

ITEM: 6.14	COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A173/19 57 CENTRE ST, THORNHILL
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**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES:**

*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

PUBLIC & APPLICANT CORRESPONDENCE

*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant	Planning Urban Design & Landscape Architecture	N/A	06/19/2023	Planning Rationale Letter

PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

File Number	Date of Decision MM/DD/YYYY	Decision Outcome
None		

ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

None	
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**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A173/19
57 CENTRE ST, THORNHILL**

ITEM NUMBER: 6.14	CITY WARD #: 5
APPLICANT:	1707397 Ontario Inc
AGENT:	MHBC Planning Limited
PROPERTY:	57 Centre Street, Thornhill
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010: Low-Rise Residential
RELATED DEVELOPMENT APPLICATIONS:	DA.20.040
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit an existing covered porch, landscape areas and cobblestone parking area onsite. Relief is also required to facilitate related Site Plan Application DA.20.040.

The following variances have been requested from the City’s Zoning By-law:

The subject lands are zoned CC – Convenience Commercial Zone subject to the provisions of Exception 14.68 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	The minimum required landscape strip abutting a street is 4.0m. Exception 14.68.1 4	To permit a minimum landscape strip of 0.0m abutting Elizabeth Street.
2	The minimum required landscape strip abutting the residential zone along the westerly lot line is 1.1m. Exception 14.68.1 3	To permit a minimum landscape strip of 0.0m abutting the residential zone along the westerly lot line.

The subject lands are zoned C1-Restricted Commercial zone and subject to the provisions of Exception 9(147) under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
3	The minimum required landscape strip abutting a street is 4.0m. Exception 9.147 gii	To permit a minimum landscape strip of 0.0m abutting Elizabeth Street.
4	The minimum required landscape strip abutting the residential zone along the westerly lot line is 1.1m. Exception 9.147 gi	To permit a minimum landscape strip of 0.0m abutting the residential zone along the westerly lot line.
5	The minimum required exterior side yard setback is 9.0m. Schedule A	To permit a minimum exterior side yard setback of 6.1m.
6	For all commercial, industrial and institutional uses, the surface of all loading spaces and related driveways, parking spaces and maneuvering areas shall be paved with hot-mix asphalt or concrete. Section 3.8 k	To permit the surface of the parking space and related areas to be paved with cobblestone as shown on the attached sketch.

HEARING INFORMATION

DATE OF MEETING: Thursday, August 31, 2023
TIME: 6:00 p.m.
MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive
LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

HEARING INFORMATION

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT COMMENTS

Date Public Notice Mailed:	August 17, 2023
Date Applicant Confirmed Posting of Sign:	August 9, 2023
Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small>	Hardscaping currently exists on the eastern portion of the Subject Lands. See the attached Minor Variance Justification letter for further information.
Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	None
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice. *A revised submission may be required to address staff / agency comments received as part of the application review process. *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>	No
Adjournment Fees: In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice. An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice.	
Committee of Adjustment Comments:	None
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING) COMMENTS

****See Schedule B for Building Standards (Zoning) Comments**

Building Standards Recommended Conditions of Approval:	None
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DEVELOPMENT PLANNING COMMENTS

**See Schedule B for Development Planning Comments.

Development Planning Recommended Conditions of Approval:	That all comments on Site Development Application File DA.20.040 be addressed to the satisfaction of the Development Planning Department.
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DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

The Development Engineering (DE) Department does not object to variance application A173/19.

Development Engineering Recommended Conditions of Approval:	None
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PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

Forestry has no comments.

PFH Recommended Conditions of Approval:	None
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DEVELOPMENT FINANCE COMMENTS

No comment no concerns

Development Finance Recommended Conditions of Approval:	None
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BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

The by-law and compliance, licensing and permit services has no objection except the following:

Removal of the 4 metre soft landscaping located in east sideyard fronting Elizabeth St and replacing it with hard surfacing, per zoning by-law.

SECTION: C1 Exception 9(147) SCHEDULE E151

The following provisions shall apply to the lands shown as "Subject Lands" on SCHEDULE E-151:

gii) the minimum width of the required landscape strip abutting a street shall be 4.0m

BUILDING INSPECTION (SEPTIC) COMMENTS

No comments received to date.

Building Inspection Recommended Conditions of Approval:	None
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FIRE DEPARTMENT COMMENTS

No comments received to date.

Fire Department Recommended Conditions of Approval:	None
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SCHEDULES TO STAFF REPORT

*See Schedule for list of correspondence

Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Staff & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “**if required**”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Planning Michelle.Perrone@vaughan.ca	That all comments on Site Development Application File DA.20.040 be addressed to the satisfaction of the Development Planning Department.

IMPORTANT INFORMATION – PLEASE READ

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City’s Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City’s Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

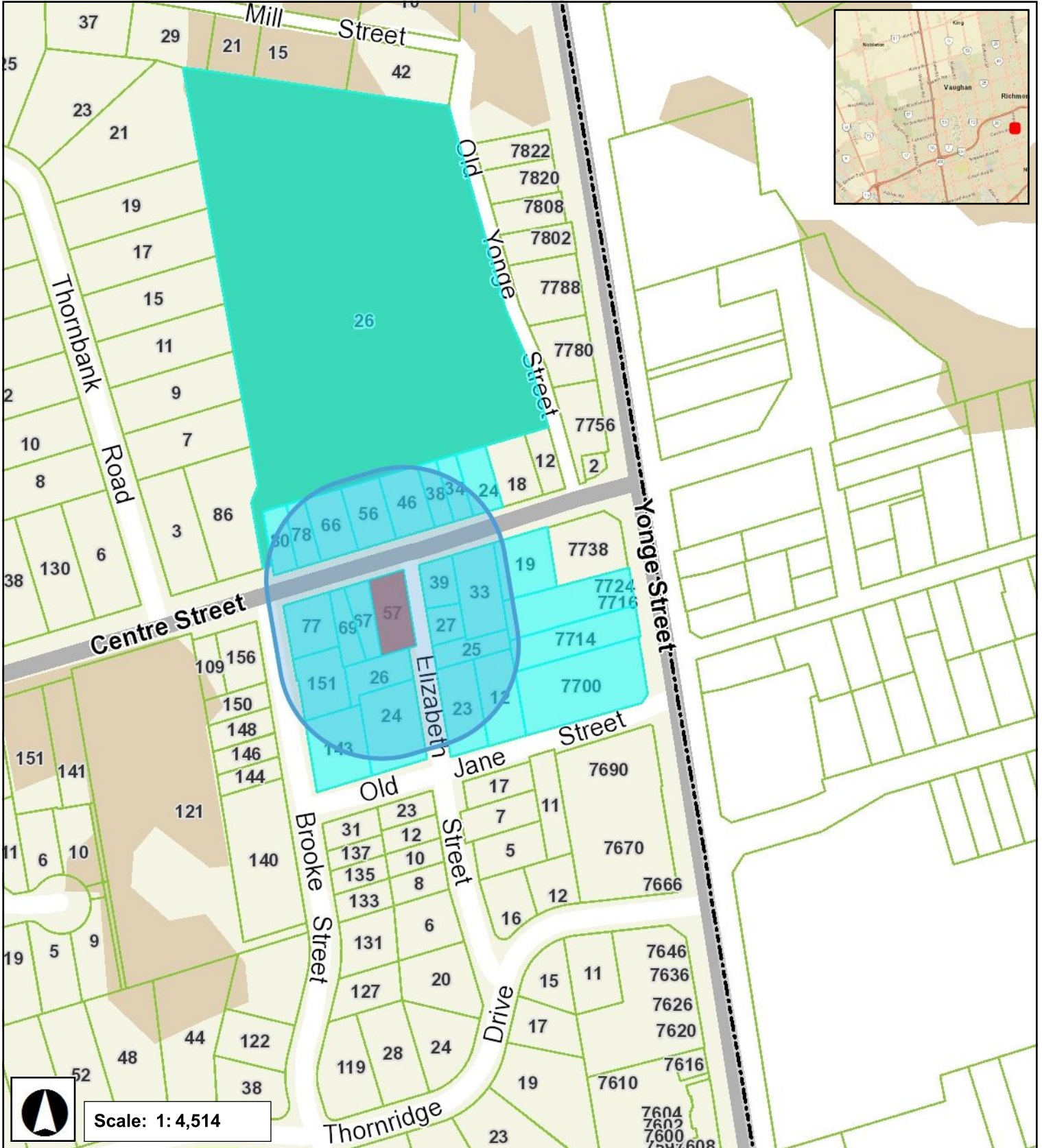
NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS



LOCATION MAP - A173/19

57 CENTRE STREET, THORNHILL

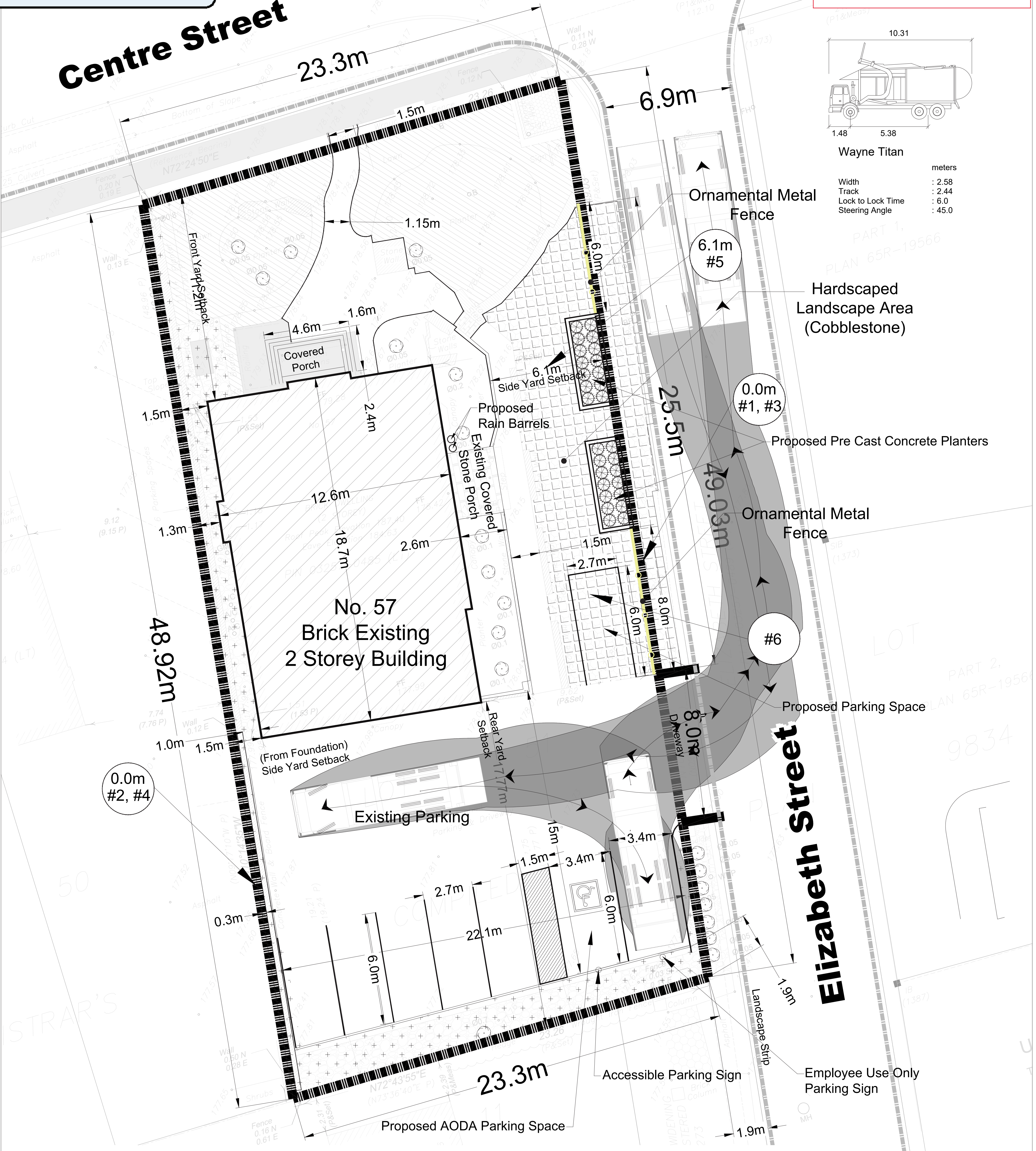


Received

August 2, 2023

PLANS PREPARED AND VARIANCES IDENTIFIED BY APPLICANT

A173/19



Current Use:	Two (2) Regulated Health Professionals		
Proposed Use:	Two (2) Regulated Health Professionals		
Proposed Lot Coverage:	252 sq.m.	2,712.51 sq.ft.	22% (including the existing and proposed covered porch)
Proposed Landscape Coverage:	154 sq.m.	1,657.64 sq.ft.	13.5% (excluding west and south landscaped strips)
Total Parking Spaces:	11 (8 in parking area in rear yard, 3 in parking garage in existing building).		
Accessible parking spaces:	1 Type "A".		

Site Plan Sketch

**57 Centre Street ,
Thornhill, Ontario**

LEGEND

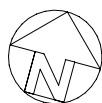
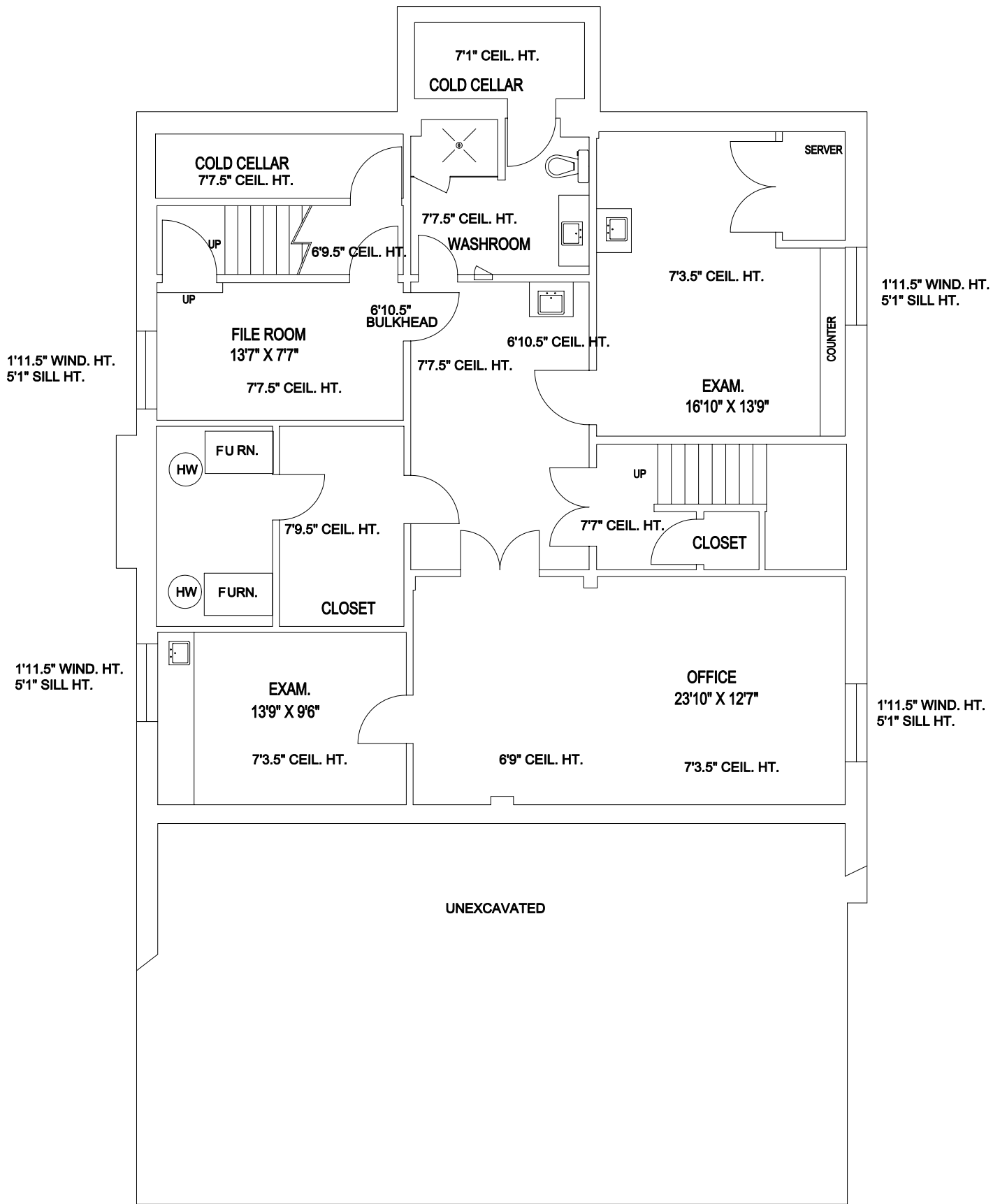
- Subject Lands
- Landscape
- Cobblestone
- Building Footprint
- Landscaping not Used to Calculate Minimum Landscape Requirement

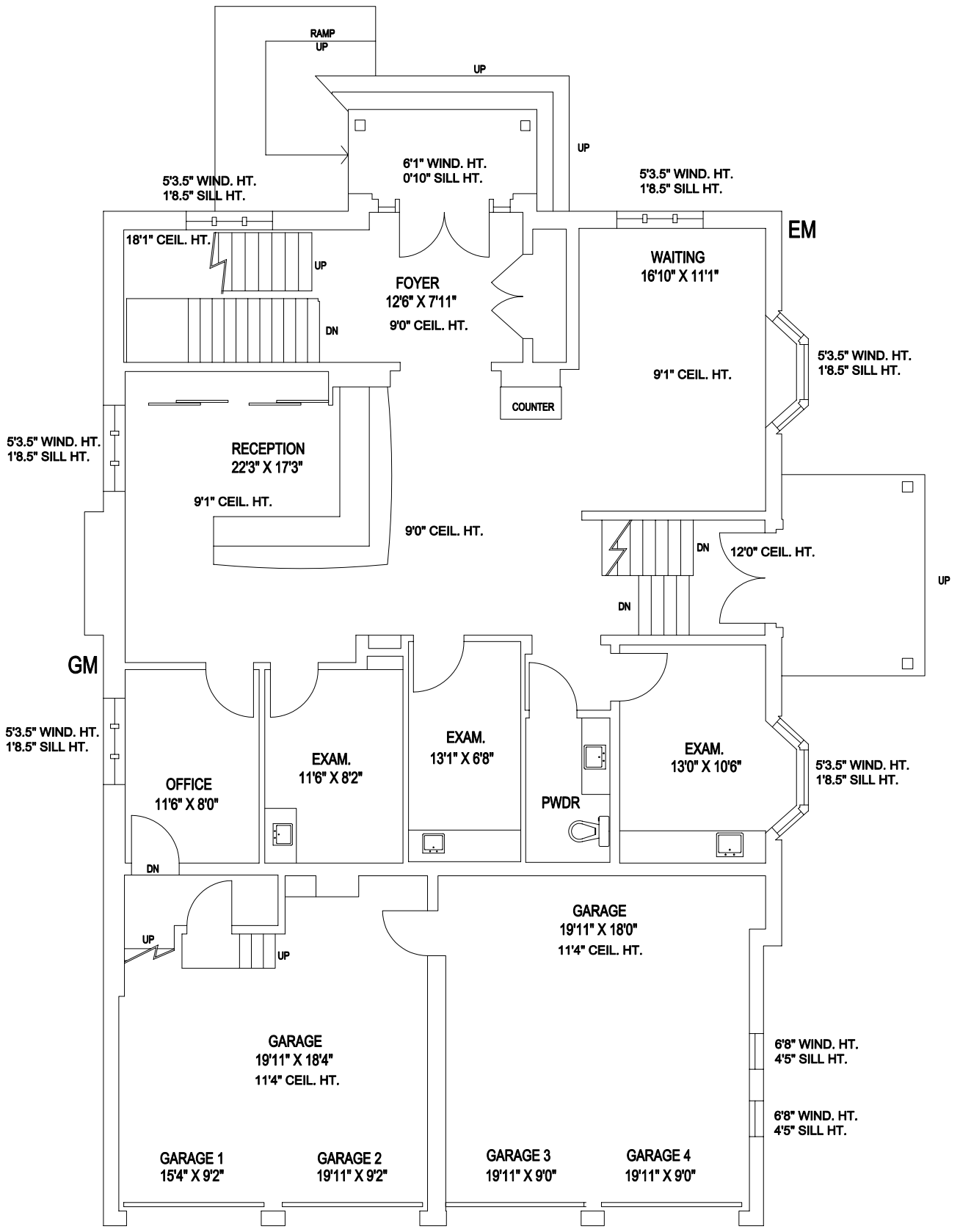
Note: Hardscape Landscape Area consists of permeable pavers, and will be used for additional snow storage for subject site

FILE:	19288A	SCALE:	1:100
DATE:	August 2, 2023	DRN:	T. H.

**PLANNING
URBAN DESIGN
& LANDSCAPE
ARCHITECTURE**

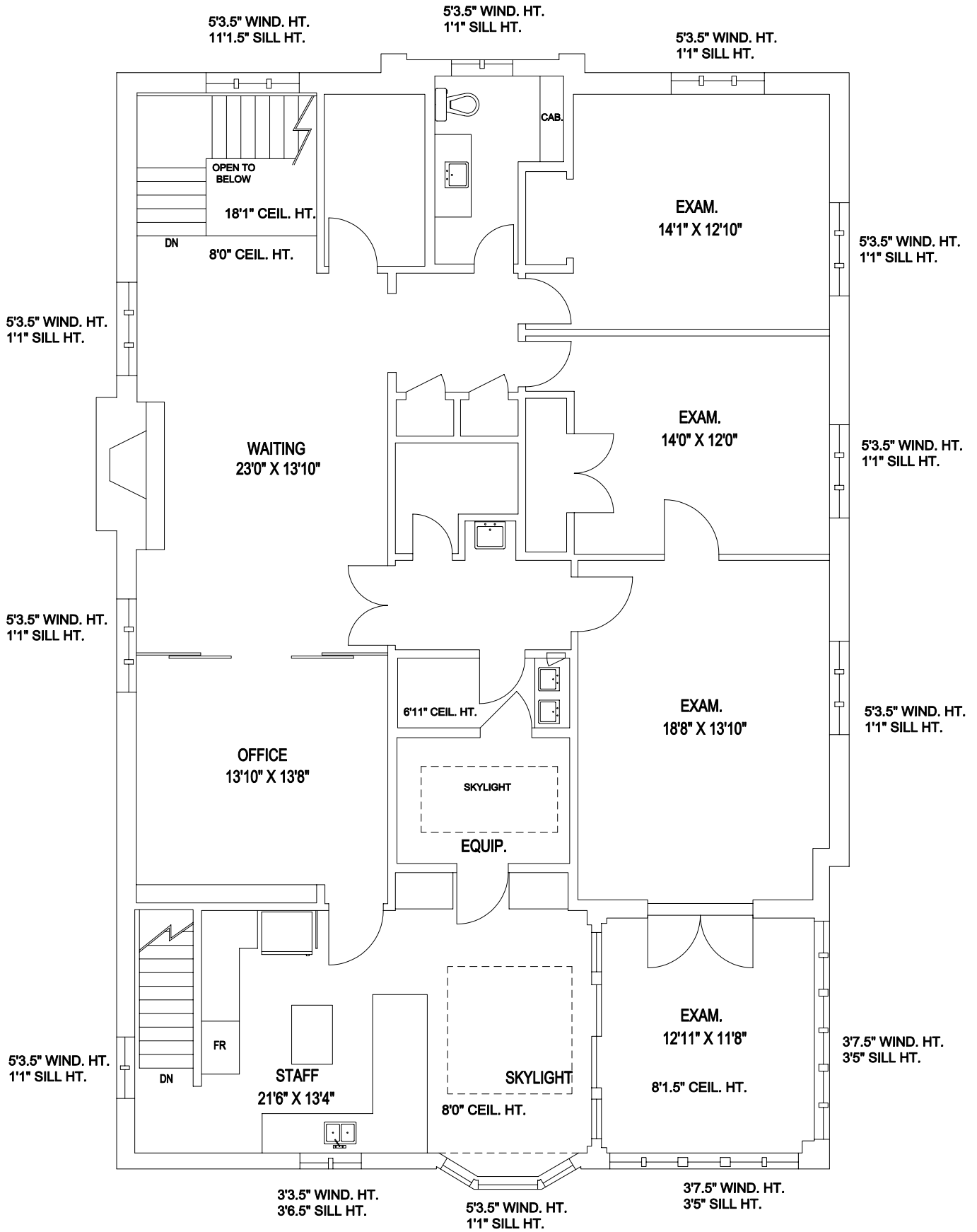
230-7050 WESTON ROAD WOODBRIDGE, ON, L4L 8G7
P: 905 761 5588 F: 905 761 5589 | WWW.MHBCPLAN.COM



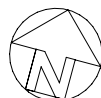


57 CENTRE STREET, THORNHILL
 FIRST FLOOR - 1,662 SF
 (NOT INCLUDING GARAGE - 777 SF)
 9'0" CEIL. HT. EXCEPT WHERE NOTED





57 CENTRE STREET, THORNHILL
 SECOND FLOOR - 2,428 SF
 8'0" CEIL. HT. EXCEPT WHERE NOTED



SCHEDULE B: STAFF & AGENCY COMMENTS

DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Ministry of Transportation (MTO) *Schedule B	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York *Schedule B	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra *Schedule B	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada *Schedule B	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline *Schedule B	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Building Standards (Zoning)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development Planning
Date: August 17, 2023
Name of Owner: 1707397 Ontario Inc.
Location: 57 Centre Street
File No.(s): A173/19

Proposed Variance(s) (By-law 001-2021):

1. To permit a minimum landscape strip of 0.0m abutting Elizabeth Street.
2. To permit a minimum landscape strip of 0.30m abutting the residential zone along the westerly lot line.

By-Law Requirement(s) (By-law 001-2021):

1. The minimum required landscape strip abutting a street is 4.0 m.
2. The minimum required landscape strip abutting the residential zone along the westerly lot line is 1.1 m.

Proposed Variance(s) (By-law 1-88):

3. To permit a minimum landscape strip of 0.0 m abutting Elizabeth Street.
4. To permit a minimum landscape strip of 0.30 m abutting the residential zone along the westerly lot line.
5. To permit a minimum exterior side yard setback of 6.4 m.

By-Law Requirement(s) (By-law 1-88):

3. The minimum required landscape strip abutting a street is 4.0 m.
4. The minimum required landscape strip abutting the residential zone along the westerly lot line is 1.1 m.
5. The minimum required exterior side yard setback is 9.0 m.

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential" by Schedule 13 – Land Use, and "Heritage Conservation Districts" (Thornhill Heritage Conservation District Plan) by Schedule 14B – Areas Subject to Area Specific Plans

Comments:

The Owner is requesting relief from the above-noted variances to permit an existing covered porch on the east side of the building, landscape areas, and cobblestone parking area. The development proposal contemplates the removal of the landscape strip abutting Elizabeth Street to accommodate the covered porch as well as the cobblestone parking space to the east.

Related Site Development Application DA.20.040 was submitted to facilitate the proposed development. To bring the existing and proposed site features within the Site Development Application into compliance with both By-laws, relief is required.

The Development Planning Department has no objection to Variances 1, 2, 3, and 4 for the removal of the landscape strip along portions of the easterly lot line abutting Elizabeth Street and the reduced landscape strip along portions of the westerly lot line. At the request of Urban Design and Cultural Heritage, the Owner, through the site plan process, will install concrete planters and ornamental fencing along the easterly exterior side yard to delineate the cobblestone walkway and parking area from Elizabeth Street and add additional vegetation to the area. The walkway provides access to the east covered porch, which contains a building entrance. The proposed variances have been reviewed by the Urban Design Division and Cultural Heritage Division of the Development Planning Department as part of the Site Development Application process and are considered appropriate to facilitate the development.

The Development Planning Department has no objection to Variance 5 for the minimum exterior side yard setback of 6.4 m. The covered porch is sufficiently set back from the

east lot line so as to not adversely impact massing along Elizabeth Street. The concrete planters and ornamental fencing along Elizabeth Street will assist in delineating the cobblestone walkway providing access to the east covered porch and parking area from the City's right-of-way along with maintaining some vegetation within this area. As such, the reduced exterior side yard setback will not pose a significant visual impact to the existing streetscape nor impact the function of the abutting uses and also maintains an appropriate area for access and drainage.

Accordingly, the Development Planning Department can support the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-laws, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application.

Condition of Approval:

If the Committee finds merit in the application, the following condition of approval is recommended:

1. That all comments on Site Development Application File DA.20.040 be addressed to the satisfaction of the Development Planning Department.

Comments Prepared by:

Michelle Perrone, Planner 1
David Harding, Senior Planner

To: Committee of Adjustment
From: Bernd Paessler, Building Standards Department
Date: July 31, 2023
Applicant: 1707397 Ontario Inc.
Location: 57 Centre Street
 CONC 1 Part of Lot 30
 PLAN 9834 Lot 51
File No.(s): A173/19

Zoning Classification:

The subject lands are zoned CC – Convenience Commercial Zone subject to the provisions of Exception 14.68 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	The minimum required landscape strip abutting a street is 4.0m. Exception 14.68.1 4	To permit a minimum landscape strip of 0.0m abutting Elizabeth Street.
2	The minimum required landscape strip abutting the residential zone along the westerly lot line is 1.1m. Exception 14.68.1 3	To permit a minimum landscape strip of 0.0m abutting the residential zone along the westerly lot line.

The subject lands are zoned C1-Restricted Commercial zone and subject to the provisions of Exception 9(147) under Zoning By-law 1-88, as amended.

#	Zoning By-law 1-88	Variance requested
3	The minimum required landscape strip abutting a street is 4.0m. Exception 9.147 gii	To permit a minimum landscape strip of 0.0m abutting Elizabeth Street.
4	The minimum required landscape strip abutting the residential zone along the westerly lot line is 1.1m. Exception 9.147 gi	To permit a minimum landscape strip of 0.0m abutting the residential zone along the westerly lot line.
5	The minimum required exterior side yard setback is 9.0m. Schedule A	To permit a minimum exterior side yard setback of 6.1m.
6	For all commercial, industrial and institutional uses, the surface of all loading spaces and related driveways, parking spaces and manoeuvring areas shall be paved with hot-mix asphalt or concrete. Section 3.8 k	To permit the surface of the parking space and related areas to be paved with cobblestone as shown on the attached sketch.

Staff Comments:**Stop Work Order(s) and Order(s) to Comply:**

Order No. 19-000408, Order to Comply for construction of a covered porch has been undertaken prior to obtaining the required building permit, Issue Date: Oct 07, 2019

Building Permit(s) Issued:

Building Permit No. 19-001888 for Business and Prof. Office Unit - Interior Unit Alteration, Issue Date: (Not Yet Issued)

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
2	The subject lands are located in the Thornhill heritage conservation district approval may be required.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

Date: April 1st , 2020

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A173-19**

Related Files:

Applicant: MHBC

Location 57 CENTRE STREE



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

Mr. Tony D'Onofrio
Supervisor, Subdivisions (Alectra East)
Phone: 1-877-963-6900 ext. 24419

E-mail: stephen.cranley@alectrautilities.com

Email: tony.donofrio@alectrautilities.com

From: [Kristen Regier](#)
To: [Committee of Adjustment](#)
Cc: [Christine Vigneault](#); [Lenore Providence](#)
Subject: [External] RE: A173/19 (57 Centre Street) - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Wednesday, August 9, 2023 8:43:31 AM
Attachments: [image002.png](#)

Hello,

The subject property at 57 Centre Street, Vaughan is not located within TRCA's Regulated Area. TRCA's Planning and Regulatory policy interests are not impacted.

As such, TRCA has no comments on the application.

Best,

Kristen Regier, MA (she / her)

Planner I

Development Planning and Permits | Development and Engineering Services
Toronto and Region Conservation Authority (TRCA)

T: [437-880-2129](tel:437-880-2129)

E: kristen.regier@trca.ca

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](#) | trca.ca



From: [Development Services](#)
To: [Lenore Providence](#)
Cc: [Committee of Adjustment](#)
Subject: [External] RE: A173/19 (57 Centre Street) - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Monday, August 14, 2023 6:15:28 PM
Attachments: [image002.png](#)
[image004.png](#)

Hi Lenore,

The Regional Municipality of York has completed its review of the minor variance application – A173/19 (57 Centre Crescent) and has no comment.

Please provide us with a copy of the notice of decision for our records.

Many thanks,

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Development Services, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

Our Values: Integrity, Commitment, Accountability, Respect, Excellence



SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant	Planning Urban Design & Landscape Architecture	N/A	06/19/2023	Planning Rationale Letter



PLANNING
URBAN DESIGN
& LANDSCAPE
ARCHITECTURE

June 19, 2023

Christine Vigneault
Manager, Development Services & Secretary Treasurer to the Committee of Adjustment
Office of the City Clerk
c/o Committee of Adjustment
2141 Major Mackenzie Drive, 1st Floor
Vaughan ON L6A 1T1

Dear Ms. Vigneault:

**RE: JUSTIFICATION FOR MINOR VARIANCE A173/19
57 CENTRE STREET, VAUGHAN
OUR FILE 19288A**

On behalf of our client, 1707397 Ontario Inc. c/o Philip Solomon (hereinafter referred to as the "Owner"), we are pleased to submit this planning justification letter for Minor Variance on the lands municipally addressed as 57 Centre Street in the City of Vaughan (hereinafter referred to as the "Subject Lands"). The purpose of the Minor Variance application to bring the site into compliance with City of Vaughan Zoning By-law 1-88 and By-law 01-2021.

On October 8, 2019, an Order to Comply (File #733660) was issued by the Building Standards Department as it was found that the construction of a covered porch was undertaken prior to obtaining a building permit and that the landscape and parking areas did not comply with the Zoning By-law 1-88. The cobblestone paved area along Elizabeth Street was constructed to provide additional parking for vehicles which was not part of the approved site plan and did not comply with the Zoning By-law. It was identified by City Staff that a Minor Variance application along with a Minor Site Development application was required to bring the site into compliance. Minor Variance application File Number A173/19 for this site was originally submitted in December 2019 to address these matters but this application was adjourned in November 2021. The Minor Site Development Application, City File Number DA.20.040, is now in position to be finalized and must now undergo the Minor Variance application process to completion. Although heritage approval (HP.2021.006.00) was provided for the covered porch on May 13, 2021, a new heritage permit will be required for the new landscape treatment of the east side of the Subject Lands along Elizabeth Street. Once the Committee of Adjustment has approved the application, final drawings will be stamped and approved by Cultural Heritage staff for this work.

PROPOSAL DESCRIPTION

The Subject Lands occupy a total lot area of approximately 0.11 ha (0.27 acres) with approximately 23 m. of frontage along Centre Street and approximately 49 m along Elizabeth Street. The Subject Lands are located south of Centre Street and west of Elizabeth Street. The Subject Lands consist of an existing two-storey medical office where regulated health professionals currently operate along with an existing parking area at the rear of the site and existing cobblestone area to the east along Elizabeth Street.

As mentioned above, the objective of this Minor Variance application is to bring this site into conformity with Zoning By-law 1-88.

REQUESTED RELIEF – VARIANCES REQUIRED

The Subject Lands are zoned *C1 Restricted Commercial Zone* with Exception 9(147) under Zoning By-law 1-88 as amended, and zoned *CC Convenience Commercial Zone* with Exception 14.68 under By-law 001-2021 as amended. The following variances below were identified in a memo dated March 15, 2023 and prepared by a Zoning Plans Examiner from the Building Standards Department as part of the circulation of the Minor Site Development application.

City of Vaughan Zoning By-law 1-88

1. Schedule A – Minimum exterior side yard setback

The required minimum exterior side yard setback is 9.0 metres.

The proposed minimum exterior side yard setback of 6.1 metres to the existing covered stone porch.

2. Exception 9(147) gii

The minimum width of the required landscape strip abutting a street shall be 4 metres.

The proposed variance seeks a landscape strip of 0.0 metres.

3. Exception 9(147) gi

The minimum width of the required landscape strip abutting a "R" Residential Zone along the westerly lot line shall be 1.1 metres.

The proposed landscape strip is 0 metres from the westerly lot line.

4. Landscaping Area 5.1.1a

A strip of land no less than 2.4 metres in width and inside the Commercial Zone and abutting its boundary shall be used for no purposed other than landscaping.

The proposed strip of land is 1.9 metres in width.

5. Parking Requirements Section 3.8 k)

For all commercial, industrial and institutional uses, the surface of all loading spaces and related driveways, parking spaces and manoeuvring areas shall be paved with hot-mix asphalt or concrete.

The proposed side yard parking space is currently cobblestone, not hot-mix asphalt or concrete.

City of Vaughan Zoning By-law 001-2021

6. Exception 14.68.1.4

The minimum width of the required landscape strip abutting a street shall be 4.0 m.

The proposed variance seeks a landscape strip of 0.0 metres.

7. Exception 14.68.1.2

The minimum width of the required landscape strip abutting the Residential Zone along westerly lot line shall be 1.1 m.

The proposed landscape strip is 0 metres from the westerly lot line.

MINOR VARIANCE TESTS

We believe that the request for relief from the City of Vaughan Zoning By-law 1-88 and the City of Vaughan Comprehensive Zoning By-law 01-2021 meets the four tests as set out under Section 45(1) of the *Planning Act*, as described below.

1. THE VARIANCE MAINTAINS THE GENERAL INTENT AND PURPOSE OF THE OFFICIAL PLAN.

York Region Official Plan

The Subject Lands are designated as "Urban Area" on Map 1 – Regional Structure and "Community Area" on Map 1A – Land Use Designation in the York Region Official Plan (hereafter the "YROP"). Growth and development is focused within the Urban Area and Community Area boundaries in the Region. In our opinion, the proposed minor variance meets the general intent and purpose of the York Region Official Plan.

City of Vaughan Official Plan

Per the City of Vaughan Official Plan (hereafter the "Vaughan OP"), the Subject Lands are designated as "local Centre" on Schedule 1 (Urban Structure) and "Low-Rise Residential" on Schedule 13 (Land Use). The Subject Lands are also located within the "Historic Thornhill Village Local Centre" in "Heritage Conservation District 12.2" on Schedule 14B and subject to the Thornhill Heritage Conservation Plan. It is our opinion that the proposed hardscaped landscaping area on the Subject Lands contributes to and is in keeping with the existing heritage character of the Historic Thornhill Village, on the basis that the hardscaped landscape area incorporates a cobblestone surface that maintains an overall heritage aesthetic and appeal on the Subject Lands. Furthermore, as mentioned above, City of Vaughan Cultural Heritage staff have reviewed the attached site plans and have no concerns.

2. THE VARIANCE MAINTAINS THE GENERAL INTENT AND PURPOSE OF THE ZONING BY-LAW.

The Subject Lands are subject to both the City of Vaughan Zoning By-law 1-88 and City of Vaughan Comprehensive Zoning By-law 01-2021 and are zoned C1 Restricted Commercial Zone with exception 147 and CC Convenience Commercial Zone exception 68, respectively. The only permitted use is 2 regulated health professional and support staff.

Landscape Area and Landscape Strip

Under By-law 1-88, the minimum width of a landscape strip abutting a street shall be 4.0 metres, the minimum width of the required landscape strip abutting a "R" Residential Zone along the westerly lot line shall be 1.1 metres, and a strip of land no less than 2.4 metres in width and inside a Commercial Zone and abutting its boundary shall be used for no purpose other than landscaping. The proposal will provide not provide a softscape landscape strip along Elizabeth Street, a varied landscape strip of approximately 0.6-1.5 metres along the west lot line will be provided, and a landscape strip with a minimum width of 1.9 metres will be provided along the south lot line abutting a "R" Residential Zone.

The general intent and purpose of minimum landscape strip is to ensure appropriate buffering via an attractive treatment along property lines, while also providing area for groundwater recharge and infiltration.

It was determined by Development Engineering staff that the proposed hardscaped landscape area along the east of the site, increased stormwater runoff due to the impervious nature of the cobblestone pavement. A Stormwater Management Brief was prepared by Crozier Consulting Engineers to assess the differences in stormwater runoff from the site in comparison to the approved site plan. In order to improve the site's existing condition, new planters along on the cobblestone area and two (2) rain barrels along the north east side of the existing building will be proposed to improve the site's infiltration. The placement of planters will remove portions of hardscape cobblestone area and increase the total pervious area on site. The rain barrels are to be used to capture runoff from the north-east roof area and will be used for irrigation of the landscaped area, which will further reduce peak flows and runoff volumes. These additions to the site are supported by the Stormwater Management Brief as they will reduce stormwater event runoff, as compared to the current site conditions. Development Engineer staff have reviewed the brief and have identified that they have no concerns with the proposed additions.

The proposed hardscaped landscape area also provides a clear physical break and separation between the street and the site, similar to the buffering that a softscape landscape strip would provide for the Subject Lands. In addition, this also provides an aesthetic buffer that is in keeping and compatible with the heritage character of this area of the City. Through the Minor Site Development application process, discussions with Cultural Heritage and Urban Design staff have determined that additional treatment of the cobblestone area was required such as decorative fences and planters. The material and location of both the fences and planters were deemed appropriate and in keeping with the area and the existing character of the site.

Along the west lot line, there is a varied landscape strip of approximately 0.6-1.0 metre extended from the rear of the existing building to Centre Street. In its current existing condition, there is no landscape strip along the west lot line, south of the existing building to the rear of the site. However an existing concrete wall and board fence screens the site's parking area from the neighbouring property and their respective parking area. The intent of the variance along the west side lot line abutting a Residential Zone is to ensure that privacy is adequate. While there are semi-detached dwellings that exists on 67 Centre and 69 Centre Street, the current use of the property immediately west of the Subject Lands is a beauty salon with accessory retail sales. Together, the parking area and the existing fence already provide for adequate separation of distance between the buildings and ensure privacy is maintained.

Along the south lot line, an existing 1.9 metre landscaped strip is provided. Similarly to the west lot line, screening is already provided in the form of fencing and trees, which provide for adequate privacy from the parking area. The south building face is also setback approximately 17.7 metres from the lot line, which mitigates concerns of overlook.

Therefore, we believe these variances, through our discussion with City staff, meets the general intent and purpose of landscaping provisions.

Side Yard Setback

Under By-law 1-88, the minimum exterior side yard setback is 9.0 metres. The proposed development will provide an exterior side yard setback of approximately 6.1 metres along Elizabeth Street. The general intent and purpose of the minimum setback requirement is to reduce the visual effects of the building and to avoid the potential for overlook, privacy loss and shadowing impact to adjacent buildings.

Upon further discussion with Urban Design staff through the Site Development application, planters and ornamental fences are being provided to promote privacy on surrounding properties to the east and will ensure adequate screening to the building.

Parking Requirements

Under By-law 1-88, the parking requirements, the surface of all parking areas and loading spaces shall be paved with hot-mix asphalt or concrete. The proposed side yard parking area is currently cobblestone.

The intent of the cobblestone area is to beautify the site with additional hardscape landscaped area and to provide additional parking spaces for clients visiting the medical office. The cobblestone area also maintains the character of the heritage district and is similar to other properties in the surrounding area. Directly east of the Subject Lands, 39 Centre Street, and further north at 7802 Old Yonge Street and 7820 Old Yonge Street also provide cobblestone parking areas. Through the Site Development application process, Cultural Heritage and Urban Design staff have requested that additional landscape treatment would be required to screen the cobblestone area. Transportation Engineering staff have also provided their comments and requested that only one parking space be permitted on cobblestone with the exception that vehicles may only access the cobblestone area through the existing driveway. The proposal will provide landscaping treatments in the form of a new fence and planters to screen the cobblestone surface and the building. These elements will also act as a barrier for any vehicles entering the site on the public boulevard.

For the reasons noted above, it is our opinion that the requested variance maintains the general intent and purpose of the Zoning By-law.

3. THE VARIANCE IS DESIRABLE FOR THE APPROPRIATE DEVELOPMENT OF THE USE OF THE LAND.

The requested variances contributes to an attractive public realm that is harmonious with the existing character of the Thornhill Heritage District. Further and as noted above, through the Site Development process, the Owner has made an effort to address all City staff concerns and to improve the site. The cobblestone area has been an existing condition and will not cause any undue harm within the surrounding area. Therefore it is our opinion that the requested variances are desirable for the appropriate development of the use of the Subject Lands.

4. VARIANCE IS MINOR IN NATURE.

The proposed hardscaped landscape area will not result in any undue or adverse impacts of a planning nature on the Subject Lands, or to the surrounding properties in the community. The proposed hardscaped landscape area will beautify the Subject Lands and maintain and enhance the heritage character of this area. The additions of rain barrels as well as the planters maintain groundwater recharge and infiltration and snow storage capabilities of the Subject Lands similar to the softscape landscape strip required for the Subject Lands. Externally, there is no impact in terms of loss of privacy or situations of overlook as the proposed building and additional landscape treatments have been designed to limit those circumstances. This proposal does not require a height or density/coverage variance which reinforces the minor nature of the variances.

Therefore, it is our opinion that the requested variance is minor in nature.

SUMMARY

In conclusion, we believe the requested Consent application and Minor Variance applications for relief from the City of Vaughan Zoning By-law 1-88 and City of Vaughan Comprehensive Zoning By-law 01-2021 is in the public interest and represents good planning, meeting the tests set out in Section 45(1) of the Planning Act.

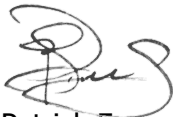
If you have questions please do not hesitate to contact us. Thank you.

Yours truly,

MHBC



David A. McKay, MSc, MLAI, MCIP, RPP
Vice President and Partner



Patrick Fung, MSc
Intermediate Planner

cc. Client