

ITEM: 6.7	COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A081/23 148 VIA TEODORO, WOODBRIDGE
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**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES:**

*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	General Comments w/condition
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

PUBLIC & APPLICANT CORRESPONDENCE

*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

File Number	Date of Decision	Decision Outcome

PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

	MM/DD/YYYY	
None		

ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

July 13, 2023, Hearing	Minor Variance Application A081/23 was adjourned by the Committee of Adjustment to August 3, 2023, to accommodate statutory public notice requirements.
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**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A081/23
148 VIA TEODORO, WOODBRIDGE**

ITEM NUMBER: 6.7	CITY WARD #: 3
APPLICANT:	Anna & Nicolas Colosimo
AGENT:	Array International Architects Inc.
PROPERTY:	148 Via Teodoro, Woodbridge
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit a proposed cabana and pool.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R3(EN) and subject to the provisions of exception 14.919 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	A minimum rear yard setback of 2.4 metres to the proposed Residential Accessory Structure (Cabana) is required.	To permit a minimum rear yard setback of 0.5 metres to the proposed Residential Accessory Structure (Cabana).
2	A minimum interior side yard setback of 2.4 metres to the proposed Residential Accessory Structure (Cabana) is required.	To permit a minimum interior side yard setback of 0.5 metres to the proposed Residential Accessory Structure (Cabana).
3	A minimum distance of 0.6 metres shall be required from any permitted encroachment to the nearest lot line [Section 4.13]	To permit a minimum distance of 0.2 from the residential accessory structure eaves to the interior side lot line.
4	A minimum distance of 0.6 metres shall be required from any permitted encroachment to the nearest lot line [Section 4.13]	To permit a minimum distance of 0.2 from the residential accessory structure eaves to the rear lot line.
5	A minimum rear yard setback of 1.5 metres to the proposed pool is required [Section 4.21].	To permit a minimum rear yard setback of 0.9 metres to the proposed pool.
6	A minimum interior side yard setback of 1.5 metres to the proposed pool is required [Section 4.21].	To permit a minimum interior side yard setback of 1.0 metres to the proposed pool.
7	The maximum height of a residential accessory structure (Cabana) shall be 3.0 metres [Section 4.1.5].	To permit the maximum height of 3.42 metres for a residential accessory structure (Cabana).

HEARING INFORMATION

DATE OF MEETING: Thursday, August 3, 2023
TIME: 6:00 p.m.
MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive
LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

HEARING INFORMATION

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT COMMENTS

Date Public Notice Mailed:	July 20, 2023	
Date Applicant Confirmed Posting of Sign:	July 18, 2023	
Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small>	Site is small and construction was already completed by owner according to best site configuration.	
Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	None	
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice. *A revised submission may be required to address staff / agency comments received as part of the application review process. *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>	No	
Adjournment Fees: In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice. An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice.		
Committee of Adjustment Comments:	None	
Committee of Adjustment Recommended Conditions of Approval:	That the applicant submits the required Adjournment Fee (\$591.00) to facilitate rescheduling from the July 13, 2023 hearing.	

BUILDING STANDARDS (ZONING) COMMENTS

****See Schedule B for Building Standards (Zoning) Comments**

Building Standards Recommended Conditions of Approval:	None
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DEVELOPMENT PLANNING COMMENTS

****See Schedule B for Development Planning Comments.**

Development Planning Recommended Conditions of Approval:	None
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DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

The Owner/Applicant shall apply for a 'Pool Grading Permit' with the Development Engineering (DE) Department. Please visit the [grading permits page](#) at City of Vaughan website to learn how to apply for

DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#)
 [Link to Pool Permit](#)
 [Link to Curb Curt Permit](#)
 [Link Culvert Installation](#)

the Pool Permit. If you have any question about Pool Grading Permit, please contact the Development Engineering Department through email at DEPermits@vaughan.ca.

The proposed work by the Owner / Applicant is increasing the lot coverage on the subject property. The added hardscape may have impacts on the City's Storm Water management system. Development Engineering strongly encourages the Owner / Applicant introduce Low-Impact Development (LID) measures (e.g., bioswales, permeable pavers, rain gardens, rain barrels etc.) to reduce the impacts to the stormwater system. Should further information be required, please contact the Development Engineering COA reviewer.

The Development Engineering Department does not object to the Minor Variance application A081/23.

Development Engineering Recommended Conditions of Approval:	None
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PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

Forestry: Forestry has no comment at this time.

PFH Recommended Conditions of Approval:	None
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DEVELOPMENT FINANCE COMMENTS

No comment no concerns.

Development Finance Recommended Conditions of Approval:	None
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BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

No objections or comments.

BCLPS Recommended Conditions of Approval:	None
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BUILDING INSPECTION (SEPTIC) COMMENTS

No comments received to date.

Building Inspection Recommended Conditions of Approval:	None
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FIRE DEPARTMENT COMMENTS

No comments received to date.

Fire Department Recommended Conditions of Approval:	None
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SCHEDULES TO STAFF REPORT

*See Schedule for list of correspondence

Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Staff & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Committee of Adjustment christine.vigneault@vaughan.ca	That the applicant submits the required Adjournment Fee (\$591.00) to facilitate rescheduling from the July 13, 2023 hearing.

IMPORTANT INFORMATION – PLEASE READ

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

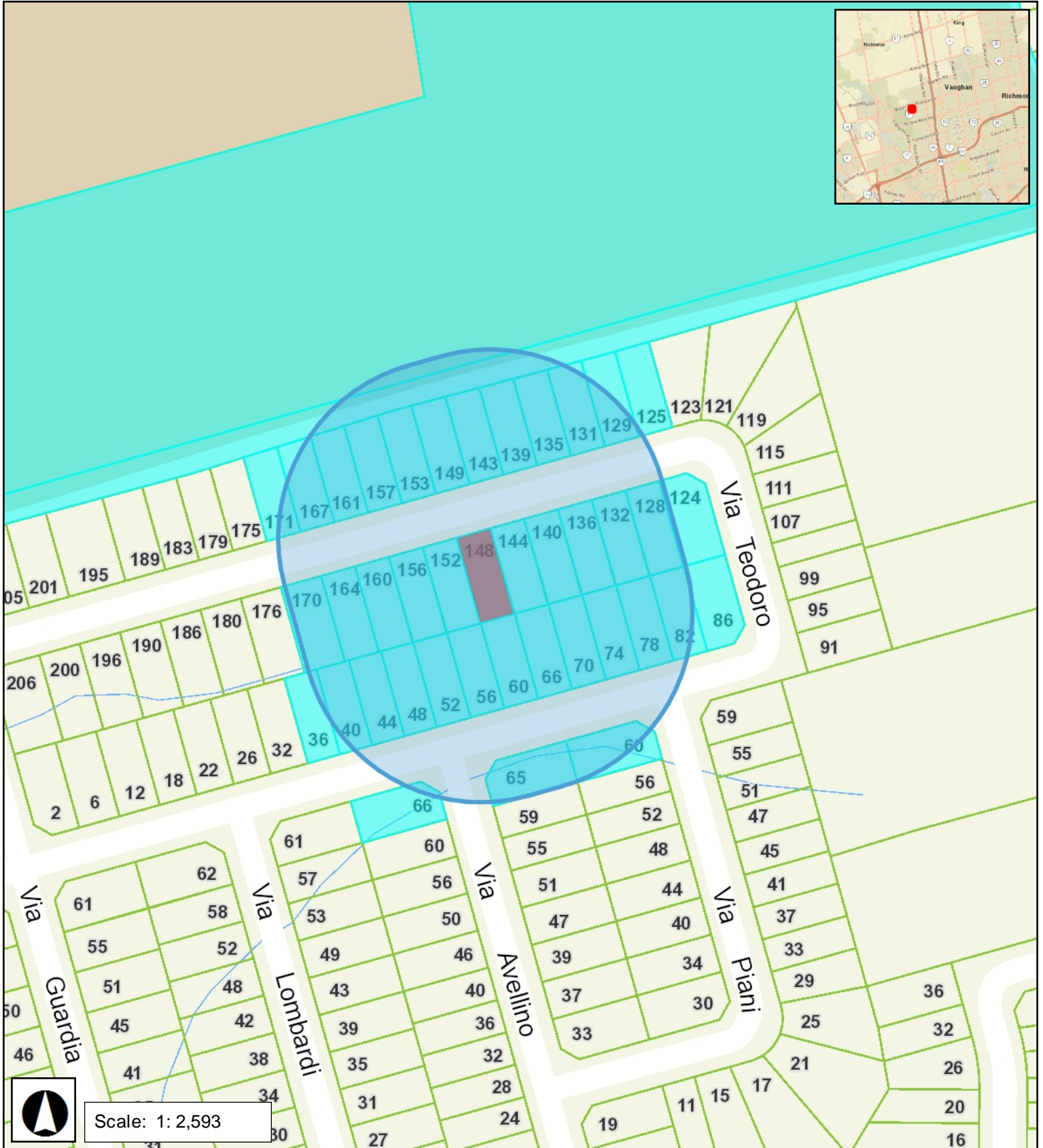
That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

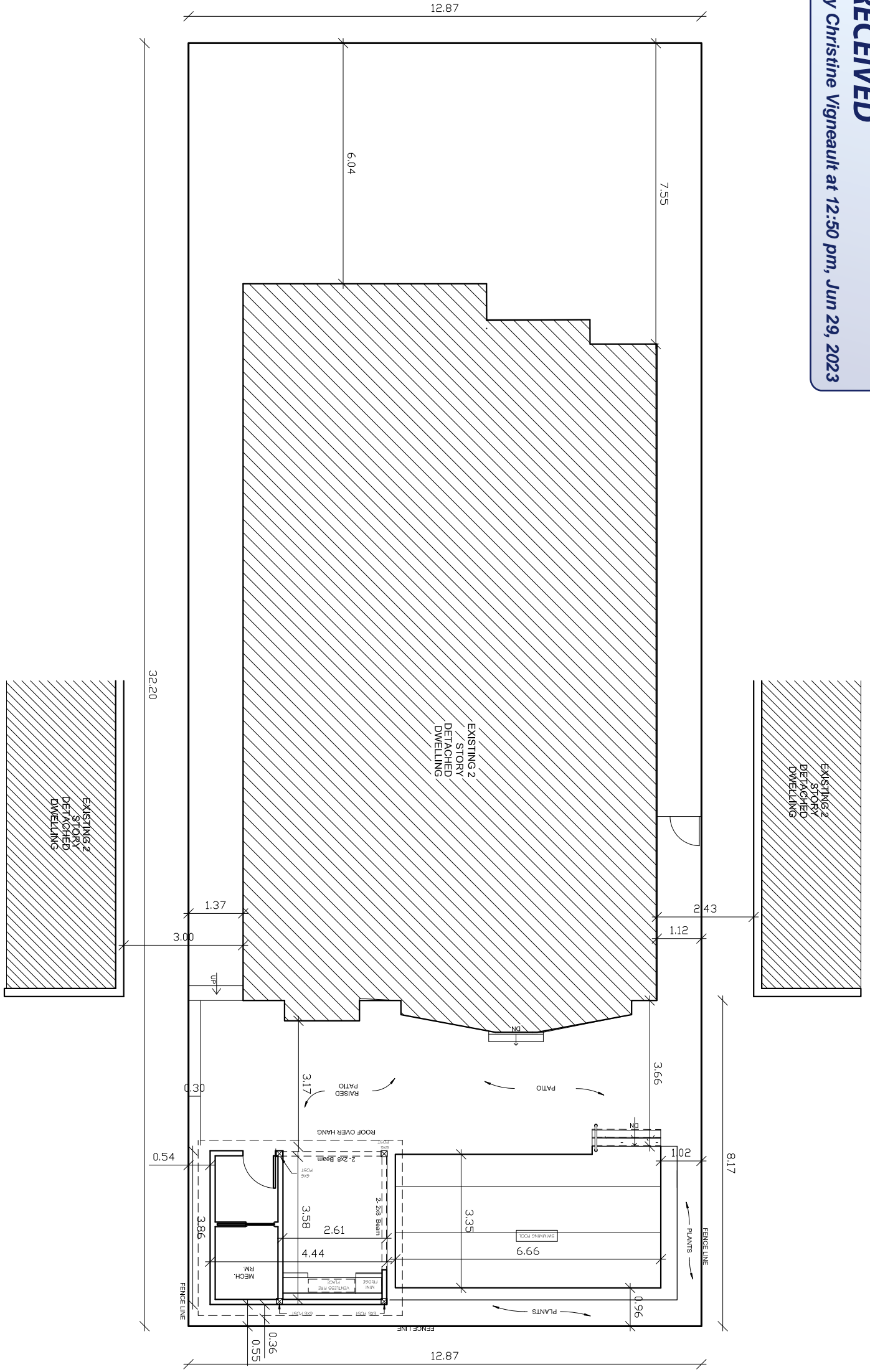
That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS



RECEIVED
 By Christine Vigneault at 12:50 pm, Jun 29, 2023



NOTE:
 The Contractor shall check all dimensions of the work and shall report discrepancies to the Architect before proceeding.

All drawings and specifications are the property of ARRAY INTERNATIONAL ARCHITECTS INC., which reserves the copyright with respect to this or any part thereof. No part of this drawing or specification shall be reproduced, stored in a retrieval system, or used for any other purpose than that for which it was issued.

Written dimensions shall govern where they differ from scaled measurements. The Architect accepts no responsibility for measurements scaled from the drawings.

The Architect is not responsible for the accuracy of survey, structural, mechanical, electrical, etc., information shown on this drawing. Refer to the appropriate consultants' drawings before proceeding with the work. Construction must conform to all applicable codes and requirements of authorities having jurisdiction. The contractor working from drawings not specifically marked 'For Construction' must assume full responsibility and liability for any omissions or damages resulting of said work.

NO.	DESCRIPTION	DATE
01	Issued for Preliminary Application (Rev. 0)	15/07/23
02	Issued for Minor Variance Application (Rev. 0)	20/07/23
03	Issued for N.Y. Data Site Plan (Detailed) (Rev. 0)	20/07/23
04	Issued for N.Y. Data Site Plan (Detailed) (Rev. 1)	29/07/23



ARRAY INTERNATIONAL ARCHITECTS INC.
 250 Ferrand Dr., Suite 400
 Scarborough, Ontario M1S 4L8
 E: info@arrayinc.com
 WWW.ARRAYINC.COM

Swimming Pool and Cabana
 148 Via Teodoro, Vaughan
 Nicolas Carhilli

Site Plan
A - 001

Project #: 2022.15
 Date: 29 June, 2023
 Drawn By: AB
 Checked By: NED
 Scale: 1/32

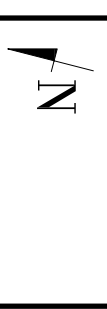
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NO.	DESCRIPTION	DATE
01	Issued for Minor Variance Application (Rev-1)	18/07/23
02	Issued for Minor Variance Application (Rev-2)	20/07/23
03	Issued for Minor Variance Application (Rev-3)	27/07/23
04	Issued for Minor Variance Application (Rev-4)	15/08/23

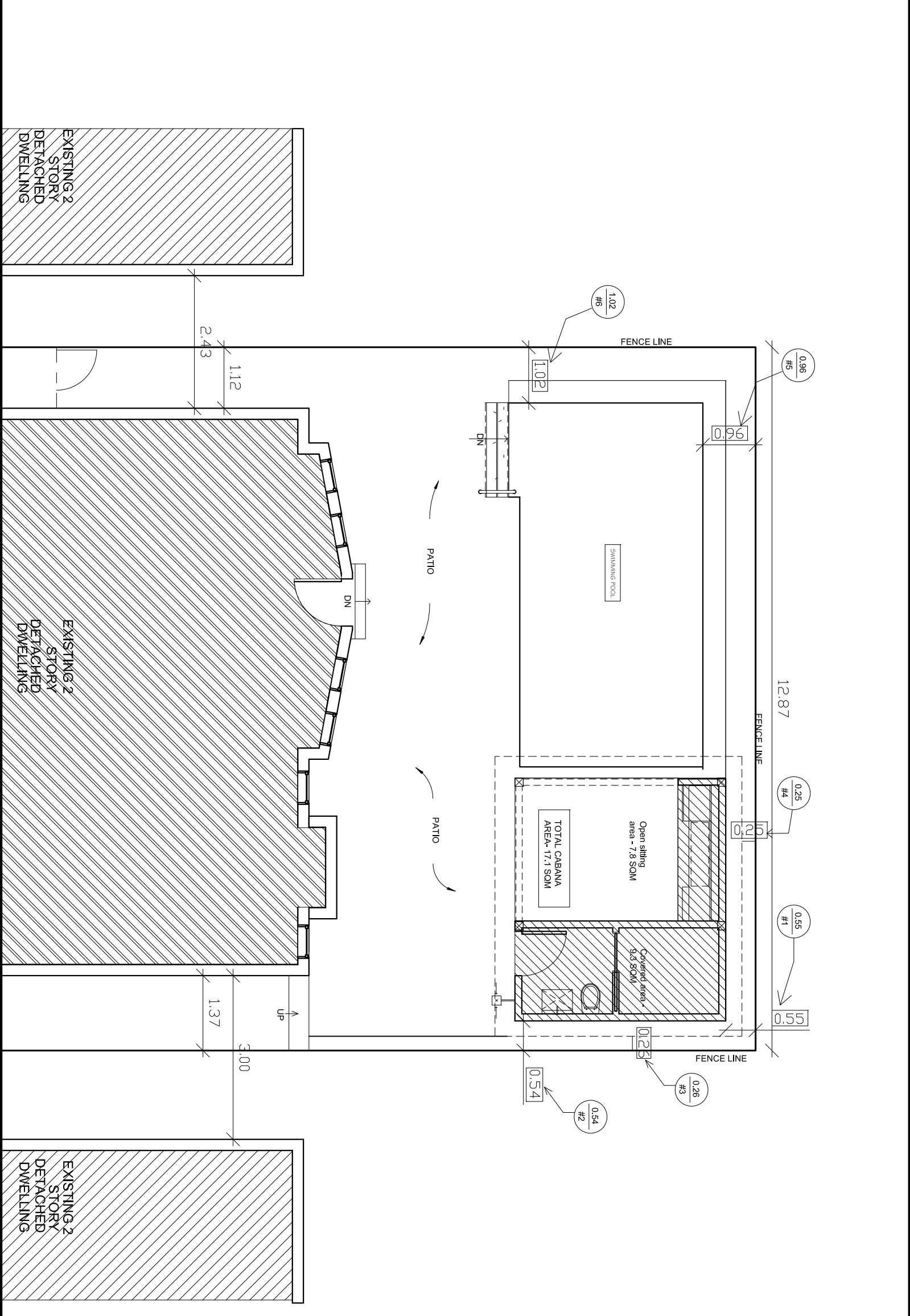


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Swimming Pool and Cabana
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Nicolas Carhilli

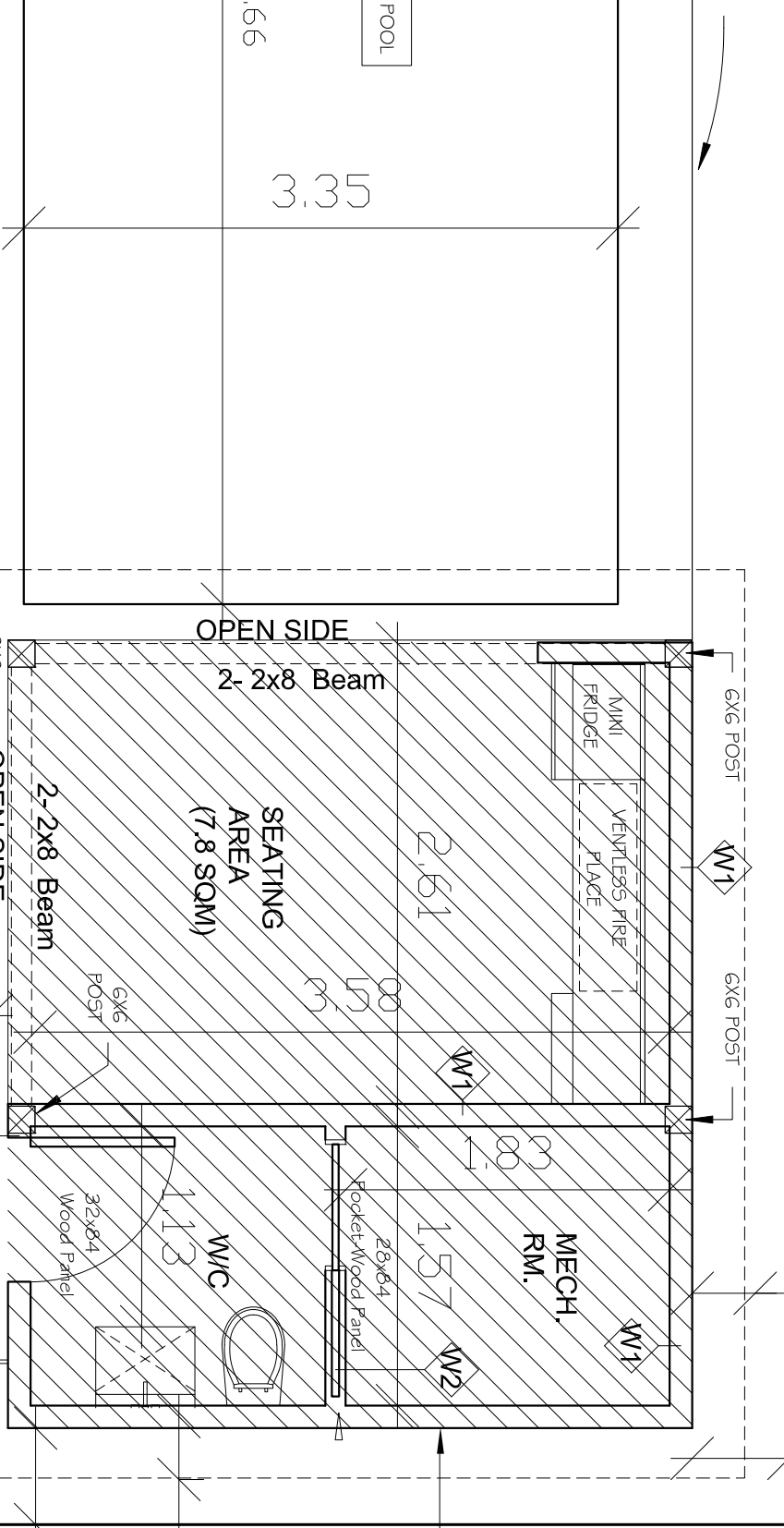
Site Plan Variance plan
A - 002

Project #: 2022.15
Date: 29 June, 2023
Drawn By: AB
Checked By: NED
Scale: 1:2

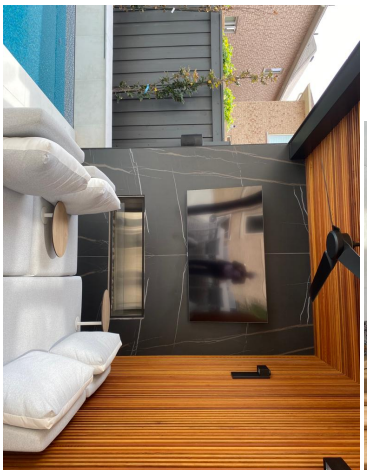
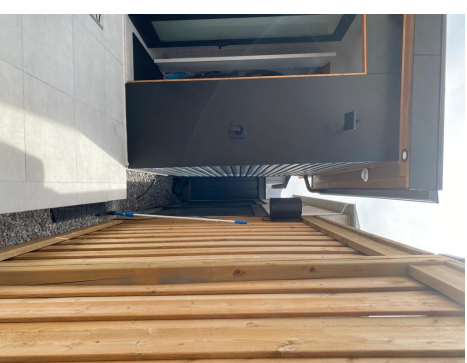


12,87

FENCE LINE



CABANA AREA-
17.1 SQM



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NO.	DESCRIPTION	DATE
01	Issued for Minor Variance Application (Rev. 3)	15/5/23
02	Issued for Minor Variance Application (Rev. 2)	27/2/23
03	Issued for Minor Variance Application (Rev. 1)	15/5/23

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ONTARIO ASSOCIATION OF ARCHITECTS
A MEMBER SINCE 2007

Swimming Pool and Cabana
148 Via Teodoro, Vaughan
Nicolas Carhilli

Cabana Plan
A - 003

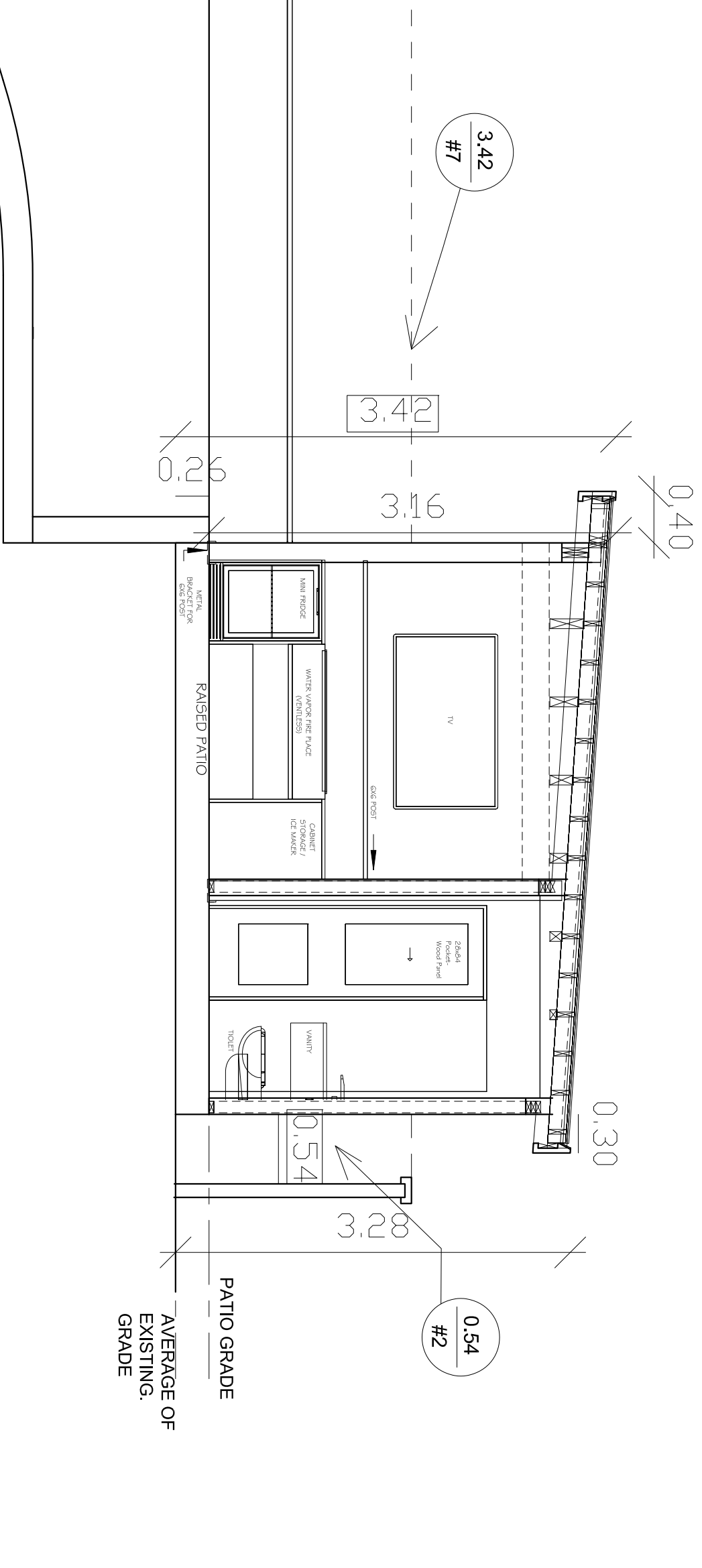
Project #: 2022.15
Date: 29 June, 2023
Drawn By: AB
Checked By: NED
Scale: 1:1

NOTE:
The Contractor shall check all dimensions of the work and shall report discrepancies to the Architect before proceeding.

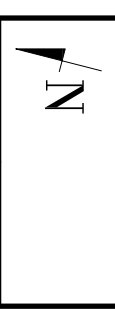
All drawings and specifications are the property of ARRAY INTERNATIONAL ARCHITECTS INC., which reserves the copyright with respect to this or any part thereof. No part of this drawing shall be duplicated for any other purpose than that for which it was issued.

Written dimensions shall govern where they differ from scaled measurements. The Architect accepts no responsibility for measurements scaled from the drawings.

The Architect is not responsible for the accuracy of survey, structural, mechanical, electrical, etc., information shown on this drawing. Refer to the appropriate consultant's drawings before proceeding with the work. Construction must conform to all applicable codes and requirements of authorities having jurisdiction. The contractor working from drawings not specifically marked "For Construction" must assume full responsibility and liability for any omissions or damages resulting of said work.



NO.	DESCRIPTION	DATE
01	Issued for Minor Variance Application (Rev.2)	15/07/23
02	Issued for Minor Variance Application (Rev.2)	20/07/23
03	Issued for Minor Variance Application (Rev.2)	27/07/23
04	Issued for Minor Variance Application	15/07/23



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Swimming Pool and Cabana
148 Via Teodoro, Vaughan
Nicolas Carhilli

Cabana Variance Section
A - 004

Project #: 2022.15
Date: 29 June, 2023
Drawn By: AB
Checked By: NED
Scale: 1/2"

SCHEDULE B: STAFF & AGENCY COMMENTS				
DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		Recommend Approval/no conditions
Building Standards (Zoning)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		General Comments

Date: June 16th 2023

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A081-23**

Related Files:

Applicant Array International Architects Inc.

Location 148 Via Teodoro

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream(Construction Standard 03-1, 03-4, 03-9), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Stephen Cranley, C.E.T

Mitchell Penner

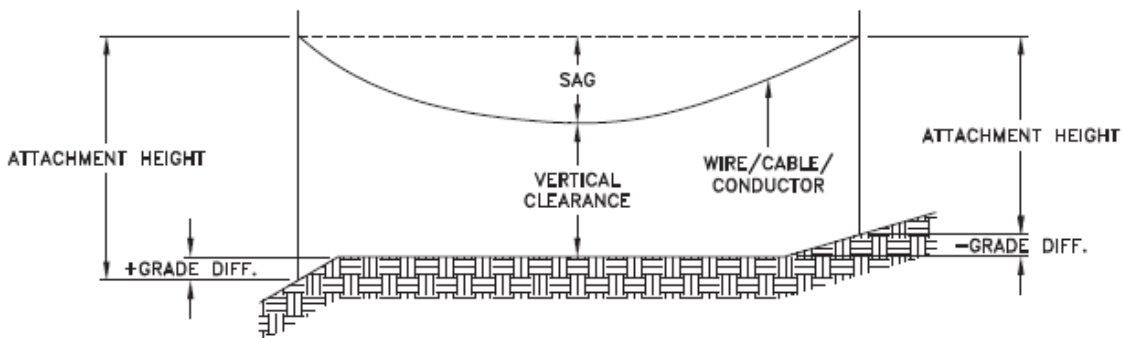
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

E-mail: stephen.cranley@alecrautilities.com

Email: Mitchell.Penner@alecrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
	MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)			
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

REFERENCES

SAGS AND TENSIONS | SECTION 02

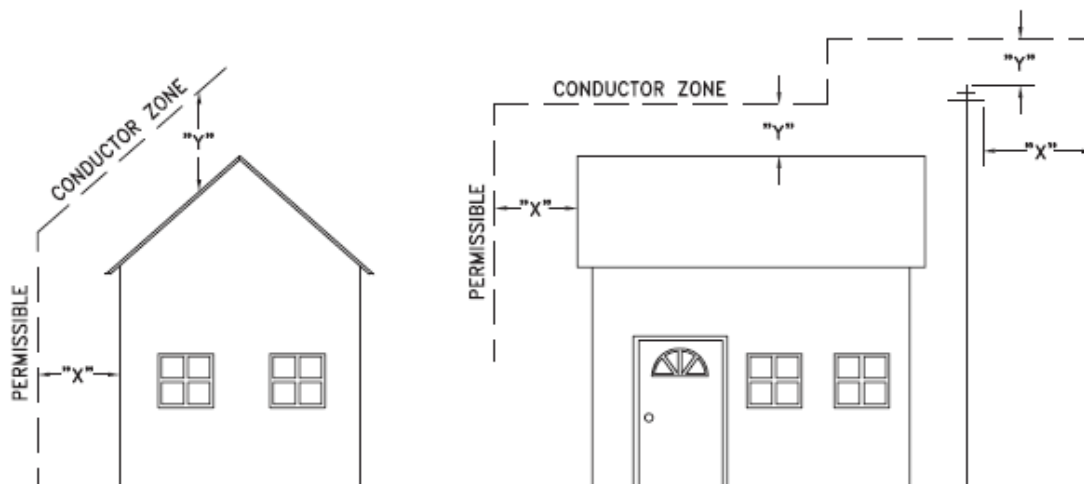
MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval

This construction Standard meets the safety requirements of Section 4 of Regulation 22/04

Joe Crozier, P.Eng. 2012-JAN-09
 Name Date
 P.Eng. Approval By: Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARNACE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

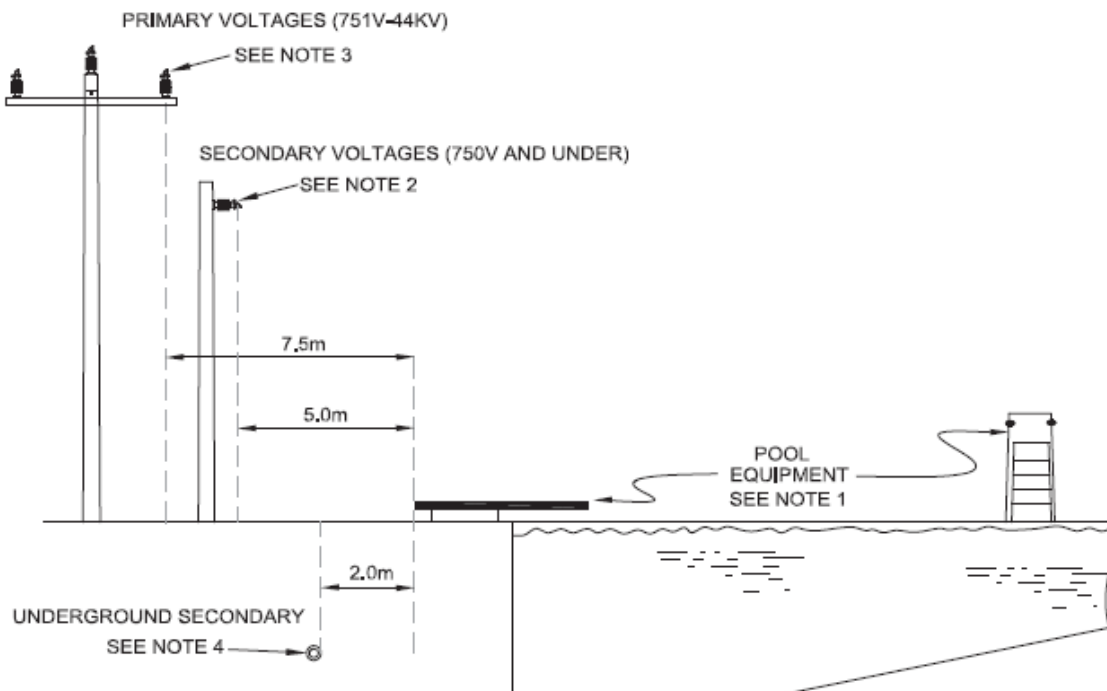
1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P.Eng. Approval By: D. Dadwani

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
P:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working folder\Section 23-4\DWG 03-4 R0 May 5, 2010.dwg, 5/5/2010 9:22:02 AM, Adobe PDF



NOTES:

1. ANY STRUCTURE WITHIN 5.0 METRES OF POOL EDGE SHALL BE CONSIDERED PART OF THE POOL.
2. THERE SHALL NOT BE ANY OVERHEAD SECONDARY OR COMMUNICATION WIRING (750V OR LESS) ABOVE THE POOL, AND ABOVE OTHER ELEVATED SURFACES ASSOCIATED WITH THE POOL, INCLUDING BUT NOT RESTRICTED TO A DIVING STRUCTURE, SLIDE, SWINGS, OBSERVATION STAND, TOWER OR PLATFORM, OR ABOVE THE ADJACENT AREA EXTENDING 5.0M HORIZONTALLY FROM THE POOL EDGE.
3. THERE SHALL NOT BE ANY OVERHEAD PRIMARY WIRING (751V - 44KV) ABOVE THE POOL AND OTHER ELEVATED SURFACES ASSOCIATED WITH THE POOL, OR ABOVE THE ADJACENT AREA EXTENDING 7.5M HORIZONTALLY FROM THE POOL EDGE.
4. ANY UNDERGROUND CONDUCTORS SHALL BE 2.0M AWAY FROM POOL EDGE IN DUCT WITH NON-CONDUCTING JACKET. FOR DEPTH AND DUCT DETAILS REFER TO FIGURE 3 IN 25-100 FOR 200A SERVICE AND 25-101 FOR 400A SERVICE RESPECTIVELY, AS PER POWERSTREAM SERVICE DESIGN SPECIFICATIONS.
5. THESE DIMENSIONS APPLY TO ALL SIDES OF THE POOL.

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX.)
7.5m	24'-6"
5.0m	16'-3"
2.0m	6'-6"

REFERENCES

FIGURE 3, 25-100	SECTION 25
FIGURE 3, 25-101	SECTION 25

Certificate of Approval

This construction Standard meets the safety requirements of Section 4 of Regulation 22/04

Joe Crozier, P.Eng.	2013-JUN-12
Name	Date
P.Eng. Approval By:	Joe Crozier

MINIMUM CLEARANCES FOR CONDUCTORS ADJACENT TO SWIMMING POOLS

ORIGINAL ISSUE DATE: 2013-JUNE-12 REVISION NO: R0 REVISION DATE:

To: Committee of Adjustment
From: Sarah Scauzillo, Building Standards Department
Date: June 30, 2023
Applicant: Array International Architects Inc.
Location: 148 Via Teodoro
PLAN 65M4136 Lot 74
File No.(s): A081/23

Zoning Classification:

The subject lands are zoned R3(EN) and subject to the provisions of exception 14.919 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	A minimum rear yard setback of 2.4 metres to the proposed Residential Accessory Structure (Cabana) is required.	To permit a minimum rear yard setback of 0.5 metres to the proposed Residential Accessory Structure (Cabana).
2	A minimum interior side yard setback of 2.4 metres to the proposed Residential Accessory Structure (Cabana) is required.	To permit a minimum interior side yard setback of 0.5 metres to the proposed Residential Accessory Structure (Cabana).
3	A minimum distance of 0.6 metres shall be required from any permitted encroachment to the nearest lot line [Section 4.13]	To permit a minimum distance of 0.2 from the residential accessory structure eaves to the interior side lot line.
4	A minimum distance of 0.6 metres shall be required from any permitted encroachment to the nearest lot line [Section 4.13]	To permit a minimum distance of 0.2 from the residential accessory structure eaves to the rear lot line.
5	A minimum rear yard setback of 1.5 metres to the proposed pool is required [Section 4.21].	To permit a minimum rear yard setback of 0.9 metres to the proposed pool.
6	A minimum interior side yard setback of 1.5 metres to the proposed pool is required [Section 4.21].	To permit a minimum interior side yard setback of 1.0 metres to the proposed pool.
7	The maximum height of a residential accessory structure (Cabana) shall be 3.0 metres [Section 4.1.5].	To permit the maximum height of 3.42 metres for a residential accessory structure (Cabana).

Staff Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development Planning
Date: July 10, 2023
Name of Owners: Nicolas Carchidi & Anna-Marie Colosimo
Location: 148 Via Teodoro
File No.(s): A081/23

Proposed Variance(s) (By-law 001-2021):

1. To permit a minimum rear yard setback of 0.5 m to the proposed Residential Accessory Structure (Cabana).
2. To permit a minimum interior side yard setback of 0.5 m to the proposed Residential Accessory Structure (Cabana).
3. To permit a minimum distance of 0.2 from the residential accessory structure eaves to the interior side lot line.
4. To permit a minimum distance of 0.2 from the residential accessory structure eaves to the rear lot line.
5. To permit a minimum rear yard setback of 0.9 m to the proposed pool.
6. To permit a minimum interior side yard setback of 1.0 m to the proposed pool.
7. To permit the maximum height of 3.42 m for a residential accessory structure (Cabana).

By-Law Requirement(s) (By-law 001-2021):

1. A minimum rear yard setback of 2.4 m to the proposed Residential Accessory Structure (Cabana) is required.
2. A minimum interior side yard setback of 2.4 m to the proposed Residential Accessory Structure (Cabana) is required.
3. A minimum distance of 0.6 m shall be required from any permitted encroachment to the nearest lot line.
4. A minimum distance of 0.6 m shall be required from any permitted encroachment to the nearest lot line.
5. A minimum rear yard setback of 1.5 m to the proposed pool is required.
6. A minimum interior side yard setback of 1.5 m to the proposed pool is required.
7. The maximum height of a residential accessory structure (Cabana) shall be 3.0 m.

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Comments:

The Owners are requesting relief to permit the existing cabana and pool, with the above-noted variances.

Upon recommendations from the Development Planning Department, the Owners have revised their application to reduce the height and the encroachment of the eaves and gutter of the cabana. The Development Planning Department has no objection to Variances 1, 2, 3, 4 and 7 for the revised cabana modifications. The cabana currently has eaves around all four walls and a gutter along the west wall near the interior side lot line. Development Planning Department staff had concerns with the height and the proximity of the constructed eaves and gutter to the lot lines as the proximity to the lot lines in combination with the height created adverse massing impacts to the neighbouring properties. Reducing the height, the encroachment of the eaves along the south and west walls, and removing the gutter along the west wall, will provide suitable mitigation to address the adverse impacts associated with the building's proximity to the lot lines. The Development Engineering Department has reviewed the proposed 0.5 m rear and interior side yard setbacks and is satisfied that drainage in the rear side yard will be maintained. As such, the revised cabana is not anticipated to pose adverse use, privacy, or massing impacts to the neighbouring properties.

The Development Planning Department has no objection to Variances 5 and 6 for the pool as the reduction to the rear and interior side yard setbacks are minor in nature, not anticipated to be perceptible, and maintains an appropriate area for safe access and maintenance.

Accordingly, the Development Planning Department can support the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None

Comments Prepared by:

Joshua Cipolletta, Planner

David Harding, Senior Planner

From: [Kristen Regier](#)
To: [Christine Vigneault](#); [Committee of Adjustment](#); [Lenore Providence](#)
Subject: [External] RE: A081/23 (148 Via Teodoro) - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Friday, June 16, 2023 11:54:07 AM
Attachments: [image001.png](#)

Hello,

The subject property is not located within TRCA's Regulated Area. TRCA's Planning and Regulatory policy interests are not impacted.

As such, TRCA has no comments on the application.

Best,

Kristen Regier, MA (she / her)

Planner I

Development Planning and Permits | Development and Engineering Services
Toronto and Region Conservation Authority (TRCA)

T: [437-880-2129](tel:437-880-2129)

E: kristen.regier@trca.ca

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](#) | trca.ca



From: [Development Services](#)
To: [Christine Vigneault](#)
Cc: [Committee of Adjustment](#)
Subject: [External] RE: A081/23 (148 Via Teodoro) - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Friday, June 16, 2023 5:40:35 PM
Attachments: [image001.png](#)
[image003.png](#)

Hi Christine,

The Regional Municipality of York has completed its review of the minor variance application – A081/23 and has no comment.

Many thanks,

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Development Services, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

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SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				