	<p style="text-align: center;"><b>COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A253/21</b></p>
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<b>AGENDA ITEM NUMBER:5</b>	<b>CITY WARD #: 1</b>
<b>APPLICANT:</b>	Umberto and Leonella [REDACTED]
<b>AGENT:</b>	Jeff Jansen / Sean McDonald – Jansen Consulting
<b>PROPERTY:</b>	12 Donbay Drive, Kleinburg
<b>ZONING DESIGNATION:</b>	See below.
<b>VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:</b>	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
<b>RELATED DEVELOPMENT APPLICATIONS:</b> <small>*May include related applications for minor variance, consent, site plan, zoning amendments etc.</small>	None
<b>PURPOSE OF APPLICATION:</b>	Relief from the Zoning By-law is being requested to permit the construction of a proposed single family dwelling and cabana .

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING  
DEPARTMENTS & AGENCIES:**

\*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments no concerns
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments no concerns
Ministry of Transportation (MTO)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Bell Canada	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval of Revised Submission provided 04/07/22
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

### PUBLIC & APPLICANT CORRESPONDENCE

\*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None.				

### PREVIOUS COA DECISIONS ON THE SUBJECT LAND

\*Please see **Schedule D** for a copy of the Decisions listed below

File Number	Date of Decision MM/DD/YYYY	Decision Outcome
None		

### ADJOURNMENT HISTORY

\* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

None	
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## COMMITTEE OF ADJUSTMENT REPORT MINOR VARIANCE APPLICATION A253/21

FILE MANAGER: Lenore Providence, Administrative Coordinator - Committee of Adjustment

AGENDA ITEM NUMBER:5	CITY WARD #: 1
APPLICANT:	Umberto and Leonella [REDACTED]
AGENT:	Jeff Jansen / Sean McDonald – Jansen Consulting
PROPERTY:	12 Donbay Drive, Kleinburg
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS: <small>*May include related applications for minor variance, consent, site plan, zoning amendments etc.</small>	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit the construction of a proposed single family dwelling and cabana .

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R1B (EN) – First Density Residential Zone (Established Neighbourhood) under Zoning By-law 001-2021.

#	Zoning By-law 001-2021	Variance requested
1	Maximum permitted lot coverage is 40%. [Section 7.2.2, Table 7-3]	To permit the lot coverage of 40.81% (Dwelling 27.94%, Eaves/Soffits 2.38%, Covered Porch 6.67%, & Cabana 3.82%).
2	The maximum building height shall be 8.51m. [Section 4.5.1.b]	To permit the maximum building height of 10.54m.
3	A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line. In all other cases, a residential accessory structure shall not be located closer than 0.6 m to any lot line. [Section 4.1.2.b]	To permit the proposed accessory building with a height greater than 2.8 m to be located at 1.83m from the interior (Southwest) lot line.
4	In any Residential Zone, the maximum height of an accessory building and residential accessory structure shall be 3.0 m. [Section 4.1.4.1]	To permit the proposed accessory building with a maximum height of 3.9m.

The subject lands are zoned R1 – Rural Residential under Zoning By-law 1-88, as amended.

	Zoning By-law 01-88	Variance requested
5	Maximum permitted lot coverage is 30%. [Schedule 'A', footnote 12]	To permit a total lot coverage of 38.43% (Dwelling 27.94%, Covered Porch 6.67%, & Cabana 3.82%).
6	Maximum permitted building height is 9.5m. [Schedule 'A']	To permit a total height of the proposed building to be 10.54m.
7	Minimum rear yard setback of an accessory building is subject to the required setbacks of the main dwelling unit on the lot. [Section 4.1.1 c]	To permit the rear yard setback of 2.45m 3.15m for the proposed accessory building (cabana). *Variance revised to remove area of cabana within the Bell Easement.

HEARING INFORMATION	
<b>DATE &amp; TIME OF HEARING:</b>	April 14, 2022 at 6:00 p.m.
As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.	
<b>PUBLIC PARTICIPATION</b>	
You can watch a live stream of the hearing at <a href="https://vaughan.ca/LiveCouncil">Vaughan.ca/LiveCouncil</a>	
If you wish to speak to the Committee of Adjustment on an application please complete and submit a <a href="#">Public Deputation Form</a> to <a href="mailto:cofa@vaughan.ca">cofa@vaughan.ca</a> by noon on the last business day prior to the hearing.	
Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Written submissions on an Application must be submitted by noon on the last business day prior to the day of the scheduled hearing. Written submissions can be emailed to <a href="mailto:cofa@vaughan.ca">cofa@vaughan.ca</a>	
<a href="#">For more information, please visit the City of Vaughan website.</a>	

INTRODUCTION
Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.
Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:
That the general intent and purpose of the by-law will be maintained.
That the general intent and purpose of the official plan will be maintained.
That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
That the requested variance(s) is/are minor in nature.
Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT COMMENTS	
<b>Date Public Notice Mailed:</b>	March 30, 2022
<b>Date Applicant Confirmed Posting of Sign:</b>	March 25, 2022
<b>Applicant Justification for Variances:</b> *As provided by Applicant in Application Form	<p>The owner's wish to have higher ceiling heights on the main &amp; second floors, with an above average roof slope of 14/12 &amp; second pitch with a low slope at 1/12 to accommodate the aesthetic of the owner's preferences/neighboring lots.</p> <p>The owners also wish to exceed the max allowable lot coverage by 4.4% to accommodate their growing family, home office &amp; for entertaining.</p>
<b>Adjournment Requests (from staff):</b> *Adjournment requests provided to applicant prior to issuance of public notice	None
<b>Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:</b>  *ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.  *A revised submission may be required to address staff / agency comments received as part of the application review process.  *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.	No
<b>Adjournment Fees:</b> In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice.  An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice.	
<b>Committee of Adjustment Comments:</b>	On April 6, 2022 Bell Canada provided comments advising the applicant that construction within the registered Bell easement would not be permitted. On



COMMITTEE OF ADJUSTMENT COMMENTS	
	April 7, the applicant revised their submission to remove the portion of the cabana encroaching into the easement. See Bell Canada comments in Schedule B.
<b>Committee of Adjustment Recommended Conditions of Approval:</b>	None

BUILDING STANDARDS (ZONING) COMMENTS	
Stop work orders and orders to comply: There are no outstanding Orders on file	
Building Permit(s) Issued: Building Permit No. 21-129828 for Single Detached Dwelling - Residential Demolition, Issue Date: (Not Yet Issued)	
<b>Building Standards Recommended Conditions of Approval:</b>	None

DEVELOPMENT PLANNING COMMENTS	
**See Schedule C for Development Planning Comments.	
<b>Development Planning Recommended Conditions of Approval:</b>	That the final Arborist Report, Tree Preservation Plan, tree protection hoarding, and Landscape Plan, be approved to the satisfaction of the Development Planning Department.

DEVELOPMENT ENGINEERING COMMENTS	
<p>As the proposed dwelling and cabana in the subject property is 197.4 m2 and 35.7 m2, the owner/applicant needs to obtain a lot grading permit from Development Inspection and Lot Grading division of the City's Development Engineering Department. Please note any in ground structure over 10 m2 requires a grading permit. Please contact COA application engineering reviewer after receiving the grading permit to clear the condition. (Condition attached)</p> <p>The proposed work by the owner is increasing the lot coverage in the subject property. The added hardscape may have impact on City's Storm Water management system. Stuff requires the owner/applicant to introduce Low-impact Development (LID) measures (Bioswales, Permeable pavers, Rain Gardens, Rain Barrels etc.) to reduce the impacts. Please provide DE with a LID brief explaining the measures taken prior to clearing the condition. (Condition attached)</p> <p>The owner/applicant shall contact Transportation and Fleet Management Services (Joint Operations Centre) if there is any work required related to the driveway culvert. Please visit <a href="https://www.vaughan.ca/services/residential/transportation/roads/culvert_installation/Pages/default.aspx">https://www.vaughan.ca/services/residential/transportation/roads/culvert_installation/Pages/default.aspx</a> for more information.</p> <p>The Owner/applicant shall apply for a pool permit for the proposed indoor pool with the Development Engineering (DE) Department. Please visit or contact the Development Engineering Department through email at <a href="mailto:DEPermits@vaughan.ca">DEPermits@vaughan.ca</a> or visit <a href="https://www.vaughan.ca/services/residential/dev_eng/permits/Pages/default.aspx">https://www.vaughan.ca/services/residential/dev_eng/permits/Pages/default.aspx</a> to learn how to apply for the pool permit.</p> <p>The Development Engineering (DE) Department does not object to variance application A253/21 subject to the following condition(s):</p>	
<b>Development Engineering Recommended Conditions of Approval:</b>	<ol style="list-style-type: none"> <li>1. The Owner/applicant shall submit the revised Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at <a href="mailto:DEPermits@vaughan.ca">DEPermits@vaughan.ca</a> or visit <a href="https://www.vaughan.ca/services/residential/dev_eng/permits/Pages/default.aspx">https://www.vaughan.ca/services/residential/dev_eng/permits/Pages/default.aspx</a> to learn how to apply for lot grading and/or servicing approval.</li> <li>2. The owner/applicant shall provide a stormwater management brief to demonstrate the appropriate LID (Low-impact Development) measures and show the measures taken in the drawing to the satisfaction of DE to address the increased lot coverage from 30% to 38.43% in order to mitigate potential impacts on the municipal storm water system.</li> </ol>

PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS
No comment no concerns

## PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

<b>PFH Recommended Conditions of Approval:</b>	Forestry: Applicant/owner shall apply for a "Private Property Tree Removal & Protection" permit through the forestry division
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## DEVELOPMENT FINANCE COMMENTS

No comments received to date.

<b>Development Finance Recommended Conditions of Approval:</b>	None
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## BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

No comments received to date.

<b>BCLPS Recommended Conditions of Approval:</b>	None
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## BUILDING INSPECTION (SEPTIC) COMMENTS

No comments received to date.

<b>Building Inspection Recommended Conditions of Approval:</b>	None
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## FIRE DEPARTMENT COMMENTS

No comments received to date.

<b>Fire Department Recommended Conditions of Approval:</b>	None
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## SCHEDULES TO STAFF REPORT

\*See Schedule for list of correspondence

<b>Schedule A</b>	Drawings & Plans Submitted with the Application
<b>Schedule B</b>	Development Planning & Agency Comments
<b>Schedule C</b> (if required)	Correspondence (Received from Public & Applicant)
<b>Schedule D</b> (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

## SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Planning <a href="mailto:joshua.cipolletta@vaughan.ca">joshua.cipolletta@vaughan.ca</a>	That the final Arborist Report, Tree Preservation Plan, tree protection hoarding, and Landscape Plan, be approved to the satisfaction of the Development Planning Department.
2	Development Engineering <a href="mailto:farzana.khan@vaughan.ca">farzana.khan@vaughan.ca</a>	<p>The Owner/applicant shall submit the revised Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at <a href="mailto:DEPermits@vaughan.ca">DEPermits@vaughan.ca</a> or visit <a href="https://www.vaughan.ca/services/residential/dev_eng/permits/Pages/default.aspx">https://www.vaughan.ca/services/residential/dev_eng/permits/Pages/default.aspx</a> to learn how to apply for lot grading and/or servicing approval.</p> <p>The owner/applicant shall provide a stormwater management brief to demonstrate the appropriate LID (Low-impact Development) measures and show the measures taken in the drawing to the satisfaction of DE to address the increased lot coverage from 30% to 38.43% in order to mitigate potential impacts on the municipal storm water system.</p>

### IMPORTANT INFORMATION – PLEASE READ

**CONDITIONS:** It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

**APPROVALS:** Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

**DEVELOPMENT CHARGES:** That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

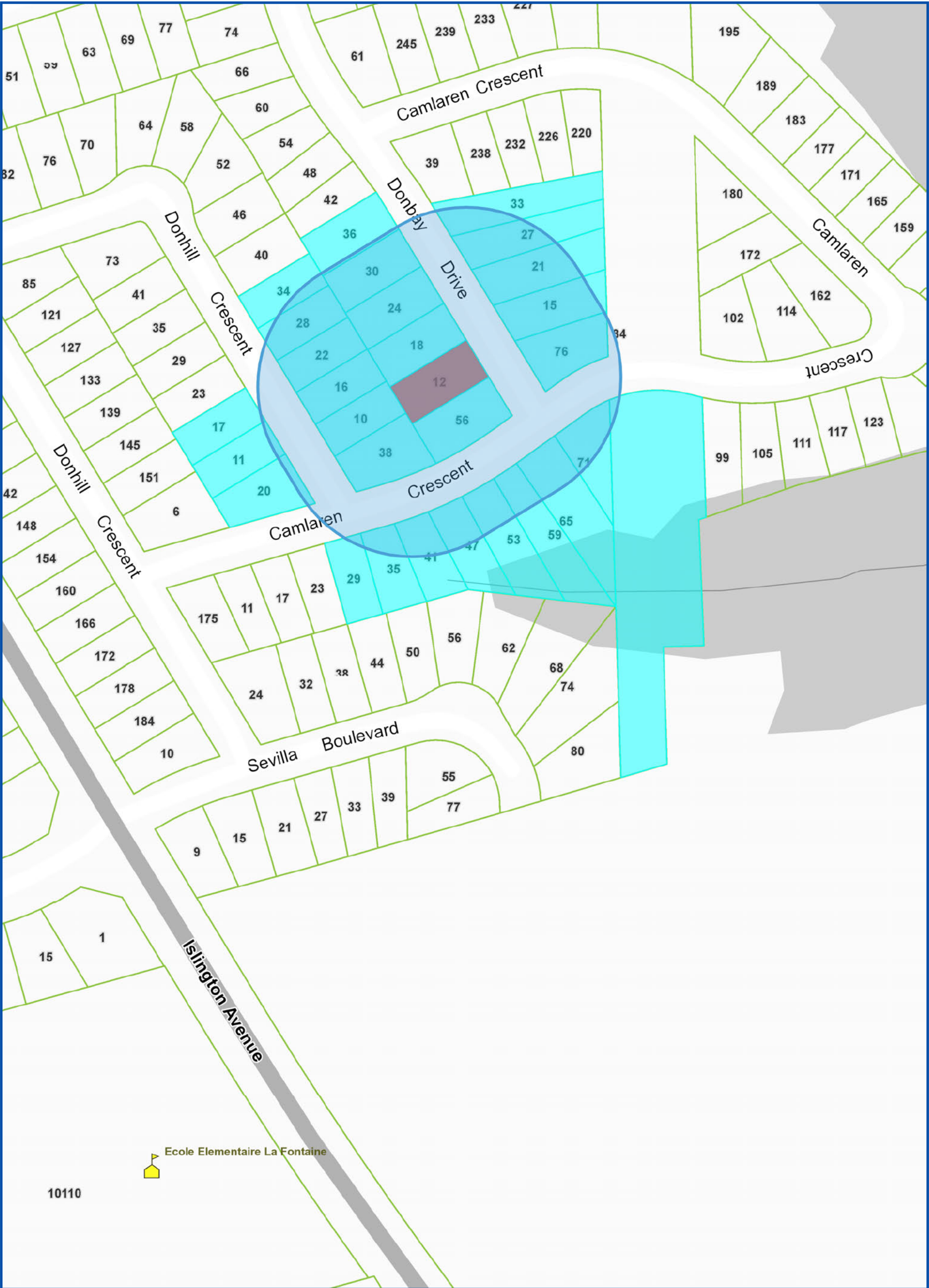
That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

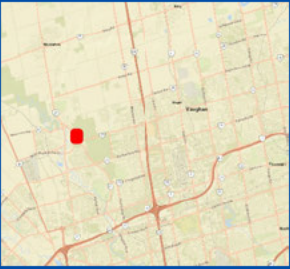
**NOTICE OF DECISION:** If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

**SCHEDULE A: DRAWINGS & PLANS**





Map Information:



Title:

12 DONBAY DRIVE, KLEINBURG

NOTIFICATION MAP - A253/21

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1:2,401

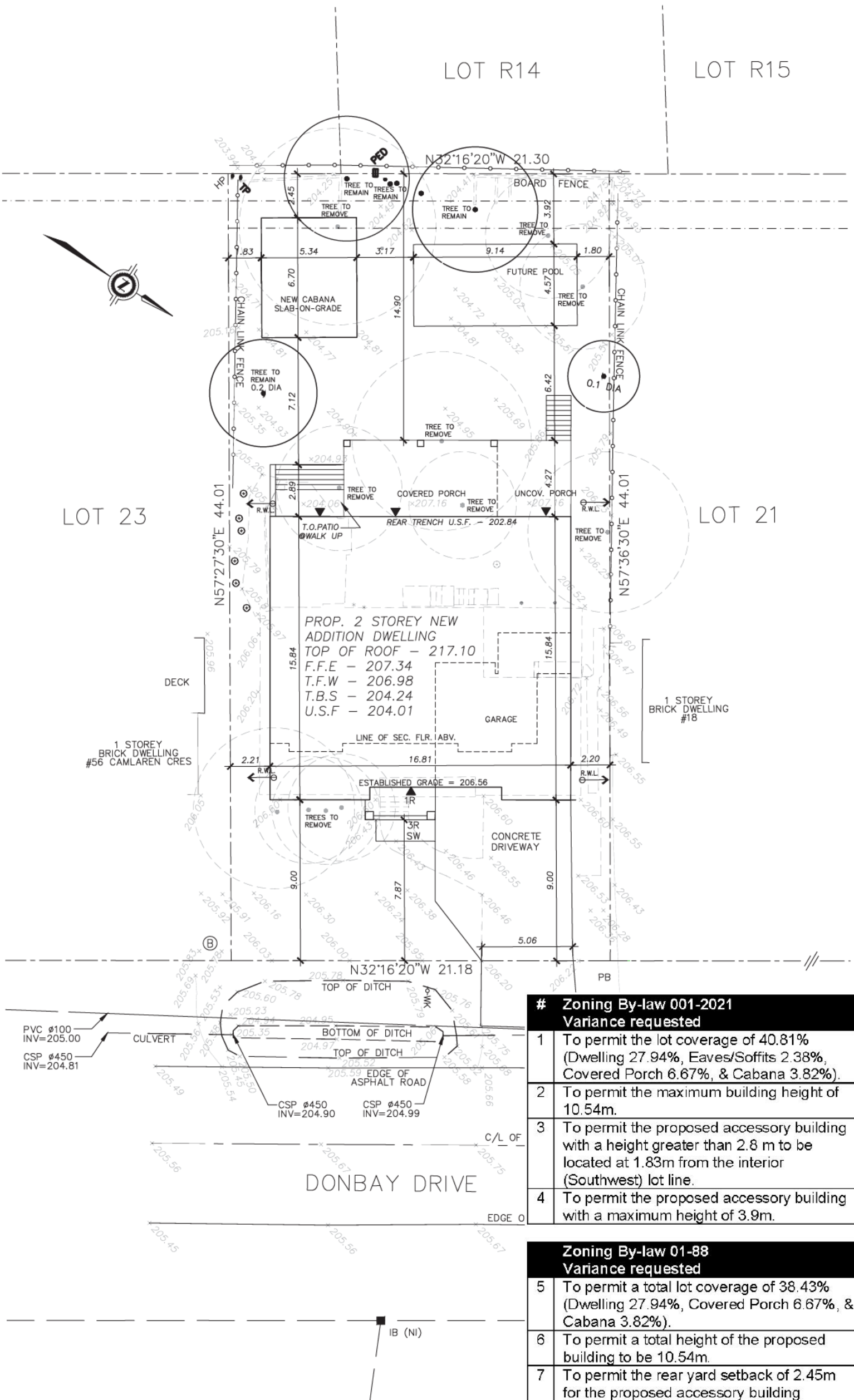
0 0.04 km



Created By:

Infrastructure Delivery  
Department  
March 7, 2022 10:58 AM

Projection:  
NAD 83  
UTM Zone  
17N



# Zoning By-law 001-2021 Variance requested	
1	To permit the lot coverage of 40.81% (Dwelling 27.94%, Eaves/Soffits 2.38%, Covered Porch 6.67%, & Cabana 3.82%).
2	To permit the maximum building height of 10.54m.
3	To permit the proposed accessory building with a height greater than 2.8 m to be located at 1.83m from the interior (Southwest) lot line.
4	To permit the proposed accessory building with a maximum height of 3.9m.

Zoning By-law 01-88 Variance requested	
5	To permit a total lot coverage of 38.43% (Dwelling 27.94%, Covered Porch 6.67%, & Cabana 3.82%).
6	To permit a total height of the proposed building to be 10.54m.
7	To permit the rear yard setback of 2.45m for the proposed accessory building (cabana).



LOT 22  
REGISTERED PLAN No. 6087  
CITY OF VAUGHAN  
REGIONAL MUNICIPALITY OF YORK

GENERAL NOTES:

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THAT THE LOCAL BENCHMARKS HAVE NOT BEEN ALTERED OR DISTURBED AND THAT THE BENCHMARKS ARE IN ACCORDANCE WITH THE INFORMATION SHOWN ON THIS PLAN.  
IT SHALL BE RESPONSIBILITY OF THE BUILDERS TO HAVE ALL GRADES VERIFIED AND CHECKED BEFORE CONSTRUCTION BY AN APPROVED SURVEYOR. THE CONTRACTOR SHALL MAINTAIN THE PLACEMENT OF STORMS AND SANITARY SERVICES OFF THE STREET ARE TO MEET THE JURISDICTION OF THE MUNICIPALITY (KING JANSSEN CONSULTING IS TO BE NOTIFIED PROPERTY OF ANY DISCREPANCIES AT LEAST 1 (ONE) WEEK BEFORE EXCAVATION COMMENCES IN ORDER THAT THE BUILDING CAN BE CONSTRUCTED WITHIN THE SPECIFIED TIME FRAME. EXPENSIVE REMEDIAL ACTION THAT WILL NOT BE CONSULTING FOUNDATIONS WALLS SHALL BE PAID TO A MINIMUM OF 6" ABOVE THE APPROVED GRADES.  
FINISH GRADE LINES AS INDICATED ON THE HOUSE PROTOTYPE.  
GARAGE FOOTINGS ARE TO BE EXTENDED TO ORIGINAL GROUND OR AS APPROVED BY SOILS ENGINEER.

LOCATES:

PRIOR TO DIGGING, LOCATES REQUIRED FOR WATER IF APPLICABLE.  
PRIOR TO DIGGING, LOCATES REQUIRED FOR WATER IF APPLICABLE.  
BEFORE DIGGING, UNDERGROUND SERVICES SHOULD BE LOCATED ON SITE BY THE RESPECTIVE AGENCIES.  
CALL LOCATIONS FOR ALL UNDERGROUNDS PRIOR TO EXCAVATION.  
THE APPLICANT WILL BE REQUIRED TO CONTACT ALL UTILITY COMPANIES TO OBTAIN ALL REQUIRED INFORMATION AND LOCATES FOR THE EXCAVATION WITHIN THE MUNICIPAL RIGHT OF WAY.

GRAVING NOTES:

1. EXISTING DRAINAGE OF ABUTTING LANDS ARE NOT TO BE DISTURBED.  
2. A DRAINAGE DRAINAGE TO BE MAINTAINED 300MM ABOVE THE CENTRELINE OF ROAD UNLESS OTHERWISE APPROVED BY THE CITY'S ENGINEER.  
3. GROUND ELEVATIONS AT BUILDINGS ADJUTING OVERLAND FLOW ROUTES ARE TO BE 225 ABOVE OVERLAND FLOW ROUTE ELEVATIONS.  
4. STUMP PUMP MUST DISCHARGE DIRECTLY INTO MUNICIPAL STORM SEWER OR TO GRADE.  
5. A MINIMUM OF 150MM (6") FROM THE TOP OF FOUNDATION TO THE FINISHED GRADE OUTSIDE THE BUILDING MUST BE PROVIDED, TYP.  
6. THE FINISHED FLOOR ELEVATION, UNDERSIDE OF FOOTING ELEVATION, BASEMENT WINDOW SILL ELEVATION TO BE CONTAINED BY THE CONTRACTOR'S DESIGNER. THE BUILDING DESIGNER, BASED ON THE MIN. TOP OF FOUNDATION ELEVATION PROVIDED.

METRIC:  
DISTANCES AND/OR COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

PART 2 – SURVEY REPORT

- DESCRIPTION  
LOT 22, REGISTERED PLAN 6087, RIGHTS-OF-WAY SUBJECT TO EASEMENTS AS IN INSTRUMENT No. 1874524, 1874525 AND 1874526.  
COMPLIANCE WITH ONTARIO BUILDING CODE SETBACK REQUIREMENTS ARE NOT VERIFIED BY THIS SURVEY. PLAN PREPARED FOR JANSSEN CONSULTING.

ELEVATIONS SHOWN ON THIS PLAN ARE DERIVED FROM THE YORK REGION BENCHMARKS:  
No. 176 ELEVATION=205.56m  
No. 177 ELEVATION=207.10m

LOCAL BENCHMARK

CONCRETE PIN IN ASPHALT LOCATED ON LOT 22, REGISTERED PLAN 6087, RIGHTS-OF-WAY SUBJECT TO EASEMENTS AS IN INSTRUMENT No. 1874524, 1874525 AND 1874526.  
ENTRENCE ELEVATION=205.72m

LEGEND

- \* E. METER DENOTES ELECTRICAL METER
- G. METER DENOTES GAS METER
- L.S. DENOTES LIGHT STANDARD
- TP DENOTES TELEPHONE POLE
- RED DENOTES TELEPHONE PEDSAL
- CSP DENOTES CORRUGATED STEEL PIPE
- PVC DENOTES POLYVINYL CHLORIDE PIPE
- BM DENOTES BENCH MARK
- DENOTES OVERHEAD HYDRO CABLE
- DENOTES SHRUB
- DENOTES DECIDUOUS TREE
- DENOTES DECIDUOUS TREE IN METRES
- DENOTES DECIDUOUS TREE IN METRES
- DENOTES DECIDUOUS TREE IN METRES
- DENOTES SURVEY MONUMENT FOUND
- DENOTES STANDARD IRON BAR
- DENOTES IRON BAR PLAIN 6027
- DENOTES SURVEYOR'S SEAL PROPERTY REPORT BY RABOUD CZECHOWSKI
- DENOTES PLAN OF SURVEY BY PRED SCHAEFFER
- DENOTES MEASURED CORNER 8, 1987.
- DENOTES SET BY INTERSECTION
- DENOTES NOT IDENTIFIABLE
- N-NORTH / S-SOUTH / E-EAST / W-WEST

PART – 3  
25 MM WATER TAP  
K TYPE COPPER

PART – 3  
NEW SANITARY  
PROPOSED 125 MM PVC SDR-26  
SANI LATERAL @ 2% MIN. SLOPE

PART – 2  
EXIST. WATER  
WATER TO 100  
K TYPE COPPER

PART – 2  
EXIST. SANITARY  
EXIST. SANITARY  
SANI LATERAL @ 2% MIN. SLOPE

NOTE: ANY SEPTIC SYSTEM  
DECOMMISSIONED AND TO  
BE REMOVED OFF SITE  
ALL APPLICABLE GUIDELINES  
AND REGULATIONS

EXISTING GRADES TO  
REMAIN UNLESS NOTED  
PATTERN TO REMAIN

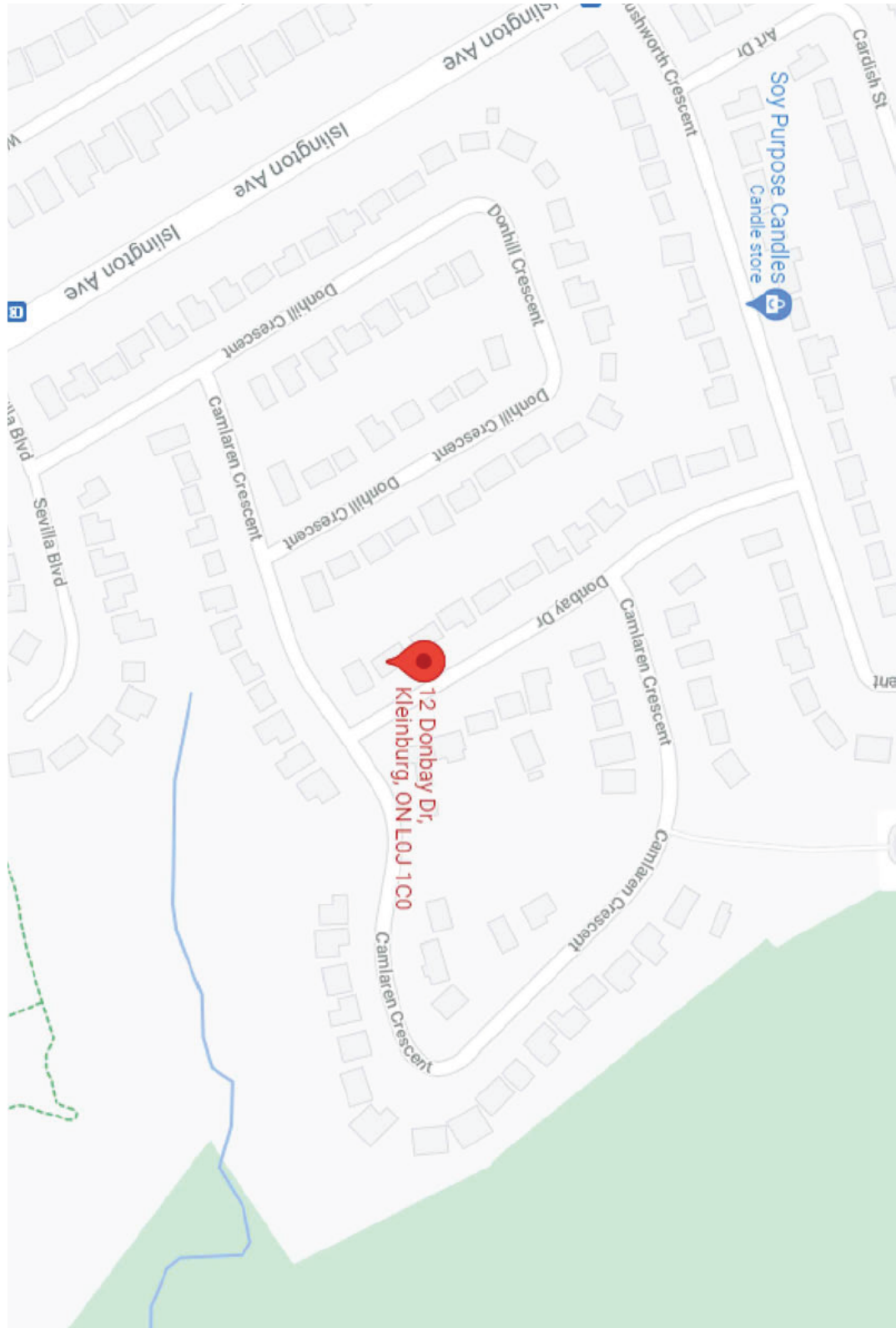
APPLICANT MUST CONTACT RESPECTIVE  
GOVERNING AUTHORITY TO OBTAIN ALL  
NECESSARY PERMITS AND TO  
DETERMINE IF ANY NEW CONSTRUCTION  
REQUIRES SERVICE PERMIT.

NO SOIL BURNING  
PERMITTED

OLD GAS LINE TO BE  
REMOVED FROM MAIN LINE  
NEW GAS LINE TO BE INSTALLED  
TO DWELLING

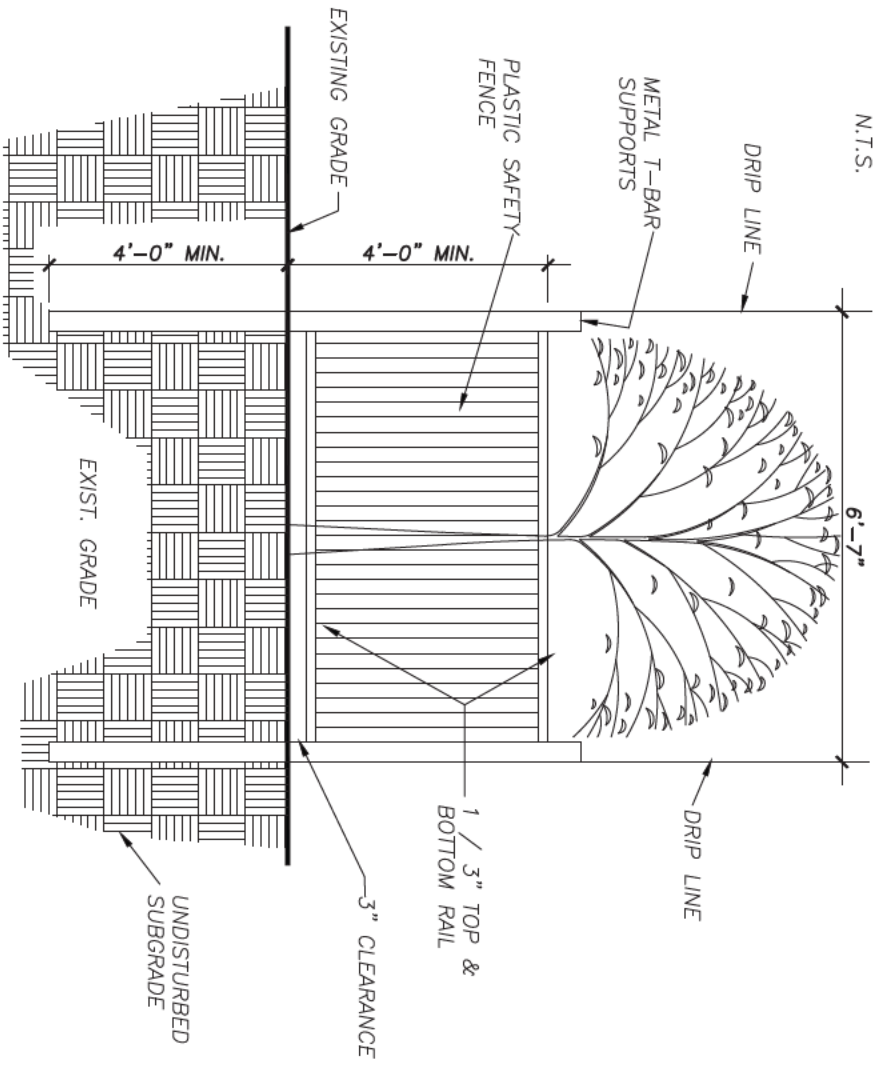
NEW WATER LINE FROM WATER BOX  
IF REQUIRED. GOVERNING AUTHORITY  
INSPECTIONS REQUIRED.

HYDRO TO BE DISCONNECTED AT  
EXISTING WATER BOX  
INSTALL NEW OVERHEAD SERVICE  
TO NEW DWELLINGS

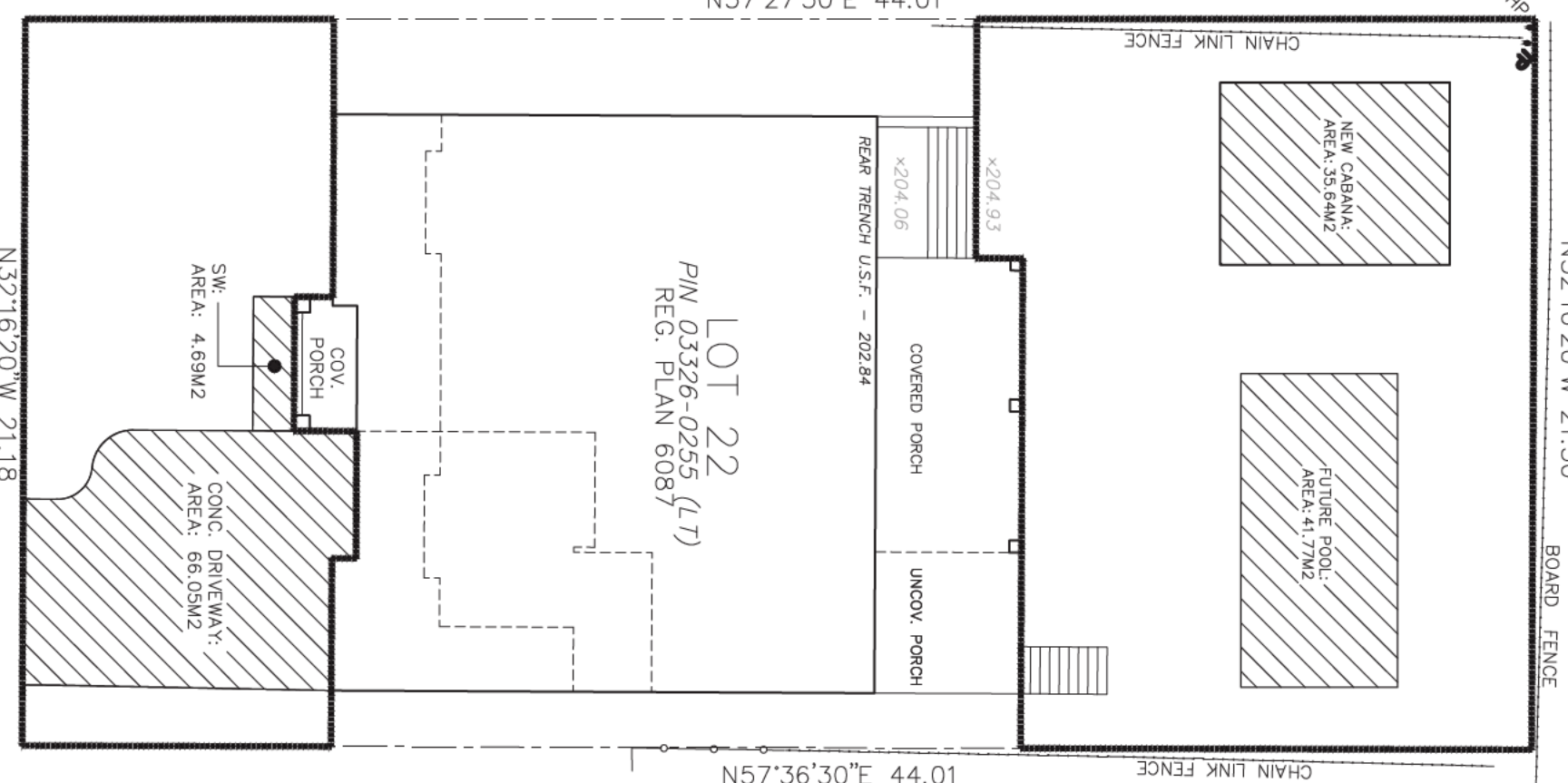
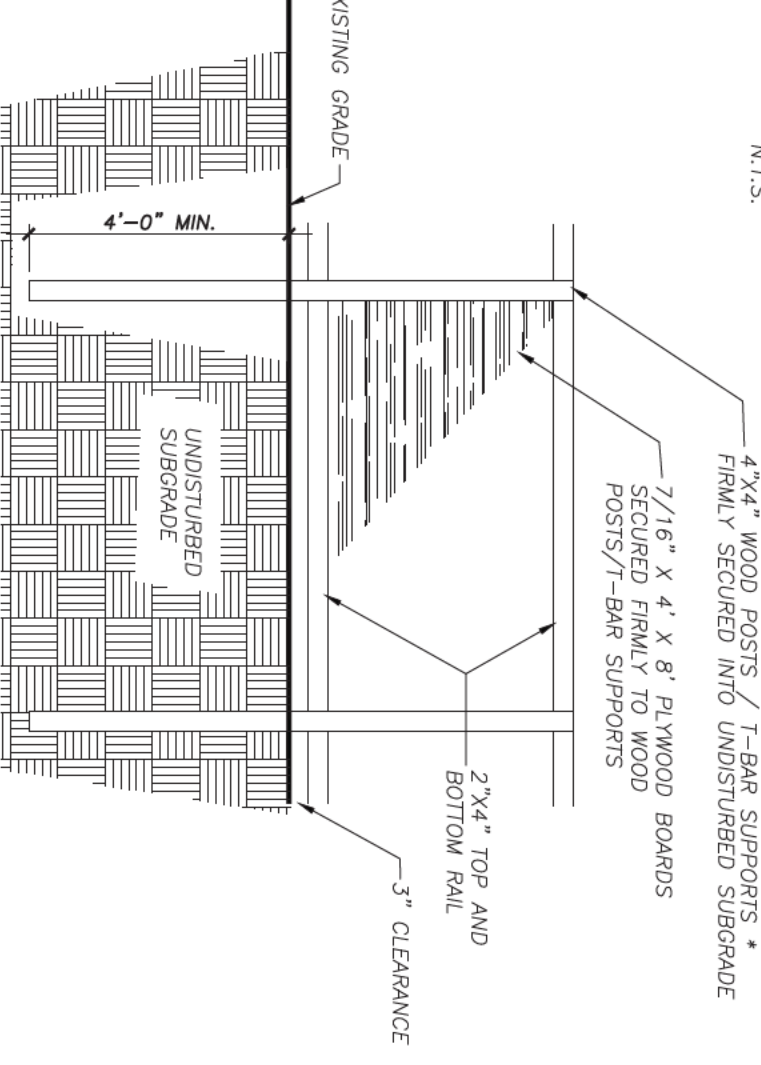


KEY PLAN  
12 DONBAY DRIVE  
KLEINBURG, ONT.  
N.T.S.

FRAMED HOARDING



SOLID BOARD HOARDING

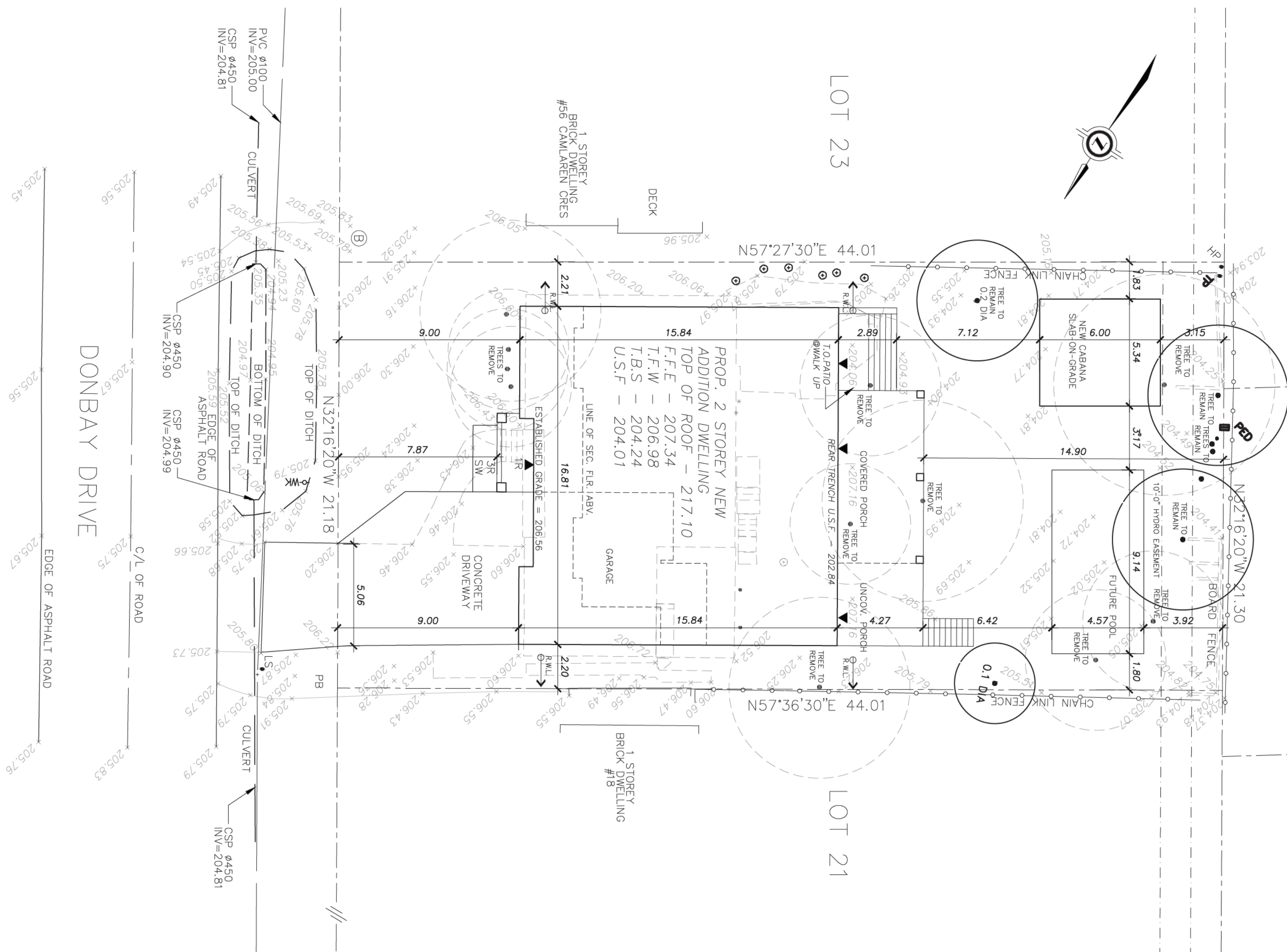


FRONT YARD – SOFTSCAPE: FRONT YARD: 189.06M2 – 66.05M2 (DRIVEWAY) – 4.69M2 (SW) = 118.32M2 OPEN SOFTSCAPE (%): 118.32M2/189.06M2 = 62%	REAR YARD – SOFTSCAPE: REAR YARD: 326.7M2 – 41.77M2 (FUTURE POOL) – 35.64M2 (CABANA) = 249.29M2 OPEN SOFTSCAPE (%): 249.29M2/326.7M2 = 76%
--	--

LOT 23

LOT R14

LOT R15



1. JEFF JANSSEN, REG. P. ENG. 1, LAND SURVEYING AND LAND DESIGN  
RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF JANSSEN CONSULTING  
LAND SURVEYING AND LAND DESIGN  
1. JEFF JANSSEN, REG. P. ENG. 1, LAND SURVEYING AND LAND DESIGN  
RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF JANSSEN CONSULTING  
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RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF JANSSEN CONSULTING  
LAND SURVEYING AND LAND DESIGN

DATE: DEC 2021  
SIGNATURE: [Signature]



70 Main Street N, P.O. Box 38  
Cambridge, ON L0P 1B0  
PH: 505-554-9696  
FAX: 505-554-9696  
CELL: 505-875-3438  
EMAIL: jeff@jansenconsulting.com

PROJECT:  
12 DONBAY DRIVE  
KLEINBURG, ONTARIO

OWNERS INFORMATION:  
UMBERTO & LEONELA PAGLIA  
12 DONBAY DRIVE  
KLEINBURG, ONTARIO

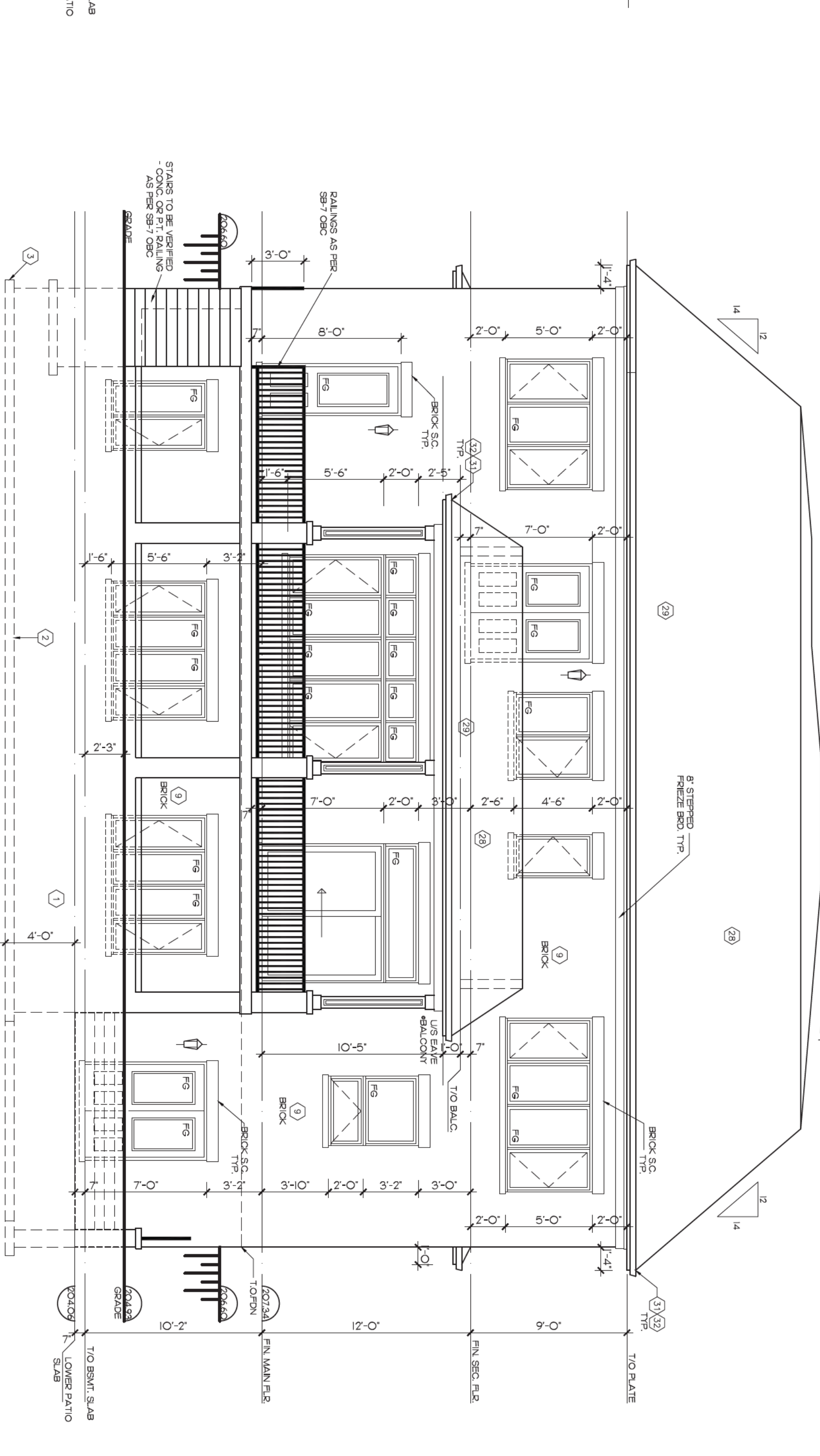
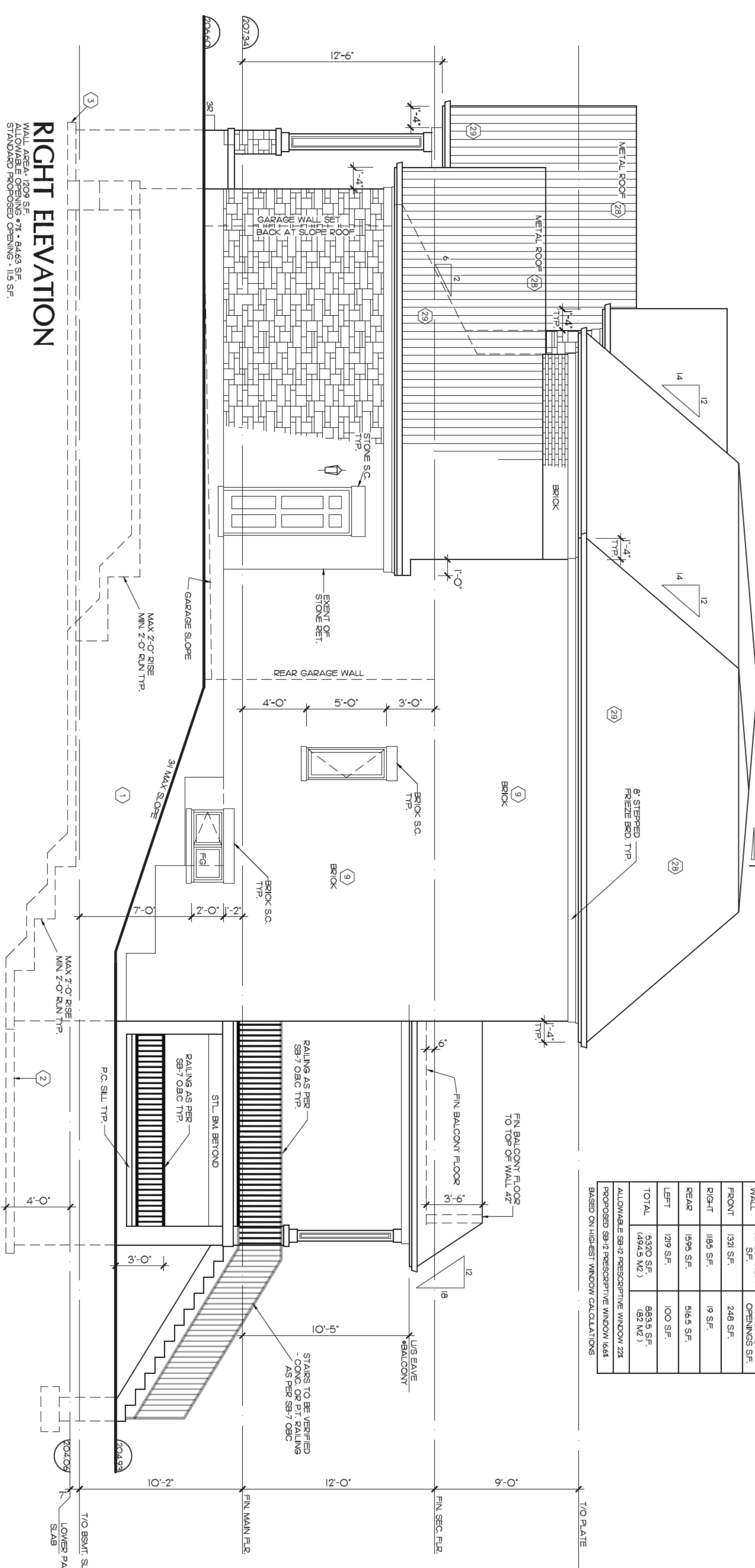
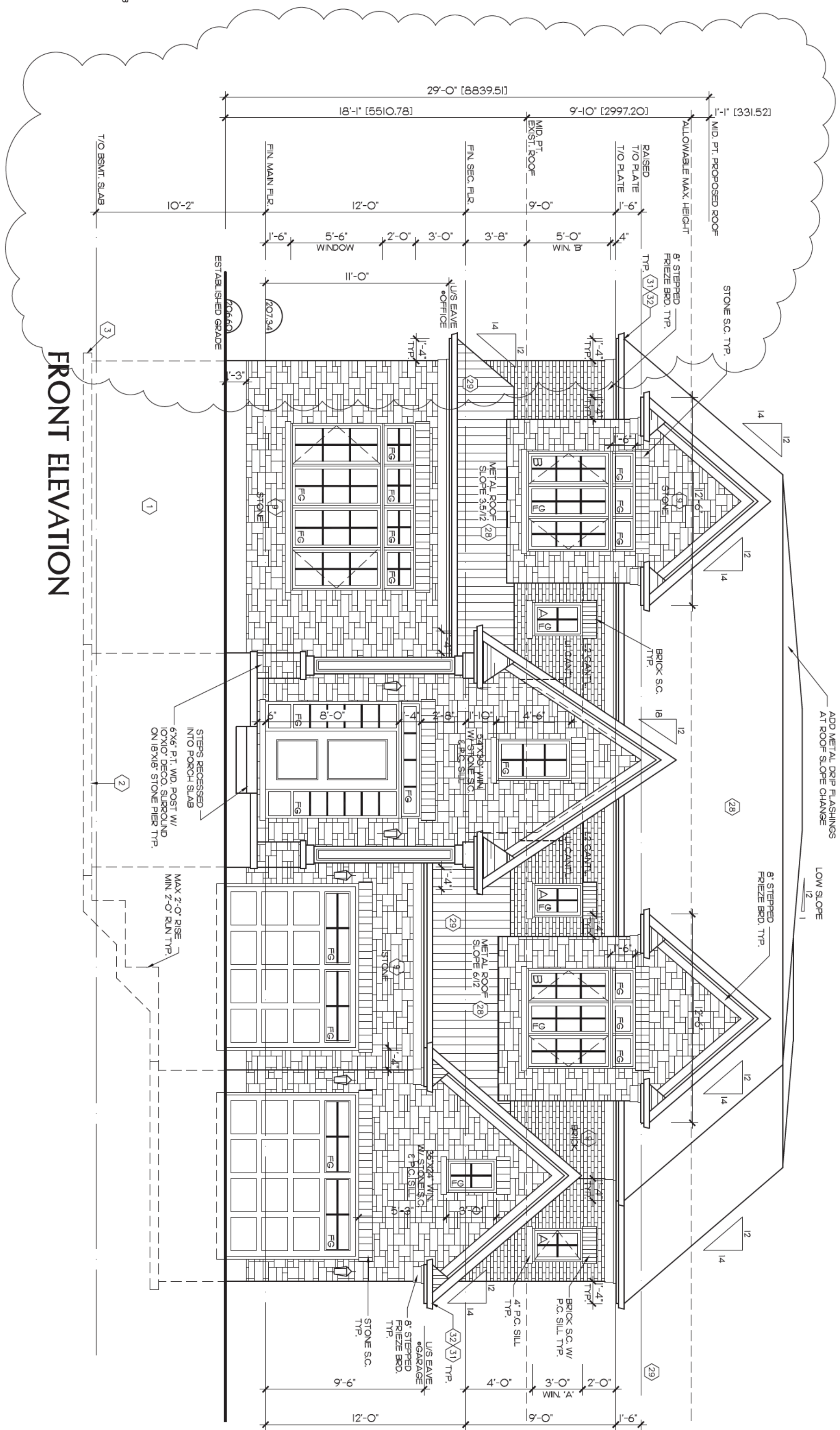
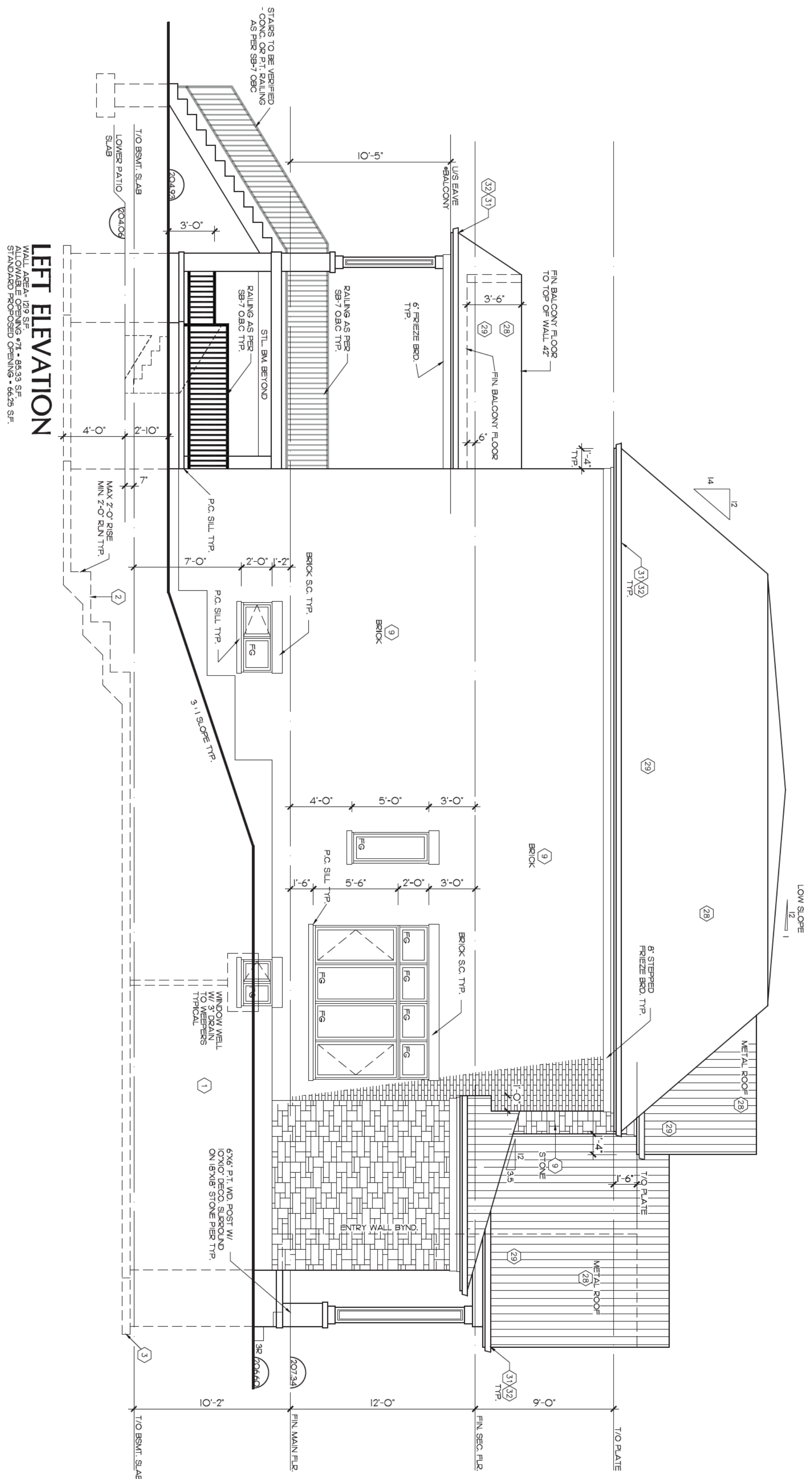
GENERAL NOTES

SCALE	DATE	PROJECT NO.
1:1000	DEC. 29, 2021	2021-0195
DATE	DESIGNED BY	DRAWING NO.
2021-0195	SI	









## SCHEDULE B: DEVELOPMENT PLANNING & AGENCY COMMENTS

AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments no concerns
Ministry of Transportation (MTO)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Bell Canada	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval of Revised Submission (04/07/22)
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Development Planning	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions



**To:** Christine Vigneault, Committee of Adjustment Secretary Treasurer

**From:** Nancy Tuckett, Director of Development Planning

**Date:** April 14, 2022

**Name of Owner:** Umberto and Leonella [REDACTED]

**Location:** 12 Donbay Drive

**File No.(s):** A253.21

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**Proposed Variance(s) (By-law 001-2021):**

1. To permit the lot coverage of 40.81%.
2. To permit the maximum building height of 10.54 m.
3. To permit the proposed accessory building with a height greater than 2.8 m to be located at 1.83m from the interior (Southwest) lot line.
4. To permit the proposed accessory building with a maximum height of 3.9 m.

**By-Law Requirement(s) (By-law 001-2021):**

1. Maximum permitted lot coverage is 40%.
2. The maximum building height shall be 8.51 m.
3. A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line. In all other cases, a residential accessory structure shall not be located closer than 0.6 m to any lot line.
4. In any Residential Zone, the maximum height of an accessory building and residential accessory structure shall be 3.0 m.

**Proposed Variance(s) (By-law 1-88):**

5. To permit a total lot coverage of 38.43%.
6. To permit a total height of the proposed building to be 10.54 m.
7. To permit the rear yard setback of 2.45 m for the proposed accessory building (cabana).

**By-Law Requirement(s) (By-law 1-88):**

5. Maximum permitted lot coverage is 30%.
6. Maximum permitted building height is 9.5 m.
7. Minimum rear yard setback of an accessory building is subject to the required setbacks of the main dwelling unit on the lot.

**Official Plan:**

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

**Comments:**

The Owners are requesting to permit the construction of a two-storey dwelling and cabana with the above noted variances.

The proposed dwelling will have a lot coverage of 27.94%, while the proposed covered porch, cabana, and eaves will have a lot coverage of 6.67%, 3.82%, and 2.38% respectively. The dwelling coverage is consistent with previous approvals in the neighbourhood and will not pose a significant visual impact to the adjacent properties or streetscape. The increase in total lot coverage is minor in nature relative to the requirement under Zoning By-law 01-2021, which was enacted by Vaughan Council on October 20, 2021, but has been appealed to the Ontario Land Tribunal and is not in-effect. As such, the Development Planning Department has no objection to Variances 1 and 5 for the increase in lot coverage.

The Development Planning Department has no objection to Variances 2 and 6 for the proposed dwelling height as it is consistent with previous approvals in the neighbourhood and will not have a negative visual impact on the existing streetscape.

The Development Planning Department has no objection to Variance 3 and 4 for the proposed cabana as the reduction to the interior side yard setback and the increase in height will not pose a significant visual impact to the adjacent properties. The interior

side yard setback of 1.83 m maintains an appropriate area for access and drainage. The Owners had also revised their application to reduce the maximum height upon recommendations from the Development Planning Department.

The Development Planning Department has no objection to Variance 7 for the proposed cabana, as the reduction to the rear yard setback will not impact the abutting properties and it complies with Zoning By-law 01-2021.

In support of the application, the Owners have submitted an Arborist Report and Tree Preservation Plan prepared by Maple Hill Tree Services, dated November 22, 2021. The report inventoried 18 trees, nine of which are proposed to be removed. Urban Design staff have reviewed the Arborist Report and require a Landscape Plan showing the trees to be preserved as well as trees proposed as compensatory planting. A condition to this effect is included in the Conditions of Approval.

Accordingly, the Development Planning Department can support the required variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

**Recommendation:**

The Development Planning Department recommends approval of the application, subject to the following conditions:

**Conditions of Approval:**

If the Committee finds merit in the application, the following conditions of approval are recommended:

1. That the final Arborist Report, Tree Preservation Plan, tree protection hoarding, and Landscape Plan, be approved to the satisfaction of the Development Planning Department.

**Comments Prepared by:**

Joshua Cipolletta, Planner I

Chris Cosentino, Senior Planner



**Date:** March 1<sup>st</sup> , 2022

**Attention:** **Christine Vigneault**

**RE:** Request for Comments

**File No.:** **A253-21**

**Related Files:**

**Applicant:** Umberto & Leonella [REDACTED]

**Location** 12 Donbay Drive

**COMMENTS:**

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

**References:**

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream(Construction Standard 03-1, 03-4, 03-9), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Stephen Cranley, C.E.T

Mitchell Penner

Supervisor, Distribution Design, ICI & Layouts (North)  
**Phone:** 1-877-963-6900 ext. 31297

Supervisor, Distribution Design-Subdivisions  
**Phone:** 416-302-6215

**E-mail:** [stephen.cranley@alectrautilities.com](mailto:stephen.cranley@alectrautilities.com)

**Email:** [Mitchell.Penner@alectrautilities.com](mailto:Mitchell.Penner@alectrautilities.com)

**Lenore Providence**

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**Subject:** FW: [External] RE: Request for Comments: A253/21 (12 Donbay Drive, Kleinburg)

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**From:** Hurst, Gabrielle <Gabrielle.Hurst@york.ca>

**Sent:** February-28-22 12:03 PM

**To:** Lenore Providence <Lenore.Providence@vaughan.ca>

**Cc:** Committee of Adjustment <CofA@vaughan.ca>

**Subject:** [External] RE: Request for Comments: A253/21 (12 Donbay Drive, Kleinburg)

Good afternoon Lenore,  
The Regional Municipality of York has completed its review of the above minor variance and has no comment.

*Gabrielle*

**Gabrielle Hurst mcip rpp** | Community Planning and Development Services | The Regional Municipality of York | 1-877  
464 9675 ext 71538 | [gabrielle.hurst@york.ca](mailto:gabrielle.hurst@york.ca) | [www.york.ca](http://www.york.ca)

**Lenore Providence**

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**Subject:** FW: [External] RE: Bell Canada comments: A253/21 - 12 Donbay Drive - 905-22-129

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**From:** Gordon, Carrie <carrie.gordon@bell.ca>

**Sent:** April-07-22 11:17 AM

**To:** Sean Mcdonald - Jansen Consulting <smcdonald@jansenconsulting.ca>; Lenore Providence <Lenore.Providence@vaughan.ca>; Jeff Jansen <jeffjansendesign@gmail.com>; pga.construction pga.construction <pga.construction@sympatico.ca>  
**Cc:** Christine Vigneault <Christine.Vigneault@vaughan.ca>; Christopher Cosentino <Christopher.Cosentino@vaughan.ca>; Joshua Cipolletta <Joshua.Cipolletta@vaughan.ca>  
**Subject:** [External] RE: Bell Canada comments: A253/21 - 12 Donbay Drive - 905-22-129

Hi Sean,

Thank you for the update. Seeing as the new cabana and pool no longer encroach within the Bell/Hydro easement, you may proceed with the proposal.

Kind regards,

*Carrie Gordon*



Associate, External Liaison  
Right of Way Control Centre  
140 Bayfield St, Fl 2  
Barrie ON, L4M 3B1  
T: 705-722-2244/844-857-7942  
F :705-726-4600



Lenore Providence

Subject: FW: [External] RE: Request for Comments: (not A239/21) A253/21 (12 Donbay Drive, Kleinburg)

From: Gordon, Carrie <carrie.gordon@bell.ca>

Sent: April-06-22 8:50 AM

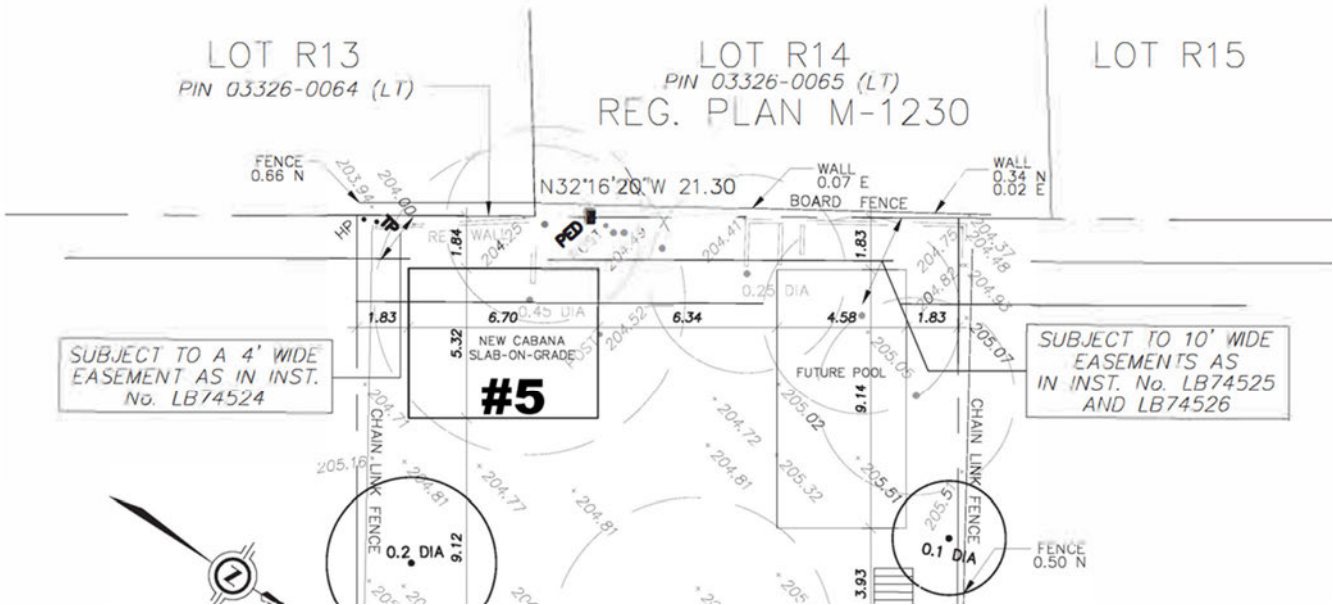
To: Lenore Providence <Lenore.Providence@vaughan.ca>

Cc: Christine Vigneault <Christine.Vigneault@vaughan.ca>

Subject: [External] RE: Request for Comments: (not A239/21) A253/21 (12 Donbay Drive, Kleinburg)

Good morning,

Subsequent to review of the Minor Variance application at 12 Donbay Dr., Bell Canada engineering would like to advise that construction within the easement will not be permitted.



Should there be further questions regarding this response please do not hesitate to contact me.

Kind regards,

Carrie Gordon



Associate, External Liaison  
Right of Way Control Centre  
140 Bayfield St, Fl 2  
Barrie ON, L4M 3B1  
T: 705-722-2244/844-857-7942  
F :705-726-4600

## Lenore Providence

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**Subject:** FW: [External] RE: Request for Comments: A253/21 (12 Donbay Drive, Kleinburg)

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**From:** York Plan <yorkplan@trca.ca>

**Sent:** February-28-22 8:35 AM

**To:** Lenore Providence <Lenore.Providence@vaughan.ca>

**Cc:** Hamedeh Razavi <Hamedeh.Razavi@trca.ca>

**Subject:** [External] RE: Request for Comments: ~~A239/21~~ A253/21 (12 Donbay Drive, Kleinburg)

TRCA wishes to confirm that it has **no interests or concerns with the above noted application.**

Based on a review of our available mapping, the subject property is not within TRCA's Regulated Area. As such, a permit from TRCA pursuant to Ontario Regulation 166/06 would not be required for any development or site alteration on the property.

Although the site is located within the Well Head Protection Area for Quantity control (WHPA-Q2) per the Source Protection Plan, no water balance would be required recognizing this requirement would have been addressed through the subdivision approvals process.

Should further clarification be required, please contact the undersigned at your convenience.

**Mark Howard, BES, MLA, MCIP, RPP**

Senior Planner – Vaughan Review Area

Development Planning and Permits | Development and Engineering Services

Toronto and Region Conservation Authority (TRCA)

T: [\(416\) 661-6600](tel:4166616600) ext 5269

E: [mark.howard@trca.ca](mailto:mark.howard@trca.ca)

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca) | [trca.ca](https://www.trca.ca)



**SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE**

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None.				

**SCHEDULE D: PREVIOUS COA DECISIONS ON THE SUBJECT LAND**

File Number	Date of Decision MM/DD/YYYY	Decision Outcome
None.		