

ITEM: 6.1	COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A067/23 221 TREELAWN BLVD, KLEINBURG
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**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES:**

*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	General Comments
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Ministry of Transportation (MTO)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

PUBLIC & APPLICANT CORRESPONDENCE

*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant	Bart Szoke Architect Inc.	227, 243, 238, 246 and 200 Treelawn Blvd	08/03/2023	Petition in support

PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

File Number	Date of Decision MM/DD/YYYY	Decision Outcome
None		

ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

None	
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**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A067/23
221 TREELAWN BLVD, KLEINBURG**

ITEM NUMBER: 6.1	CITY WARD #: 1
APPLICANT:	Marisa Liberta
AGENT:	Bart Szoke Architect Inc.
PROPERTY:	221 Treelawn Blvd, Kleinburg
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ("VOP 2010"): "Low-Rise Residential" and "Natural Areas"
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit the construction of a proposed cabana.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R1B(EN) – First Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.336 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	In any Residential Zone, the maximum height of an accessory building and residential accessory structure shall be 3.0 m. Section 4.1.4 1	To permit a maximum height of 3.77m for the residential accessory structure.

HEARING INFORMATION

DATE OF MEETING: Thursday, August 31, 2023
TIME: 6:00 p.m.
MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive
LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

INTRODUCTION

That the general intent and purpose of the by-law will be maintained.
 That the general intent and purpose of the official plan will be maintained.
 That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
 That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT COMMENTS

Date Public Notice Mailed:	August 17, 2023	
Date Applicant Confirmed Posting of Sign:	August 14, 2023	
Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small>	Proposed height doesn't comply with By-law 001-2021 which requires maximum of 3.00 meters.	
Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	None	
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice. *A revised submission may be required to address staff / agency comments received as part of the application review process. *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>	No	
Adjournment Fees: In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice. An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice.		
Committee of Adjustment Comments:	None	
Committee of Adjustment Recommended Conditions of Approval:	None	

BUILDING STANDARDS (ZONING) COMMENTS

**See Schedule B for Building Standards (Zoning) Comments

Building Standards Recommended Conditions of Approval:	None
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DEVELOPMENT PLANNING COMMENTS

**See Schedule B for Development Planning Comments.

Development Planning Recommended Conditions of Approval:	None
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DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

The Owner/applicant shall apply for a pool permit with the Development Engineering (DE) Department. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the pool permit link provided above to learn how to apply for the pool permit.

As the proposed cabana in the subject property is 40.80m², the owner/ applicant needs to obtain a lot grading permit from Development Inspection and Lot Grading division of the City's Development Engineering Department. Please note any in ground structure over 10 m² requires a grading permit. Please contact COA application engineering reviewer after receiving the grading permit to clear the condition. (Condition attached)

The Development Engineering (DE) Department does not object to the variance application A067/23, subject to the following condition:

DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#)
 [Link to Pool Permit](#)
 [Link to Curb Curt Permit](#)
 [Link Culvert Installation](#)

Development Engineering Recommended Conditions of Approval:	The Owner/applicant shall submit a Lot Grading plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.
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PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

The Forestry Department does not object to the variance application A067/23, subject to the following condition:

PFH Recommended Conditions of Approval:	Applicant/owner shall supply an arborist report to the satisfaction of the forestry division.
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DEVELOPMENT FINANCE COMMENTS

No comment no concerns

Development Finance Recommended Conditions of Approval:	None
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BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

No comments received to date.

BCLPS Recommended Conditions of Approval:	None
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BUILDING INSPECTION (SEPTIC) COMMENTS

No comments received to date.

Building Inspection Recommended Conditions of Approval:	None
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FIRE DEPARTMENT COMMENTS

No comments received to date.

Fire Department Recommended Conditions of Approval:	None
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SCHEDULES TO STAFF REPORT

*See Schedule for list of correspondence

Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Staff & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Engineering ian.reynolds@vaughan.ca	The Owner/applicant shall submit a Lot Grading plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “**if required**”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

		provided above to learn how to apply for lot grading and/or servicing approval.
2	Parks, Forestry and Horticulture Operations zachary.quizzetti@vaughan.ca	Applicant/owner shall supply an arborist report to the satisfaction of the forestry division.
3	TRCA Kristen.Regier@trca.ca	That the applicant provides the required fee amount of \$660.00 payable to the Toronto and Region Conservation Authority.

IMPORTANT INFORMATION – PLEASE READ

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

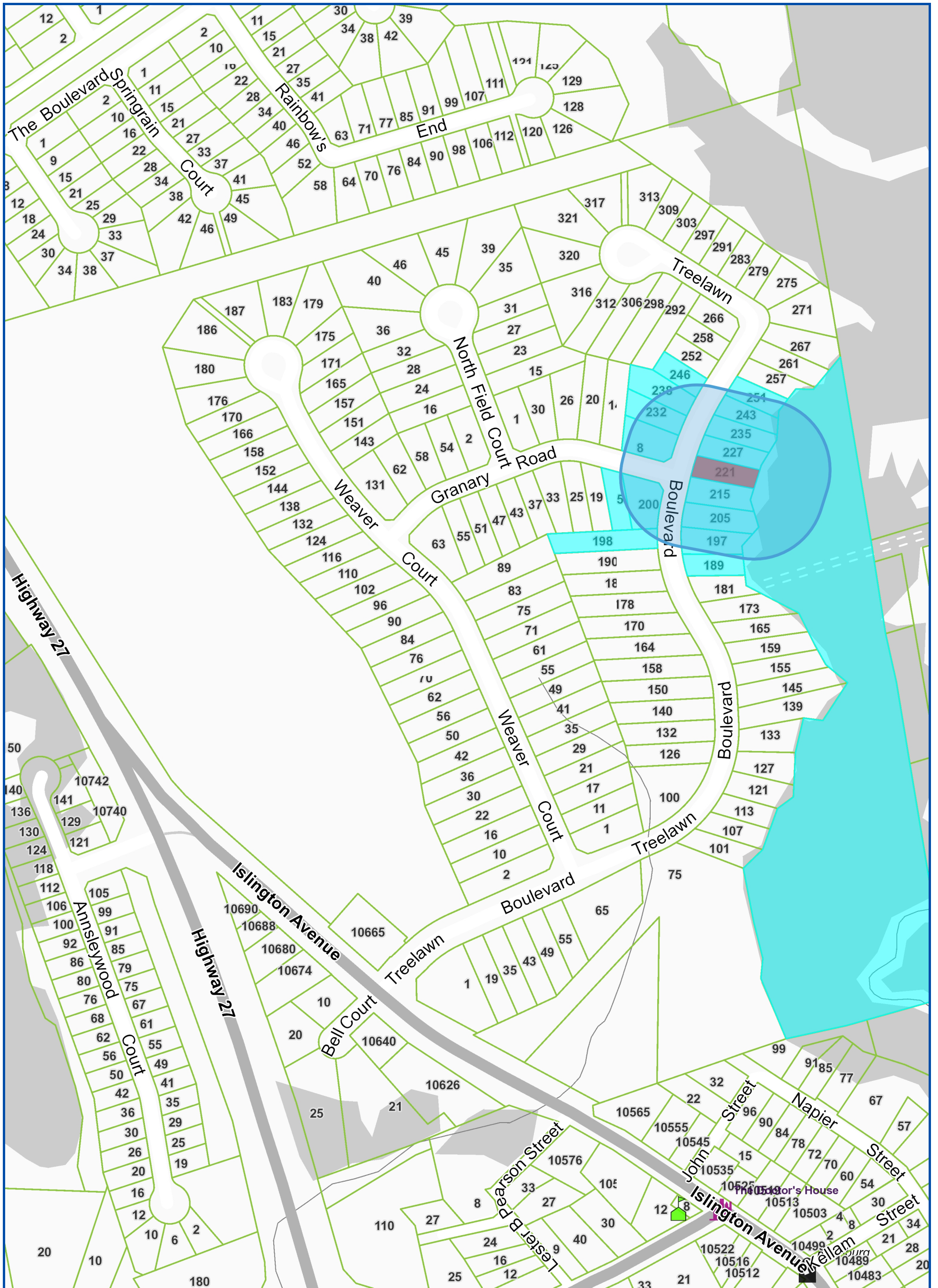
That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City’s Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

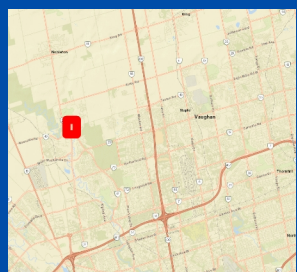
That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City’s Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS



Map Information:



Title:

221 Treelawn Boulevard, Kleinburg

NOTIFICATION MAP - A067/23

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1:4,514

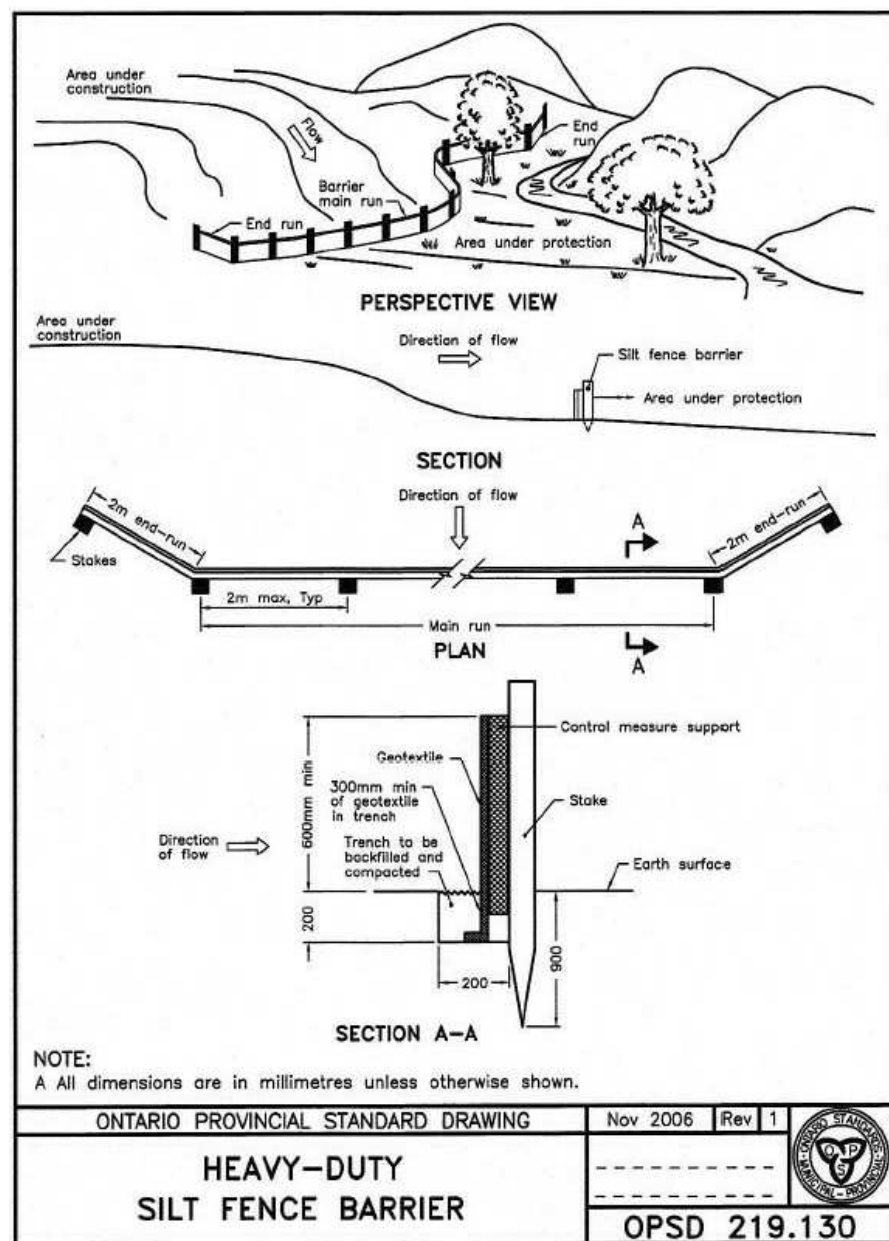
0 0.07 km



Created By:

Infrastructure Delivery
Department
July 4, 2023 2:36 PM

Projection:
NAD 83
UTM Zone
17N



ONTARIO PROVINCIAL STANDARD DRAWING Nov 2006 Rev 1
HEAVY-DUTY SILT FENCE BARRIER
 OPSD 219.130

2 HEAVY DUTY SILT FENCE BARRIER
 1:50

ZONI+A1:M94NG AND SITE STATISTICS

PROJECT ADDRESS MUNICIPALITY		REAR YARD LANDSCAPE, DECK, CABANA AND SHESD		
ZONING DESIGNATION:		R1 EXCEPTION (14.336)		
LOT AREA		1,140.10 m ²	12,272.04 sf	
		PERMITTED	EXISTING	PROPOSED
LOT FRONTOAGE		18.00 m	20.33 m	20.33 m
LOT COVER				
10.5.30.40		HOUSE	228.97 m ²	228.97 m ²
		PORCH AND STAIR	20.18 m ²	20.18 m ²
		GARAGE	0.00 m ²	0.00 m ²
		REAR COVERED DECK	38.82 m ²	38.82 m ²
		ANCILLARY BUILDING	0.00 m ²	40.80 m ²
			342.03 m ²	287.97 m ²
			3,681.61 sf	3,099.71 sf
			30%	28.8%
SETBACKS				
INLINE LOT				
FRONT		9.47 m	10.52 m	0.00 m
SIDE - T52		1.80 m	1.61 m	0.00 m
SIDE - T52		1.80 m	1.76 m	0.00 m
REAR		7.50 m	31.89 m	0.00 m
ANCILLARY STRUCTURES				
SIDE		1.80 m	0.00 m	3.09 m
SIDE		1.80 m	0.00 m	2.04 m
REAR		7.50 m	0.00 m	11.58 m
BUILDING HEIGHT				
ANCILLARY		3.00 m	0.00 m	3.77 m
				VARIANCE #1 REDUCED FROM 3.98 m TO 3.77 m
REAR YARD SOFT LANDSCAPE AREA				
REAR YARD AREA			538.60 m ²	538.60 m ²
SUBTRACT 135m ²			403.60 m ²	403.60 m ²
SOFT LANDSCAPE AREA		242.16 m ²	386.19 m ²	289.51 m ²
		60%	4,156.95 SF	3,116.29 SF
				71.7%
ANCILLARY STRUCTURES				
CABANA			0.00 m ²	40.80 m ²
LESSER OF 10% OF LOT AREA OR 67.00 m ²		114.01 m ²	0.00 m ²	40.80 m ²
		1,227.20 sf	0.00 SF	439.17 SF
				3.6%
POOL WATER SURFACE			0.00 m ²	41.61 m ²
			0.00 m ²	41.61 m ²
			0.00 SF	447.89 SF
				3.6%

LEGEND:

- EXISTING BUILDING
- PROPOSED BUILDING
- SOFT LANDSCAPE
- POOL
- FRONT AND REAR YARD AREA
- DECORATIVE PAVERS AND PATHS
- RETAINING WALL
- ASPHALT
- PROPERTY LINE
- LIGHT DUTY SILT FRNCE
- TOP OF BANK

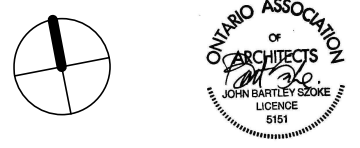
NOTE:

EXISTING GRADES REMAINS

SURVEY INFORMATION TAKEN FROM: SURVEYOR'S REAL PROPERTY REPORT OF PART 1 PLAN OF LOT 29 REGISTERED PLAN 65M - 3377 CITY OF VAUGHAN REGIONAL MUNICIPALITY OF YORK BY ERTL SURVEYORS INC. NOV 25, 2002

A067/23

Received
 JULY 26, 2023



CONTRACTOR TO VERIFY ALL LEVELS AND DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH WORK. DIMENSIONS INDICATED ARE TAKEN AT FACES OF FINISHED SURFACES UNLESS OTHERWISE NOTED. DO NOT SCALE DRAWINGS.

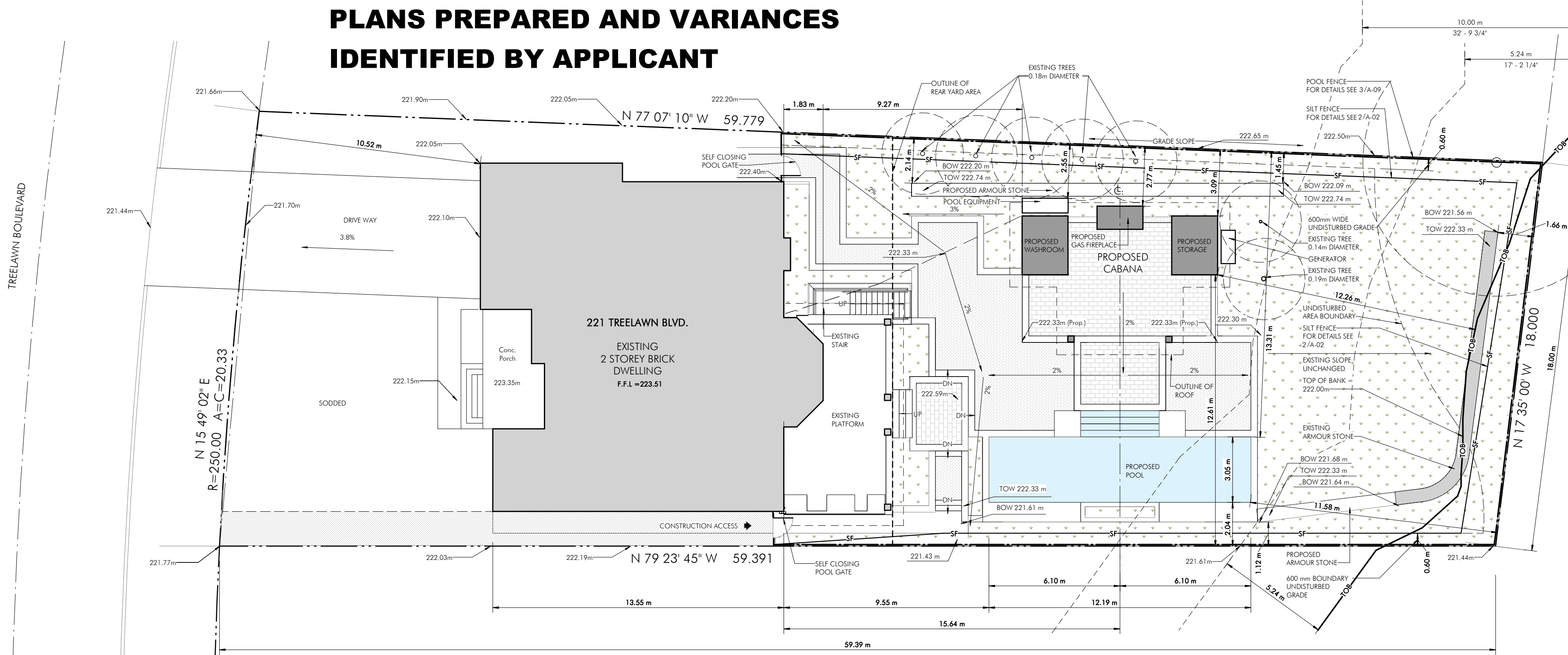
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ARCHITECTURAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH PROJECT MANUALS AND SPECIFICATIONS AND THE STRUCTURAL, MECHANICAL, ELECTRICAL AND LANDSCAPE DRAWINGS & SPECIFICATIONS. IN CASES OF DISCREPANCIES BETWEEN CONSULTANTS' DOCUMENTS WITH RESPECT TO QUALITY, SIZES OF SCOPE OF WORK, THE CREATOR SHALL APPLY. THE CONTRACTOR ACCEPTS ALL RESPONSIBILITY FOR WORKING WITH DRAWINGS, NOT MARKED 'ISSUED FOR CONSTRUCTION' AND FOR ANY CHANGES TO THE DESIGN WITHOUT THE EXPRESS APPROVAL OF BART SZOKE ARCHITECT INC.

ALL WORK TO CONFORM TO ALL GOVERNING CODES AND BY-LAWS.

Structural

PLANS PREPARED AND VARIANCES IDENTIFIED BY APPLICANT



- 1 REFERENCE TO CONSTRUCTION NOTES
- ISSUED FOR 1ST CLIENT REVIEW:
- ISSUED FOR 2ND CLIENT REVIEW:
- ISSUED FOR FINAL CLIENT REVIEW:
- ISSUED FOR TENDER:
- ISSUED FOR BUILDING PERMIT:
- ISSUED FOR CONSTRUCTION:

Project
REAR YARD, CABANA AND POOL

221 TREELAWN BLVD.
 KLEINBERG, ON

Sheet Name
PROPOSED SITE PLAN

Project No: 2012
 Drawn By: PM Checked By: BS
 Scale: As noted
 Print Date: 7/25/2023 1:42:56 PM

Received
JULY 26, 2023

A067/23

bart szoke
architect
inc

257 Margueretta Street
Toronto, ON M6H3S4
416 533 7866 info@szoke.ca
www.szoke.ca



CONTRACTOR TO VERIFY ALL LEVELS AND DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH WORK. DIMENSIONS INDICATED ARE TAKEN AT FACES OF FINISHED SURFACES UNLESS OTHERWISE NOTED. DO NOT SCALE DRAWINGS.

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THE CONTRACTOR ACCEPTS ALL RESPONSIBILITY FOR WORKING WITH DRAWINGS, NOT MARKED 'ISSUED FOR CONSTRUCTION' AND FOR ANY CHANGES TO THE DESIGN WITHOUT THE EXPRESS APPROVAL OF BART SZOKE ARCHITECT INC.

ALL WORK TO CONFORM TO ALL GOVERNING CODES AND BY-LAWS.

Structural

1 REFERENCE TO CONSTRUCTION NOTES

ISSUED FOR 1ST CLIENT REVIEW:
ISSUED FOR 2ND CLIENT REVIEW:
ISSUED FOR FINAL CLIENT REVIEW:
ISSUED FOR TENDER:
ISSUED FOR BUILDING PERMIT:
ISSUED FOR CONSTRUCTION:

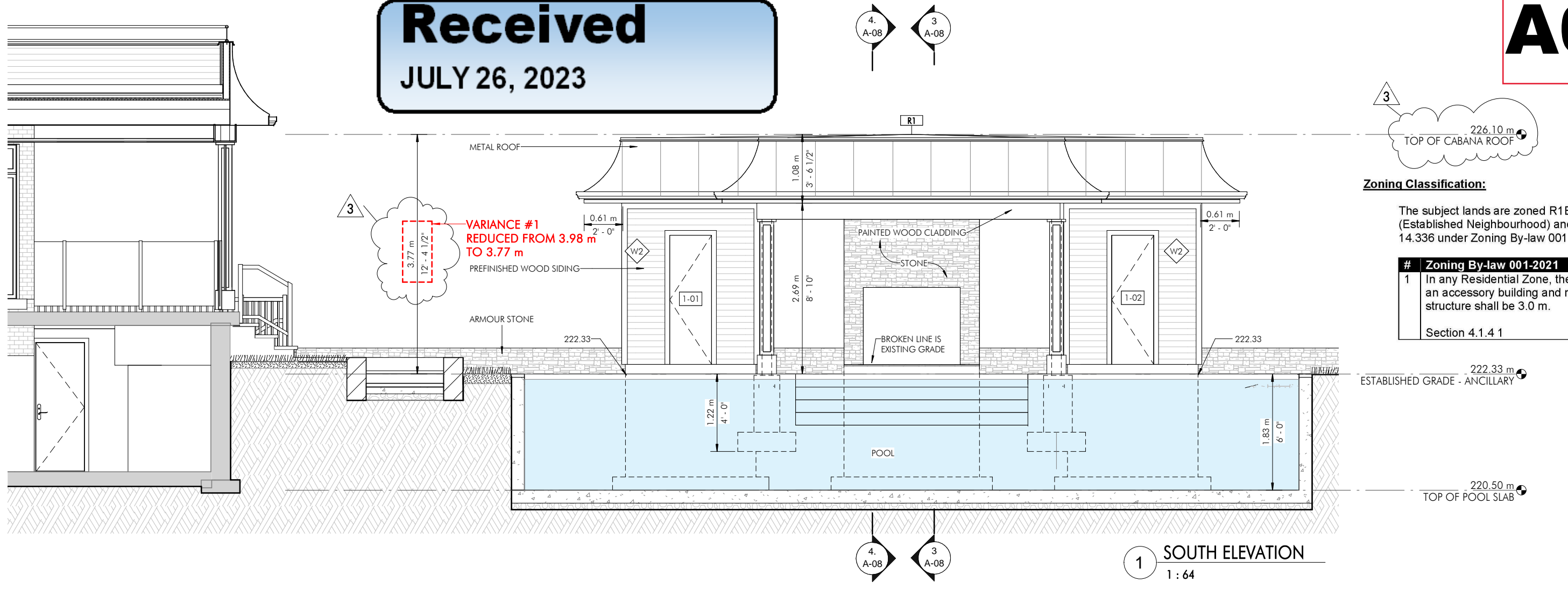
Project
REAR YARD,
CABANA AND
POOL

221 TRELAWN BLVD.
KLEINBERG, ON

Sheet Name
ELEVATIONS

Project No: 2012
Drawn By: PM Checked By: BS
Scale: As noted
Print Date: 7/25/2023 1:43:02 PM

A-07



Zoning Classification:

The subject lands are zoned R1B(EN) – First Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.336 under Zoning By-law 001-2021, as amended.

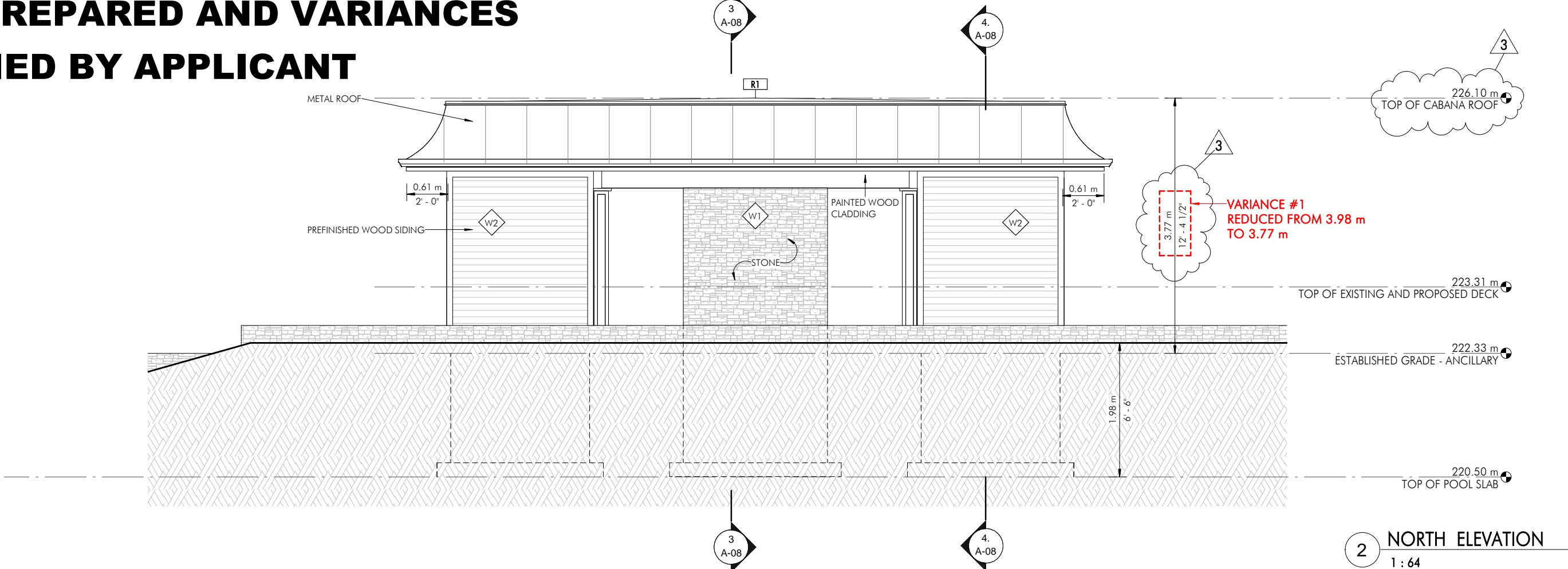
#	Zoning By-law 001-2021	Variance requested
1	In any Residential Zone, the maximum height of an accessory building and residential accessory structure shall be 3.0 m. Section 4.1.4.1	To permit a maximum height of 3.98m for the residential accessory structure.

222.33 m
ESTABLISHED GRADE - ANCILLARY

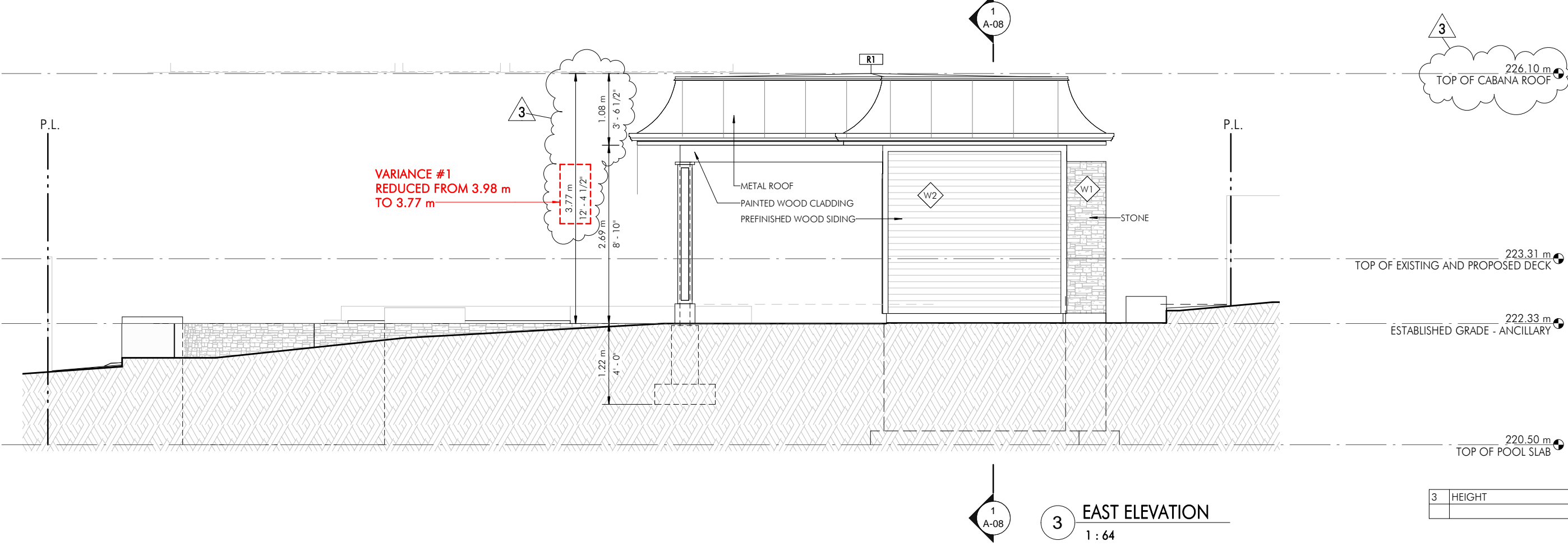
220.50 m
TOP OF POOL SLAB

1 SOUTH ELEVATION
1 : 64

PLANS PREPARED AND VARIANCES IDENTIFIED BY APPLICANT



2 NORTH ELEVATION
1 : 64



3	HEIGHT	JULY 25, 2023
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PLANS PREPARED AND VARIANCES IDENTIFIED BY APPLICANT

Received
JULY 26, 2023

A067/23

bart szoke
architect
inc

257 Margueretta Street
Toronto, ON M6H3S4
416 533 7866 info@szoke.ca
www.szoke.ca



CONTRACTOR TO VERIFY ALL LEVELS AND DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH WORK. DIMENSIONS INDICATED ARE TAKEN AT FACES OF FINISHED SURFACES UNLESS OTHERWISE NOTED. DO NOT SCALE DRAWINGS.

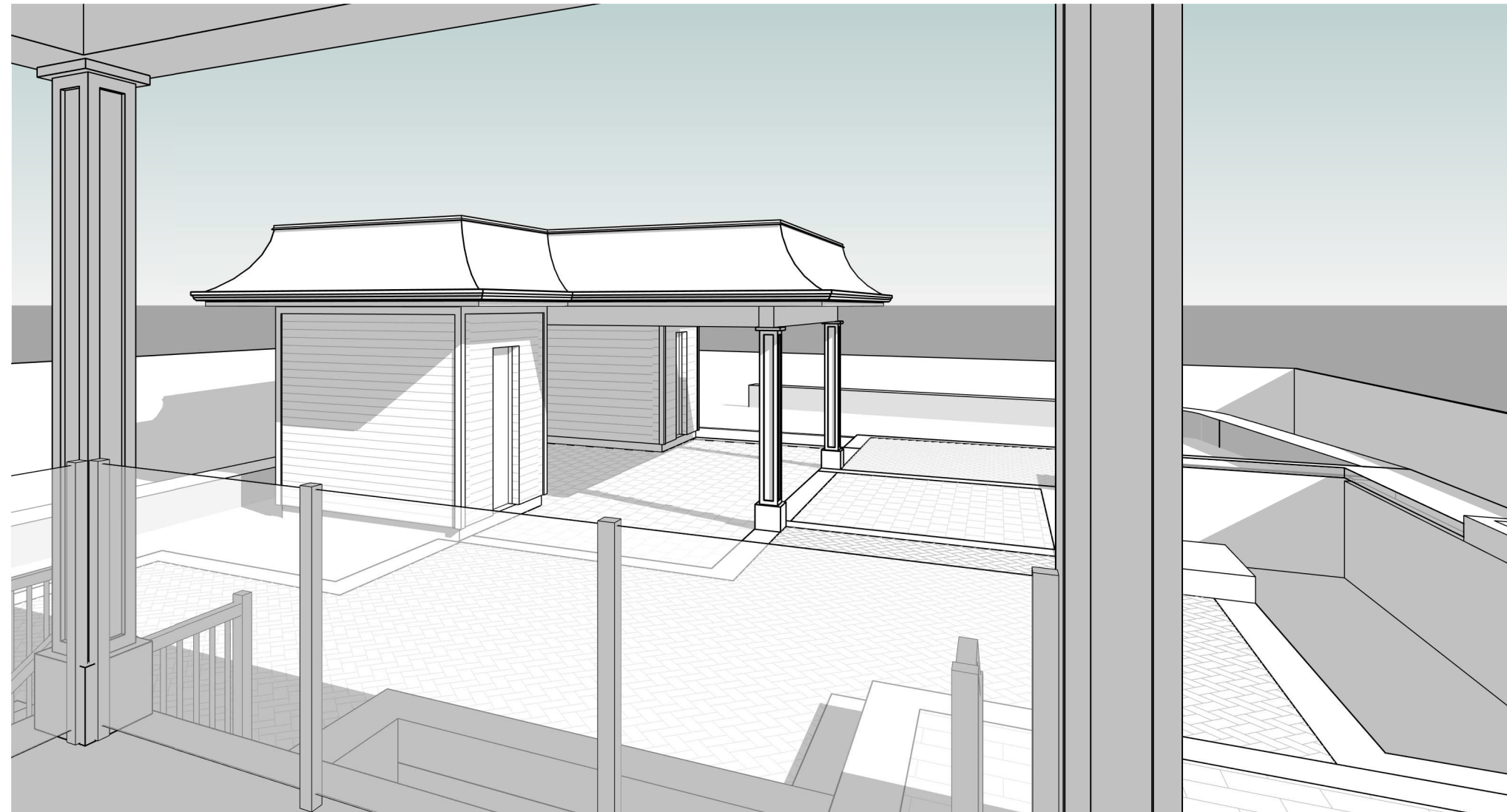
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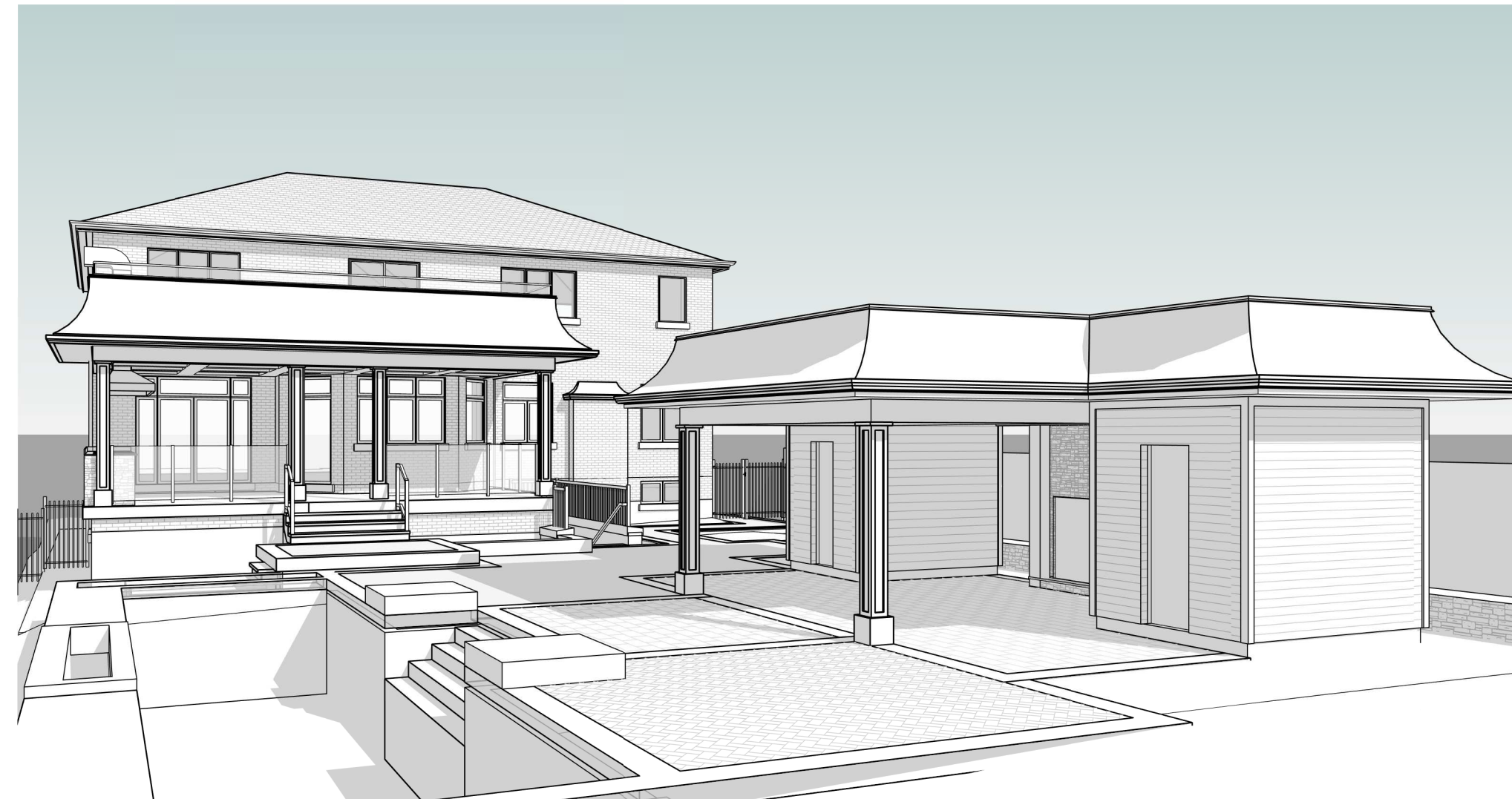
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Structural



1 CABANA VIEW FROM PORCH



2 CABANA AND HOUSE 3D

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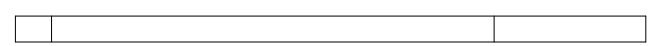
Project
**REAR YARD,
CABANA AND
POOL**

221 TRELAWN BLVD.
KLEINBERG, ON

Sheet Name
3D

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**PLANS PREPARED AND VARIANCES
IDENTIFIED BY APPLICANT**

A067/23

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Received
JULY 26, 2023

CLIENT:

MECHANICAL CONSULTANT:

STRUCTURAL CONSULTANT:

DRAWING LIST

SHEET NUMBER SHEET NAME

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REAR YARD, CABANA AND POOL

221 TREELAWN BLVD.
KLEINBERG, ON



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Structural

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REAR YARD, CABANA AND POOL

221 TRELAWN BLVD.
KLEINBERG, ON

Sheet Name

SPECIFICATIONS AND CONSTRUCTION NOTES

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GENERAL SPECIFICATIONS

MOCKUPS: Prepare full size mockups of the following assemblies for review by the architect:
• Exterior cladding system

DESIGNATED SUBSTANCE SURVEY: Prior to commencing demolition the Constructor shall obtain the Designated Substance Survey from the owner and follow all recommended procedures for the removal of hazardous materials.

GEOTECHNICAL REPORT: Prior to commencing construction the Constructor shall obtain the Geotechnical Report from the owner and follow all specifications contained therein.

SUBSTANDARD WIRING: If during the course of a renovation substandard wiring is uncovered the Constructor shall notify the owner.

LOCATION AND HEIGHT OF STRUCTURE: the contractor shall locate the proposed structure in relation to the property lines, and verify the floor heights and roof heights, in accordance with the dimensions on the plans.

HOARDING: Provide hoarding and safety fencing as required to secure the site.

SHORING: Provide adequate temporary shoring to support the existing structure prior to modification or removal. Extend shoring to basement floor. Provide engineered shoring drawing. Confirm existing structure in the field and report any and all discrepancies to the consultant.

EXCAVATION: Excavation shall be undertaken in such a manner as to prevent movement which would cause damage to adjacent properties, existing structures, utilities, roads, and sidewalks at all stages of construction. Where the depth of excavation exceeds 1220mm, excavate at a 45-degree angle or in accordance with approved shoring details. A soil report may be requested. No work to encroach onto adjacent properties. Excavation and/or construction on adjacent properties require the consent of affected property owners and a Party Wall Permit.

MORTAR: Shall be type “S” or better with a min. compressive strength of 12MPa @28 days – concrete blocks shall have a min. compressive strength of 20MPa over net area of the block – fill cells containing reinforcement solid with grout. Conform to OBC 9.20.3.

MORTAR PARGING: Mortar parging on concrete block wall below grade to be 6mm min. Cove over footing. Mortar to conform to OBC 9.20.

STRUCTURAL LOADING NOTES:

- In instances of new loads imposed on existing foundations the contractor shall verify that the existing foundation is adequate to support the loads imposed by new construction.
- Found new footings on soil having an allowable bearing pressure of 75kPa or greater. Contractor to verify adequacy of soil bearing with architect prior to placing concrete.
- Center all new posts on posts below unless noted otherwise.
- Confirm existing structure in the field and report any and all discrepancies to the consultant.

CONCRETE:

- Unreinforced and nominally reinforced concrete shall be designed, mixed, placed, cured and tested in accordance with the requirements for “R” class concrete stated in Clause 8.13 of CSA A 23.1, “Concrete Materials and Methods of Concrete Construction”.

STRUCTURAL STEEL:

- All steel to be G.40.12, unless noted otherwise. All steel beams and columns to be new stock only and shop primed. Conform to OBC 9.3.3. All exterior steel to be hot dripped galvanized.
- Where supported on masonry or concrete, beams and columns are to bear on min. 200mm x 200mm x 200mm solid masonry or concrete. All steel lintels to have min. 150mm (5 7/8”) end bearing on masonry, concrete or steel. Pilasters in masonry wall to be min. 100mm x 300mm (4”x12”) and a min. 50mm x 300mm (2” x 12”) in poured concrete walls.

FRAMING LUMBER:

- All framing lumber to be SPF #1& 2 or better kiln dried, unless noted otherwise.
- End bearing: joists 38mm (1 ½”), beams to have solid bearing of 89mm (3 ½”) across full width of beam indicated by the note “`SB`”.
- All joists to have bridging at 2080mm (6’10”) OC max. Cross bridging to be 38mm x 38mm, 19mm x 64mm, or solid.
- Provide double header joists 1200mm (3’ 11 ¼”) to 3200mm (10’6”) max. and double trimmer joists 800mm (2’ 7 ½”) to 2000mm (6’7”) max.
- Joist hangers are required where headers, trimmers, etc. are framed into side of other members. Use “Simpson Strong Tie Connectors” or MSA connectors.
- Lateral support for walls parallel to joists: metal anchors 38mm x 5mm (1 ½” x 3/16”) @ 2030mm (6’ 8”) spacing bent into masonry 80mm (3”) and extending over 3 parallel joists.
- Joist hangers: provide metal hangers for all joists and built-up wood members intersecting flush built up wood members.
- All laminated veneer lumber (LVL) beams, girders, trusses and metal hanger connections supporting roof framing to be designed and certified by a truss manufacturer.
- LVL beams shall be 2.0E WS microlam (fb = 2800 psi min.) or equivalent. Nail each ply with 89mm (3 ½”) common nails @ 300mm (11 ¾”) OC staggered in 2 rows for 235, 286, and 302mm LVL depths (9 ¼” , 11 ¼”, 11 7/8”) and staggered in 3 rows for greater depths. For 4 ply members add 13mm (½”) diameter bolts @ 915mm (36”) oc. at mid depth of beam.
- Wood framing members that are in contact with concrete that is less than 150mm (6”) above ground or with a concrete slab shall be pressure treated and protected with 0.15mm polyethylene film or No. 50 (45lb) roll roofing damp proofing between wood and concrete.
- Lumber exposed to exterior to be SPF #1&2 pressure treated or cedar unless noted otherwise.
- Deck framing material to be pressure treated SPF No. 1&2 or better unless noted otherwise. All fasteners and connecting hardware to be galvanized metal.
- All Engineered Trusses to be designed by a professional engineer licensed in Ontario and drawings bearing the seal and signature of this engineer shall be submitted to the building inspector prior to erection. **Contractor to measure site conditions and verify truss dimensions prior to ordering trusses.**

NOTCHING AND DRILLING:

Holes in floor, roof and ceiling framing members shall be maximum ¼ the depth of the member size and not less than 50mm from the edges.

Notches in floor, roof and ceiling members are permitted on the top of the member within half the joist depth from the edge of bearing and not greater than 1/3 of joist depth.

Wall studs may be notched, drilled or damaged to max.:

All Construction to Conform to 2012 Ontario Building Code (OBC) Ont. Reg. 332/12 & amendments.

APPLICATION OF SPECIFICATIONS: Specifications apply to all the work described in the Permit and Construction drawings.

APPLICATION OF CONSTRUCTION NOTES: Construction Notes apply to all the work described in the Permit and Construction drawings. Construction Notes on one drawing apply to all drawings unless noted otherwise.

PERMIT AND CONSTRUCTION DOCUMENTS: In the course of construction of the project the Constructor shall refer to both the Drawings and Specifications issued under all Permits, and the Drawings and Specifications issued for Construction. Construction shall be in accordance with the Permit and Construction drawings unless authorized by the Architect or Engineer. Where existing conditions differ from those assumed in the Permit and Construction drawings the Constructor shall notify the Architect or Engineer before proceeding with the work.

SHOP DRAWINGS AND PRODUCT DATA:

The contractor shall submit shop drawings and product data for:

- Roof trusses
- Structural steel
- Exterior doors, windows and skylights
- Stairs, guards and railings
- Fences
- pool enclosures
- Custom millwork

Shop Drawings and Product Data shall show all:

- Necessary plans, elevations, sections and details to show all applicable information as required herein;
- dimensions;
- configurations, types and sizes required: identify each unit type on drawing and on product;
- placing patterns, spacing, layout, locations, erection diagrams;
- integral reinforcement, framing, fabrication;
- anchoring devices;
- control joints, joints and connections between elements;
- preparation and reinforcement for other products to be attached;
- welds: For structural welds use AWS symbols and clearly show net weld lengths and sizes;
- design loads for engineered products such as deck, mechanical and electrical equipment;
- descriptions of materials;
- metal, glass, board, panel, etc. thicknesses;
- finishes, shop and integral including thicknesses, colours, textures;
- glues, adhesives, joinery;
- installation details and instructions (for products to be installed by other Subcontractors);
- functions.

The consultants review is for general conformity to the design concept and general arrangement only. The Consultant's review will not include review of dimensions, quantities, calculations, weights, fabrication processes, construction means or methods, the coordination of Trades, or safety factors relating to the construction for which the Contractor has the sole responsibility in connection therewith. Should any errors in dimensions, or interferences with other work be noticed by the Consultant in his review of the shop drawings, the attention of the Contractor will be called to them, but review of shop drawings by the Consultant shall not in any way whatsoever relieve the Contractor from the responsibility to review shop drawings and verify conformity with the design and site conditions.

OPERATING MANUALS AND REFERENCE DATA

Three weeks prior to request for Substantial Performance the Contractor shall forward two copies of the Operating Manuals and Reference Data to the Architect in conformance with the specified take-over procedures.

FINAL CLEANING

- The contractor shall undertake final cleaning which is to include new construction and all existing surfaces and items.
- Immediately prior to occupancy by Owner, clean and dust and remove all stains and smudges from all finished surfaces, and all exposed fixtures and equipment.
- Remove dust and soil from all surfaces by vacuuming, damp mopping, washing or scrubbing, as required. Vacuum behind grilles, louvers and screens.
- Clean all mechanical and electrical equipment, plumbing fixtures, light fixtures, casework, specialties and accessories.
- Remove all temporary labels, protective coatings, markings and tags, thoroughly clean surfaces of adhesive.
- Clean drains and drainage systems and leave open and functioning.
- Purge potable water system.
- Methods and materials for cleaning shall be in accordance with the manufacturer's recommendations for the finishes involved.

SYSTEMS DEMONSTRATION

- Prior to final inspection, the contractor shall demonstrate operation of each system to Owner, Architect, and Engineers.
- Instruct personnel in operation, adjustment, and maintenance of equipment and systems, using provided operation and maintenance data as the basis for instruction.
- The Contractor and responsible personnel from the sub-trades whose work is being demonstrated shall be present at these demonstrations.

PROJECT COMMISSIONING

- The contractor shall expedite and complete deficiencies and defects identified.
- Review maintenance manual contents (operating, maintenance instructions, record "as-built" drawings, materials) for completeness. Review supply and completeness of all spare parts required by the Documents and the manufacturers.
- Submit required documentation such as statutory declarations, Workers' Compensation Certificates, warranties, certificates of approval or acceptance from the authorities.
- Attend 'end-of-work' testing and break-in or start-up demonstrations.

DATE OF COMMENCEMENT OF WARRANTY PERIOD: The warranty period for each product or installation shall commence on the date of Substantial Performance as certified by the Architect or the date of written acceptance of a product or system, whichever comes later.

SUBMITTALS: Submit a fully executed copy of each extended warranty and each warranty with special provisions, worded as per the specifications, along with application for Certificate of Substantial Performance.



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Project

REAR YARD,
CABANA AND
POOL

221 TRELAWN BLVD.
KLEINBERG, ON

Sheet Name

SPECIFICATIONS
AND
CONSTRUCTION
NOTES

Project No: 2012

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CONSTRUCTION NOTES

18. WINDOW WELLS: Top of well wall to be 100mm (4") above adjacent grade, bottom of well to be 150 mm (6") below the associated windowsill. Provide a 100mm (4") diameter perforated drainpipe with filter sock vertically in the window well and connected to the footing drain system. Provide a 150mm (6") deep gravel bed at bottom of the window well. Where the window is a required egress, and an outward opening window (typically awning windows) obstructs the path of egress the window well shall have a minimum clearance of 550mm (22") from the window sash in the open position.

19. GARAGE DRAIN: Provide linear concrete drain trough and metal drain cover at bottom of garage slab. Connect drain to sump pump system or storm sewer system.

20. SILL PLATE AND ANCHOR: 38 x 140 (2 x 6) PT sill plate on foam gasket, anchored to foundation wall with 12.7mm (1/2") dia. X 200mm (8") anchor bolts @1800mm (6') OC, grout anchor bolts solid with 16.7MPa grout. Provide continuous air barrier between foundation wall and wood frame above.

21. CAPPING OF HOLLOW UNIT MASONRY FOUNDATION WALL: Not less than 50mm (2") solid masonry or top course filled with concrete, OBC 9.20.8.1.\

22. SLAB CONSTRUCTION:

a. **INTERIOR SLAB ON GRADE:** Concrete slab to be min. 75mm (3") on 50mm (2") rigid insulation with taped joints on 6 mil poly VB on 100mm (4") min. compacted coarse clean granular material, 90% proctor density, on undisturbed soil. Minimum concrete compressive strength of 25MPa (2625 P.S.I.) after 28 days. Provide R 10 rigid foam thermal break where slab abuts foundation wall. Provide 13mm (1/2") deep saw cuts in top of slab within 16 hours of pouring concrete, section slabs into max 3600mm x 3600mm (12' x 12') areas.

b. **GARAGE FLOOR SLAB ON GRADE:** Minimum 100mm (4") thick on 100mm (4") min. compacted coarse clean granular material on undisturbed soil. Minimum concrete compressive strength of 32MPa after 28 days, 5% to 8% air entrainment. Slope slab 2% to drain to exterior. 150mm x 150mm (6" x 6") WWM reinforcing in center of slab. Provide 13mm (1/2") deep saw cuts in top of slab within 16 hours of pouring concrete, section slabs into max 3600mm x 3600mm (12'x12') areas.

c. **EXTERIOR SLAB ON GRADE:** Minimum 75mm (3") thick on 100mm min. compacted coarse clean granular material on undisturbed soil. Minimum concrete compressive strength of 32MPa after 28 days, 5% to 8% air entrainment. Slope slab 2% to drain to exterior. 6" x 6" WWM reinforcing in center of slab. Provide 1/2" deep saw cuts in top of slab within 16 hours of pouring concrete, section slabs into max 12'x12' areas.

d. **SUSPENDED CONCRETE SLAB:** Min, slab thickness 125mm (5") with 10M bar @ max. 200mm (8") O.C. bottom each way, with 30mm (1 3/16") clear cover from the bottom of the slab to the first layer of bars, and the second layer of bars laid directly on top of the lower layer in the opposite direction. Minimum concrete compressive strength of 32MPa (4640 P.S.I) after 28 days, 5% to 8% air entrainment. Concrete slab thickness = 125mm (5") up to 2030mm (6'8") span, 250mm (10") up to 2540mm (8'4") span, 200mm (8") up to 3050mm (10'0") span. Concrete slab to have min. 100mm (4") end embedment.

e. **CRAWLSPACE GROUND COVER SLAB:** Concrete slab to be min. 50mm (2") on 50mm (2") rigid insulation with taped joints on 6 mil poly VB on 100mm (4") min. compacted coarse clean granular material, on undisturbed soil. Minimum concrete compressive strength of 25MPa (2625 P.S.I.) after 28 days. Provide 50mm (2") rigid foam thermal break where slab abuts foundation wall.

23. CONTROL JOINTS: Provide 13mm (1/2") deep saw cuts in top of slab within 16 hours of pouring concrete, section slabs into max 3600mm x 3600mm (12'x12') areas.

24. END SUPPORT OF STEEL BEAMS: Beam to be welded to 200mm x 200mm x 13mm (8" x 8" x 1/2") steel plate anchored by 2 – 16mm x 200mm (2- 5/8" x 8") steel rods embedded in solid grout 20 Mpa or 2 – 16mm x 150mm (2- 5/8" x 6") anchor bolts in solid masonry or concrete. Steel plate to bear on not less than 200 mm x 200 mm x 305 mm (8" x 8" x 12") deep solid masonry or concrete with 50mm (2") of non-shrinkable grout under beam.

25. BASE SUPPORT OF STEEL COLUMNS: Steel column base plate to bear fully on a solid concrete surface or a solid masonry surface 200 mm x 200mm x 200 mm (8" x 8" x 8") deep with min. 50mm (2") of non-shrinkable grout under the base plate.

26. WALL CONNECTIONS:

a. **TIE MEETING OF EXISTING AND NEW FOUNDATION WALLS AND FOOTINGS:** 10M rebar @ 400mm (16") C/C vertically with minimum 150mm (6") embedment into footing and into solid masonry of the wall at each side of the joint – ensure waterproof joint. OBC 9.20.11.2.

b. **TIE MEETING OF EXISTING MASONRY AND NEW FRAME WALL:** Bolt new frame wall to existing masonry wall with approved sill gasket and 13mm (1/2") dia. expansion bolts @ 600mm (24") OC. with min. 100mm (4") embedment in solid masonry. OBC 9.20.11.3.

c. **TIE MEETING OF EXISTING FRAME AND NEW FRAME WALL:** Bolt new frame wall to existing frame wall with approved sill gasket and 13mm (1/2") diameter lag bolts @ 600mm (24") OC, minimum 100mm (4") embedment.

27. BONDING OF MASONRY WYTHES: Where wythes are bonded together with masonry units the bonding units shall comprise not less than 4% of the wall surface and be spaced not more than 600 mm (24") vertically and horizontally for brick and 900 mm (36") OC for concrete block.

28. TYING OF MASONRY WYTHES: Where wythes are bonded together with rod types ties the ties shall conform to OBC 9.20.9.4.

29. MASONRY VENEER TIES: For masonry 70 mm (2 3/4") or more in thickness use galvanized metal ties minimum 0.76 mm thick x 22 mm wide (1/32" x 7/8") shaped to key into the mortar. Space ties 400 mm (16") horizontal and 600 mm (24") vertical and fasten directly to the wall structural members using 3.18 mm (1 1/4") diameter epoxy coated screws with a minimum 30 mm (1 3/16") penetration. Bend tie at right angle within 6 mm (1/4") of fastener. Masonry veneer ties to conform to CAN3-A370-M84.

30. LEDGER BOARD: Pressure treated ledger equal in size to attaching members and fastened directly to existing or new frame or masonry with 13mm x 150mm (1/2" x 6") anchor bolts at 810mm (32") O.C. Where the ledger board is applied over masonry veneer fill the space between the masonry veneer and the foundation wall with mortar adjacent to the ledger board to prevent compression of the veneer.

31. REINFORCE BLOCK FOUNDATION WALL CONTAINING OPENINGS MORE THAN 1200MM (3'11") IN LENGTH: Provide 2-15M bars in a continuous horizontal bond beam along the top of the opening, extend bars 305mm (12") min. to each side of the opening. Fill bond beam and cores at each end with grout.

32. MASONRY BASE FLASHING AND WEEP HOLES: Blueskin TWF by Bakor, rubberized asphalt/polyethylene through wall flashing on primer installed in accordance with manufacturers' specifications. Extend 305mm (12") up drainage plane and horizontally under bottom masonry course to be fully adhered to a 50-mm wide stainless-steel edge flashing with drip downturn extending 13 mm (1/2") beyond the exterior face of the masonry. Air barrier to be lapped over flashing or a watertight joint created in accordance with manufacturers' specifications

where a liquid air barrier is applied. Weep holes with screen spaced not more than 610mm (24") apart to be provided at the bottom of the wall space or cavity behind the exterior masonry, including the cavities above lintels over window and door openings. Conform to OBC 9.20.13.8.

33. MASONRY VENT HOLES: Vent holes with screen spaced not more than 610mm (24") apart to be provided at the top of the wall space or cavity behind the exterior masonry. Conform to OBC 9.20.13.8.

34. PROVIDE MASONRY CURB ON FOOTING: Under all load-bearing walls at the basement level.

35. EXTERIOR CONCRETE STEPS: Minimum concrete compressive strength of 32MPa (4650 psi) after 28 days, 5% to 8% air entrainment as per OBC 9.3.1.6. C/W. 10mm dia. re-bars at nosing and 150mmx150mm (6" x 6") welded wire fabric. 150mm (6") min. concrete depth. All on 150mm (6") compacted granular base.

36. CONCRETE PIER: For pier diameter refer to drawings, min. 150mm (6") above grade and min. 1220mm (4') below grade. 25MPa (3600psi) concrete @28 days C/W. 5% to 7% air entrainment. 100mmx100mm (4" x 4") pressure treated wood post above, anchored to concrete pier with EPB Elevated Post Base by 'Simpson' Strong-Tie.

37. ENGINEERED TRUSSES: Contractor to measure site conditions and verify truss dimensions to ensure alignment with existing roofs prior to ordering trusses.

38. THERMAL PERFORMANCE REQUIREMENTS FOR ADDITIONS TO EXISTING BUILDINGS.

Table 3.1.1.11. (IP)
Thermal Performance Requirements for Additions to Existing Buildings⁽¹⁾
Forming Part of Sentence 3.1.1.11.(2)

Component	Thermal Value ⁽³⁾	Compliance Package		
		Zone 1	Zone 2	Electric Space Heating
		Less than 5000 Degree Days	5000 or more Degree Days	Zones 1 and 2
Ceiling with Attic Space	Min. Nominal R ⁽⁴⁾	60	60	60
	Max. U ⁽⁵⁾	0.017	0.017	0.017
	Min. Effective R ⁽⁶⁾	59.22	59.22	59.22
Ceiling Without Attic Space	Min. Nominal R ⁽⁴⁾	31	31	31
	Max. U ⁽⁵⁾	0.036	0.036	0.036
	Min. Effective R ⁽⁶⁾	27.65	27.65	27.65
Exposed Floor	Min. Nominal R ⁽⁴⁾	31	31	31
	Max. U ⁽⁵⁾	0.034	0.034	0.034
	Min. Effective R ⁽⁶⁾	29.80	29.80	29.80
Walls Above Grade	Min. Nominal R ⁽⁴⁾	19 + 5 α	22 + 7.5 α	22 + 10 α
	Max. U ⁽⁵⁾	0.049	0.042	0.038
	Min. Effective R ⁽⁶⁾	20.32	23.90	26.40
Basement Wall ⁽⁷⁾	Min. Nominal R ⁽⁴⁾	20 α	20 α	20 α
	Max. U ⁽⁵⁾	0.047	0.047	0.047
	Min. Effective R ⁽⁶⁾	21.12	21.12	21.12
Heated Slab or Slab ≤ 600 mm Below Grade	Min. Nominal R ⁽⁴⁾	10	10	10
	Max. U ⁽⁵⁾	0.090	0.090	0.090
	Min. Effective R ⁽⁶⁾	11.13	11.13	11.13
Edge of Below Grade Slab ≤ 600 mm Below Grade	Min. Nominal R ⁽⁴⁾	10	10	10
	Max. U ⁽⁵⁾	0.28	0.25	0.25
	Energy Rating	25	29	29
Column 1	2	3	4	5

Notes to Table 3.1.1.11 (IP):
(1) The values listed are minimum Nominal R values for the thermal insulation component only.
(2) U-Value and effective R value shall include entire ceiling assembly components, from interior air film to vented space air film above insulation.
(3) U-Value and effective R value shall include entire exposed floor or above grade wall assembly components, from interior air film to exterior air film.
(4) U-Value and effective R value shall include entire basement wall or slab assembly components and interior air film.
(5) U-Value is the overall coefficient of heat transfer for a window assembly, sliding glass door assembly or skylight assembly expressed in (Stu/h-R²-F).
(6) In the case of basement wall assemblies, where R10 α is required R12 + 10 α is permitted to be used or vice versa; or where R12 + 5 α is required, R15 α is permitted to be used or vice versa.
(7) Nominal and effective R values are expressed in (h-R²-F)/Stu. U-Values are expressed in (Stu/h-R²-F).

39. HEADER INSULATION: R 24 - 2 lb SPF insulation at joist header.

40. AIR BARRIER AND DRAINAGE PLANE:

a. **TYVEK building wrap:** by Dupont continuous over entire building envelope in accordance with manufacturers' details. Follow manufactures details for continuity of the barrier at door and window openings and wall penetrations. To seal membrane joints, membrane connections to doors and windows, membrane connections to vapor barriers, and membrane connections to wall penetrations use tape compliant with CCMC 11955-R.

b. **DELTA-VENT SA:** by Cosella Dorken continuous over entire building envelope in accordance with manufacturers' details. Wall sheathing to be primed with Delta Adhesive LVC before applying the membrane. Follow manufactures details for continuity of the barrier at door and window openings and wall penetrations.

c. **LIQUID or TROWEL APPLIED MEMBRANE:** Bakor Air-Bloc 31MR (above 4°C), or Bakor Air-Bloc 17MR (-6°C and above). Follow manufactures details for continuity of the barrier at door and window openings and wall penetrations.

41. FLASHING: Metal flashing in profiles as shown on the drawings, galvanized or prefinished.

a. **Flat roof edge flashing:** extend minimum 100mm (4") under roofing cap sheet for 2 ply modified bitumen roof membranes. Extend flashing minimum 50mm (2") down wall or fascia and terminate with 13mm (1/2") drip edge.

b. **Wall cap flashing:** Extend flashing minimum 50mm (2") down wall face(s) and terminate with 13mm (1/2") drip edge. Slope top to drain onto the roof surface unless otherwise noted. Use concealed fastening system.

c. **Head flashing:** extend minimum 100 mm (4") up wall with air barrier and/or drainage plane material lapped over the flashing and seal with tape (CCMC 11955R) or caulking to the flashing. Extend flashing out over door and window head and terminate with 13mm (1/2") drip edge. Maintain a 13mm (1/2") drainage gap between flashing and bottom of wall cladding.

d. **Sill or Bottom of Wall flashing:** extend to back of wall, upturn flashing 50mm (2") at each end and seal to the sides of the opening with tape (CCMC 11955R) or caulk. Extend flashing over the wall cladding material with positive slope to the exterior, extend down wall surface 50mm (2") and terminate with 13mm (1/2) drip edge. At bottom of wall condition maintain a 13mm (1/2") drainage gap between flashing and bottom of wall cladding, close air space behind cladding with insect screen, and seal top of flashing to the air barrier with tape (CCMC 11955R) or tape compatible with the air barrier material.

e. **Wall to roof flashing:** extend 150mm (6") up the wall face, form over cant as shown on the drawings. Air barrier and/or drainage plane material lapped over the flashing and seal with tape (CCMC 11955R) or caulking to the flashing.



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Structural

1 REFERENCE TO CONSTRUCTION NOTES

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ISSUED FOR 2ND CLIENT REVIEW:
ISSUED FOR FINAL CLIENT REVIEW:
ISSUED FOR TENDER:
ISSUED FOR BUILDING PERMIT:
ISSUED FOR CONSTRUCTION:

Project

REAR YARD, CABANA AND POOL

221 TRELAWN BLVD.
KLEINBERG, ON

Sheet Name

SPECIFICATIONS AND CONSTRUCTION NOTES

Project No: 2012

Drawn By: PM Checked By: BS

Scale: As noted

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CONSTRUCTION NOTES

f. Wall to soffit flashing: extend minimum 13mm (1/2") below bottom of soffit and out from wall to conceal bottom of furring supporting wall cladding. Maintain 13mm (1/2") drainage gap between flashing and bottom of wall cladding.

42. FIRE SEPARATION INTEGRITY: existing fire separations that are modified during construction are to be restored to existing performance levels or be constructed to meet performance levels noted on the drawings.

43. DOORS IN FIRE SEPARATIONS: Every door in a fire separation shall be ULC listed, equipped with a self-closing device, and a positive latching mechanism per OBC 3.1.8.11., 3.1.8.13., 9.10.13.1., 9.10.13.2.

44. SPRINKLERS: Add or relocate sprinkler heads to provide sufficient coverage per NFPA-13.

45. EXIT SIGNAGE AND EMERGENCYLIGHTING: Add or relocate exit signage or emergency lighting per O.REG.332/12-Div B-3.2.7., 3.4.5. or .9.9.11., 9.9.12.

46. CONSTRUCTION OF EXPOSING BUILDING FACE:

- Where the limiting distance is less than 1200 mm the exposing building face shall have a FRR of 45 min, combustible cladding is permitted. Apply 16mm (5/8") type X gypsum board to the interior face of the wall.
- Where the limiting distance is 600 mm or less the exposing building face shall have a FRR of 45 min with noncombustible insulation and noncombustible cladding. Apply 16mm (5/8") type X gypsum board to the interior face of the wall.
- In a two story unit where the limiting distance is 600 mm or less the exposing building face shall have a FRR of 1 hr with noncombustible frame and sheathing, noncombustible insulation and noncombustible cladding. Apply 16mm (5/8") type X gypsum board to the interior face of the wall.

47. EIFS EXTERIOR WALL CLADDING: EIFS exterior wall cladding shall be a drained system, DuROCK PUCCS-LLRC, CCMC No. 12969-R, or equivalent, applied in accordance with the manufacturer's specifications. See specification and details on drawings.

48. EIFS NONCOMBUSTIBLE EXTERIOR WALL CLADDING: Stucco exterior wall cladding shall be a drained system, DuROCK PUCCS-NC, CCMC No. 12969-R, or equivalent, applied in accordance with the manufacturer's specifications. See specification and details on drawings.

49. GYPSUM CONCRETE UNDERLAYMENT: 38 mm (1 1/2") thick Therma-Floor Gyp-Crete by Maxxon or equivalent placed over radiant heating tubes or electric cables. Seal plywood substrate with Maxxon Liquid and Powder Floor Primer prior to placing the gypsum. Allow the gypsum to dry in accordance with manufacturers' specifications prior to applying decoupling membrane or finish flooring.

50. ELECTRIC FLOOR WARMING: Electric thin mat or wire to be installed on subfloor or built up dry-pack concrete layer. Provide electrical circuit and programable thermostat with floor probe.

51. UNCOUPLING MEMBRANE: Where the floor finish is stone or tiles provide an uncoupling membrane, "Ditra" by Schluter or equivalent in accordance with manufacturers' specifications. Where applied over concrete or gypsum concrete test the moisture content of the substrate in accordance with the manufacturers' specifications prior to installing the membrane. See floor assemblies.

52. CURBLESS SHOWER: Where the floor surface is to continue into a shower uninterrupted by a curb provide sufficient subfloor depth to create a minimum 2% slope to drain in the shower area. The slope may be created by a depression in a concrete slab or a concrete overpour, or by a plywood or dry pack concrete build up on a wood subfloor. The added height shall be anticipated by plumbing rough ins and adjacent floor levels. The shower floor shall have a continuous membrane, "Kerdi Mat" by Schluter, below the tile surface and up the walls 150mm, overlapped by the wall membrane. Extend the floor membrane 600 mm beyond the shower enclosure on the open side.

53. SHOWER DRAIN: Linear shower drain "Quartz" by Aco or equivalent.

54. WET WALL CONSTRUCTION: At walls surrounding tubs and showers, beneath the finish material, install a waterproof membrane to a minimum height of 72", "Kerdi Mat" by Schluter or equivalent on 13mm (1/2") Densglass Shower Board.

55. EAVE PROTECTION FOR SHINGLES: Blueskin RF200 ice and water barrier or approved equal. Provide protection extending a min distance of 910mm (36") up the roof slope to a line not less than 300mm inside the inner face of the exterior wall. Use vent protection if required. Eave protection for shingles also to conform to OBC 9.26.5.

56. ROOF EDGE: Pre-finished metal gutter and downspouts. Aluminum capping on fascia board on rafter header. Vented soffit on frame as required, perforated aluminum, aluminum strip, or custom system with insect screen.

57. ROOF OR ATTIC SPACE VENTILATION: Roof or attic space above an insulated ceiling shall be ventilated with openings to the exterior to provide an unobstructed vent area of not less than 1/300 of the insulated ceiling space uniformly distributed to ventilate each roof space. Provide 50% of the required vent area near the lower part of the roof and 50% near the ridge. Vents may be roof, ridge, eave, or gable end types, or any combination thereof. For a cathedral ceiling or roof slope less than 1 in 6 provide an unobstructed vent area of 1/150 of the insulated ceiling area. Vents shall be uniformly distributed on opposite sides of the building. Vents shall prevent the entry of rain, snow, and insects.

58. ATTIC AND CRAWL SPACE ACCESS:

- Crawlspace access hatchway serving a single dwelling unit, min. 500 mm x 700 mm (20" x 28").
- Attic or Roof Space hatchway serving a single dwelling unit, min. 500 mm x 700 mm (20" x 28") unobstructed opening complete with weather stripping and insulated (R 60) cover.
- Attic space pull down access ladder: 22.5" x 54" aluminum attic ladder with energy seal by Werner or equivalent. Double frame around access opening.

59. DOORS:

- DOOR IN 45 MIN. FIRE SEPARATION:** 20 min. FRR, ULC labeled door with minimum 45mm (1 3/4") thick solid wood core or metal clad door with labeled self closing device. Unlabeled wood frames shall be minimum 38mm (1.5") thick.
- DOOR IN 1 HR FIRE SEPARATION:** 45 min. FRR, ULC labeled metal door and metal frame with labeled self closing device.
- DOOR HARDWARE:** All new door openers shall be lever type or conform to O.REG. 332/12-3.8.3.3.(3).

61. FACTORY-BUILT ZERO CLEARANCE FIREPLACE AND VENT TO OUTSIDE: Zero clearance fireplaces shall be laboratory listed, ULC approved, and installed with compatible labeled chimneys and in

62. FIRE ALARM SYSTEM: Maintain adequate fire alarm system coverage per OBC 3.2.4. and CAN/ULC-S524 requirements.

63. FUME-PROOF SEPARATION OF GARAGE AND HOUSE: A continuous, sealed air barrier system conforming to OBC 9.10.9.16.(4) shall be installed between the garage and house. See floor and wall assemblies for construction details.

64. DOOR BETWEEN THE GARAGE AND THE DWELLING UNIT: Shall provide an effective barrier to gas and exhaust fumes. A door between the garage and the dwelling shall be tight fitting, weather stripped, and fitted with a self closing device; such door shall not open into a bedroom. A clear parking space shall be provided with no encroachment (such as steps) into the parking space.

65. STAIRS:

- PRIVATE STAIRS SERVING A SINGLE DWELLING UNIT:** Provide a uniform rise and run in any one flight.
 - Width: minimum 860 mm between wall or guard faces
 - Rise: minimum 125 mm, maximum 200 mm
 - Run: minimum 255 mm, maximum 355 mm
 - Tread Depth: minimum 255 mm, maximum 380 mm
 - Nosing Depth: maximum 25 mm
 - Headroom over stair runs and landings: 1950mm
 - Landing Width: width of stair
 - Landing Depth: minimum 860 mm for interior stairs, minimum 900 mm for exterior stairs
 - Guard Height:

o within dwelling units and exterior guards where the walking surface is not more than 1800 mm above the finished ground level 900 mm
o exterior guards where the walking surface is more than 1800 mm above finished ground level 1070 mm

b. PUBLIC STAIRS AND STAIRS NOT SERVING A SINGLE DWELLING UNIT IN PART 9 BUILDINGS: Provide a uniform rise and run in any one flight.

- Width: minimum 900 mm between wall or guard faces
- Rise: minimum 125 mm, maximum 200 mm
- Run: minimum 255 mm, maximum - no limit
- Tread Depth: minimum 255 mm, maximum – no limit
- Nosing Depth: maximum 25 mm
- Headroom over stair runs and landings: 2050mm
- Landing Width: width of stair
- Landing Depth: minimum 900 mm
- Guard Height:

- o Exit stairs and landings: 920 mm at stair flight, 1070 mm at landings
- o Exterior stairs and landings more than 10 m above adjacent ground level: 1500 mm

c. PUBLIC STAIRS AND STAIRS NOT SERVING A SINGLE DWELLING UNIT IN PART 3 BUILDINGS: Provide a uniform rise and run in any one flight.

- Width: minimum 900 mm between wall or guard faces
- Rise: minimum 125 mm, maximum 200 mm
- Run: minimum 255 mm, maximum 355 mm
- Tread Depth: minimum 255 mm, maximum – no limit
- Nosing Depth: maximum 25 mm
- Headroom over stair flights and landings: 2050mm
- Landing Width: width of stair
- Landing Depth: minimum 1100 mm
- Guard Height:

- o Exit stairs and landings: 920 mm at stair flight, 1070 mm at landings
- o Exterior stairs and landings more than 10 m above adjacent ground level: 1500 mm

d. CURVED STAIRS: To have a handrail on each side, treads with a min run of 240mm (9 1/2") exclusive of nosing, where treads are measured 230mm (9") from the handrail at the narrow end of the tread: a run not more than 355mm (14") exclusive of nosing, a rise between successive treads of not less than 125mm (4 7/8"). A uniform run and rise in any one flight and shall not alter significantly in run and rise in successive flights in any stair system, where the run of any tread is less than 225mm (8 7/8"), a nosing of not less than 25mm (1") beyond the face of the riser or an equivalent back slope on the riser, and an inside radius which is not less than twice the stair width.

e. CURVED STAIRS: A curved stair used as an exit shall have, a handrail on each side, treads with a minimum run of 240mm (9 1/2") exclusive of nosing, where treads are measured 230mm (9") from the handrail at the narrow end of the tread (a run not more than 355mm exclusive of nosing, a rise between successive treads of not less than 125mm (4 7/8") and not more than 200mm (7 7/8"), a uniform run and rise in any one flight, and shall not alter significantly in run and rise in successive flights in any stair system), and an inside radius which is not less than twice the stair width. Angled treads in other than required exit stairs shall have an average run, which is measured as the horizontal nosing-to-nosing distance, of not less than 200mm (7 7/8") and a minimum run of 150mm (6"). The depth of an angled tread shall not be less than its run at any point and not more than its run at any point plus 25mm (1").

66. GUARDS AND HANDRAILS:

a. GUARD HEIGHT: Stairs: 900mm (2'11"). Landing: 900mm (2'11"). Porches, decks, landings, and balconies which are less than 1800mm (5'11") above the finished ground level: 900mm (2'11"), more than 1800mm (5'11") above the finished ground level: 1070mm (3'6"). Any other location: 1070mm (3'6"). Exterior stairs and landings more than 10 m (32'9") above the adjacent ground level: 1500 mm (4'11").

b. GUARD CONSTRUCTION: Guards shall all be designed and installed so that no member attachment or opening located between 140mm (5-1/2") and 900mm (2'11") above the floor or walking surface will facilitate climbing. Openings through guards shall be of a size to prevent the passage of a spherical object having a diameter of 100mm (4") in residential occupancies. Guards built from wood shall conform to details from MMAH SB-7 to resist lateral loads for housing and small buildings. In any other instance guards shall resist the loads specified in OBC Table 9.8.8.2.



LEGEND:

- EXISTING ELEMENTS TO REMAIN
- EXISTING ELEMENTS TO REMOVE
- PROPERTY LINE

SURVEY INFORMATION TAKEN FROM: SURVEYOR'S
REAL PROPERTY REPORT OF PART 1 PLAN OF LOT 29
REGISTERED PLAN 65M - 3377
CITY OF VAUGHAN
REGIONAL MUNICIPALITY OF YORK
BY ERTL SURVEYORS INC. NOV 25, 2002

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Project

REAR YARD,
CABANA AND
POOL

221 TREELAWN BLVD.
KLEINBERG, ON

Sheet Name

EXISTING SITE
AND GRADING
PLAN

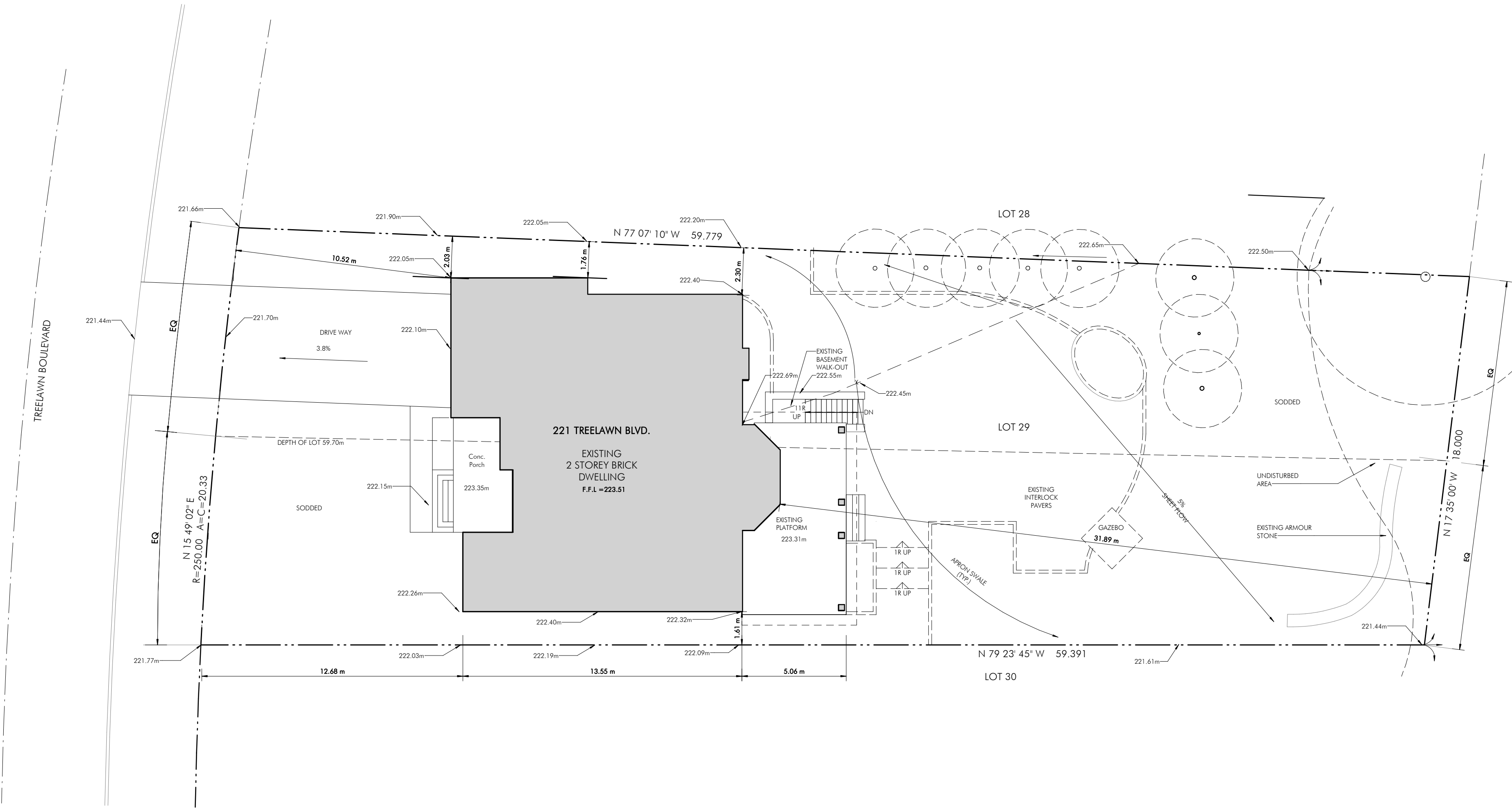
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Scale: As noted

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1 EXISTING SITE AND GRADING PLAN

1 : 150





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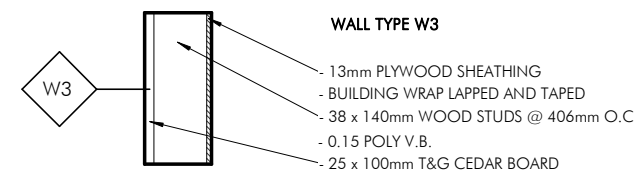
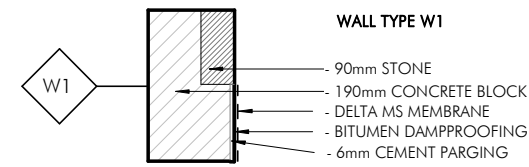
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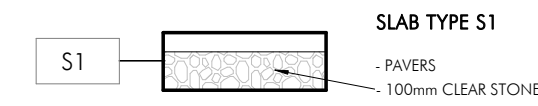
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Structural

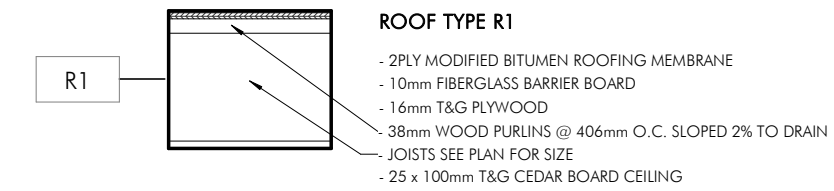
WALL TYPES



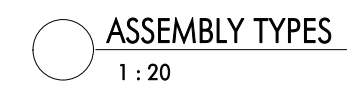
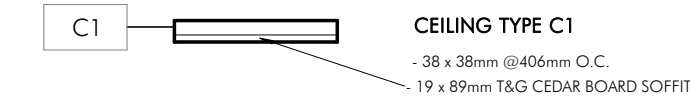
SLAB TYPES



ROOF TYPES



CEILING TYPES



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ISSUED FOR TENDER:
ISSUED FOR BUILDING PERMIT:
ISSUED FOR CONSTRUCTION:

DOOR SCHEDULE

MARK	SIZE			FRAME SIZE		ROUGH OPENING		OPERATION	REMARKS
	WIDTH	HEIGHT	THICKNESS	WIDTH	HEIGHT	WIDTH	HEIGHT		
1-01	660 mm	2032 mm	45 mm	711 mm	2057 mm	731 mm	2077 mm	Swing	
1-02	660 mm	2032 mm	45 mm	711 mm	2057 mm	731 mm	2077 mm	Swing	

Project

REAR YARD,
CABANA AND
POOL

221 TREELAWN BLVD.
KLEINBERG, ON

Sheet Name

ASSEMBLY TYPES,
DOOR SCHEDULE
AND STRUCTURAL
ELEMENTS

Project No: 2012

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Structural

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Project

REAR YARD,
CABANA AND
POOL

221 TREELAWN BLVD.
KLEINBERG, ON

Sheet Name

FOUNDATION
PLAN

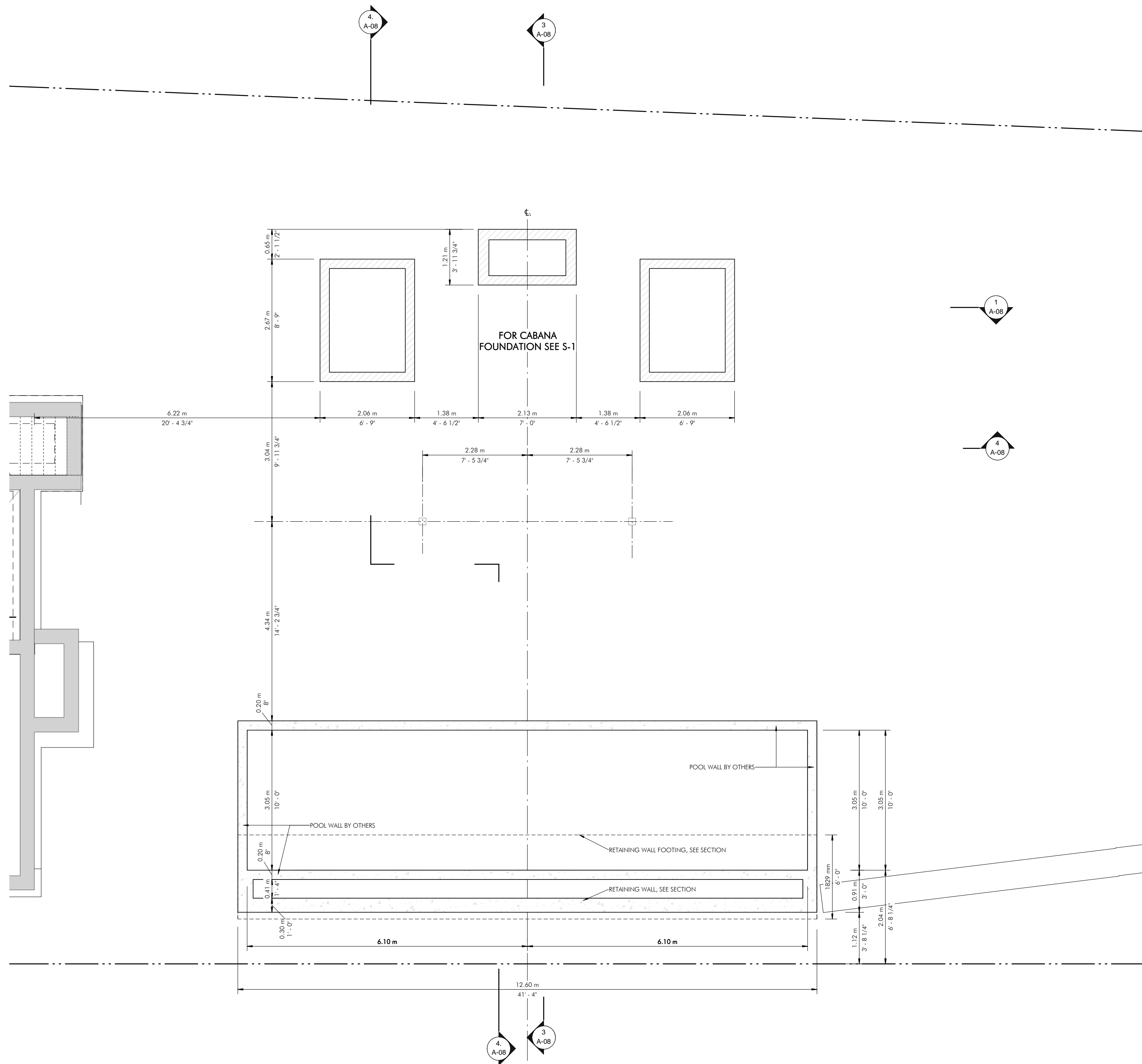
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A-04



1 FOUNDATION PLAN
1 : 64





LEGEND:

- EXISTING BUILDING
- PROPOSED BUILDING
- SOFT LANDSCAPE
- POOL
- FRONT AND REAR YARD AREA
- DECORATIVE PAVERS AND PATHS
- RETAINING WALL
- ASPHALT
- PROPERTY LINE
- LIGHT DUTY SILT FENCE
- TOP OF BANK

NOTE:

EXISTING GRADES REMAINS

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CABANA AND
POOL PLAN

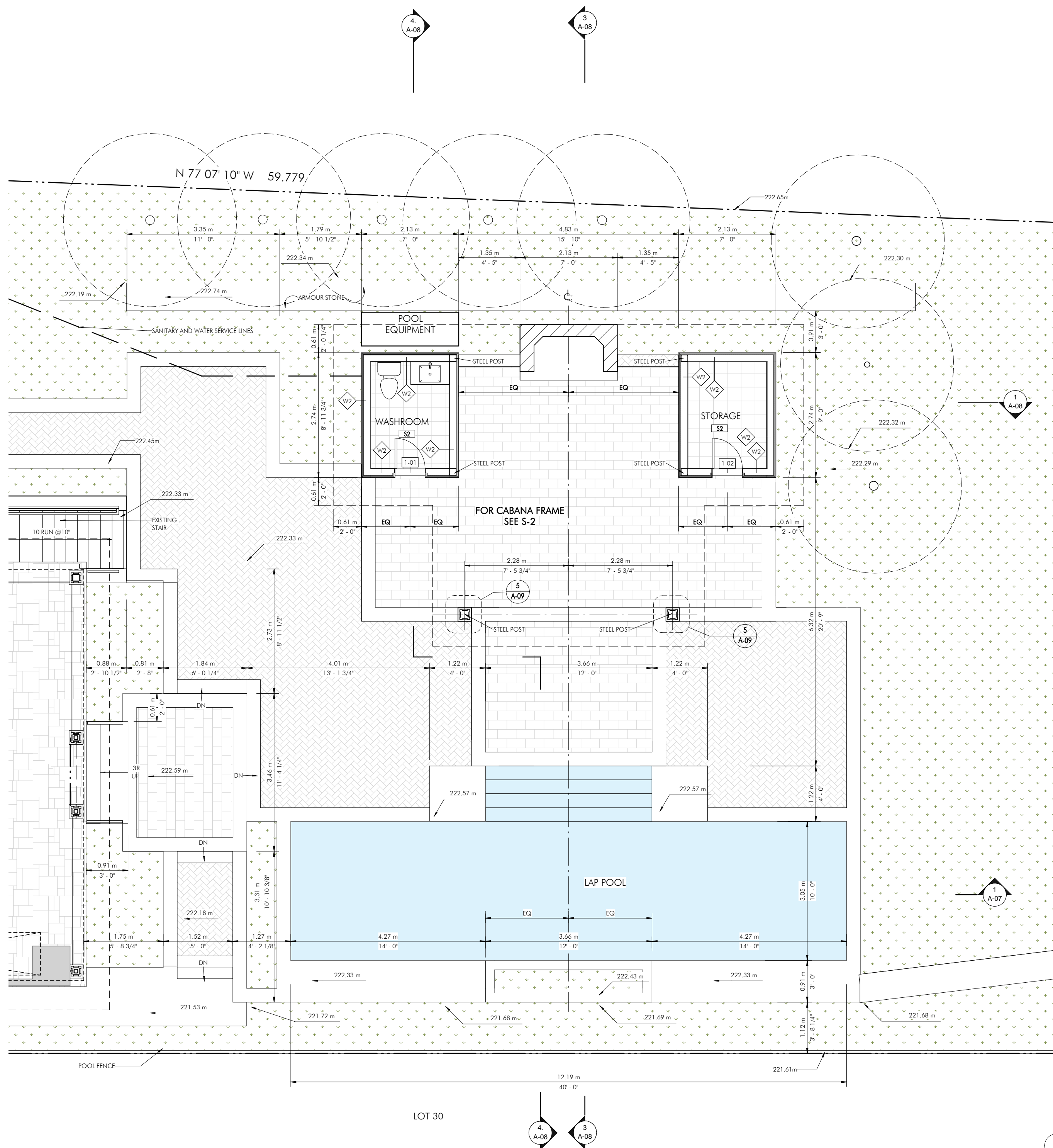
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Drawn By: PM Checked By: BS

Scale: As noted

Print Date: 7/25/2023 1:42:59 PM

A-05



1 CABANA AND POOL PLAN
1:64





CONTRACTOR TO VERIFY ALL LEVELS AND DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH WORK. DIMENSIONS INDICATED ARE TAKEN AT FACES OF FINISHED SURFACES UNLESS OTHERWISE NOTED. DO NOT SCALE DRAWINGS.

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THE CONTRACTOR ACCEPTS ALL RESPONSIBILITY FOR WORKING WITH DRAWINGS, NOT MARKED "ISSUED FOR CONSTRUCTION" AND FOR ANY CHANGES TO THE DESIGN WITHOUT THE EXPRESS APPROVAL OF BART SZOKE ARCHITECT INC.

ALL WORK TO CONFORM TO ALL GOVERNING CODES AND BY-LAWS.

Structural

1 REFERENCE TO CONSTRUCTION NOTES

- ISSUED FOR 1ST CLIENT REVIEW:
- ISSUED FOR 2ND CLIENT REVIEW:
- ISSUED FOR FINAL CLIENT REVIEW:
- ISSUED FOR TENDER:
- ISSUED FOR BUILDING PERMIT:
- ISSUED FOR CONSTRUCTION:

Project

**REAR YARD,
CABANA AND
POOL**

221 TRELAWN BLVD.
KLEINBERG, ON

Sheet Name

ROOF PLAN

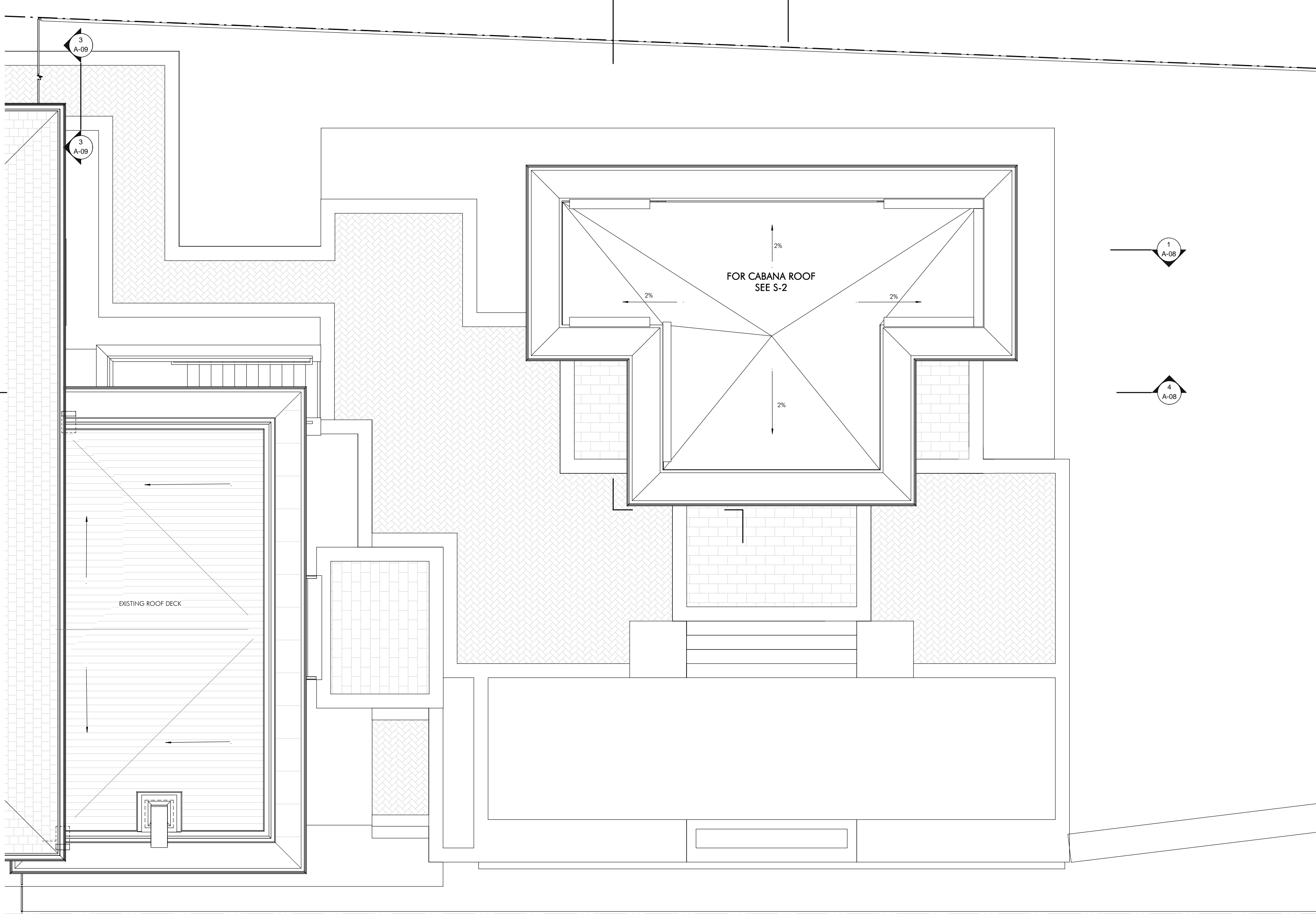
Project No: 2012

Drawn By: PM Checked By: BS

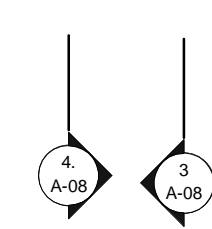
Scale: As noted

Print Date: 7/25/2023 1:43:00 PM

A-06



1 ROOF PLAN
1 : 64





CONTRACTOR TO VERIFY ALL LEVELS AND DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH WORK. DIMENSIONS INDICATED ARE TAKEN AT FACES OF FINISHED SURFACES UNLESS OTHERWISE NOTED. DO NOT SCALE DRAWINGS.

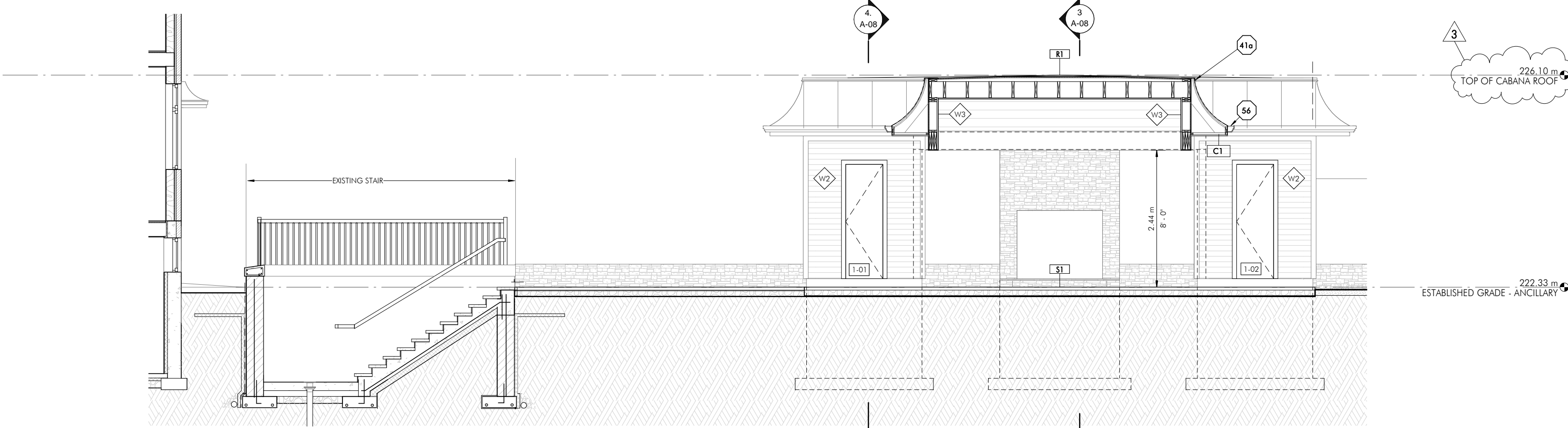
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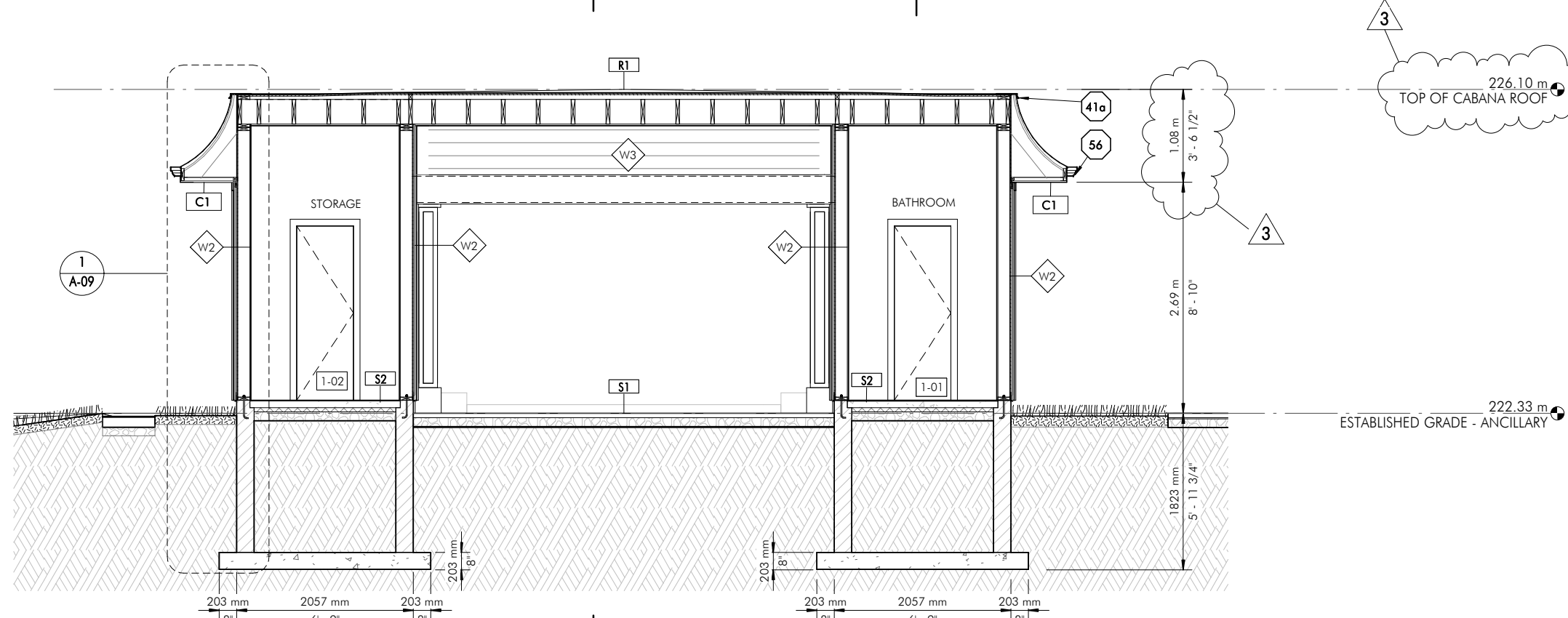
THE CONTRACTOR ACCEPTS ALL RESPONSIBILITY FOR WORKING WITH DRAWINGS, NOT MARKED 'ISSUED FOR CONSTRUCTION' AND FOR ANY CHANGES TO THE DESIGN WITHOUT THE EXPRESS APPROVAL OF BART SZOKE ARCHITECT INC.

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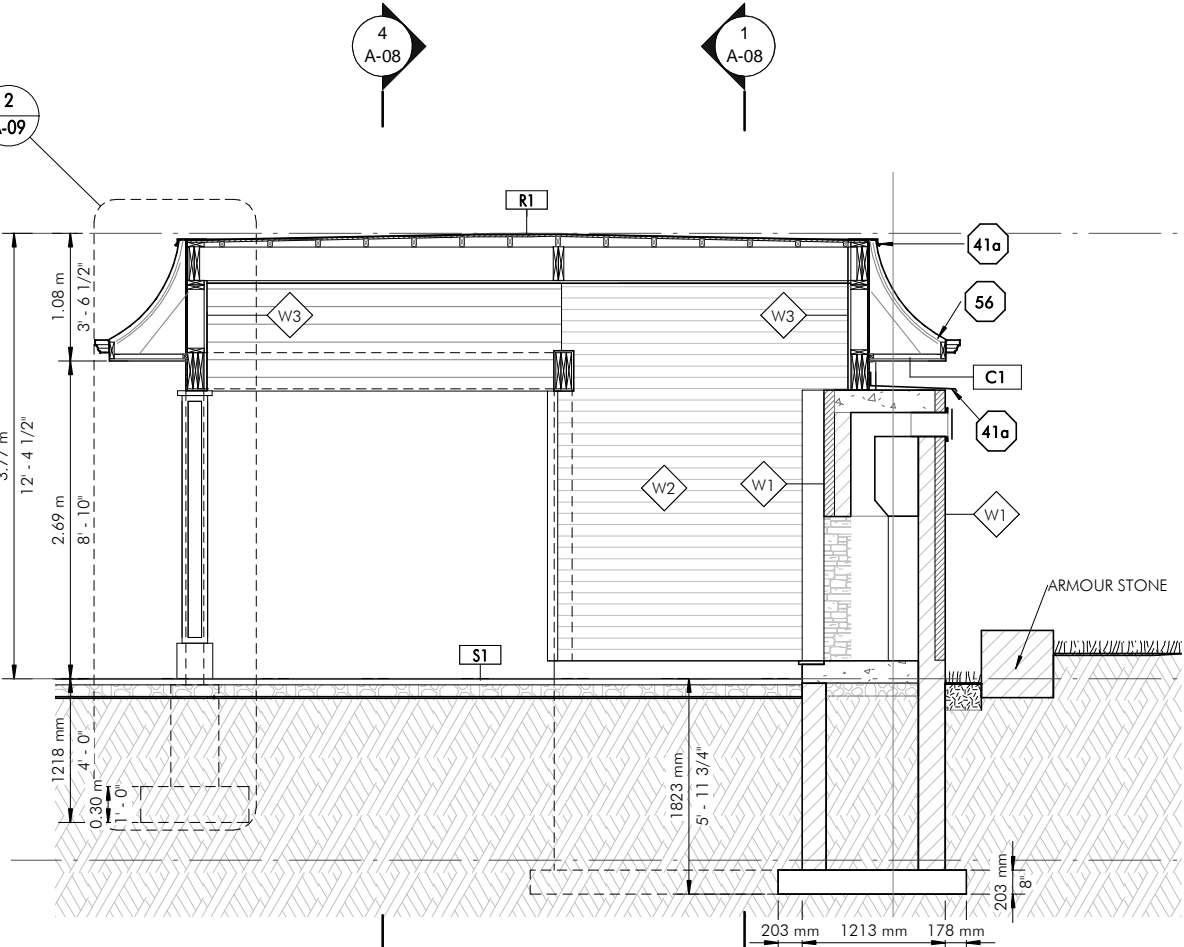
Structural



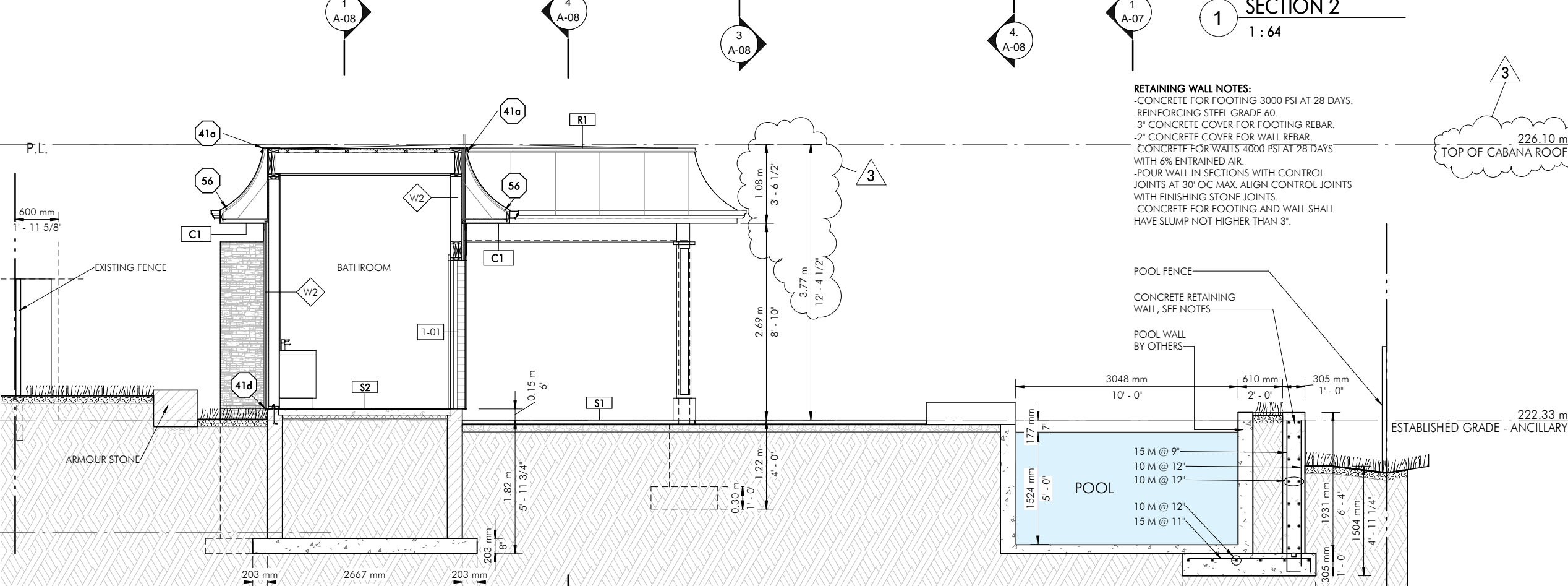
SECTION 1
1 : 64



SECTION 2
1 : 64



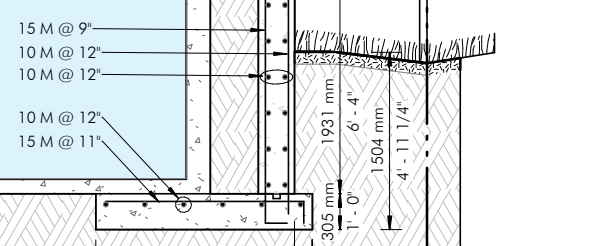
SECTION 3
1 : 75



SECTION 4
1 : 64

- RETAINING WALL NOTES:**
- CONCRETE FOR FOOTING 3000 PSI AT 28 DAYS.
 - REINFORCING STEEL GRADE 60.
 - 3" CONCRETE COVER FOR FOOTING REBAR.
 - 2" CONCRETE COVER FOR WALL REBAR.
 - CONCRETE FOR WALLS 4000 PSI AT 28 DAYS WITH 6% ENTRAINED AIR.
 - POUR WALL IN SECTIONS WITH CONTROL JOINTS AT 30' OC MAX. ALIGN CONTROL JOINTS WITH FINISHING STONE JOINTS.
 - CONCRETE FOR FOOTING AND WALL SHALL HAVE SLUMP NOT HIGHER THAN 3".

- POOL FENCE
- CONCRETE RETAINING WALL, SEE NOTES
- POOL WALL BY OTHERS



3	HEIGHT	JULY 25, 2023
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REFERENCE TO CONSTRUCTION NOTES

- ISSUED FOR 1ST CLIENT REVIEW:
- ISSUED FOR 2ND CLIENT REVIEW:
- ISSUED FOR FINAL CLIENT REVIEW:
- ISSUED FOR TENDER:
- ISSUED FOR BUILDING PERMIT:
- ISSUED FOR CONSTRUCTION:

Project
REAR YARD, CABANA AND POOL

221 TRELAWN BLVD.
KLEINBERG, ON

Sheet Name
SECTIONS

Project No: 2012
 Drawn By: PM Checked By: BS
 Scale: As noted
 Print Date: 7/25/2023 1:43:06 PM

A-08



CONTRACTOR TO VERIFY ALL LEVELS AND DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH WORK. DIMENSIONS INDICATED ARE TAKEN AT FACES OF FINISHED SURFACES UNLESS OTHERWISE NOTED. DO NOT SCALE DRAWINGS.

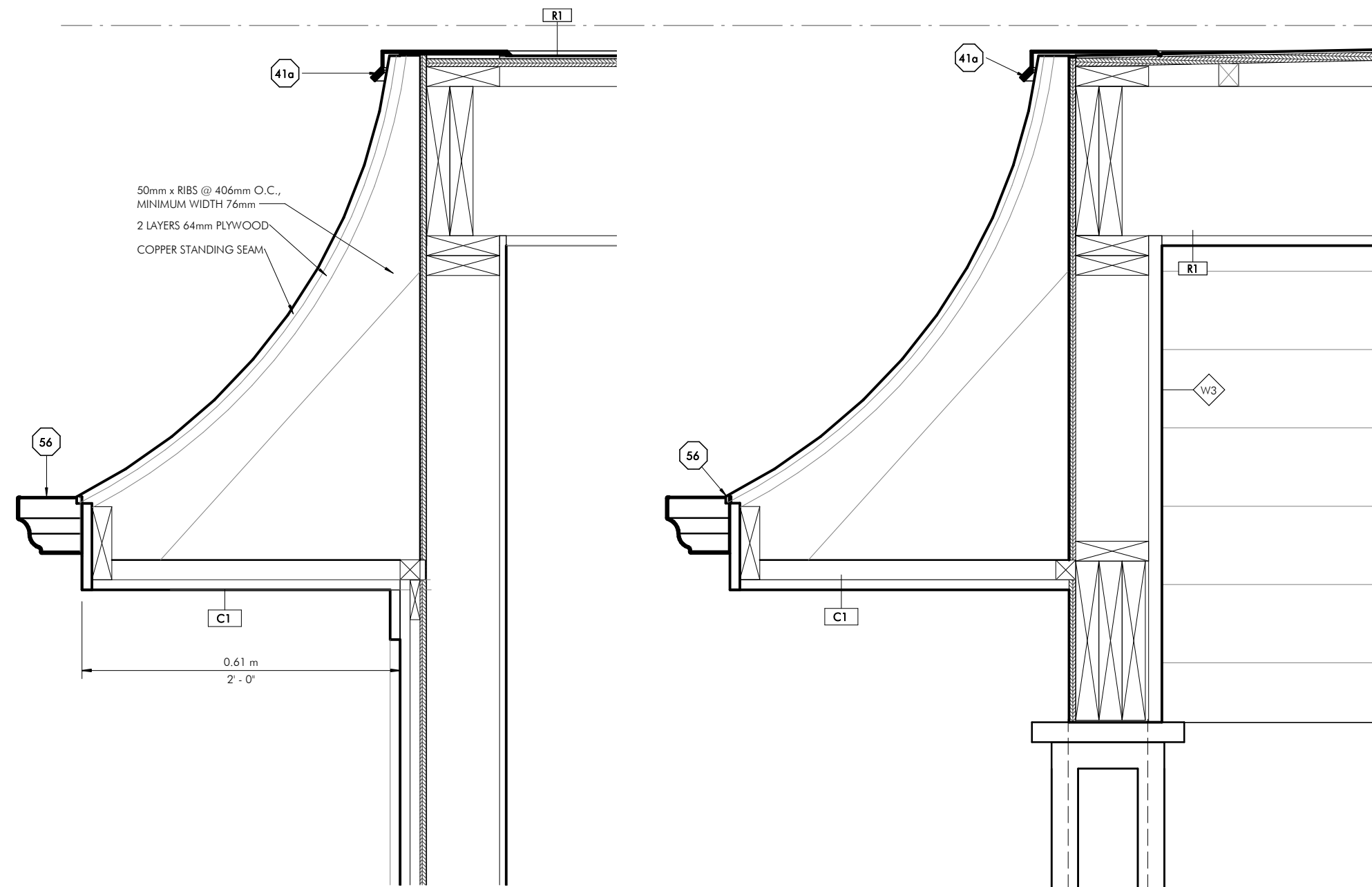
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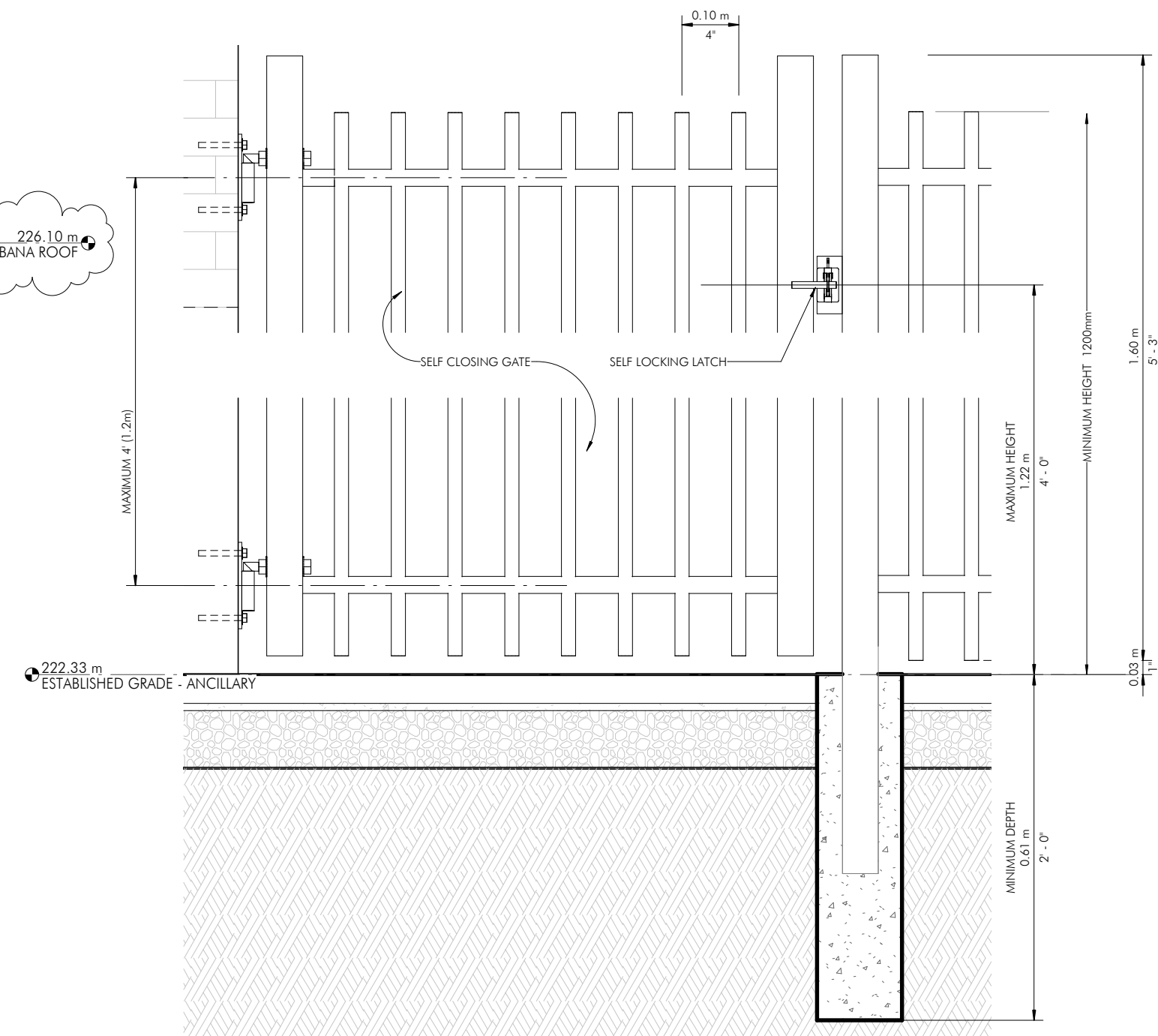
Structural



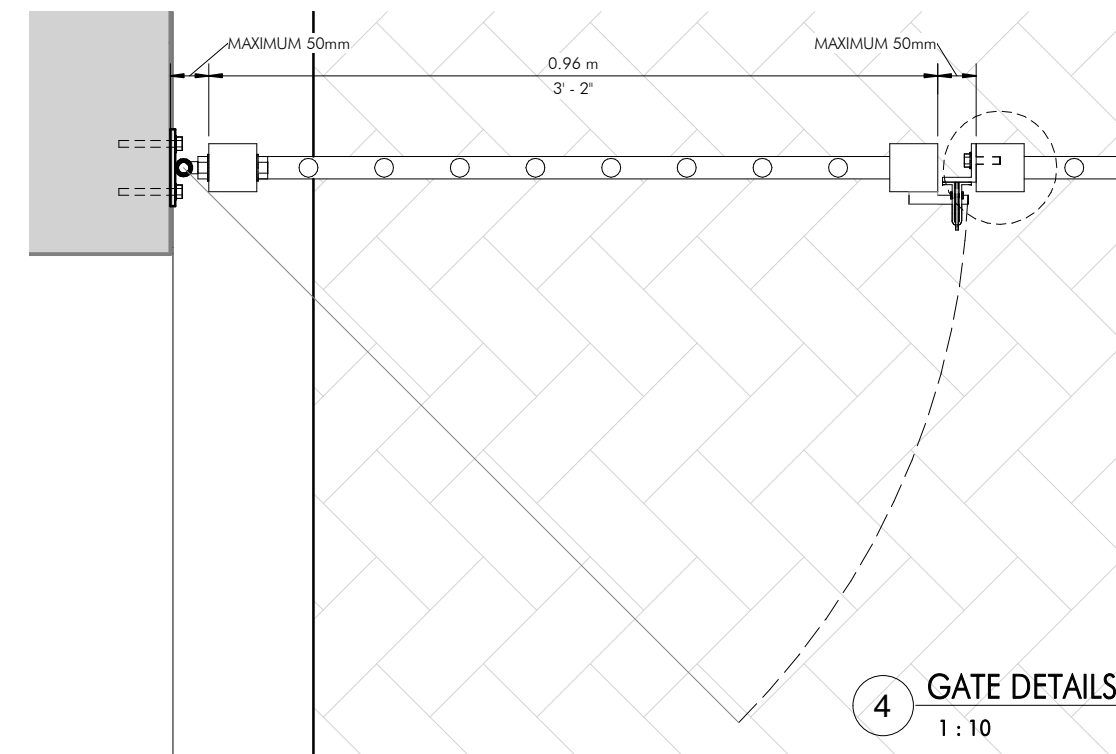
1 WALL SECTION 1
1 : 10

2 WALL SECTION 2
1 : 10

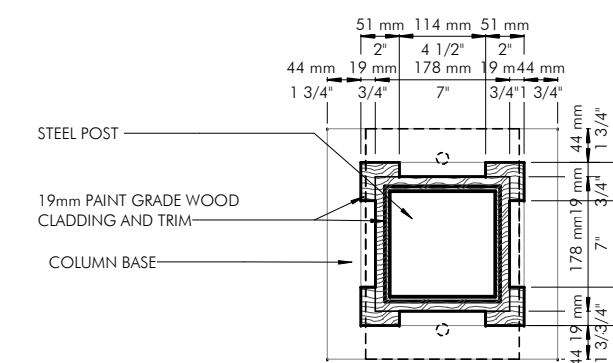
3
226.10 m
TOP OF CABANA ROOF



3 GATE ELEVATION
1 : 10



4 GATE DETAILS
1 : 10



5 CABANA COLUMN
1 : 10

1 REFERENCE TO CONSTRUCTION NOTES

ISSUED FOR 1ST CLIENT REVIEW:
ISSUED FOR 2ND CLIENT REVIEW:
ISSUED FOR FINAL CLIENT REVIEW:
ISSUED FOR TENDER:
ISSUED FOR BUILDING PERMIT:
ISSUED FOR CONSTRUCTION:

Project
REAR YARD,
CABANA AND
POOL

221 TRELAWN BLVD.
KLEINBERG, ON

Sheet Name
WALL SECTIONS
AND DETAILS

Project No: 2012
Drawn By: PM Checked By: BS
Scale: As noted
Print Date: 7/25/2023 1:43:06 PM

3	HEIGHT	JULY 25, 2023
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SCHEDULE B: STAFF & AGENCY COMMENTS

DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Ministry of Transportation (MTO) *Schedule B	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Region of York *Schedule B	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra *Schedule B	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada *Schedule B	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline *Schedule B	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/no conditions
Building Standards (Zoning)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development Planning
Date: August 22, 2023
Name of Owner: Marisa Liberta
Location: 221 Treelawn Boulevard
File No.(s): A1111/23

Proposed Variance(s) (By-law 001-2021):

1. To permit a maximum height of 3.77m for the residential accessory structure.

By-Law Requirement(s) (By-law 001-2021):

1. In any Residential Zone, the maximum height of an accessory building and residential accessory structure shall be 3.0 m.

Official Plan:

Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential" and "Natural Areas".

Comments:

The Owner is requesting relief to permit the construction of a residential accessory structure with the above noted variance.

The Development Planning Department has no objection to Variance 1 to permit a maximum height of 3.77 m for the residential accessory structure. The Owner reduced the height of the structure at the request of Development Planning. The structure is partially open with enclosed rooms on the east and west sides, and a centre wall segment abutting the north interior lot line. The cabana, as a partially open structure, presents less mass overall relative to a fully enclosed structure. The proposed structure meets the minimum interior side yard setback requirements as well as the maximum lot coverage requirements of Zoning By-law 001-2021.

The design of the structure compliments the design of the dwelling. The 0.77 m increase in height for the proposed structure is minor in nature and not anticipated to pose adverse use or massing impacts to the neighbouring properties. As such, the proposed accessory structure will not pose adverse massing and privacy impacts to the neighbouring properties and provides an appropriate area for maintenance access.

In support of the application, the Owner submitted an Arborist Report prepared by Noica Consulting Inc. dated July 21, 2023. The report inventoried eighteen (18) trees, which are proposed to be preserved and protected using TPZ hoarding requirements.

Accordingly, the Development Planning Department can support the requested variance and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None.

Comments Prepared by:

Nicholas Del Prete, Planner I

David Harding, Senior Planner

To: Committee of Adjustment
From: Bernd Paessler, Building Standards Department
Date: July 28, 2023
Applicant: Bart Szoke Architect Inc
Location: 221 Treelawn Boulevard
 PLAN 65M3377 Lot 29 municipally known as
File No.(s): A067/23

Zoning Classification:

The subject lands are zoned R1B(EN) – First Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.336 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	In any Residential Zone, the maximum height of an accessory building and residential accessory structure shall be 3.0 m. Section 4.1.4 1	To permit a maximum height of 3.77m for the residential accessory structure.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

Order No. 13-000241, Order to Comply for This order replaces 13-092
 OB
 No Occupancy granted
 Health violations, Issue Date: Apr 12, 2013

Building Permit(s) Issued:

Building Permit No. 02-003383 for Single Detached Dwelling - New, Issue Date: Aug 16, 2002
 Building Permit No. 02-003383 for Single Detached Dwelling - Alteration, Issue Date: May 18, 2007
 Building Permit No. 02-003383 for Single Detached Dwelling - Alteration, Issue Date: Sep 13, 2004
 Building Permit No. 20-113440 for Single Detached Dwelling - Alteration, Issue Date: Mar 04, 2021
 Building Permit No. 23-102742 for Shed/Gazebo - New, Issue Date: (Not Yet Issued)

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

2	The subject lands may be subject to Ontario Regulation 166/06 (TRCA - Toronto and Region Conservation Authority).
---	---

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

Date: June 27th 2023

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A067-23**

Related Files:

Applicant Bart Szoke Architect Inc.

Location 221 Treelawn Boulevard



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

July 10, 2023

X-Ref: CFN 67816

SENT BY E-MAIL: Christine.Vigneault@vaughan.ca

Christine Vigneault
Secretary Treasurer
Committee of Adjustment
City of Vaughan
2141 Major Mackenzie Drive
Vaughan, Ontario L6A 1T1

Dear Christine:

**Re: Minor Variance Application A067.23
Part Lot 26, Concession 8
221 Treelawn Boulevard
City of Vaughan, Region of York
Owner: Marisa Liberta
Agent: Bart Szoke Architect Inc.**

This letter acknowledges receipt of the above-noted application circulated by the City of Vaughan. The materials were received by Toronto and Region Conservation Authority (TRCA) on June 26, 2023. TRCA staff have reviewed the application and offer the following comments for the consideration of the Committee of Adjustment.

Purpose of the Application

It is our understanding that the purpose of the above noted application is to request a variance under By-Law 001-2021:

- To permit a maximum height of 3.98 m for the residential accessory structure, whereas the maximum height of an accessory building and residential accessory structure shall be 3.0 m.

The noted variance is being requested to facilitate the construction of a pool cabana.

Ontario Regulation 166/06

A portion of the subject property is located within TRCA's Regulated Area due to a valley corridor associated with a tributary of the Humber River to the east of the site. In accordance with Ontario Regulation 166/06 (Regulation of Development, Interference with Wetlands and Alterations to Shorelines and Watercourses), development, interference or alteration may be permitted in the Regulated Area where it can be demonstrated to TRCA's satisfaction that the control of flooding, erosion, dynamic beaches, pollution, or the conservation of land will not be affected.

Application-Specific Comments

TRCA issued a permit for the construction of a swimming pool, storage shed, washroom structure (cabana), a gas fireplace, and associated hardscaping on September 22, 2022 (TRCA Permit No. C-221146).

Based on a review of the plans submitted with this variance, the noted works are consistent with the plans that were approved as part of TRCA Permit No. C-221146. As such, TRCA has no concerns with the proposed variance.

Fees

By copy of this letter, the applicant is advised that the TRCA has implemented a fee schedule for our planning application review services. This application is subject to a \$660.00 (Minor Variance – Residential - Minor) review fee. The applicant is responsible for fee payment and should forward the application fee to this office as soon as possible.

Recommendations

Based on the comments noted above, TRCA provides conditional approval to the approval of Minor Variance Application A067.23 subject to the following conditions:

1. That the applicant provides the required fee amount of \$660.00 payable to the Toronto and Region Conservation Authority.

We trust these comments are of assistance. Should you have any questions, please contact me at 437-880-2129 or at Kristen.regier@trca.ca

Sincerely,

Kristen Regier

Kristen Regier
Planner I
Development Planning and Permits

KR/sb

From: [Development Services](#)
To: [Christine Vigneault](#)
Cc: [Committee of Adjustment](#)
Subject: [External] RE: A067/23 (221 Treelawn Blvd) - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Wednesday, June 28, 2023 10:43:46 AM
Attachments: [image001.png](#)
[image003.png](#)

Hi Christine,

The Regional Municipality of York has completed its review of the minor variance application – A067/23 and has no comment.

Many thanks,

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Development Services, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

Our Values: Integrity, Commitment, Accountability, Respect, Excellence



Our Mission: **Working together to serve our thriving communities – today and tomorrow**

Please consider the environment before printing this email.

From: Christine Vigneault <Christine.Vigneault@vaughan.ca>
Sent: Monday, June 26, 2023 11:22 AM
To: rowcentre@bell.ca; carrie.gordon@bell.ca; Development Services <developmentservices@york.ca>; yorkplan@trca.ca; engineeringadmin@powerstream.ca; TCenergy@mhbcplan.com; Kristen Regier <Kristen.Regier@trca.ca>
Cc: Committee of Adjustment <CofA@vaughan.ca>
Subject: A067/23 (221 Treelawn Blvd) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, forward it to isitsafe@york.ca then delete it from your inbox. If you think you may have clicked on a phishing link, report it to the IT Service Desk, ext. 71111, and notify your supervisor immediately.

Hello,

Please email comments and recommendations on the above noted application to cofa@vaughan.ca. If you wish to be notified of the decision, please confirm in writing.

The deadline to submit comments on this application is **July 10, 2023**.

Should you have any questions or require additional information please contact the undersigned.

Regards,

Christine Vigneault, AMP, ACST
Manager, Development Services & Secretary Treasurer to the Committee of Adjustment
905-832-2281, ext. 8332 | christine.vigneault@vaughan.ca

City of Vaughan | Office of the City Clerk
2141 Major Mackenzie Dr., Vaughan ON L6A 1T1
vaughan.ca

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SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
Applicant	Bart Szoke Architect Inc.	227, 243, 238, 246 and 200 Treelawn Blvd	08/03/2023	Petition in support

RECEIVED

By Christine Vigneault at 4:49 pm, Aug 16, 2023

8/3/2023

PETITION IN SUPPORT OF MINOR VARIANCE APPLICATION

To: The Committee of Adjustment
City of Vaughan
2141 Major Mackenzie Dr
Vaughan, ON

Project: Application No. A067/23
221 TREELAWN BLVD

Hearing Date: Aug 31, 2023 at 6:00 pm.

Dear Members of the Committee:

I / We have reviewed the plans and the requested variances for the proposal at **221 TREELAWN BLVD TO BUILD A CABANA**, and have discussed the plans and the variance with the owners of 221 TREELAWN BLVD.

I/We support this proposal and the variances requested.

Signed [Redacted]

Anthony Vinzi 227 Treelawn Blvd.
Name & Address (please print)

Signed [Redacted]

Tony Magliaro 243 Treelawn Blvd
Name & Address (please print)

Signed [Redacted]

Maria Simonetta 238 Treelawn Blvd
Name & Address (please print)

Signed [Redacted]

Richard Grosso 246 Treelawn Blvd
Name & Address (please print)

Signed [Redacted]

Mario Monteleone 200 Treelawn Blvd.
Name & Address (please print)

221 TREELAWN BLVD, VAUGHAN