NAME: PLOT SCALE: 1" =

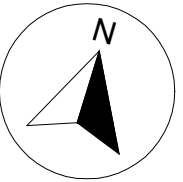
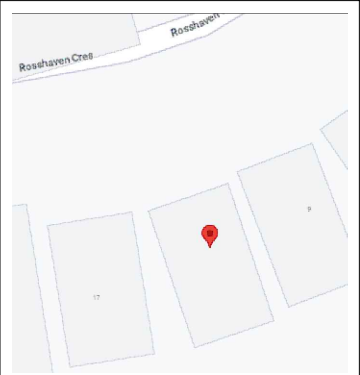
ROSSHAVEN CRES.



| SITE DEVELOPMENT | |
|--------------------------------------|--|
| CATEGORY | AREA |
| TOTAL LOT AREA | 508.2 m ² |
| EXISTING HOUSE FOOTPRINT w/out EAVES | 187.0 m ² |
| EXISTING PORCH FOOTPRINT | 5.2 m ² |
| EXIST. DECK | 2.6 m ² |
| PROPOSED CABANA | Cabana 20.1 m ² + 3.34 m ² eaves |
| LOT COVERAGE | PROVIDED |
| EXISTING HOUSE FOOTPRINT w/out EAVES | 36.8 % |
| EXISTING PORCH FOOTPRINT | 1.0 % |
| EXIST. DECK | 0.5 % |
| PROPOSED CABANA w/ eaves | 4.6 % |
| TOTAL COVERAGE | 42.9 % |
| LANDSCAPE AREA (REAR LOT) | PROVIDED |
| TOTAL REAR YARD AREA | 159.3 m ² |
| REQUESTED SOFT LANDSCAPE AREA | (159.3 m ² - 135 m ²) x 60% = 14.6 m ² |
| PROPOSED SOFT LANDSCAPE AREA | 33.1 m ² |
| HARD LANDSCAPE AREA | 126.0 m ² |

LEGEND

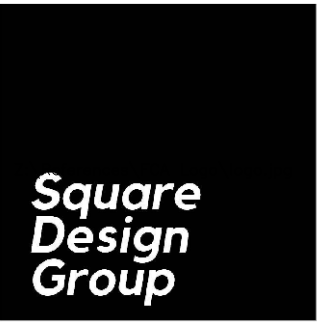
- ×(XX) -Proposed Grades
- × -Existing Grades
- ▲ -Entrance Door
- 2' of undisturbed area around lot line
- - - Rear yard line
- T.W -Top Of Wall
- B.W -Bottom Of wall
- NO RETAINING WALL TO BE GREATER THAN 1 METER TALL



| No. | DESCRIPTION |
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| REVISIONS | |

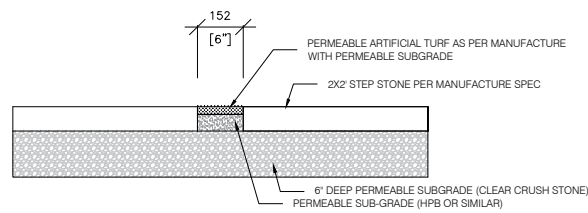
ISSUED FOR CONSTRUCTION
 ISSUED FOR BID
 ISSUED FOR BUILDING PERMIT
 ISSUED FOR SITE PLAN APPROVAL DATE: _____
 SUBMITTALS

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.
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 DO NOT SCALE DRAWINGS.



PROJECT:
 Proposed Cabana & Pool
 ON
 13 Rosshaven Cres.
 Woodbridge, ON

| | |
|-----------------------|------------------------|
| DRAWING: Site Plan | |
| PLOTTED: | |
| DATE: 2023-07-25 | PROJECT No. 2023-85 |
| SCALE: AS NOTED | DRAWING No. A2 |
| DRAWN BY: | REVIEWED BY: |

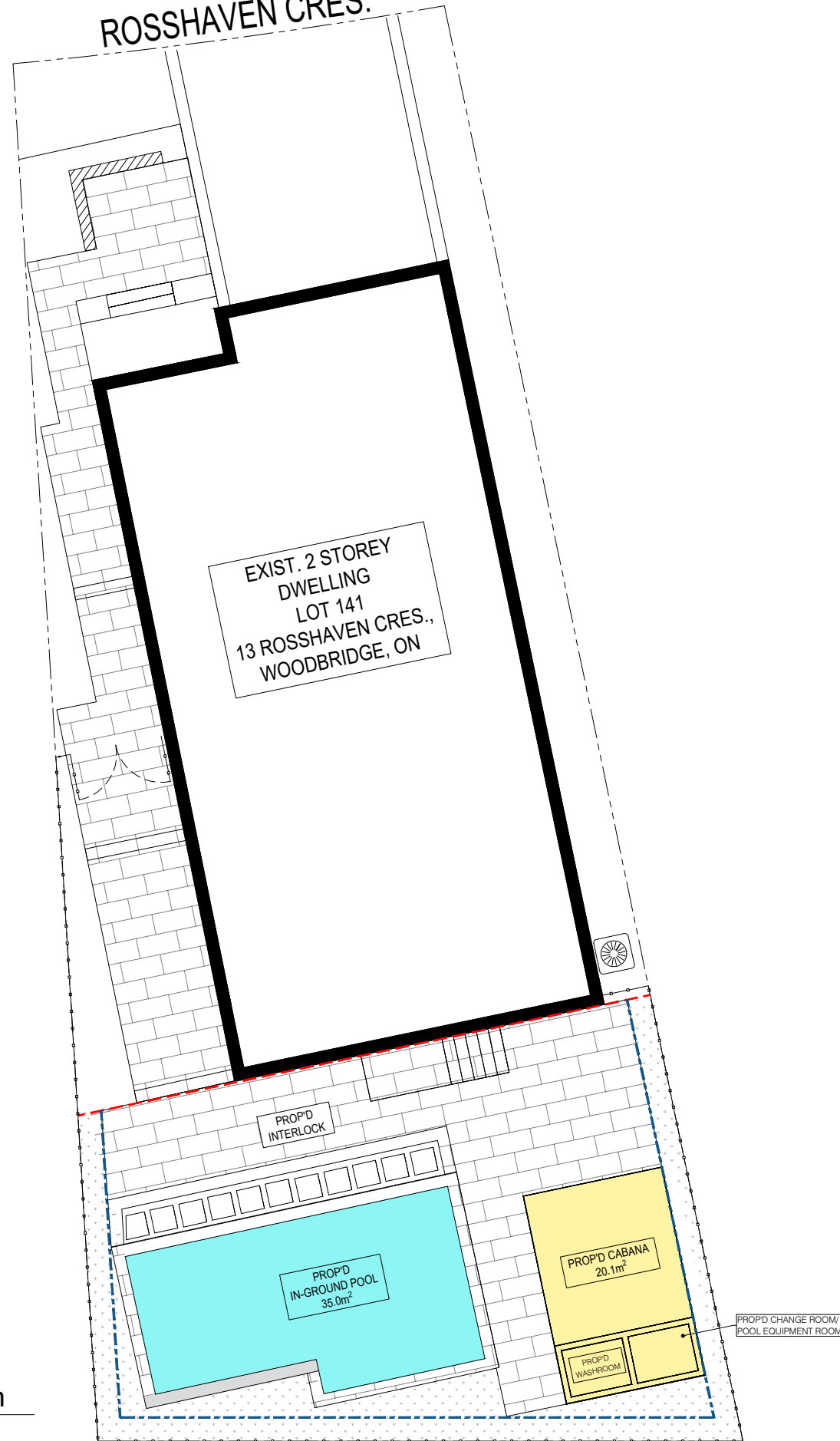


2 PERMEABLE GRASS/STONE DETAIL
 A2 1:25

1 Site Plan
 A2 1:200

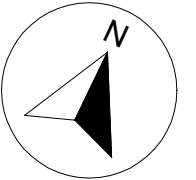
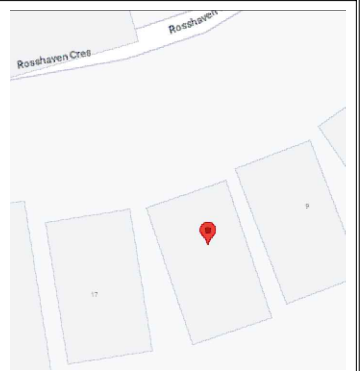
FILE NAME: PLOT SCALE: 1" =

ROSSHAVEN CRES.



SITE DEVELOPMENT

| CATEGORY | AREA |
|--------------------------------------|--|
| TOTAL LOT AREA | 508.2 m ² |
| EXISTING HOUSE FOOTPRINT w/out EAVES | 187.0 m ² |
| EXISTING PORCH FOOTPRINT | 5.2 m ² |
| EXIST. DECK | 2.6 m ² |
| PROPOSED CABANA | Cabana 20.1 m ² + 3.34 m ² eaves |
| LOT COVERAGE | PROVIDED |
| EXISTING HOUSE FOOTPRINT w/out EAVES | 36.8 % |
| EXISTING PORCH FOOTPRINT | 1.0 % |
| EXIST. DECK | 0.5 % |
| PROPOSED CABANA w/ eaves | 4.6 % |
| TOTAL COVERAGE | 42.9 % |
| LANDSCAPE AREA (REAR LOT) | PROVIDED |
| TOTAL REAR YARD AREA | 159.3 m ² |
| REQUESTED SOFT LANDSCAPE AREA | (159.3 m ² - 135 m ²) x 60% = 14.6 m ² |
| PROPOSED SOFT LANDSCAPE AREA | 33.1 m ² |
| HARD LANDSCAPE AREA | 126.0 m ² |



| No. | DESCRIPTION | REVISIONS |
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ISSUED FOR CONSTRUCTION
ISSUED FOR BID
ISSUED FOR BUILDING PERMIT
ISSUED FOR SITE PLAN APPROVAL DATE: _____
SUBMITTALS

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PROJECT:
Proposed Cabana & Pool
ON
13 Rosshaven Cres.
Woodbridge, ON

DRAWING:
Key Plan

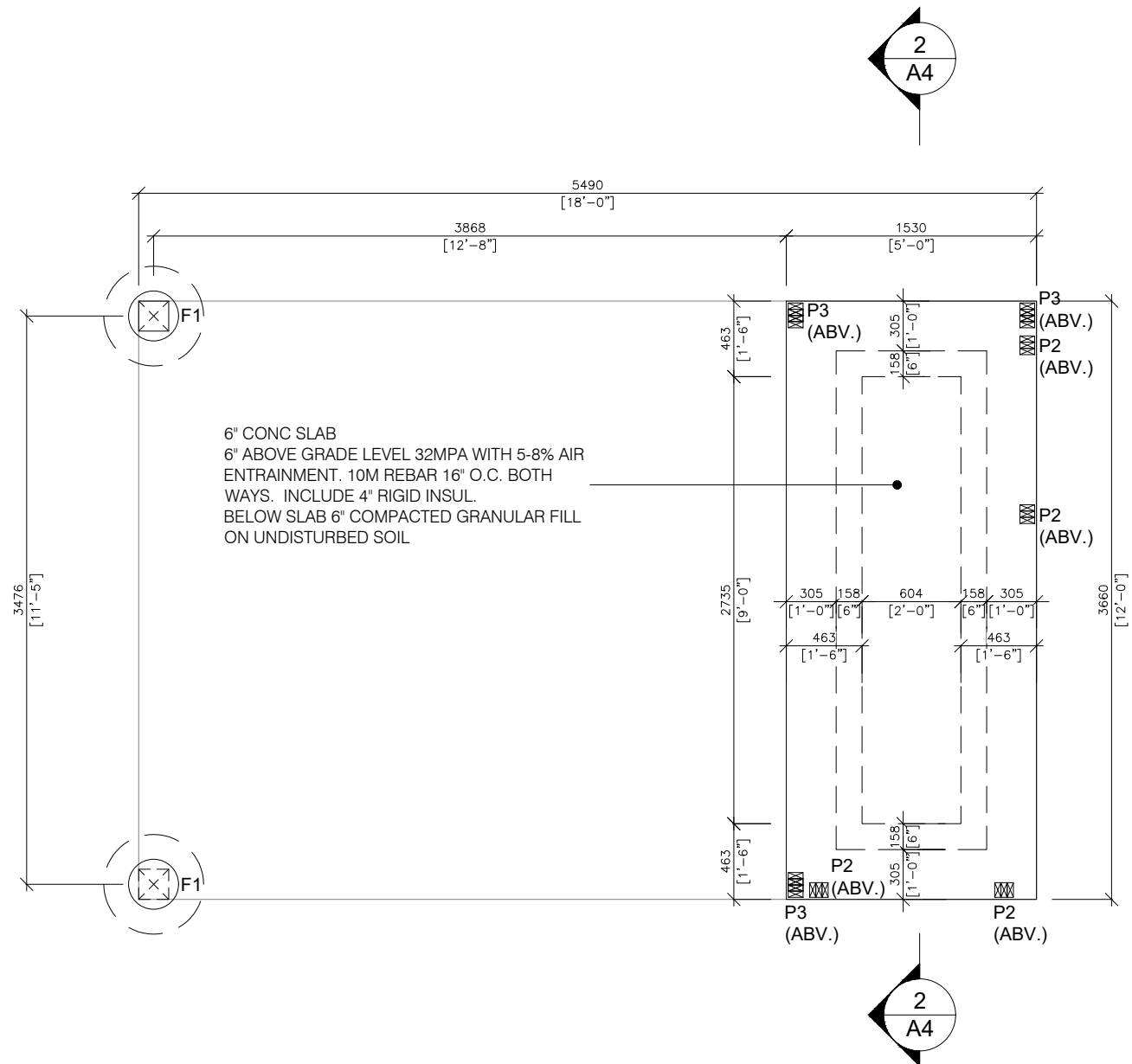
PLOTTED:
DATE: 2023-07-11 PROJECT No. 2023-85

SCALE: AS NOTED DRAWING No. A3

DRAWN BY: _____ REVIEWED BY: _____

1 Key Plan
A3 1:150

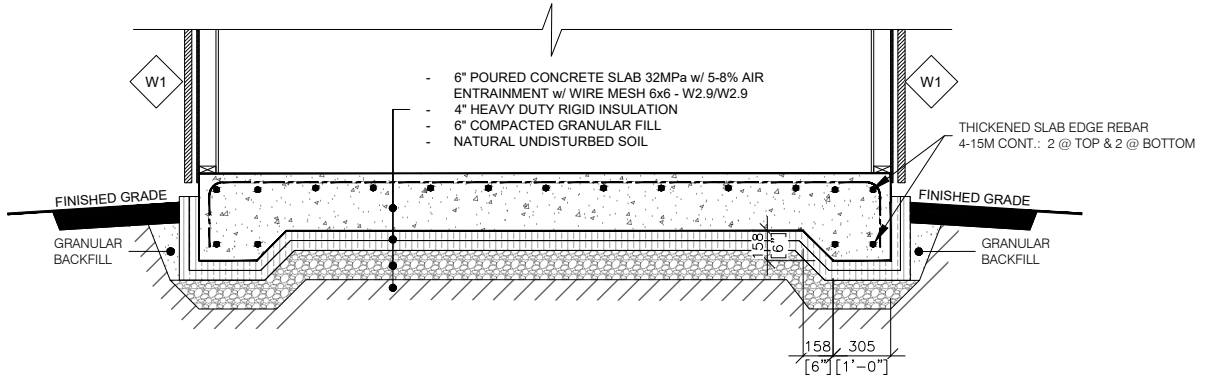
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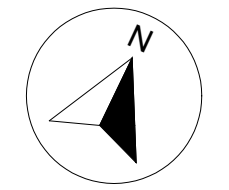
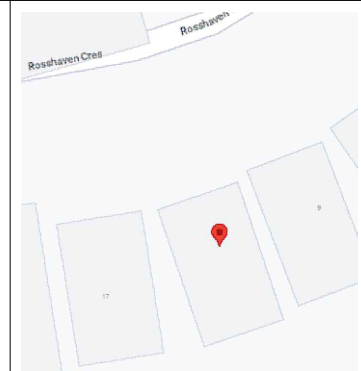
6" CONC SLAB
 6" ABOVE GRADE LEVEL 32MPa WITH 5-8% AIR
 ENTRAINMENT. 10M REBAR 16" O.C. BOTH
 WAYS. INCLUDE 4" RIGID INSUL.
 BELOW SLAB 6" COMPACTED GRANULAR FILL
 ON UNDISTURBED SOIL

FOUNDATION SCHEDULE:
F1: 1'-0" FOOTING SONOTUBE WITH 24"
 EXPANDED BASE. CONCRETE STRENGTH
 SHALL BE 32 MPA w/ 5-8% AIR ENTRAINMENT
 ON NATIVE SOIL
 MIN. 4'-0" DEPTH, TYP.

1 Cabana Foundation Plan
 A4 1:40



2 Slab Rebar Detail
 A4 1:40



| No. | DESCRIPTION | DATE |
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ISSUED FOR CONSTRUCTION
 ISSUED FOR BID
 ISSUED FOR BUILDING PERMIT
 ISSUED FOR SITE PLAN APPROVAL DATE
 SUBMITTALS

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 AND CONDITIONS ON THE PROJECT AND MUST REPORT
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 PURPOSES UNTIL SEALED AND SIGNED BY THE DESIGNER.
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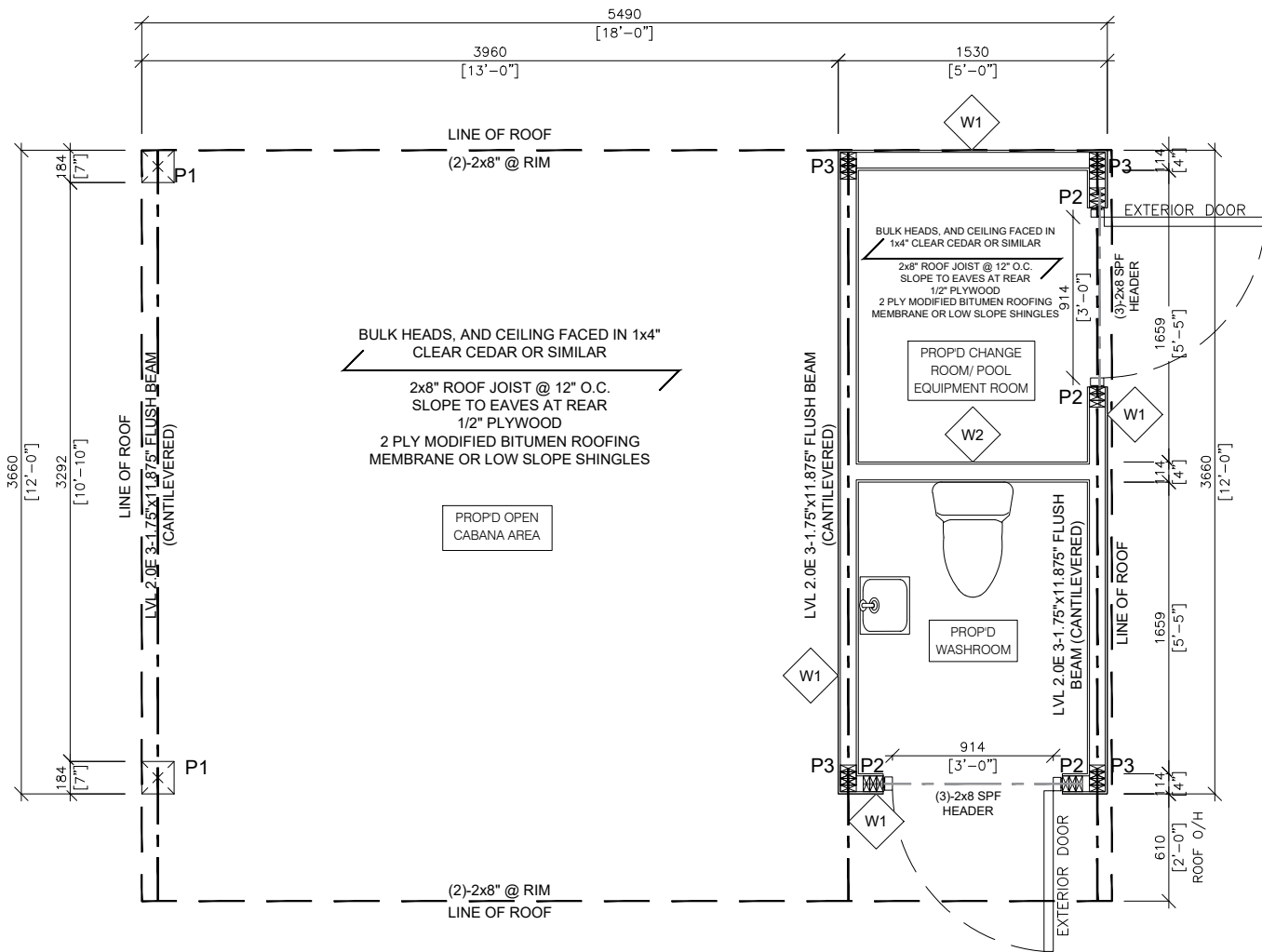


PROJECT:
 Proposed Cabana & Pool
 ON
 13 Rosshaven Cres.
 Woodbridge, ON

DRAWING:
 Cabana FDN Plan

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| DATE: 2023-07-11 | PROJECT No. 2023-85 |
| SCALE: AS NOTED | DRAWING No. A4 |
| DRAWN BY: | REVIEWED BY: |

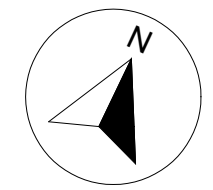
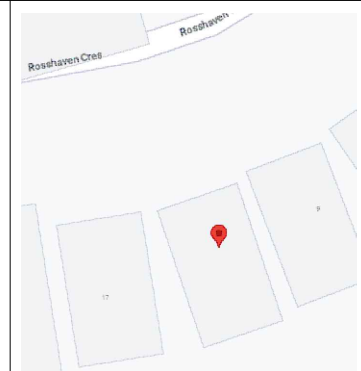
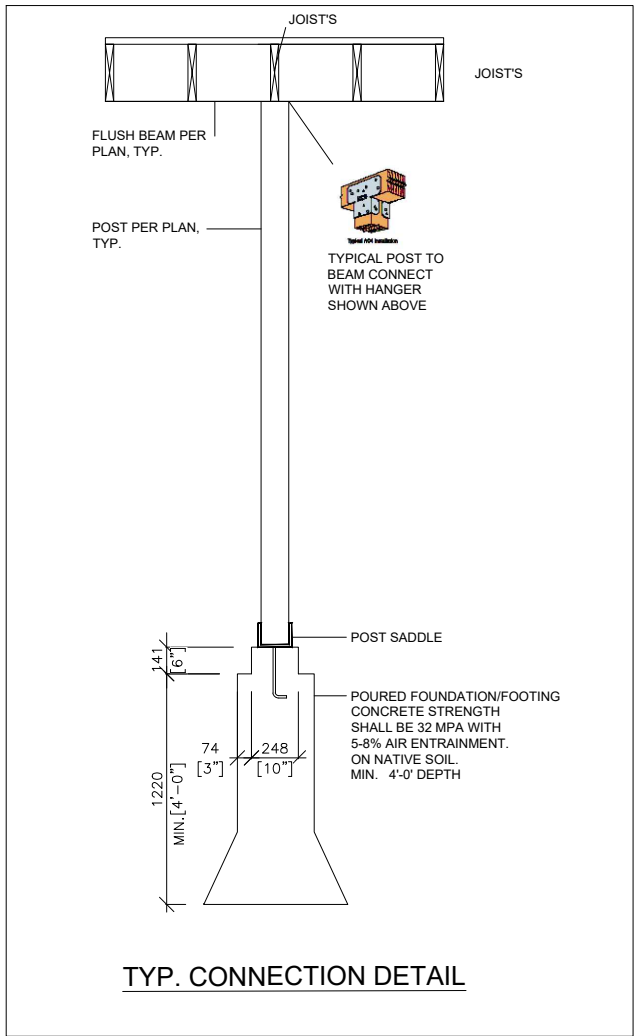
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PLOT SCALE: 1" =



W1 EXTERIOR WALL
 VERTICAL WOOD SIDING T & G or EXTERIOR GRADE FLUTED WALL PANEL
 TYVEC AIR BARRIER
 13mm EXTERIOR PLYWOOD SHEATHING OR SIMILAR
 2x4" (38x89mm) WOOD STUDS @ 16" O.C.
 DRYWALL INTERIOR FINISH OR VERTICAL WOOD SIDING T & G

W2 INTERIOR WALL PARTITION
 DRYWALL INTERIOR FINISH OR FINISH AS PER CLIENT
 2x4" WOOD STUDS @ 16" O.C.
 DBL TOP PLATE VERTICAL WOOD SIDING T & G or DRYWALL INTERIOR FINISH

P1 8x8" (184x184mm) SOLID P.T. POST.
P2 3-2"x4" BUILT-UP POST.
P3 4-2"x4" BUILT-UP POST.



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ISSUED FOR CONSTRUCTION
 ISSUED FOR BID
 ISSUED FOR BUILDING PERMIT
 ISSUED FOR SITE PLAN APPROVAL DATE: _____
 SUBMITTALS

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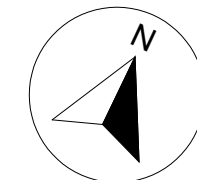
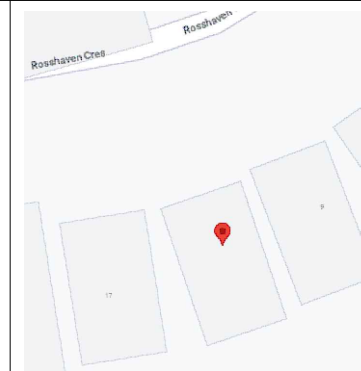
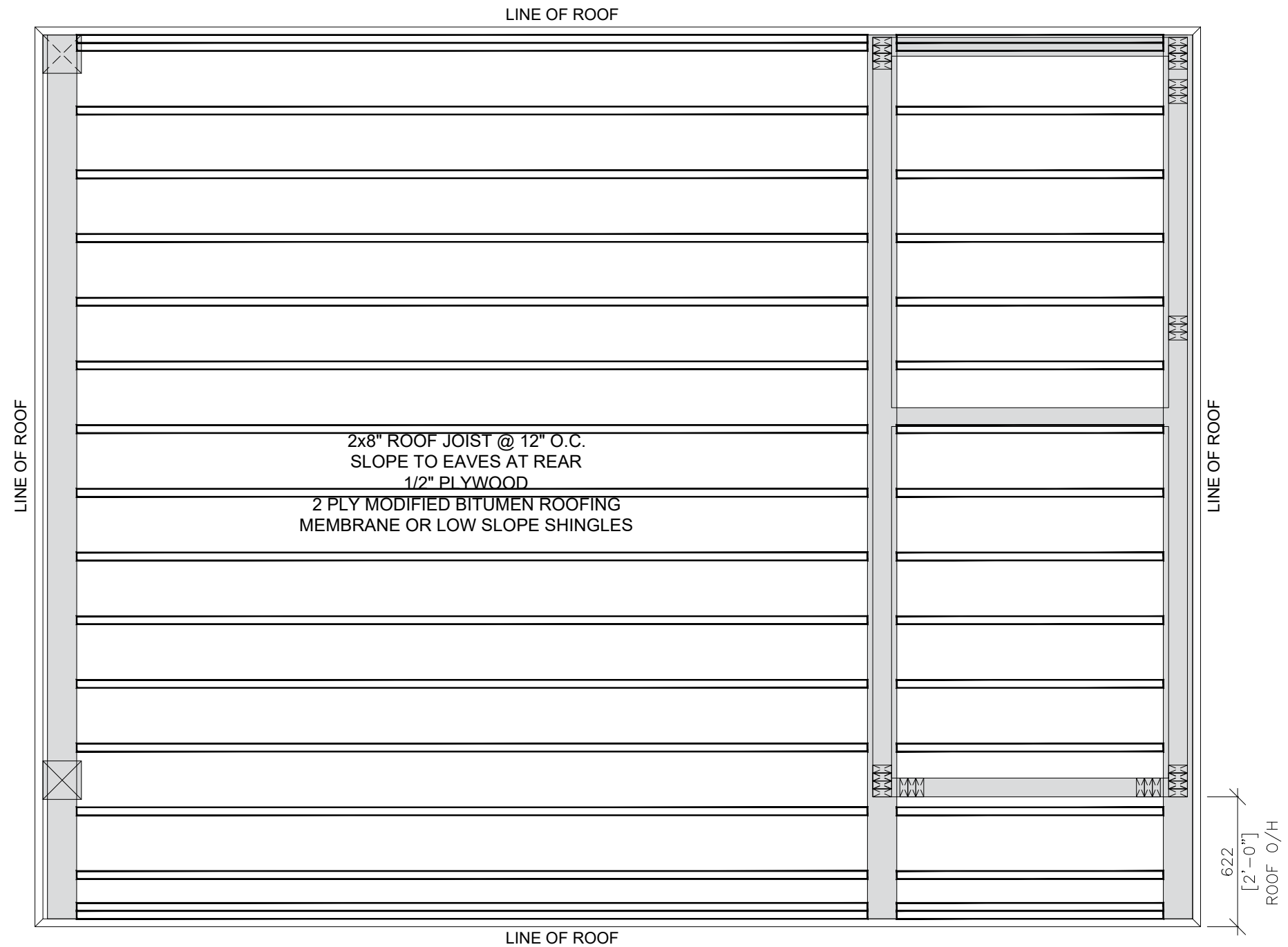
PROJECT:
 Proposed Cabana & Pool
 ON
 13 Rosshaven Cres.
 Woodbridge, ON

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| DRAWING: Cabana Plan | |
| PLOTTED: | |
| DATE: 2023-07-11 | PROJECT No. 2023-85 |
| SCALE: AS NOTED | DRAWING No. A5 |
| DRAWN BY: | REVIEWED BY: |



1 Cabana Plan
 A5 1:40

XREFS: FILE NAME: PLOT SCALE: 1=



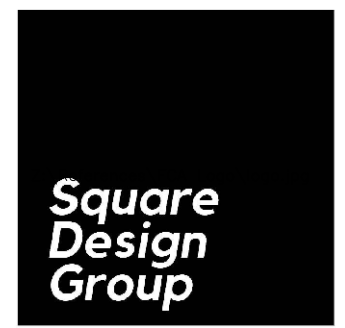
| No. | DESCRIPTION | DATE |
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| ISSUED FOR BUILDING PERMIT | |
| ISSUED FOR SITE PLAN APPROVAL | DATE |
| SUBMITTALS | |

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PROJECT:
Proposed Cabana & Pool
ON
13 Rosshaven Cres.
Woodbridge, ON

DRAWING:
Roof Framing Plan

PLOTTED:
DATE: 2023-07-11 PROJECT No. 2023-85

SCALE: AS NOTED DRAWING No. A6

DRAWN BY: REVIEWED BY:

1 Cabana Roof Framing Plan
A6 1:25

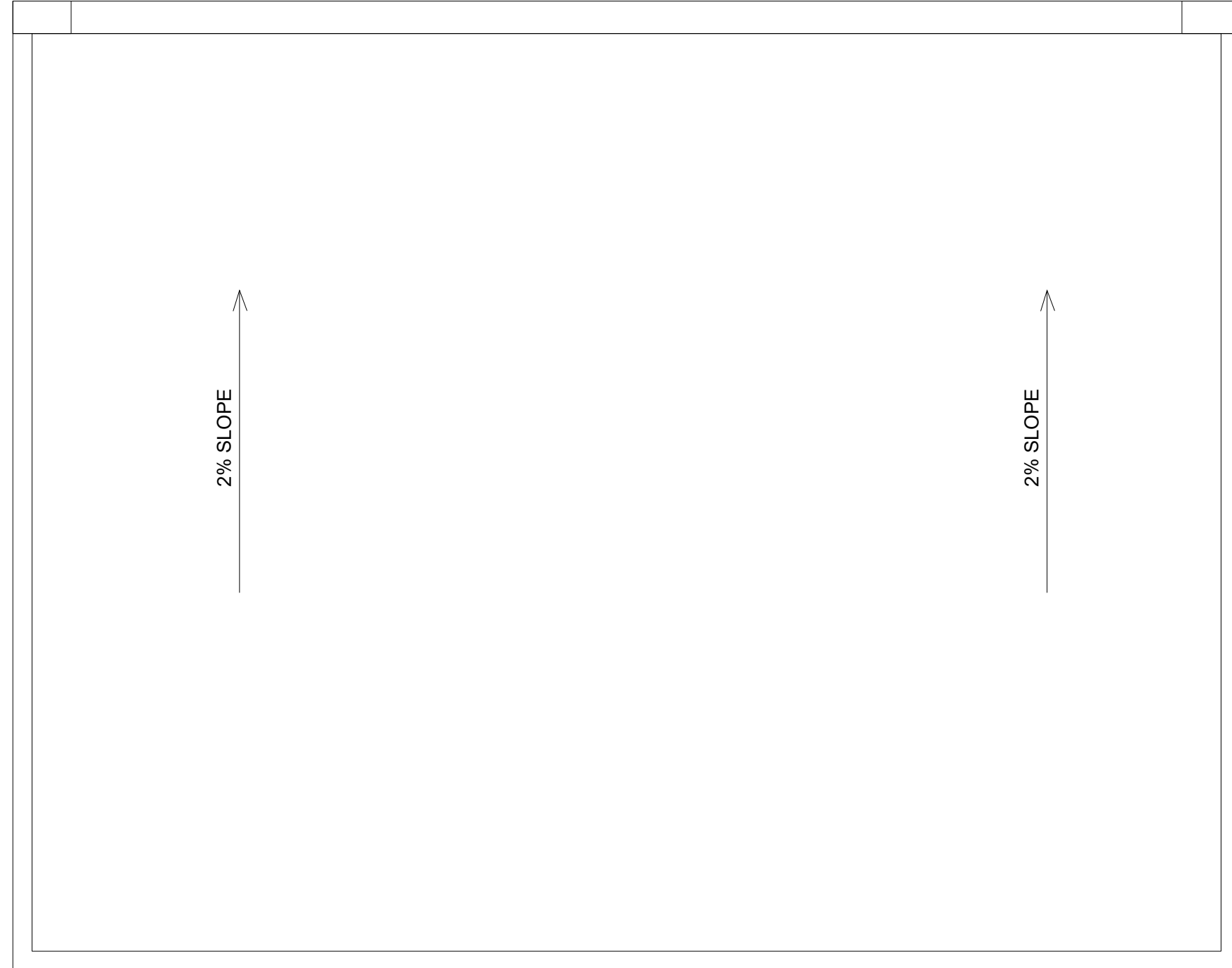


XREFS: FILE NAME: PLOT SCALE: 1" =

DOWN
SPOUT

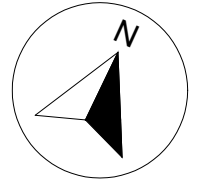
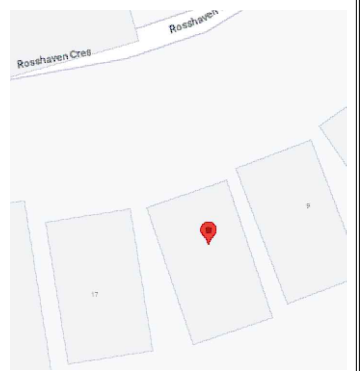
EAVES TROUGH

DOWN
SPOUT



2% SLOPE

2% SLOPE



| No. | DESCRIPTION |
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| ISSUED FOR CONSTRUCTION | |
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| ISSUED FOR BUILDING PERMIT | |
| ISSUED FOR SITE PLAN APPROVAL | DATE |
| SUBMITTALS | |

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PROJECT:
Proposed Cabana & Pool

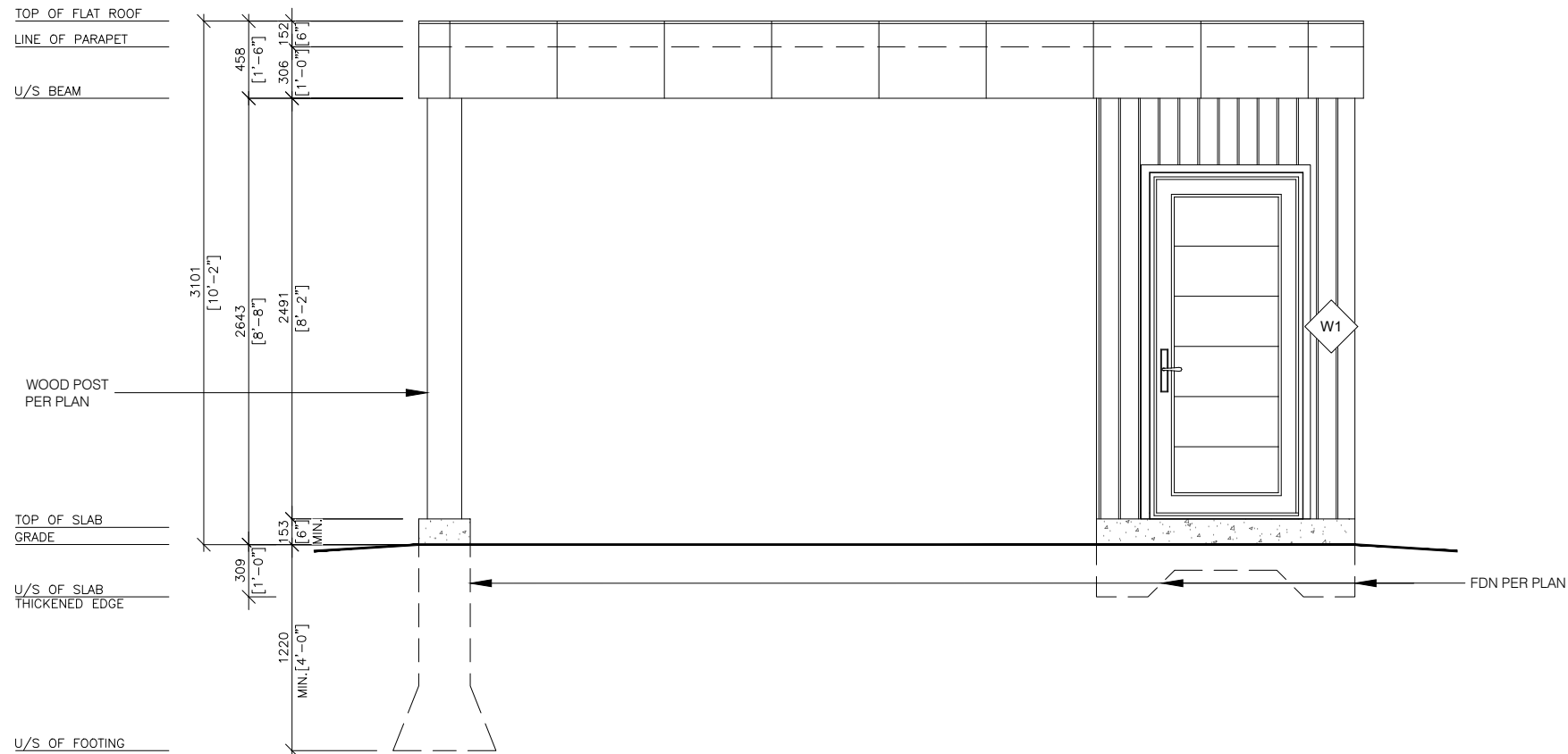
ON
13 Rosshaven Cres.
Woodbridge, ON

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| DRAWING: Roof Drainage Plan | |
| PLOTTED: | |
| DATE: 2023-07-11 | PROJECT No. 2023-85 |
| SCALE: AS NOTED | DRAWING No. A7 |
| DRAWN BY: | REVIEWED BY: |

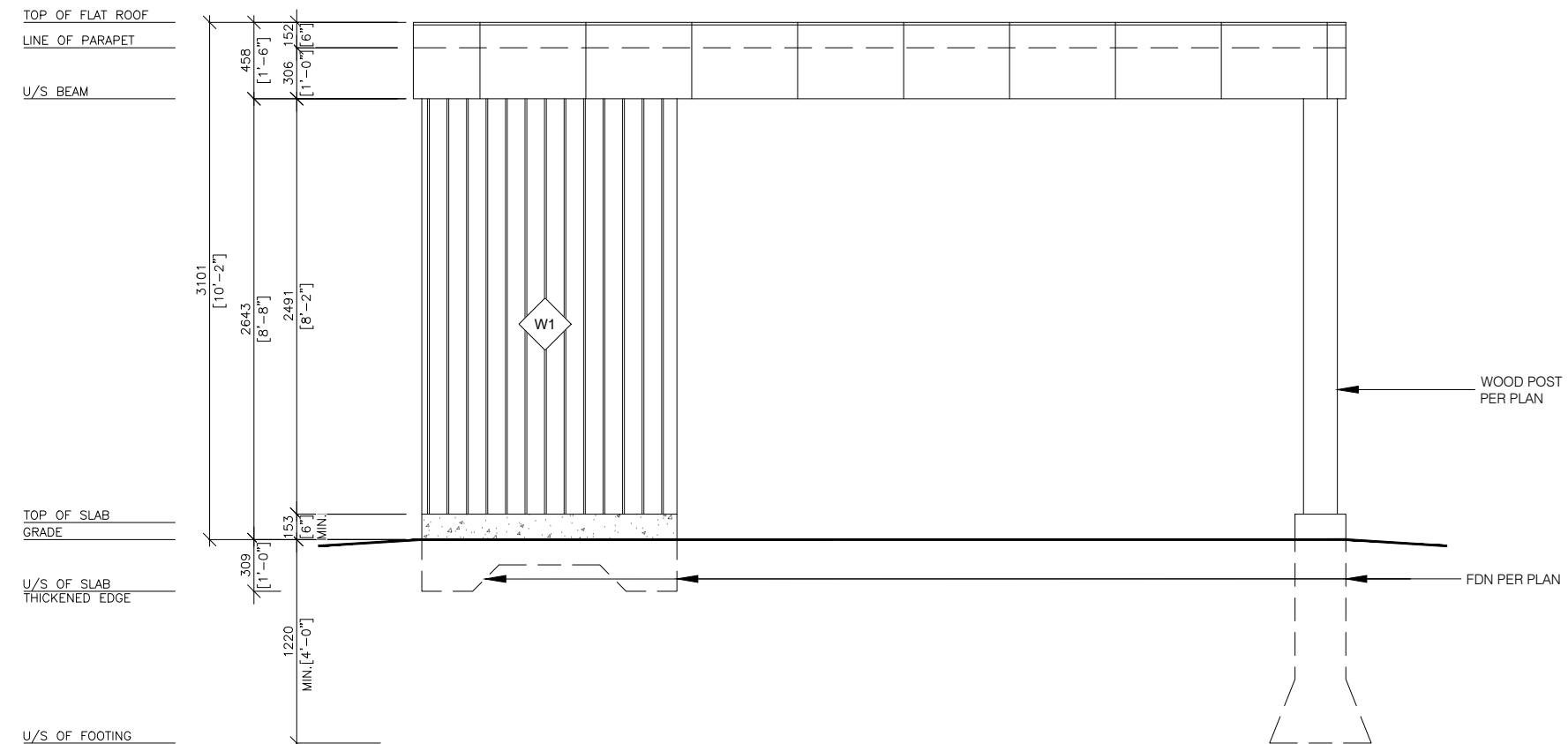


1 Cabana Roof Drainage Plan
A7 1:25

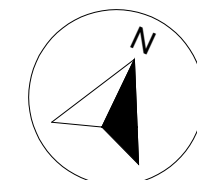
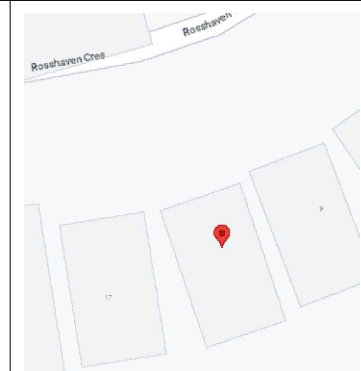
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FILE NAME:
PLOT SCALE: 1" =



1
A8 Prop'd West Elevation
1:40



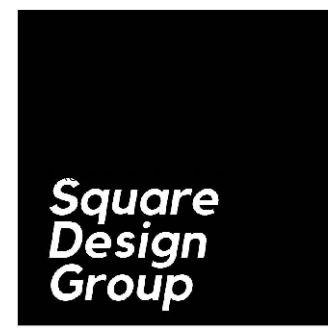
2
A8 Prop'd East Elevation
1:40



| No. | DESCRIPTION |
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| ISSUED FOR CONSTRUCTION | |
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| ISSUED FOR SITE PLAN APPROVAL | DATE |
| SUBMITTALS | |

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PROJECT:
Proposed Cabana & Pool
ON
13 Rosshaven Cres.
Woodbridge, ON

DRAWING:
Prop'd Elevations

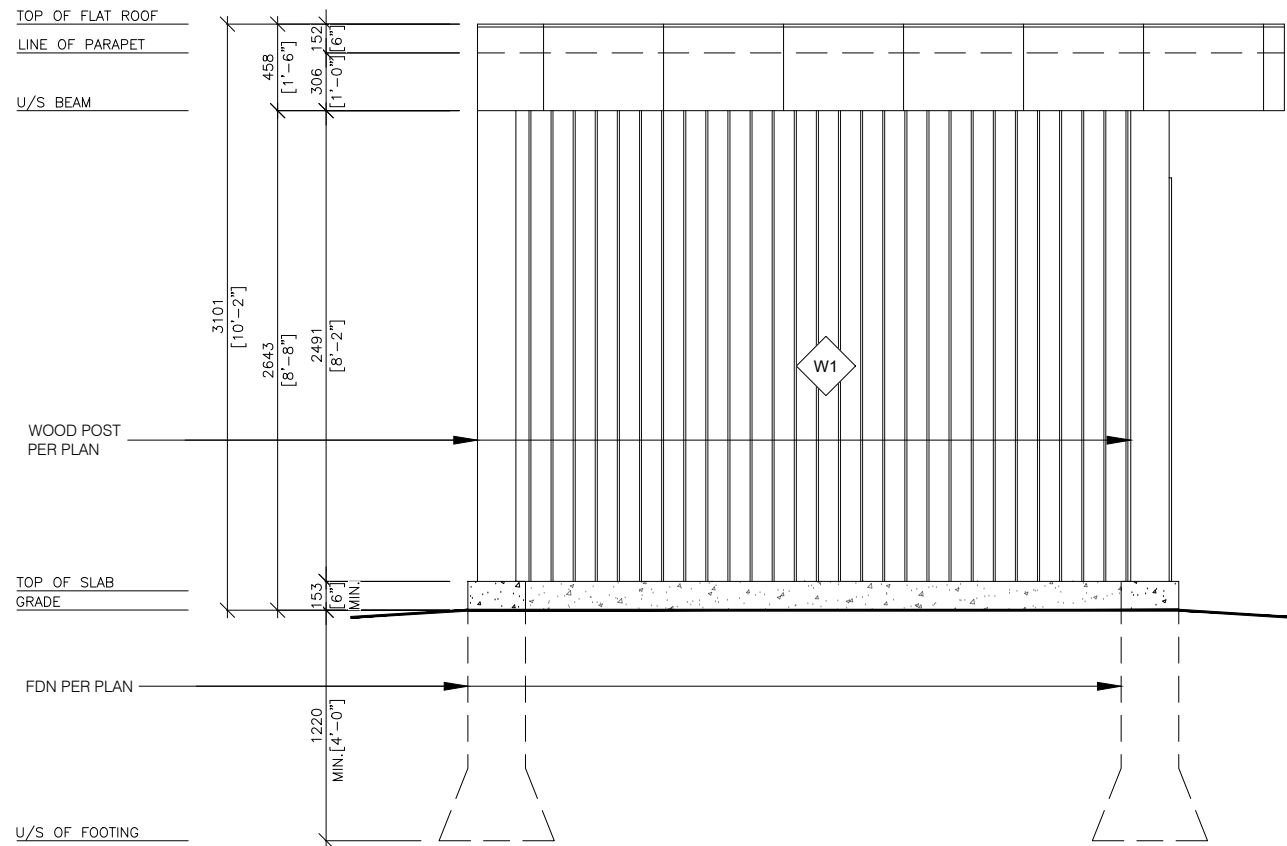
DATE: 2023-07-11 PROJECT No. 2023-85

SCALE: AS NOTED DRAWING No. A8

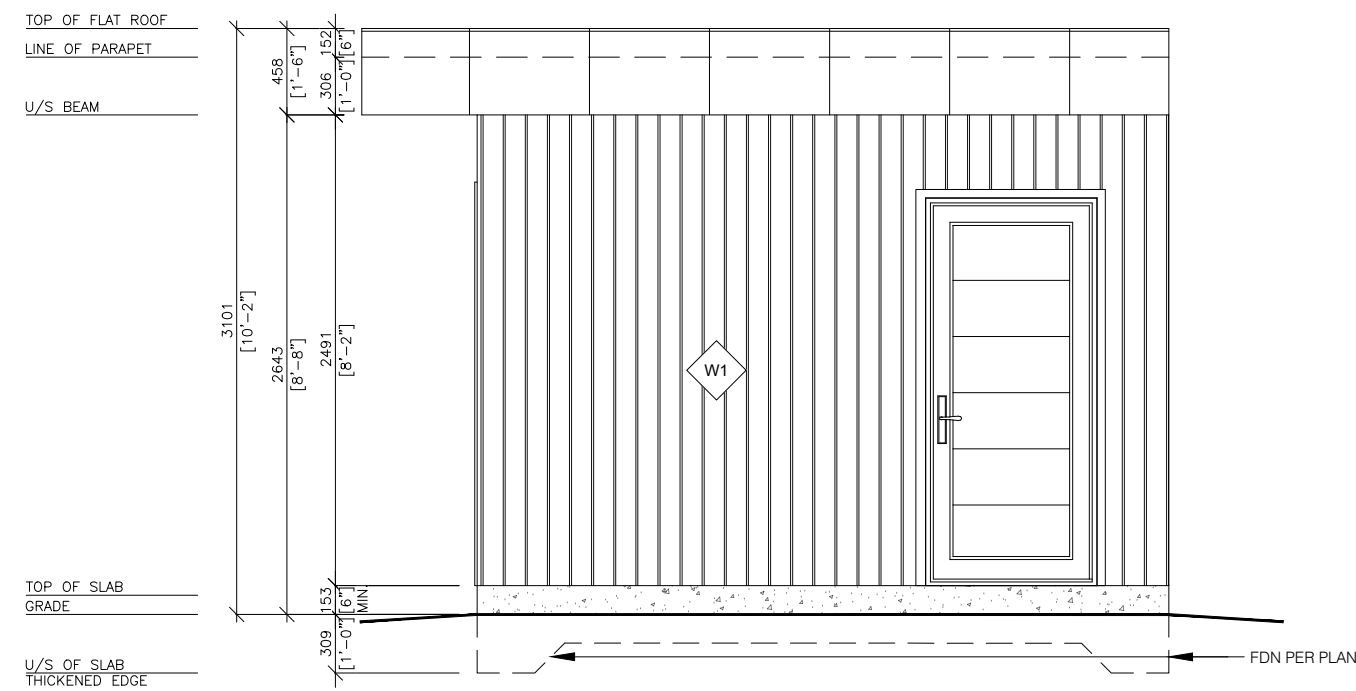
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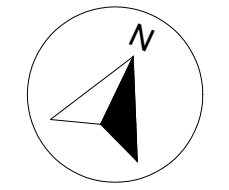
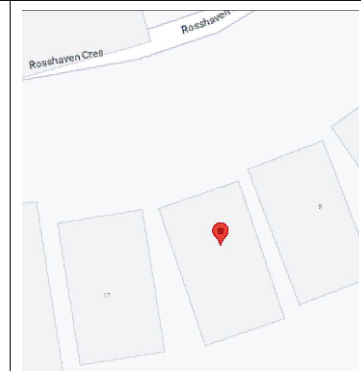
XREFS: FILE NAME: PLOT SCALE: 1"=



1 Prop'd North Elevation
A9 1:40



2 Prop'd South Elevation
A9 1:40



| No. | DESCRIPTION | REVISIONS |
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ISSUED FOR CONSTRUCTION
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ISSUED FOR SITE PLAN APPROVAL DATE: _____
SUBMITTALS

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PROJECT: Proposed Cabana & Pool
ON
13 Rosshaven Cres.
Woodbridge, ON



| | |
|----------------------------|---------------------|
| DRAWING: Prop'd Elevations | |
| PLOTTED: | |
| DATE: 2023-07-11 | PROJECT No. 2023-85 |
| SCALE: AS NOTED | DRAWING No. A9 |
| DRAWN BY: | REVIEWED BY: |

XREFS: FILE NAME: PLOT SCALE: 1=

SCHEDULE B: STAFF & AGENCY COMMENTS

| DEPT/AGENCY | Circulated | Comments Received | Conditions | Nature of Comments |
|--|-------------------------------------|-------------------------------------|--------------------------|----------------------------------|
| TRCA *Schedule B | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | No Comments or Concerns |
| Ministry of Transportation (MTO) *Schedule B | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | No Comments Received to Date |
| Region of York *Schedule B | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | General Comments |
| Alectra *Schedule B | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | General Comments |
| Bell Canada *Schedule B | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | No Comments Received to Date |
| YRDSB *Schedule B | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| YCDSB *Schedule B | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| CN Rail *Schedule B | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| CP Rail *Schedule B | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| TransCanada Pipeline *Schedule B | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | No Comments Received to Date |
| Metrolinx *Schedule B | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Propane Operator *Schedule B | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Development Planning | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Recommend Approval/no conditions |
| Building Standards (Zoning) | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | General Comments |

Date: July 25th 2023

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A122-23**

Related Files:

Applicant Square Design Group

Location 13 Rosshaven Crescent

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream(Construction Standard 03-1, 03-4, 03-9), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Stephen Cranley, C.E.T

Mitchell Penner

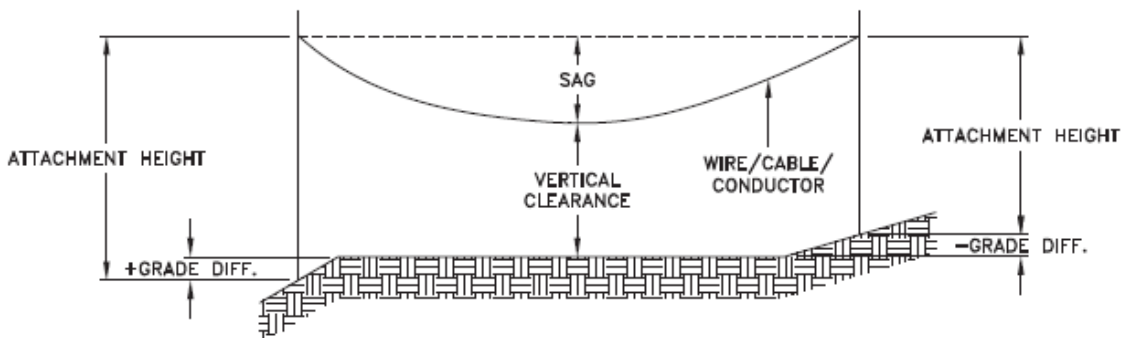
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

E-mail: stephen.cranley@alecrautilities.com

Email: Mitchell.Penner@alecrautilities.com

| LOCATION OF WIRES, CABLES OR CONDUCTORS | SYSTEM VOLTAGE | | | |
|--|--|------------------------|--------------------------------------|-------|
| | SPAN GUYS AND COMMUNICATIONS WIRES | UP TO 600V AND NEUTRAL | 4.16/2.4kV TO 27.6/16kV (SEE NOTE 1) | 44kV |
| | MINIMUM VERTICAL CLEARANCES (SEE NOTE 2) | | | |
| OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO VEHICLES | 442cm | 442cm | 480cm | 520cm |
| OVER GROUND ACCESSIBLE TO PEDESTRIANS AND BICYCLES ONLY | 250cm | 310cm | 340cm | 370cm |
| ABOVE TOP OF RAIL AT RAILWAY CROSSINGS | 730cm | 730cm | 760cm | 810cm |



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

| METRIC | IMPERIAL (APPROX) |
|--------|-------------------|
| 810cm | 27'-0" |
| 760cm | 25'-4" |
| 730cm | 24'-4" |
| 520cm | 17'-4" |
| 480cm | 16'-0" |
| 442cm | 15'-5" |
| 370cm | 12'-4" |
| 340cm | 11'-4" |
| 310cm | 10'-4" |
| 250cm | 8'-4" |

REFERENCES

SAGS AND TENSIONS | SECTION 02

Certificate of Approval

This construction Standard meets the safety requirements of Section 4 of Regulation 22/04

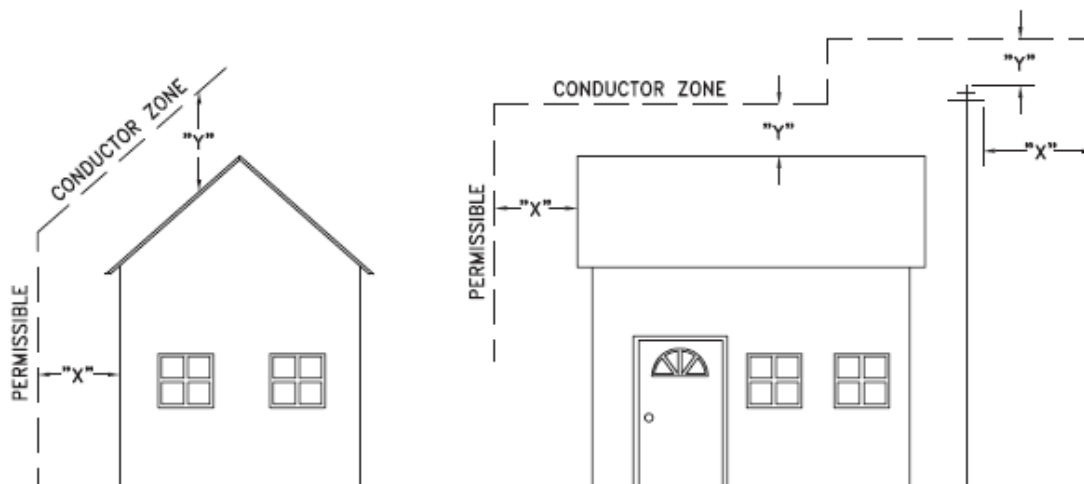
Joe Crozier, P.Eng. 2012-JAN-09

Name Date

P.Eng. Approval By: Joe Crozier

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS



| VOLTAGE | MINIMUM HORIZONTAL CLEARNACE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4) | MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5) |
|--------------------|--|--|
| 0-600V AND NEUTRAL | 100cm | 250cm |
| 4.16/2.4 TO 44kV | 300cm | 480cm |

NOTES

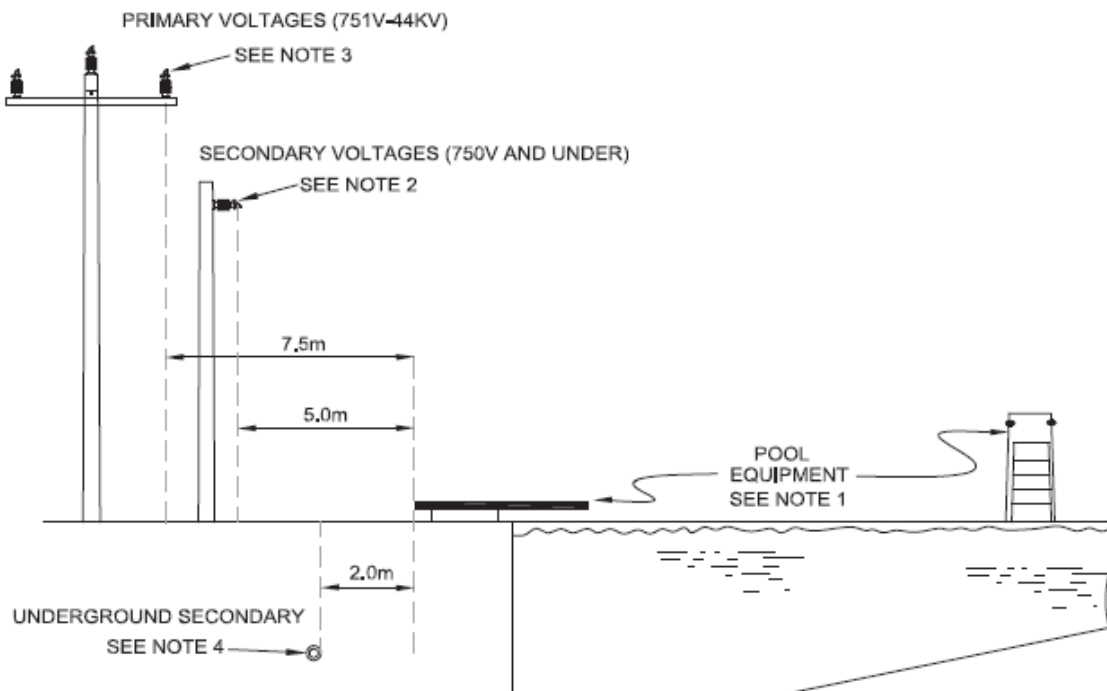
1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

| METRIC | IMPERIAL (APPROX) |
|--------|-------------------|
| 480cm | 16'-0" |
| 300cm | 10'-0" |
| 250cm | 8'-4" |
| 100cm | 3'-4" |

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P.Eng. Approval By: D. Dadwani

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working folder\Section 23-4\DWG 03-4 R0 May 5, 2010.dwg, 5/5/2010 9:22:02 AM, Adobe PDF



NOTES:

1. ANY STRUCTURE WITHIN 5.0 METRES OF POOL EDGE SHALL BE CONSIDERED PART OF THE POOL.
2. THERE SHALL NOT BE ANY OVERHEAD SECONDARY OR COMMUNICATION WIRING (750V OR LESS) ABOVE THE POOL, AND ABOVE OTHER ELEVATED SURFACES ASSOCIATED WITH THE POOL, INCLUDING BUT NOT RESTRICTED TO A DIVING STRUCTURE, SLIDE, SWINGS, OBSERVATION STAND, TOWER OR PLATFORM, OR ABOVE THE ADJACENT AREA EXTENDING 5.0M HORIZONTALLY FROM THE POOL EDGE.
3. THERE SHALL NOT BE ANY OVERHEAD PRIMARY WIRING (751V - 44KV) ABOVE THE POOL AND OTHER ELEVATED SURFACES ASSOCIATED WITH THE POOL, OR ABOVE THE ADJACENT AREA EXTENDING 7.5M HORIZONTALLY FROM THE POOL EDGE.
4. ANY UNDERGROUND CONDUCTORS SHALL BE 2.0M AWAY FROM POOL EDGE IN DUCT WITH NON-CONDUCTING JACKET. FOR DEPTH AND DUCT DETAILS REFER TO FIGURE 3 IN 25-100 FOR 200A SERVICE AND 25-101 FOR 400A SERVICE RESPECTIVELY, AS PER POWERSTREAM SERVICE DESIGN SPECIFICATIONS.
5. THESE DIMENSIONS APPLY TO ALL SIDES OF THE POOL.

| CONVERSION TABLE | |
|------------------|--------------------|
| METRIC | IMPERIAL (APPROX.) |
| 7.5m | 24'-6" |
| 5.0m | 16'-3" |
| 2.0m | 6'-6" |

REFERENCES

| | |
|------------------|------------|
| FIGURE 3, 25-100 | SECTION 25 |
| FIGURE 3, 25-101 | SECTION 25 |

Certificate of Approval

This construction Standard meets the safety requirements of Section 4 of Regulation 22/04

| | |
|---------------------|-------------|
| Joe Crozier, P.Eng. | 2013-JUN-12 |
| Name | Date |
| P.Eng. Approval By: | Joe Crozier |

MINIMUM CLEARANCES FOR CONDUCTORS ADJACENT TO SWIMMING POOLS

ORIGINAL ISSUE DATE: 2013-JUNE-12 REVISION NO: R0 REVISION DATE:

To: Committee of Adjustment
From: Christian Tinney, Building Standards Department
Date: August 15, 2023
Applicant: Square Design Group
Location: 13 Rosshaven Crescent
 PLAN 65M4647 Lot 141
File No.(s): A122/23

Zoning Classification:

| # | Zoning By-law 001-2021 | Variance requested |
|---|--|--------------------|
| | Application is transitioned in accordance with Section 1.6 | |

The subject lands are zoned RD3 – Residential Zone and subject to the provisions of Exception 9(1455) under Zoning By-law 1-88, as amended.

| | Zoning By-law 1-88 | Variance requested |
|---|--|--|
| 1 | The minimum rear yard setback required is 7.5 metres. [Section 4.1.1, c)] | To permit a minimum rear yard setback of 1.02 metres to an Accessory Building (cabana). |
| 2 | The minimum interior side yard setback required is 1.2 metres. [Section 4.1.1, c)] | To permit a minimum interior side yard setback of 0.61 metres to an Accessory Building (cabana). |
| 3 | The minimum setback of an outdoor swimming pool to the rear lot line shall be 1.5 metres. [Section 4.1.1, i)] | To permit a minimum rear yard setback of 1.22 metres to a pool. |
| 4 | The minimum setback of an outdoor swimming pool to an interior side lot line shall be 1.5 metres. [Section 4.1.1, i)] | To permit a minimum interior side yard setback of 0.99 metres to a pool. |

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file.

Building Permit(s) Issued:

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m²

Other Comments:

| General Comments | |
|------------------|--|
| 1 | The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval. |

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development Planning
Date: August 22, 2023
Name of Owners: Emilio & Teresa Caruso
Location: 13 Rosshaven Crescent
File No.(s): A122/23

Proposed Variance(s) (By-law 1-88):

1. To permit a minimum rear yard setback of 1.02 metres to an Accessory Building (cabana).
2. To permit a minimum interior side yard setback of 0.61 metres to an Accessory Building (cabana).
3. To permit a minimum rear yard setback of 1.22 metres to a pool.
4. To permit a minimum interior side yard setback of 0.99 metres to a pool.

By-Law Requirement(s) (By-law 1-88):

1. The minimum rear yard setback required is 7.5 metres.
2. The minimum interior side yard setback required is 1.2 metres.
3. The minimum setback of an outdoor swimming pool to the rear lot line shall be 1.5 metres.
4. The minimum setback of an outdoor swimming pool to an interior side lot line shall be 1.5 metres.

Official Plan:

Vaughan Official Plan 2010 ('VOP 2010'): "Low Density Residential", Volume 2, Area Specific Policy 12.13 - Block 40/47.

Comments:

The Owners are requesting relief to permit the construction of a residential accessory structure (cabana), as well as an outdoor swimming pool with the above noted variances.

The Development Planning Department has no objection to Variance 1 and Variance 2 to permit a minimum rear yard setback of 1.02 m and to permit a minimum interior side yard setback of 0.61 m for the cabana. The proposed encroachment into the rear yard setback (Variance 1) is not anticipated to produce any adverse massing or visual impacts in relation to the neighbouring properties to the south and an appropriate area for maintenance access and drainage is maintained. The proposal is considered to be minor in nature.

The applicant has increased the interior side yard setback to address Urban Design Division staff concerns. The 0.59 m encroachment is not anticipated to not produce any adverse massing impacts in relation to the neighbouring property to the east and an appropriate area for maintenance access is maintained, and thus, is considered minor in nature. The proposed interior setback provides sufficient space for future plantings, if desired, which can mitigate the visual impact of the proposed structure on the neighbouring property, and to maintain the 0.6 m undisturbed zone clearance.

The Development Planning Department has no objection to Variance 3 and 4 to permit the proposed in-ground swimming pool with an encroachment of 0.28 m from the rear lot line and an encroachment of 0.51 m from the easterly interior side lot line. The pool would only utilize the full extent of the requested reliefs at three corners: one facing the interior side lot line and two facing the rear lot line. The requested reduced rear and interior yard setbacks are minor in nature as they maintain an appropriate area for safe access and maintenance.

Accordingly, the Development Planning Department can support the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None.

Comments Prepared by:

Nicholas Del Prete, Planner I
David Harding, Senior Planner

From: [Kristen Regier](#)
To: [Committee of Adjustment](#)
Cc: [Christine Vigneault](#); [Lenore Providence](#)
Subject: [External] RE: A122/23 - (13 Rosshaven Crescent) - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Tuesday, July 25, 2023 8:52:23 AM
Attachments: [image002.png](#)

Hello,

The subject property at 13 Rosshaven Cres, Vaughan is not located within TRCA's Regulated Area. TRCA's Planning and Regulatory policy interests are not impacted.

As such, TRCA has no comments on the application.

Best,

Kristen Regier, MA (she / her)

Planner I

Development Planning and Permits | Development and Engineering Services

Toronto and Region Conservation Authority (TRCA)

T: [437-880-2129](tel:437-880-2129)

E: kristen.regier@trca.ca

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](#) | trca.ca



From: [Development Services](#)
To: [Lenore Providence](#)
Cc: [Committee of Adjustment](#)
Subject: [External] RE: A122/23 - (13 Rosshaven Crescent) - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Thursday, August 3, 2023 5:30:45 PM
Attachments: [image002.png](#)
[image004.png](#)

Hi Lenore,

The Regional Municipality of York has completed its review of the minor variance application – A122/23 (13 Rosshaven Crescent) and has no comment.

Many thanks,

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Development Services, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

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SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

| Correspondence Type | Name | Address | Date Received (mm/dd/yyyy) | Summary |
|----------------------------|-------------|----------------|---------------------------------------|----------------|
| None | | | | |

SCHEDULE D: PREVIOUS COA DECISIONS ON THE SUBJECT LAND

| File Number | Date of Decision MM/DD/YYYY | Decision Outcome |
|--------------------|---------------------------------------|-------------------------|
| None | | |