

ITEM: 6.6	COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A071/23 246 DUFFERIN HILL DRIVE, MAPLE
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**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES:**

*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

PUBLIC & APPLICANT CORRESPONDENCE

*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

File Number	Date of Decision	Decision Outcome

PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

	MM/DD/YYYY	
A099/06	04/06/2006	Approved

ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

None	
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**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A071/23
246 DUFFERIN HILL DRIVE, MAPLE**

ITEM NUMBER: 6.6	CITY WARD #: 4
APPLICANT:	Bibi & Surinder Singh
AGENT:	Shan Singh
PROPERTY:	246 Dufferin Hill Drive, Maple
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit side door access and stairs located in the easterly side yard and to permit an existing shed.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R3A(EN) – Third Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.707 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	A minimum interior side yard of 1.2 metres is required for an accessory structure [Section 4.1.2 a.]	To permit a minimum interior side yard of 0.6 metres for a residential accessory structure.
2	A maximum encroachment of 0.3 metres is required [Section 4.13, Table 4-1].	To permit a maximum encroachment of 0.6 metres into the minimum interior side yard for an access stair.

The subject lands are zoned RV3 (WS), Residential Urban Village Zone Three, and subject to the provisions of Exception 9(1063) under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
1	A maximum encroachment of 0.3 metres is required [Section 3.14 c].	To permit a maximum encroachment of 0.6 metres into the minimum interior side yard for a stair.

HEARING INFORMATION

DATE OF MEETING: Thursday, August 3, 2023
TIME: 6:00 p.m.
MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive
LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

HEARING INFORMATION

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT COMMENTS

Date Public Notice Mailed:	July 20, 2023
Date Applicant Confirmed Posting of Sign:	July 13, 2023
Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small>	I did apply but city has no record.
Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	None
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice. *A revised submission may be required to address staff / agency comments received as part of the application review process. *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>	No
Adjournment Fees: In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice. An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice.	
Committee of Adjustment Comments:	General Comments
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING) COMMENTS

****See Schedule B for Building Standards (Zoning) Comments**

Building Standards Recommended Conditions of Approval:	None
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DEVELOPMENT PLANNING COMMENTS

****See Schedule B for Development Planning Comments.**

Development Planning Recommended Conditions of Approval:	None
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DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

The Development Engineering Department does not object to the Minor Variance application A071/23.

DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#)
 [Link to Pool Permit](#)
 [Link to Curb Curt Permit](#)
 [Link Culvert Installation](#)

Development Engineering Recommended Conditions of Approval:	None
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PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

Forestry: Forestry has no comment

PFH Recommended Conditions of Approval:	None
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DEVELOPMENT FINANCE COMMENTS

No comment no concerns.

Development Finance Recommended Conditions of Approval:	None
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BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

No comments received to date.

BCLPS Recommended Conditions of Approval:	None
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BUILDING INSPECTION (SEPTIC) COMMENTS

No comments received to date.

Building Inspection Recommended Conditions of Approval:	None
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FIRE DEPARTMENT COMMENTS

No comments received to date.

Fire Department Recommended Conditions of Approval:	None
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SCHEDULES TO STAFF REPORT

*See Schedule for list of correspondence

Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Staff & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended: None

IMPORTANT INFORMATION – PLEASE READ

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

IMPORTANT INFORMATION – PLEASE READ

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

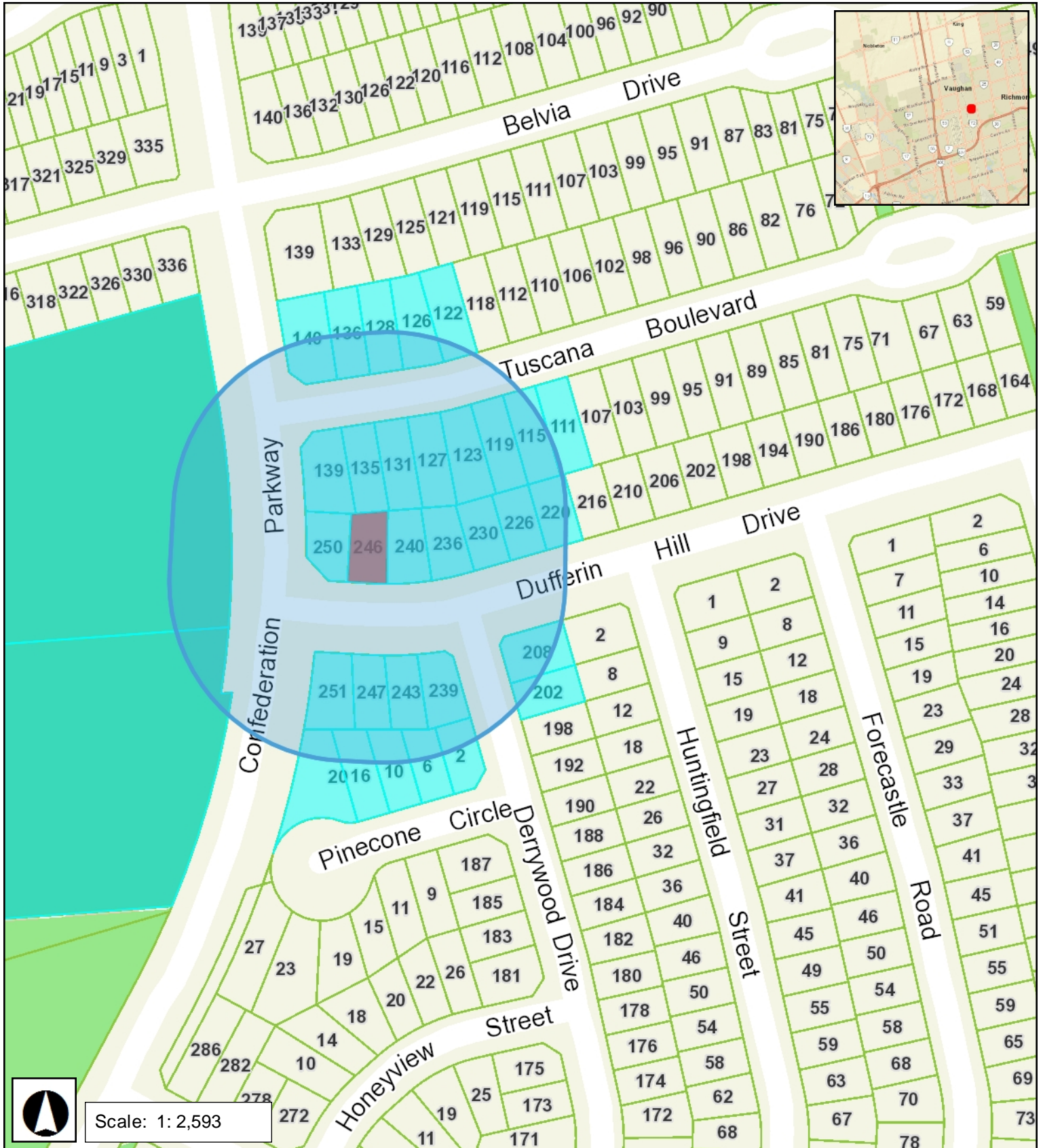
That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS



Scale: 1: 2,593

SCOPE OF WORK:

PROPOSED DOOR

DO NOT SCALE
 CONTRACTOR MUST VERIFY ALL INFORMATION PRIOR TO COMMENCEMENT OF THE WORK. ALL DRAWINGS & SPECIFICATIONS ARE PROPERTY OF ORANA INC. AND MUST BE RETURNED UPON COMPLETION OF THE WORK. DRAWINGS ARE NOT TO BE USED FOR OTHER PROJECTS WITHOUT THE WRITTEN CONSENT OF THE DESIGNER.

SEAL:

ADDRESS:

246 Dufferin Hill Dr, Concord, ON L4K 5K5, Canada

GENERAL NOTES:

- ALL DIMENSIONS ARE IN FEET & INCHES.
- CONFIRM TO THE REQUIREMENTS OF THE ONTARIO BUILDING CODE INCLUDING ALL STANDARDS REFERENCED THERE IN AND ANY APPLICABLE ACTS OF HAVING JURISDICTION. (THE LATEST VERSION OF STANDARDS & CODES SHALL APPLY)
- THE CONTRACTOR SHOULD VISIT THE SITE AND BECOME FAMILIARIZED WITH ALL CHARACTERISTICS AFFECTING NEW & EXISTING CONSTRUCTION. CONTRACTOR SHALL CHECK ALL DIMENSIONS ON WORKING DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK. ANY CHANGES, ALTERATIONS OR REVISIONS MUST BE REPORTED TO THE ENGINEER BEFORE PROCEEDING WITH WORK.
- ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH THE OCCUPATIONAL HEALTH & SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS - O. REG. 213/91.
- THE DESIGN LOADS FOR THE BUILDING & ITS COMPONENTS IS DETERMINED IN ACCORDANCE WITH THE 2012 OBC DIV B PART 4 AND 2010 NBC.
- ALL TEMPORARY STRUCTURES OR WORKS INCLUDING SHORING, FORM WORK, SCAFFOLDING, AND FALSE WORK SHALL BE PROVIDED BY THE CONTRACTOR.
- FIALE CONSULTING INC. WILL TAKE NO RESPONSIBILITY FOR ANY CHANGES TO OR DEVIATIONS FROM THIS DRAWING UNLESS APPROVED BY OUR OFFICE IN WRITING.
- THE INFORMATION ON THIS DRAWING SHALL NOT BE USED FOR ANY OTHER PROJECT OR WORKS. THE INFORMATION ON THESE DRAWINGS APPLIES SOLELY TO THIS PROJECT.

WOOD/TIMBER (FRAMING) NOTES:

- ALL WOOD CONSTRUCTION TO BE IN ACCORDANCE WITH CSA STANDARD CANS-086-(LATEST).
- ALL LUMBER TO BE GRADE STAMPED AND DRY. WOOD GRADE AS NOTED IN DRAWING.
- LUMBER FOR JOIST SHALL BE GRADE S-P-F NO.1/NO.2.
- LUMBER FOR COLUMNS/STUDS SHALL BE GRADE S-P-F STUD GRADE.
- PROVIDE ADEQUATE TEMPORARY BRACING FOR ALL STUD WALLS DURING CONSTRUCTION.
- DOUBLE UP STUDS AT ALL DOOR/WINDOW OPENINGS ETC.
- ALL FASTENERS TO BE A MINIMUM OF 3.66mm ϕ 3" COMMON NAILS WITH MINIMUM EDGE DISTANCE AND SPACING OF 20mm C/C.
- JOISTS TO HAVE A MINIMUM END BEARING OF 38mm.
- HEADER JOISTS UP TO 3M SHALL BE DOUBLED.
- ALL LVL BEAMS SHOULD BE HANDLED AND INSTALLED AS PER MANUFACTURER'S INSTRUCTIONS.

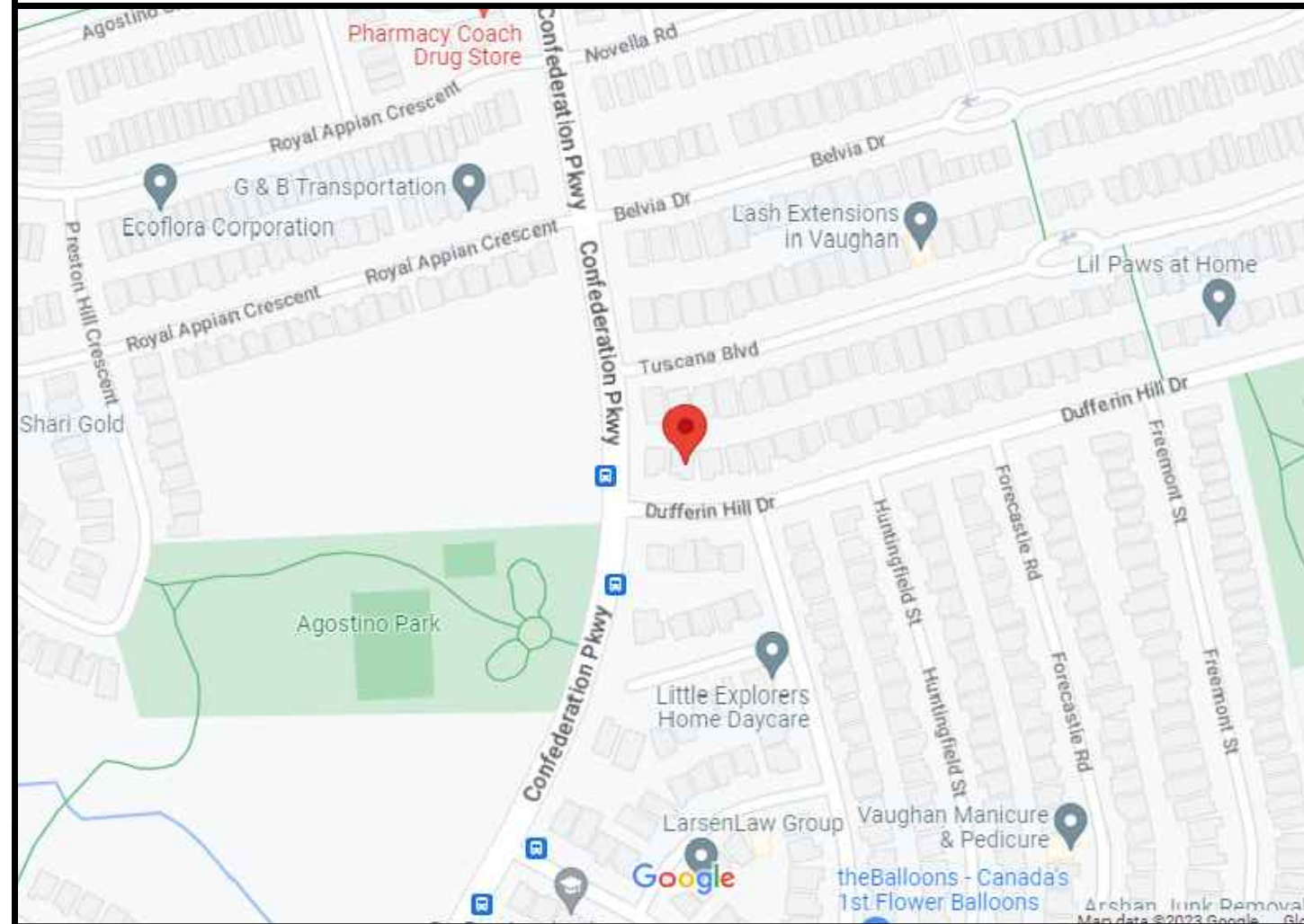
CONCRETE NOTES:

- CONCRETE WORK SHALL CONFORM TO CSA A23.1-09 FOR MATERIALS AND WORKMANSHIP.
- THE MINIMUM 28 DAY COMPRESSIVE STRENGTH OF CONCRETE SHALL BE 20 MPa.
- CONCRETE SHALL HAVE AN EXPOSURE CLASS AS OUTLINED IN TABLE 2, 4, 20 OF CAN/CSA-A23.1-09.
- ALL CONCRETE SHALL BE KEPT MOIST DURING THE FIRST THREE DAYS OF CURING.
- THE ABOVE REQUIREMENTS DO NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY OF MEETING MORE RIGID REQUIREMENTS SPECIFIED ELSEWHERE IN THE CONSTRUCTION DOCUMENTS OR AS REQUIRED BY EQUIPMENT SHOP DRAWINGS OR SPECIFICATIONS SUCH AS THOSE FOR ELEVATORS ETC.
- CONCRETE IS SPECIFIED AS PER THE "PERFORMANCE" ALTERNATE AS OUTLINED IN TABLE 5 OF CAN/CSA-A23.1-09.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR WORKING WITH THE CONCRETE SUPPLIER TO ENSURE THAT THE PLASTIC AND HARDENED MIX PROPERTIES MEET SITE REQUIREMENTS FOR PLACING, FINISHING, AND THE OWNERS' SPECIFIED PERFORMANCE REQUIREMENTS. THE GENERAL CONTRACTOR SHALL MEET THE DOCUMENTATION AND QUALITY CONTROL REQUIREMENTS OUTLINED UNDER THE "PERFORMANCE" ALTERNATE OF TABLE 5 OF CAN/CSA-A23.1-09.
- THE CONCRETE SUPPLIER SHALL BE CERTIFIED BY THE READY MIXED CONCRETE ASSOCIATION OF ONTARIO.
- CONCRETE SHALL HAVE A UNIT WEIGHT OF 145 \pm 5 PSF (23.5 kN/m³) UNLESS NOTED OTHERWISE.
- NO CALCIUM CHLORIDE IS PERMITTED, IN ANY FORM, IN ANY CONCRETE MIX WITHOUT THE EXPRESS WRITTEN CONSENT.
- CURING AND PROTECTION OF CONCRETE FOR HOT, COLD OR DRY WEATHER IS TO BE AS PER CLAUSES 7.4.1.8 AND 7.4.2 OF CAN/CSA-A23.1-09 AS A MINIMUM. SEE ALSO "COLD WEATHER REQUIREMENTS" IN THE STRUCTURAL DRAWINGS.

STEEL NOTES:

- THE DESIGN, FABRICATION & ERECTION OF ALL STEEL COMPONENTS SHALL CONFORM TO CSA-S16(LATEST) LIMIT STATES DESIGN OF STEEL STRUCTURES.
- STRUCTURAL STEEL TO CONFORM TO MIN. CAN/CSA-G40.21, GRADE 350W (CLASS H) FOR HOLLOW STRUCTURAL SECTIONS, GRADE 350W FOR W SECTIONS AND GRADE 300W FOR PLATES, ANGLES AND ALL OTHER SHAPES UNLESS OTHERWISE NOTED.
- WELDING SHALL CONFORM TO THE REQUIREMENTS OF CSA-W-59-(LATEST) WELDED STEEL CONSTRUCTION AND SHALL BE CARRIED OUT BY THE WELDERS QUALIFIED IN ACCORDANCE WITH CSA-W47.1-(LATEST) CERTIFICATION OF COMPANIES FOR FUSION WELDING OF STEEL STRUCTURES.
- ALL CONNECTIONS TO BE DESIGNED BY FABRICATORS UNLESS OTHERWISE NOTED.
- CONNECTION AND SPLICES NOT SHOWN ON THE STRUCTURAL DRAWINGS BUT REQUESTED BY THE FABRICATORS MUST BE ACCEPTABLE TO ENGINEERING AND THE CONTRACTOR'S ACCOUNT.
- STRUCTURAL STEEL SECTION SHALL BE NEW.
- FABRICATION, ERECTION, STRUCTURAL DRAWINGS AND DETAILING OF ALL SHALL BE IN ACCORDANCE WITH CAN/CSA-S16.
- FILLET WELD SHALL BE 6mm MINIMUM UNLESS OTHERWISE NOTED.
- IF FIELD WELDING DETAIL IS CHOSEN, CONTRACTOR SHOULD EXERCISE EXTREME CAUTION WHEN WELDING NEAR COMBUSTIBLE WOOD FRAMING.
- NEW STEEL BEAM TO BE CENTERED ON THE WALL.
- BEAM RESTING ON WALL TO HAVE A MIN BEARING OF 6"(150MM).

KEY PLAN/ SITE PLAN:



INDEX:

- A0 - COVER SHEET
- A1 - SITE PLAN
- A2 - SIDE ELEVATION

LAMINATED VENEER LUMBER

- ALL LVL MATERIAL TO BE SPECIES GRADE 2.0E UNLESS NOTED OTHERWISE.
- ALL NAILS/BOLTS TO BE 2" (50MM) FROM EDGES & 2 1/2" (64MM) FROM ENDS. INTERMEDIATE ROWS OF NAILS/BOLTS TO BE SPACED EQUALLY BETWEEN OUTER ROWS.
- BOLTED CONNECTIONS REQUIRE 2" (50MM) OUTSIDE DIAMETER FLAT WASHER UNDER BOLT HEAD & NUT.
- REFER THE MANUFACTURER'S CATALOGUES FOR NAILING/ BOLTING PATTERNS FOR CONNECTION OF MULTIPLE PLY BEAMS.
- ALL LVL LINTELS SHALL BE SUPPORTED WITH 2 JACK STUDS PER END UNLESS NOTED OTHERWISE.

DEMOLITION & SHORING NOTES:

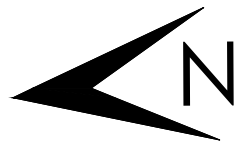
- DEMOLITION WORK AS SHOWN ON THESE DRAWINGS IS FOR GUIDANCE ONLY. G.C. SHALL CHECK ARCHITECTURAL DRAWINGS FOR DETAILS. PERFORM ALL DEMOLITION ONLY AS REQUIRED TO FULFILL INTENT OF ALL CONTRACT DOCUMENTS AND DRAWINGS.
- PROTECT ALL WORK AND PERSONNEL WHILE DEMOLITION IS OCCURRING & COMPLY w/H&S ACT. IF AT ANY TIME DURING THE COURSE OF DEMOLITION WORK, THE SAFETY OF THE EXISTING AREAS APPEARS TO BE ENDANGERED, CEASE OPERATIONS AND NOTIFY STRUCTURAL ENGINEERING IMMEDIATELY. DO NOT PROCEED WITH DEMOLITION WORK UNTIL PERMISSION HAS BEEN GRANTED TO DO SO.
- VERIFY SITE CONDITIONS FOR DEMOLITION AND INFORM STRUCTURAL ENGINEER OF ANY DISCREPANCIES. MAKE ALL NECESSARY ARRANGEMENT WITH OWNER, LANDLORD OR HIS REPRESENTATIVE FOR AS SITE VISITS.
- PROVIDE TEMPORARY SHORING AS REQUIRED PRIOR TO PROCEED WITH ANY DEMOLITION WORK OR REMOVAL OF ANY STRUCTURAL MEMBERS.
- G.C./OWNER SHALL SUBMIT SHORING SHOP DRAWINGS SEALED BY P.ENG IN ONTARIO FOR APPROVAL PRIOR TO COMMENCING OF ANY WORK.

A	SUBMITTED FOR PERMIT	YS	2023.03.02
REV:	DESCRIPTION:	BY:	DATE:
STATUS: SUBMITTED FOR PERMIT			

CLIENT:	Chris Clarke
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SITE:	246 Dufferin Hill Dr, Concord, ON, Canada
TITLE:	COVER SHEET

SCALE AT 1" = 17'-0"	DATE:	DRAWN:	CHECKED:
N.T.S	2023.03.02	YS	DS
PROJECT NO:	DRAWING NO:	REVISION:	
23-01	A0	A	

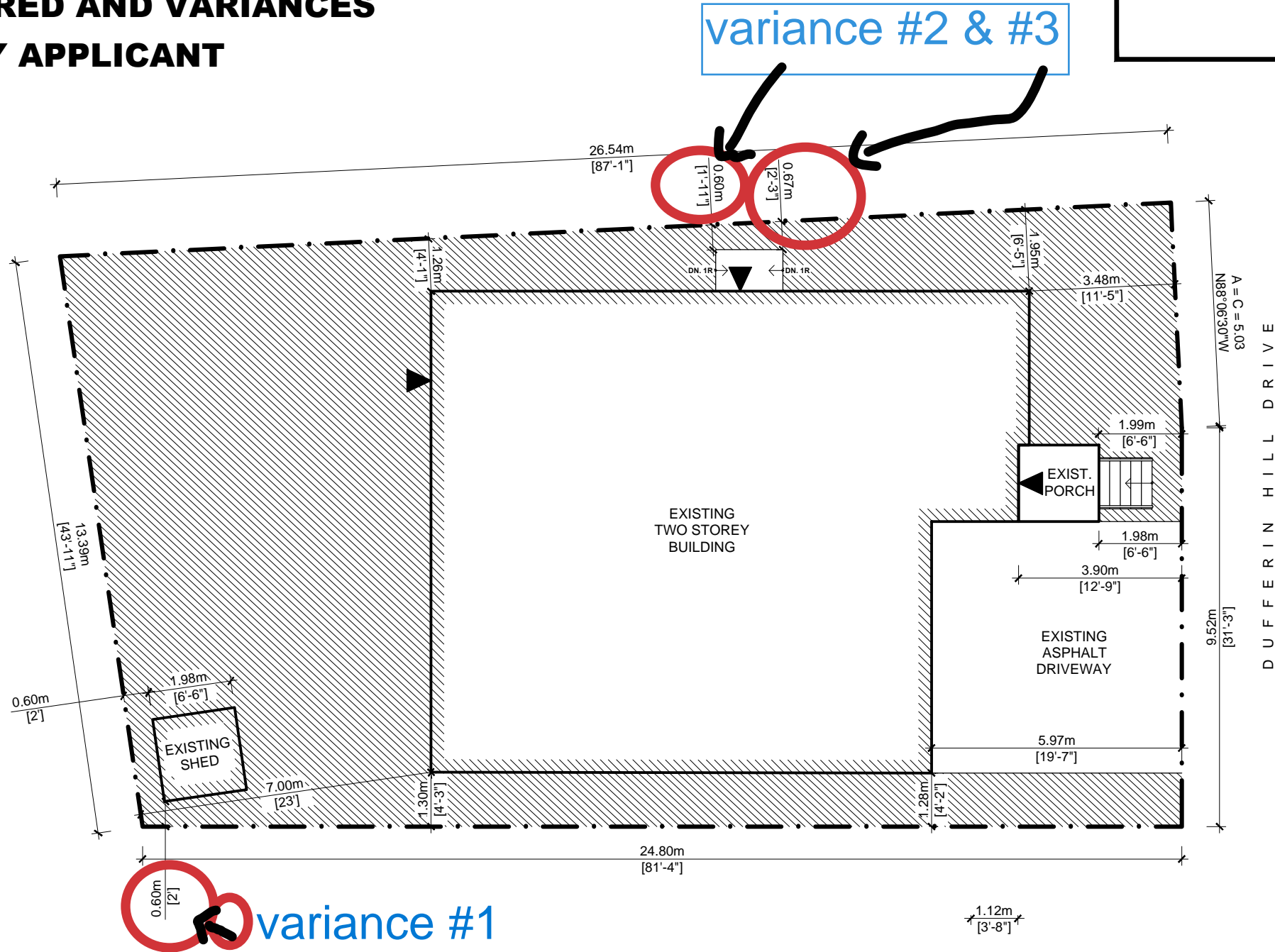


PLANS PREPARED AND VARIANCES IDENTIFIED BY APPLICANT

NOTES:
 1. HARD SURFACE LANDSCAPE MATERIALS SHOULD NOT EXCEED 0.3m IN HEIGHT ABOVE GRADE AT ANY POINT

DO NOT SCALE
 CONTRACTOR MUST VERIFY ALL INFORMATION PRIOR TO COMMENCEMENT OF THE WORK. ALL DRAWINGS & SPECIFICATIONS ARE PROPERTY OF ORANA INC. AND MUST BE RETURNED UPON COMPLETION OF THE WORK. DRAWINGS ARE NOT TO BE USED FOR OTHER PROJECTS WITHOUT THE WRITTEN CONSENT OF THE DESIGNER.

A071/23



LEGEND :

- EXISTING BUILDING
- PROPERTY LINE
- ENTRANCE OR EGRESS
- SOD

A	SUBMITTED FOR PERMIT	YS	2023.03.02
REV.	DESCRIPTION	BY:	DATE
STATUS: SUBMITTED FOR PERMIT			

ORANA
 DRAFTING
 A DIVISION OF ORANA INC.

CLIENT: Chris Clarke

SITE: 246 Dufferin Hill Dr, Concord, ON, Canada

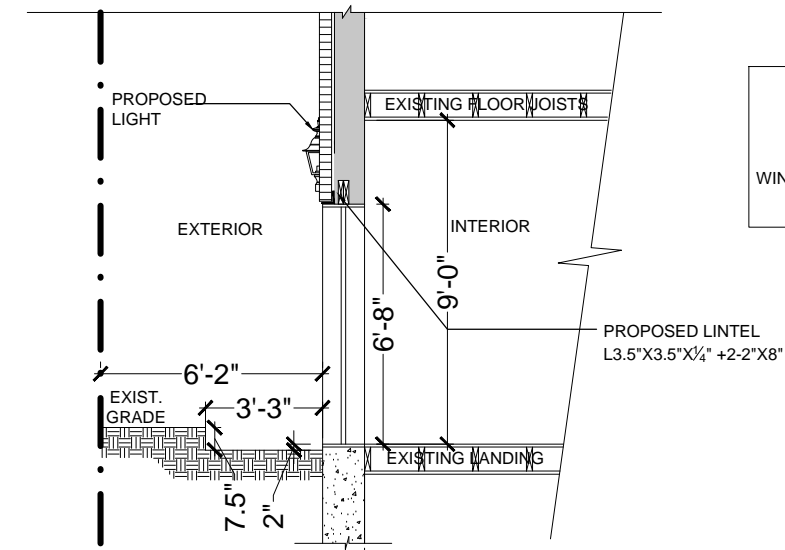
TITLE: SITE PLAN

SCALE AT 1/4" = 1'-0"	DATE: 2023.03.02	DRAWN: YS	CHECKED: DS
PROJECT NO: 23-01	DRAWING NO: A1	REVISION:	A

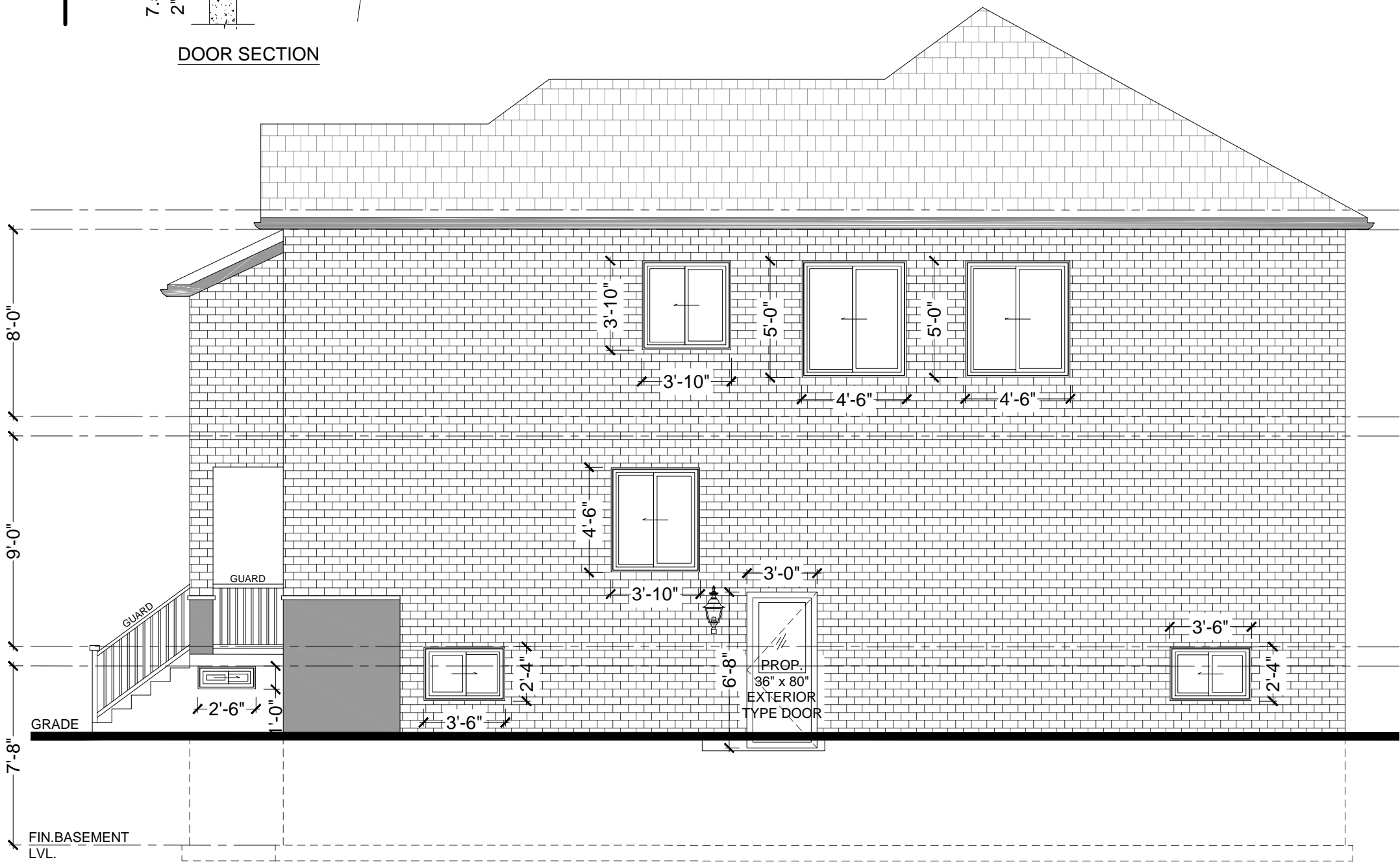
DO NOT SCALE
 CONTRACTOR MUST VERIFY ALL INFORMATION
 PRIOR TO COMMENCEMENT OF THE WORK. ALL
 DRAWINGS & SPECIFICATIONS ARE PROPERTY OF
 ORANA INC. AND MUST BE RETURNED UPON
 COMPLETION OF THE WORK. DRAWINGS ARE NOT
 TO BE USED FOR OTHER PROJECTS WITHOUT THE
 WRITTEN CONSENT OF THE DESIGNER.

SEAL:

GLAZED OPENINGS:
 WALL AREA: = 984.48 SFT / 91.49 M²
 LIMITING DISTANCE: 1.9 M
 WINDOW AREA PROVIDED: 73.77 SFT / 6.85 M² (7.49%)
 WINDOW AREA ALLOWED: 8%



DOOR SECTION



1 RIGHT ELEVATION
 A2 3/16"=1'-0"

A	SUBMITTED FOR PERMIT	YS	2023.03.02
REV:	DESCRIPTION:	BY:	DATE:
STATUS: SUBMITTED FOR PERMIT			

CLIENT: Chris Clarke

SITE: 246 Dufferin Hill Dr, Concord, ON, Canada

TITLE: SIDE ELEVATION

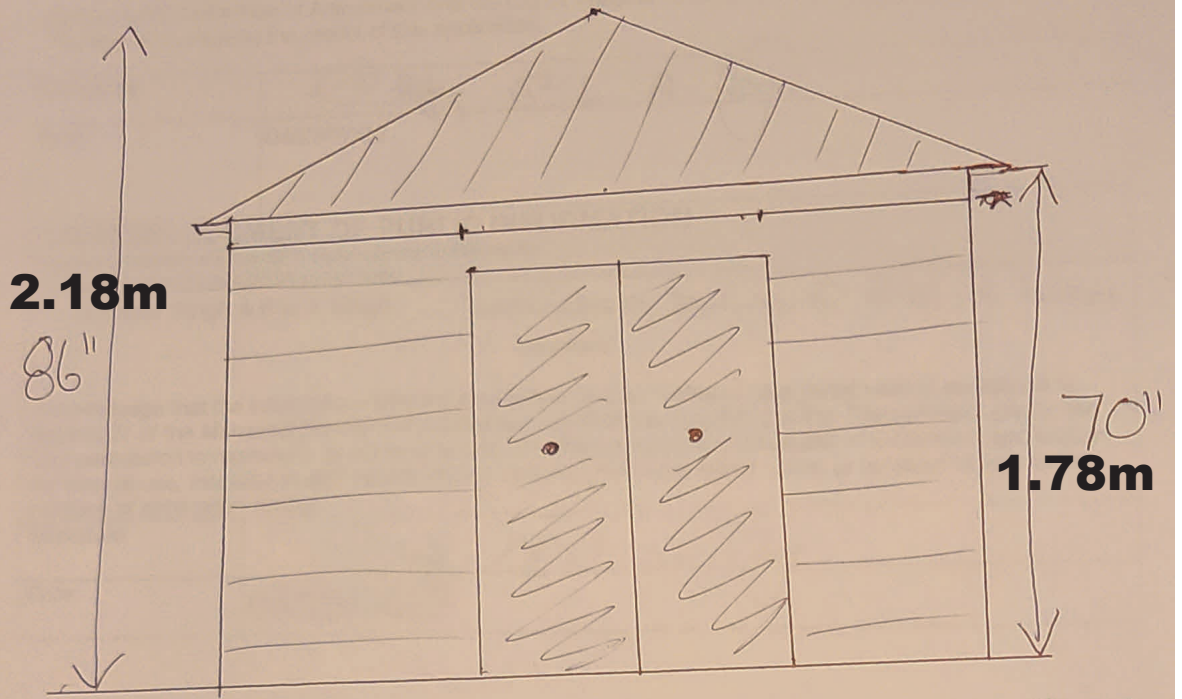
SCALE AT 1/4" = 1'-0"	DATE: 2023.03.02	DRAWN: YS	CHECKED: DS
PROJECT NO: 23-01	DRAWING NO: A2	REVISION: A	

Received

June 13, 2023

A071/23

Backyard Shed Dimensions



Height
IN
INCHES

Received

June 13, 2023

A071/23



Received

June 13, 2023

A071/23



Received

June 13, 2023

A071/23



Received

June 13, 2023

A071/23



SCHEDULE B: STAFF & AGENCY COMMENTS				
DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Building Standards (Zoning)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments

Date: July 11th 2023

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A071-23**

Related Files:

Applicant Surinder Singh

Location 246 Dufferin Hill Drive



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

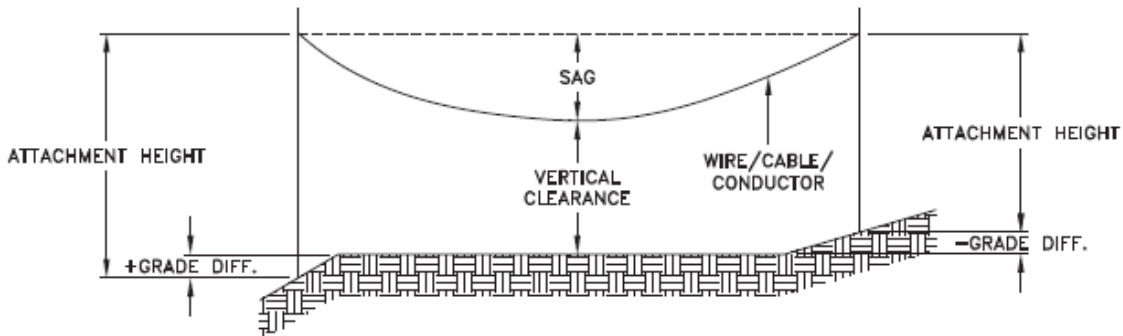
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

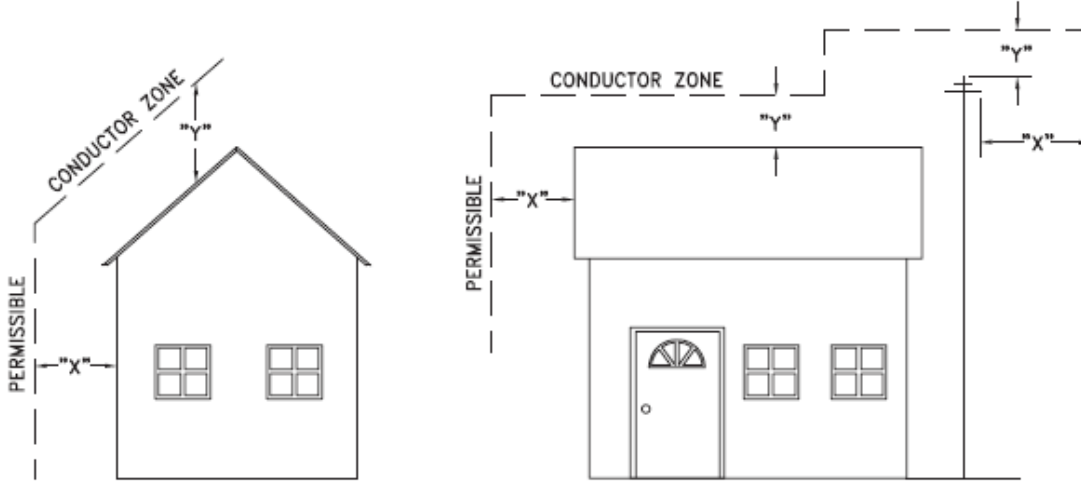
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARNACE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

To: Committee of Adjustment
From: Lindsay Haviland, Building Standards Department
Date: July 10, 2023
Applicant: surinder singh
Location: 246 Dufferin Hill Drive
 PLAN 65M3355 Lot 42
File No.(s): A071/23

Zoning Classification:

The subject lands are zoned R3A(EN) – Third Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.707 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	A minimum interior side yard of 1.2 metres is required for an accessory structure [Section 4.1.2 a.]	To permit a minimum interior side yard of 0.6 metres for a residential accessory structure.
2	A maximum encroachment of 0.3 metres is required [Section 4.13, Table 4-1].	To permit a maximum encroachment of 0.6 metres into the minimum interior side yard for an access stair.

The subject lands are zoned RV3 (WS), Residential Urban Village Zone Three, and subject to the provisions of Exception 9(1063) under Zoning By-law 1-88, as amended.

#	Zoning By-law 1-88	Variance requested
1	A maximum encroachment of 0.3 metres is required [Section 3.14 c].	To permit a maximum encroachment of 0.6 metres into the minimum interior side yard for a stair.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

Order No. 20-113581, Order to Comply for Construction without a permit - Side Door, Issue Date: Nov 19, 2020

Building Permit(s) Issued:

Building Permit No. 06-001646 for Single Detached Dwelling - Alteration, Issue Date: (Not Yet Issued)

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
2	This application has been reviewed as a Single Family Dwelling.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development Planning
Date: July 17, 2023
Name of Owner: Surinder Singh
Location: 246 Dufferin Hill Drive
File No.(s): A071/23

Proposed Variance(s) (By-law 001-2021):

1. To permit a minimum interior side yard of 0.6 metres for a residential accessory structure.
2. To permit a maximum encroachment of 0.6 metres into the minimum interior side yard for an access stair.

By-Law Requirement(s) (By-law 001-2021):

1. A minimum interior side yard of 1.2 metres is required for an accessory structure.
2. A maximum encroachment of 0.3 metres is required.

Proposed Variance(s) (By-law 1-88):

3. To permit a maximum encroachment of 0.6 metres into the minimum interior side yard for a stair.

By-Law Requirement(s) (By-law 1-88):

3. A maximum encroachment of 0.3 metres is required.

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Comments:

The Owner is requesting permission to permit a side door entrance and below-grade stairs located in the easterly side yard and to permit an existing shed with the above noted variances.

The Development Planning Department has no objection to Variance 1 for the existing shed as the proposed interior side yard setback of 0.6 m maintains an appropriate area for access and drainage and will not impact the abutting properties.

The Development Planning Department has no objection to Variance 2 and 3, for the encroachment of 0.6 m for the access stairs, as the bottom of the door and access stairs (1 step) is slightly below grade. The doorway is also an inward opening door that will not impede access through the side yard between the front and rear yard or encroach onto the neighbouring property when opened.

Accordingly, the Development Planning Department can support the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None

Comments Prepared by:

Michelle Perrone, Planner 1
David Harding, Senior Planner

From: [Kristen Regier](#)
To: [Committee of Adjustment](#)
Cc: [Christine Vigneault](#); [Lenore Providence](#)
Subject: [External] RE: A071/23 (246 Dufferin Hill Drive) - Request for Comments (VAUGHAN)
Date: Friday, July 14, 2023 9:02:44 AM
Attachments: [image001.png](#)

Hello,

The subject property at 246 Dufferin Hill Drive, Vaughan is not located within TRCA's Regulated Area. TRCA's Planning and Regulatory policy interests are not impacted.

As such, TRCA has no comments on the application.

Best,

Kristen Regier, MA (she / her)

Planner I

Development Planning and Permits | Development and Engineering Services
Toronto and Region Conservation Authority (TRCA)

T: [437-880-2129](tel:437-880-2129)

E: kristen.regier@trca.ca

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca) | [trca.ca](https://www.trca.ca)



From: [Development Services](#)
To: [Christine Vigneault](#)
Cc: [Committee of Adjustment](#)
Subject: [External] RE: A071/23 (246 Dufferin Hill Drive) - Request for Comments (VAUGHAN)
Date: Tuesday, July 11, 2023 4:17:20 PM
Attachments: [image001.png](#)
[image003.png](#)

Hi Christine,

The Regional Municipality of York has completed its review of the minor variance application – A071/23 and has no comment.

Please provide us with a copy of the notice of decision for our records.

Many thanks,

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Development Services, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

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Our Mission: **Working together to serve our thriving communities – today and tomorrow**

Please consider the environment before printing this email.

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

SCHEDULE D: PREVIOUS COA DECISIONS ON THE SUBJECT LAND**PREVIOUS COA DECISIONS ON THE SUBJECT LAND**

*Please see **Schedule D** for a copy of the Decisions listed below

File Number	Date of Decision MM/DD/YYYY	Decision Outcome
A099/06	04/06/2006	Approved

NOTICE OF DECISION

FILE NO: A099/06

IN THE MATTER OF Subsection 45 of the Planning Act.

IN THE MATTER OF an application by **METROLAND PRINTING, PUBLISHING AND DISTRIBUTING LTD.**, with respects to Part of Lots 2 and 3, Concession 5 (Municipally known as 1 Centruy Place, Woodbridge).

The subject lands are zoned PBM7, Parkway Belt Industrial and PB1(S), Parkway Belt Linear Facilities and subject to the provisions of Exception 9(691) under By-law 1-88 as amended.

The applicant is requesting a variance to facilitate the severance of the total lands (**Consent Applications B019/06 & B020/06 RETAINED LANDS** - creation of new lots for industrial purposes) and to permit the proposed future expansion of the existing industrial building located on the retained land, notwithstanding, the proposed changes to the existing By-Law & current By-Law requirements are as follows:

Proposal:	By-Law Requirements:
1. To permit a maximum lot coverage of 35%.	1. A maximum lot coverage of 25% is permitted.

A sketch is attached illustrating the request.

Other Planning Act Applications

The land which is the subject in this application was the subject of an application under the Planning Act for:

Consent Applications B019/06 & B020/06

To be heard in conjunction with this Minor Variance application

Moved by: _____

Seconded by: _____

THAT the Committee is of the opinion that the variance sought can be considered minor and is desirable for the appropriate development and use of the land. The general intent and purpose of the By-law and the Official Plan will be maintained.

THAT Application No. **A099/06, METROLAND PRINTING, PUBLISHING AND DISTRIBUTING LTD.**, be **APPROVED** in accordance with the sketch attached and subject to the following conditions:

1. That the corresponding Consent Application File Nos. **B019/06 & B020/06**, be approved;
2. That if the conditions listed above is not fulfilled and the Building Permit, if required, is not applied for within twelve (12) months of the date this decision becomes final and binding, the said decision shall expire and shall be deemed to have been annulled and rescinded by the Committee. **(PLEASE NOTE THAT THIS TIME PERIOD CANNOT BE EXTENDED IN ANY WAY, FAILURE TO MEET THIS DEADLINE WILL RESULT IN REQUIRING A NEW APPLICATION AND FEE.)**

VERY IMPORTANT: IT IS THE RESPONSIBILITY OF THE OWNER/APPLICANT AND/OR AGENT TO OBTAIN AND PROVIDE A CLEARANCE LETTER FROM EACH AGENCY AND/OR DEPARTMENT LISTED IN THE CONDITIONS WHETHER "IF REQUIRED" APPEARS IN THE CONDITION OR NOT AND FORWARD THIS CLEARANCE LETTER TO THE SECRETARY-TREASURER AS SOON AS THE CONDITIONS ARE FULFILLED.

FAILURE TO COMPLY WITH THIS PROCEDURE WILL RESULT IN A LETTER BEING FORWARDED BY THE SECRETARY-TREASURER INDICATING THIS FILE HAS LAPSED AND, THEREFORE, WILL NECESSITATE THAT A NEW APPLICATION BE SUBMITTED TO LEGALIZE THIS PROPERTY.

THIS MINOR VARIANCE DECISION IS NOT A BUILDING PERMIT AUTHORIZING CONSTRUCTION UNDER THE BUILDING CODE ACT, R.S.O. 1990, AS AMENDED. A BUILDING PERMIT MAY BE REQUIRED. PLEASE CONTACT THE BUILDING STANDARDS DEPARTMENT IN THE EVENT THAT YOU REQUIRE FURTHER CLARIFICATION.

CARRIED.

CHAIR: Mary Mauti

Signed by all members present who concur in this decision:

Mary Mauti

M. Mauti,
Chair,

~~T. DeCicco~~
~~Vice Chair,~~
ABSENT

[Signature]

L. Fluxgold,
Member,

[Signature]

D. H. Kang,
Member,

M. S. Panicali,
Member,

CERTIFICATION

I hereby certify this to be a true copy of the decision of the Committee of Adjustment, and this decision was concurred in by a majority of the members who heard this application.

[Signature]

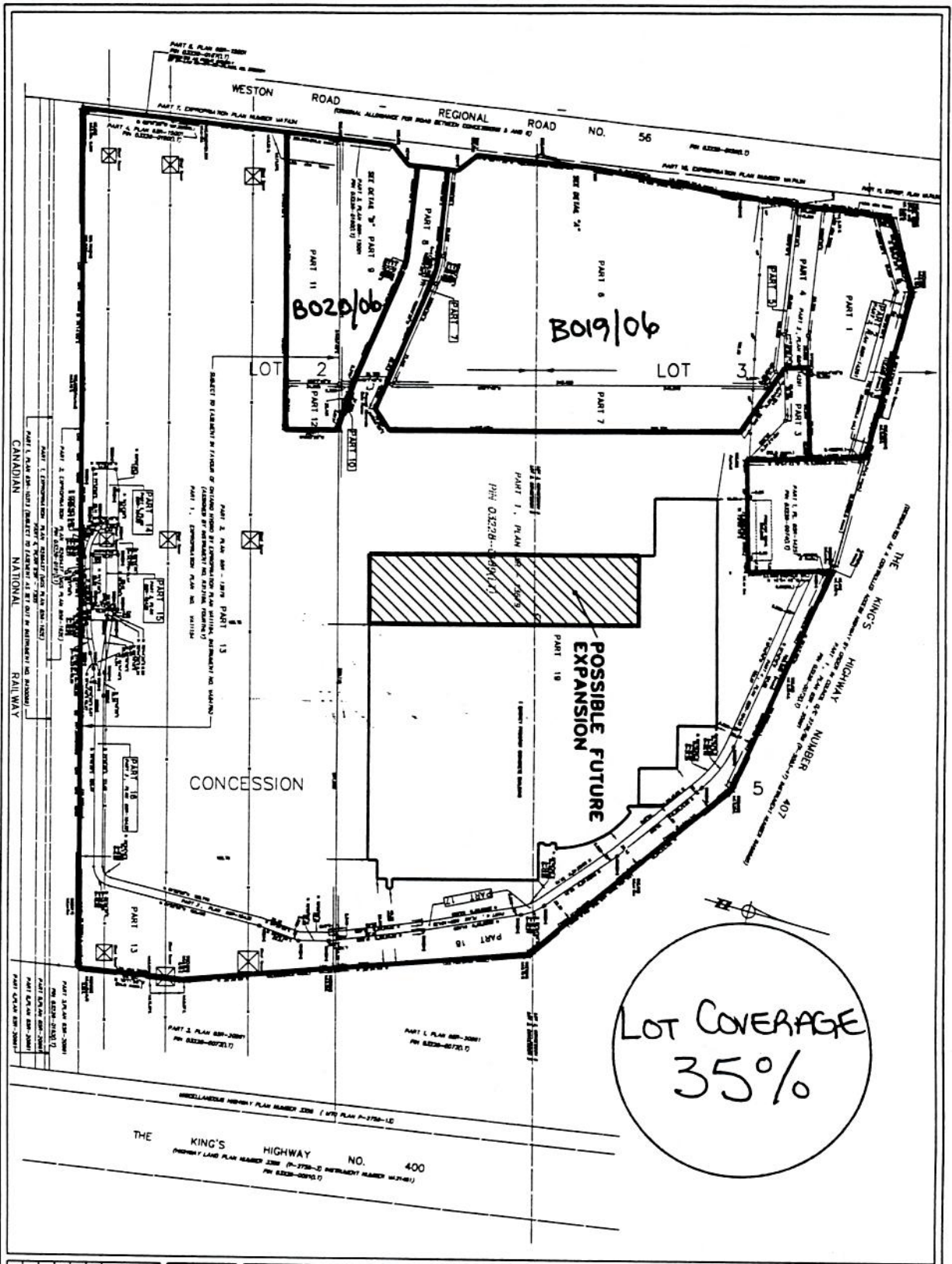
Dianne E. L. Grout, A.M.C.T.,
Manager of Development Services and
Secretary-Treasurer to Committee of
Adjustment
City of Vaughan

DATE OF HEARING: **APRIL 6, 2006**
LAST DATE OF APPEAL: **APRIL 26, 2006**

APPEALS MUST BE RECEIVED BY THIS OFFICE NO LATER THAN 4:30P.M . ON APRIL 26, 2006.
NOTE:The Planning Act provides for appeals to be filed by "persons". As groups or associations, such as residents or ratepayers groups which do not have incorporated status, may not be considered "persons" for the purposes of the Act, groups wishing to appeal this decision should do so in the name of individual group members, and not in the name of the group.

**NOTE: IF ANY CONDITIONS ARE IMPOSED ON THIS APPLICATION,
THE FINAL DATE FOR FULFILLING THEM IS:
* * * APRIL 26, 2007 * * ***

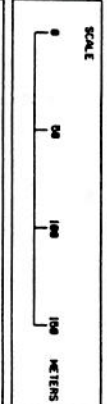
A099/06



LOT COVERAGE
35%

WESTON CONSULTING GROUP INC.
281 Midway Avenue, Unit 8, Vaughan, Ontario, L4H 5A8
Phone: (905) 738-8008 Fax: (905) 738-8437

File No: 3764
Date Drawn: MAR 21/06
Drawn By: SM / SB
Checked By: CB8
Scale: 1:1250
CAD: Minor Variance Concept.dgn



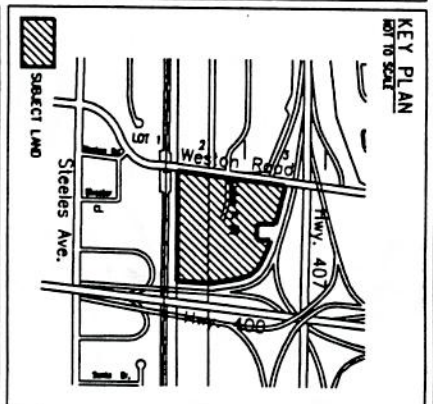
LEGEND

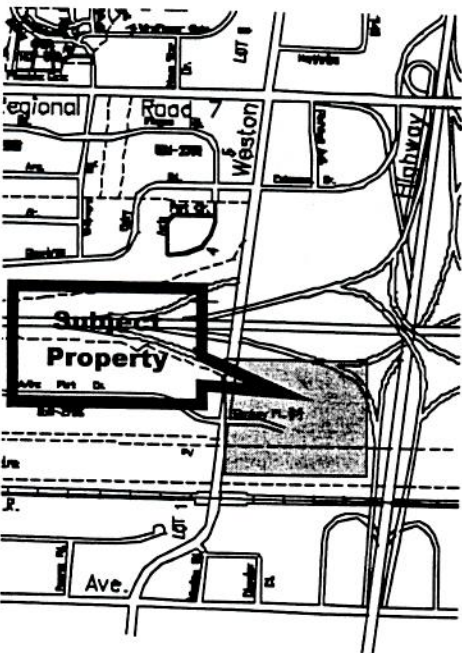
□ TOTAL LAND HOLDING (23,8561 HA)

▨ POSSIBLE FUTURE EXPANSION

MINOR VARIANCE
CONCEPT PLAN

PART 1) PLAN OF
PART OF LOTS 2 AND 3, CONCESSION 5
(GEOGRAPHIC TOWNSHIP OF VAUGHAN, COUNTY OF YORK)
NOW IN THE
CITY OF VAUGHAN
REGIONAL MUNICIPALITY OF YORK





COMMITTEE OF ADJUSTMENT <i>The City Above Toronto</i>		
	File Nos: & Applicant	B019/06, B020/06 & A099/06 Metroland Printing, Publishing and Distributing Ltd.
		Subject Area Municipally known as 1 Century Place (Woodbridge)