

ITEM: 6.3	COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A052/23 PARTS 1-24 OF PLAN 65R-40282 (COMMERCE STREET)
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**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES:**

*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	General Comments w/Condition
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Ministry of Transportation (MTO)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

PUBLIC & APPLICANT CORRESPONDENCE

*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

File Number	Date of Decision MM/DD/YYYY	Decision Outcome
None		

ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

None	
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**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A052/23
PARTS 1-24 OF PLAN 65R-40282
(COMMERCE STREET)**

ITEM NUMBER:	CITY WARD #: 1
APPLICANT:	Rp B3s Holdings Inc.
AGENT:	Stephen Albanese & Sanieel Chand
PROPERTY:	Parts 1-24 of Plan 65R-40282 (Commerce Street)
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010') - 11.12 Vaughan Metropolitan Centre Secondary Plan: "Station Precinct"
RELATED DEVELOPMENT APPLICATIONS:	DA.21.031
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit relief from approved parking provisions as it relates to non-residential parking rates, and permit site-specific adjustments to unit count, tower floor plate sizing, and maximum residential and minimum non-residential Gross Floor Area (GFA) as proposed through Site Plan Application DA.21.031.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned C9 – Corporate Centre Zone and subject to the provisions of Exception 9(1541) under Zoning By-law 1-88, as amended.

Zoning By-law 1-88		Variance requested
1	The maximum number of dwelling units on the Subject Lands shall not exceed 1,559 units [Exception 9(1541), mi ix)].	To permit a maximum of 1660 dwelling units on the subject lands.
2	The maximum residential Gross Floor Area of each storey above the first 24.0 metres of building height shall not exceed a. Building A: 776 square metres [Exception 9(1541), mi xiii)].	To permit a maximum residential Gross Floor Area of 795 square metres for storeys above the first 24.0 metres of building height.
4	A minimum of 1.2 parking spaces per 100 square metres of Gross Floor Area for Commercial Uses is required [Exception 9(1541) ci)ii)].	To permit a minimum of 0.9 parking spaces per 100 square metres of Gross Floor Area for Commercial Uses.
5	A maximum residential gross floor area of 112,00 square metres and a minimum non-residential gross floor area of 6,000 square metres is required [Exception 9(1541) mi viii)].	To permit a maximum residential gross floor area of 114,400 square metres, and a minimum non-residential gross floor area of 3,600 square metres.

HEARING INFORMATION

<p>DATE OF MEETING: Thursday, August 3, 2023 TIME: 6:00 p.m. MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive LIVE STREAM LINK: Vaughan.ca/LiveCouncil</p> <p style="text-align: center;">PUBLIC PARTICIPATION</p> <p>If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the Request to Speak Form and submit to cofa@vaughan.ca</p> <p>If you would like to submit written comments, please quote file number above and submit by mail or email to:</p> <p>Email: cofa@vaughan.ca</p>

HEARING INFORMATION

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT COMMENTS

Date Public Notice Mailed:	July 20, 2023
Date Applicant Confirmed Posting of Sign:	July 19, 2023
Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small>	Previously approved applications permit the development of a mixed-use, three-tower development comprised of condominium apartment buildings with a pedestrian mews and a privately-owned public open space (POPS). Corresponding City of Vaughan File Numbers are OP.21.016, Z.21.027, and DA.22.031. Zoning By-law Amendment (By-law 147-2022) and Official Plan Amendment (By-law 148-2022) were Council Approved on June 28th, 2022 while DA.22.031 received Council Approval on September 28, 2022. The requested variances exceed the provisions approved in Zoning By-law Amendment 147-2022.
Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	<p>On July 14, 2023, Development Engineering provided:</p> <p>Development Engineering has conducted its review of the application. Development Engineering has the following comments for your review.</p> <p>Staff have reviewed the submitted Parking Justification Study and do not support the proposed residential visitor rate reduction from 0.15 spaces/unit to 0.12 spaces/unit (48 spaces based on the unit count of 1605 residential units).</p> <p>Staff are not asking for additional spaces such as another level of underground parking but rather suggest further reduction of the residential rate, as per the Transportation Demand Management (TDM) recommendations of the Parking Justification Study. For example, reduce the proposed resident parking rate from 0.30 spaces/unit to 0.27 spaces/unit (rate reduction of 0.03 spaces/unit or 48 spaces). This will permit maintaining the residential visitor by-law rate of 0.15 spaces/unit.</p> <p>Staff maintain the 0.15 spaces/unit residential visitor parking requirement for the following reasons:</p> <ol style="list-style-type: none"> 1. Toronto has a fulsome and frequent transit network connecting City-wide, which is necessary to support residential visitor parking rate reductions. Vaughan's

COMMITTEE OF ADJUSTMENT COMMENTS

transit network is not as fulsome and connected as Toronto.

- a) Transit Travel Times were calculated during peak AM and PM hours. Visitor peaks are not typically during the weekday peak hours, as seen in the surveys.
- b) Approved sites with reduced visitor parking rates in Toronto were provided, near the Eglinton and St. Clair West stations. There are 13 public parking lots within 400m of Eglinton Station and 5 public parking lots within 500m of St. Clair West, which is not comparable to VMC.

2. Visitor surveys should be conducted on Friday evenings, Saturday all day and Sunday morning/afternoon. Visitor parking demand at The Met Condo was surveyed on Wednesday evening.

3. The following TDM measures were suggested to reduce visitor parking demands:

- a) Car share – typically this is targeted/suitable for residents rather than visitors. Visitors wouldn't utilize an on-site car share vehicle and if they are using car share to get to the site, they would still need a visitor space to park in when they arrive.
- b) Shared parking between non-residential components of the site – this should be supported with a shared parking analysis as permitted in the City's Zoning By-Law for the VMC. This may help in reducing the overall requirement of residential visitor parking spaces.
- c) On-street parking – there is very limited on-street parking opportunities within the VMC and the parking is for the public/all surrounding uses, not a specific development need.
- d) Sharing with the existing and future commercial parking lots surrounding VMC – this is reasonable with a shared parking agreement (registered on title).

In response the applicant updated the application, removing the following variance from the proposal using a Zoning Review Waiver:

To permit a minimum of 0.12 Residential Visitor parking spaces per dwelling unit.

<p>Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:</p> <p>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</p> <p>*A revised submission may be required to address staff / agency comments received as part of the application review process.</p> <p>*Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</p>	<p align="center">Yes</p> <p align="center">Zoning confirmed variances on July 18, 2023.</p>
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Adjournment Fees:
 In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice.

An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff **after** the issuance of public notice.

Committee of Adjustment Comments:	None
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Committee of Adjustment Recommended Conditions of Approval:	That the applicant obtains a municipal address from the GIS Mapping Section of the Development Planning Department and that confirmation of address creation be provided to
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COMMITTEE OF ADJUSTMENT COMMENTS

the Secretary Treasurer.

BUILDING STANDARDS (ZONING) COMMENTS

**See Schedule B for Building Standards (Zoning) Comments

Building Standards Recommended Conditions of Approval:

None

DEVELOPMENT PLANNING COMMENTS

**See Schedule B for Development Planning Comments.

Development Planning Recommended Conditions of Approval:

None

DEVELOPMENT ENGINEERING COMMENTS[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

Currently, there is no available city-wide servicing capacity to distribute, however, York Region is expected to grant the City additional servicing capacity in Q4-2023 as part of their Capacity Assignment cycle to Regional Municipalities. Therefore, the City cannot provide Regional servicing capacity to Minor Variance Application (A052/23) until its next assignment from York Region and Council approves the servicing capacity allocation increase.

The Development Engineering (DE) Department does not object to variance application A052/23 subject to the following condition(s):

Development Engineering Recommended Conditions of Approval:

Prior to final approval of the application, Vaughan Council adopts a resolution allocating sewage and water supply capacity in accordance with the City's approved Servicing Capacity Distribution Policy assigning capacity for an additional 101 residential units to the subject lands.

PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

Forestry: Forestry is working with Development Planning on this file. No comment at this time.

PFH Recommended Conditions of Approval:

None

DEVELOPMENT FINANCE COMMENTS

No comment no concerns.

Development Finance Recommended Conditions of Approval:

None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

No comments received to date.

BCLPS Recommended Conditions of Approval:

None

BUILDING INSPECTION (SEPTIC) COMMENTS

No comments received to date.

Building Inspection Recommended Conditions of Approval:

None

FIRE DEPARTMENT COMMENTS

No comments received to date.

Fire Department Recommended Conditions of Approval:

None

SCHEDULES TO STAFF REPORT

*See Schedule for list of correspondence

Schedule A

Drawings & Plans Submitted with the Application

SCHEDULES TO STAFF REPORT

*See Schedule for list of correspondence

Schedule B	Staff & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “**if required**”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Committee of Adjustment christine.vigneault@vaughan.ca	That the applicant obtain a municipal address from the GIS Mapping Section of the Development Planning Department and that confirmation of address creation be provided to the Secretary Treasurer.
2	Development Engineering Rex.bondad@vaughan.ca	Prior to final approval of the application, Vaughan Council adopts a resolution allocating sewage and water supply capacity in accordance with the City’s approved Servicing Capacity Distribution Policy assigning capacity for an additional 101 residential units to the subject lands.
3	York Region developmentsservices@york.ca	<p>Prior to final approval of the application, the Owner shall provide to the Region the following documentation to confirm that water and wastewater services are available to the subject development and have been allocated by the City of Vaughan:</p> <p>a) a copy of the Council resolution confirming that the City of Vaughan has allocated servicing capacity, specifying the specific source of the capacity, to the development proposed within this site plan.</p> <p>b) a copy of an email confirmation by a City of Vaughan staff member stating that the allocation to the subject development remains valid at the time of the request for regional clearance of this condition</p>

IMPORTANT INFORMATION – PLEASE READ

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

IMPORTANT INFORMATION – PLEASE READ

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

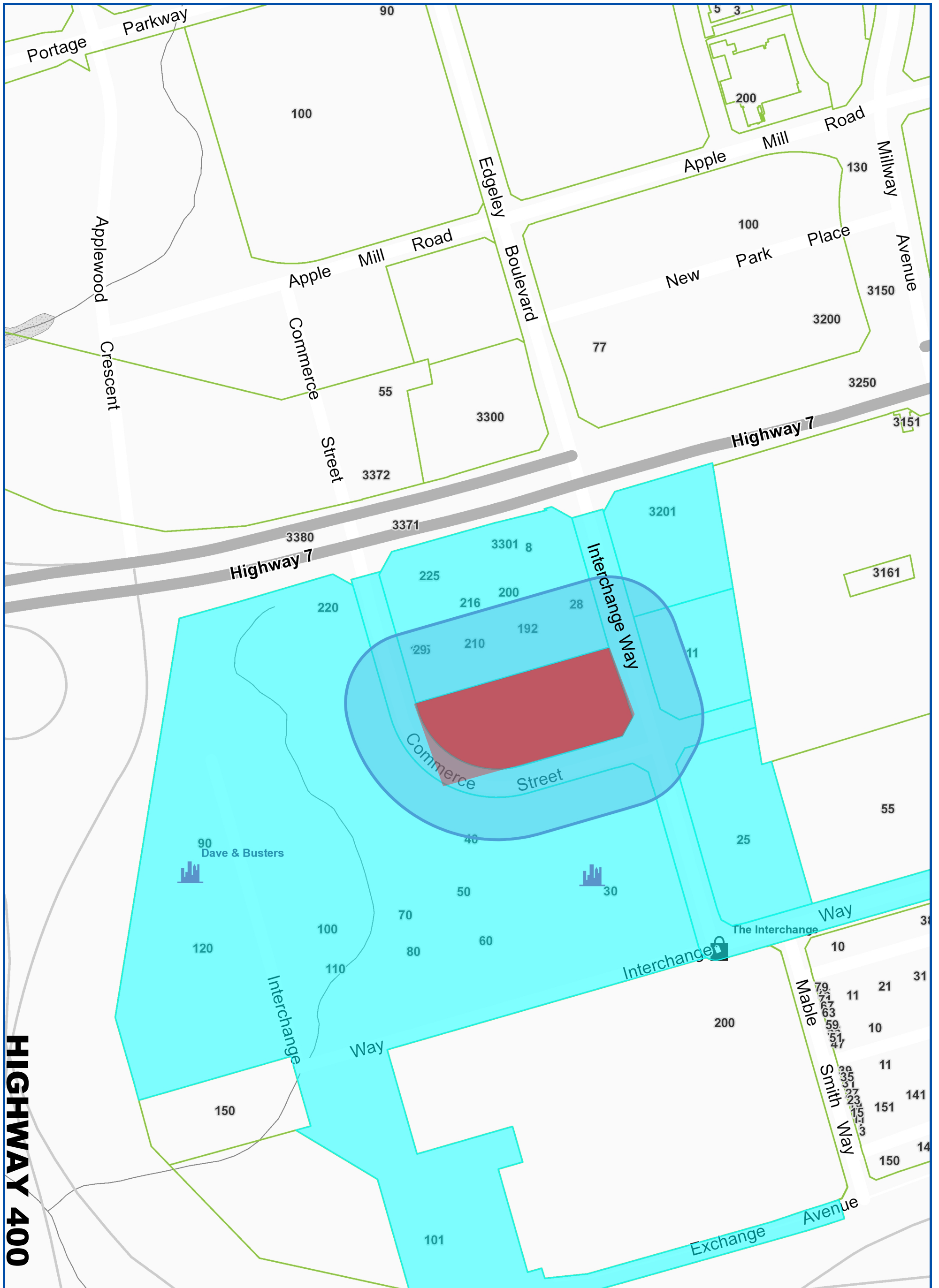
That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

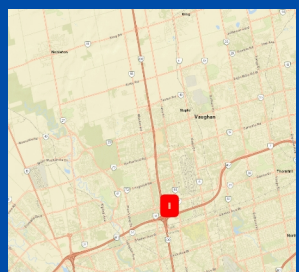
NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS



HIGHWAY 400

Map Information:



Title:

**Parts 1-24 of Plan 65R-40282
(Commerce Street)**

NOTIFICATION MAP - A052/23

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1: 4,514

0 0.07 km



Created By:
Infrastructure Delivery
Department
July 17, 2023 3:47 PM

Projection:
NAD 83
UTM Zone
17N

RECEIVED

By Christine Vigneault at 11:41 am, Jul 18, 2023

Interchange Way + Commerce Street, SW Corner, Vaughan, ON

20.034CS



Menkes Developments Ltd.
4711 Yonge Street, Suite 1400, Toronto ON, M2N 7E4
QuaddReal Property Group Toronto
199 Bay St Suite 4900, Toronto, ON M5L 1G2



WIND CONSULTANT

Theakston Environmental
596 Glengarry Crescent
Fergus, Ontario N1M 3E2
+1 519 787 2910
Stephen Pollock,
Principal
spollock@theakston.com



CIVIL CONSULTANT

Stantec Consulting Ltd.
Jeremy Lauzon BES, CET
Project Manager, Community
Development
Mobile: 289-923-7460



LANDSCAPE CONSULTANT

IBI GROUP
7th Floor - 55 St. Clair
Avenue West
Toronto ON M4V 2Y7
Canada



PLANNING CONSULTANT

IBI GROUP
7th Floor - 55 St. Clair
Avenue West
Toronto ON M4V 2Y7
Canada
Alison Quigg MCIP RPP
Planning
tel +1 416 596 1930 ext
61505



CLIENT REPRESENTATIVE
Menkes Developments Ltd.
4711 Yonge Street, Suite
1400, Toronto ON, M2N 7E4
Jude Tersigni, MCIP, RPP
Vice President, Planning and
Development
(416) 491-2222
e. Jude.Tersigni@menkes.com

TURNER
FLEISCHER

67 Lesmill Rd
Toronto, ON, M3B 2T8
Raza Mehdi
razamhd@turnerfleischer.com
416-425-2222 ext. 310

ISSUED FOR COMMITTEE OF ADJUSTMENTS
2023-07-04

e. nkovacevic@IBIGroup.com
tel +1 416 596 1930

This drawing is an approved set of drawings and shall be provided for use by the contractor. It is the responsibility of the contractor to ensure that the drawings are used in accordance with the contract documents and to ensure that all work is done in accordance with the drawings and the contract documents. The contractor shall be responsible for ensuring that the drawings are used in accordance with the contract documents and to ensure that all work is done in accordance with the drawings and the contract documents.

SHEET LIST

SHEET #	DRAWING NAME
RZ002	CONTEXT PLAN
RZ107	FLOOR 02
RZ108	FLOOR 03
RZ109	FLOOR 04
RZ110	FLOOR 05
RZ111	FLOOR 06
RZ112	FLOOR TYP. TOWER

13-30	13-30
14-26	14-26
15-33	15-33
16-15	16-15
17-24 = 15 X 18 LVL'S = 270	17-24 = 15 X 18 LVL'S = 270
125-127 = 15 X 3 LVL'S = 45	125-127 = 15 X 3 LVL'S = 45
128-130 = 14 X 3 LVL'S = 42	128-130 = 14 X 3 LVL'S = 42
443 TOTAL	443 TOTAL
12-33	12-33
13-35	13-35
15-27	15-27
16-27	16-27
17 = 12	17 = 12
18-20 = 12 X 43 LVL'S = 516	18-20 = 12 X 43 LVL'S = 516
674 TOTAL	674 TOTAL
1117 BHL TOTAL	1117 BHL TOTAL
PHASE 1 TOWER C	PHASE 1 TOWER C
11-11 = 12	11-11 = 12
12-11 = 12	12-11 = 12
13-11 = 13	13-11 = 13
14-11 = 13	14-11 = 13
15-11 = 15	15-11 = 15
16-11 = 16	16-11 = 16
17-11 = 17	17-11 = 17
18-11 = 12 X 28 LVL'S = 336	18-11 = 12 X 28 LVL'S = 336
136-138 = 11 X 3 LVL'S = 33	136-138 = 11 X 3 LVL'S = 33
139-141 = 11 X 3 LVL'S = 33	139-141 = 11 X 3 LVL'S = 33
543 TOTAL	543 TOTAL
1660 PHASE 1 + 2 TOTAL	1660 PHASE 1 + 2 TOTAL

GROSS FLOOR AREA (GFA) BREAKDOWN

PHASE	USE	GFA BY BBL (Lvl's)	GFA PROVIDED	PSI
ALL PHASES	RETAIL	6,000.0	3,633.2	60.22
	RESIDENTIAL	6,000.0	3,633.2	60.22
	TOTAL NON-RESIDENTIAL GFA	12,000.0	7,266.4	60.22
	TOTAL RESIDENTIAL GFA	112,000.0	114,207.5	102.06
TOTAL RESIDENTIAL GFA		112,000.0	121,474.0	108.06
TOTAL GFA		118,000.0	128,740.9	108.68

PHASE	USE	GFA BY BBL (Lvl's)	GFA PROVIDED	PSI
TOTAL FLOOR AREA SUMMARY	RETAIL	6,000.0	3,633.2	60.22
	RESIDENTIAL	6,000.0	3,633.2	60.22
TOTAL FLOOR AREA (GFA)		12,000.0	7,266.4	60.22

GROSS FLOOR AREA (GFA) BREAKDOWN - ALL BUILDINGS

PHASE	BUILDING	# OF UNITS	RETAIL	RESIDENTIAL SERVICE	TOTAL RETAIL	SERVABLE	NON-SERVABLE	RESIDENTIAL SERVICE	RESIDENTIAL AMENITY	TOTAL RESIDENTIAL	EFFICIENCY	OUTDOOR AMENITY
GROSS FLOOR AREA BREAKDOWN	BUILDING A	1,117	2,423	23,939	71.1	716	2,243	23,939	56,824	59,899	13,991	143,888
	BUILDING B	543	1,301.4	14,008	137.5	1,480	1,488.9	15,488	30,883.9	32,344	4,732.3	51,514
	BUILDING C	1,660	3,463.6	37,697	208.6	2,256	3,653.2	39,323	65,846.6	94,833.2	14,011.4	194,442
	GRAND TOTAL											

GROSS FLOOR AREA (GFA) BREAKDOWN

ALL PHASES			PHASE 1			PHASE 2			PHASE 3			
FLOOR	# OF UNITS	# OF ROOMS	RETAIL	RESIDENTIAL SERVICE	TOTAL RETAIL	SERVABLE	NON-SERVABLE	RESIDENTIAL SERVICE	RESIDENTIAL AMENITY	TOTAL RESIDENTIAL	EFFICIENCY	OUTDOOR AMENITY
GROUND FLOOR	1	0	0	0	0	0	0	0	0	0	0	0
	BUILDING A PODIUM	2	0	0	0	0	0	0	0	0	0	0
		3	30	0	0	0	0	0	0	0	0	0
		4	26	0	0	0	0	0	0	0	0	0
BUILDING B PODIUM	2	3	0	0	0	0	0	0	0	0	0	0
	3	39	0	0	0	0	0	0	0	0	0	0
	4	35	0	0	0	0	0	0	0	0	0	0
	5	27	0	0	0	0	0	0	0	0	0	0
BUILDING C TOWER	2	22	0	0	0	0	0	0	0	0	0	0
	3	25	0	0	0	0	0	0	0	0	0	0
	4	27	0	0	0	0	0	0	0	0	0	0
	5	27	0	0	0	0	0	0	0	0	0	0
TYPICAL FLOOR PLATE	2	32	0	0	0	0	0	0	0	0	0	0
	3	25	0	0	0	0	0	0	0	0	0	0
	4	25	0	0	0	0	0	0	0	0	0	0
	5	27	0	0	0	0	0	0	0	0	0	0
U/G	U/G 2	0	0	0	0	0	0	0	0	0	0	0
	U/G 1	0	0	0	0	0	0	0	0	0	0	0
	U/G TOTAL			0	0	0	0	0	0	0	0	0
	U/G TOTAL			0	0	0	0	0	0	0	0	0
PHASE 1 TOTAL	TOTAL FLOOR AREA (GFA)		11,117	0.00	0.00	21,422.28	23,059.31	72.04	775.65	22,144.34	23,834.96	16,585.95
	TOTAL FLOOR AREA (GFA)		11,117	0.00	0.00	21,422.28	23,059.31	72.04	775.65	22,144.34	23,834.96	16,585.95
	TOTAL FLOOR AREA (GFA)		11,117	0.00	0.00	21,422.28	23,059.31	72.04	775.65	22,144.34	23,834.96	16,585.95
	TOTAL FLOOR AREA (GFA)		11,117	0.00	0.00	21,422.28	23,059.31	72.04	775.65	22,144.34	23,834.96	16,585.95
PHASE 2 TOTAL	TOTAL FLOOR AREA (GFA)		1,660	0.00	0.00	3,463.60	37,697.00	208.60	2,256.00	38,425.20	40,985.58	4,609.49
	TOTAL FLOOR AREA (GFA)		1,660	0.00	0.00	3,463.60	37,697.00	208.60	2,256.00	38,425.20	40,985.58	4,609.49
	TOTAL FLOOR AREA (GFA)		1,660	0.00	0.00	3,463.60	37,697.00	208.60	2,256.00	38,425.20	40,985.58	4,609.49
	TOTAL FLOOR AREA (GFA)		1,660	0.00	0.00	3,463.60	37,697.00	208.60	2,256.00	38,425.20	40,985.58	4,609.49
PHASE 3 TOTAL	TOTAL FLOOR AREA (GFA)		1,660	0.00	0.00	3,463.60	37,697.00	208.60	2,256.00	38,425.20	40,985.58	4,609.49
	TOTAL FLOOR AREA (GFA)		1,660	0.00	0.00	3,463.60	37,697.00	208.60	2,256.00	38,425.20	40,985.58	4,609.49
	TOTAL FLOOR AREA (GFA)		1,660	0.00	0.00	3,463.60	37,697.00	208.60	2,256.00	38,425.20	40,985.58	4,609.49
	TOTAL FLOOR AREA (GFA)		1,660	0.00	0.00	3,463.60	37,697.00	208.60	2,256.00	38,425.20	40,985.58	4,609.49
GRAND TOTAL (PHASES)	TOTAL FLOOR AREA (GFA)		14,437	0.00	0.00	28,348.48	30,453.62	72.04	775.65	34,616.18	37,365.51	21,195.44
	TOTAL FLOOR AREA (GFA)		14,437	0.00	0.00	28,348.48	30,453.62	72.04	775.65	34,616.18	37,365.51	21,195.44
	TOTAL FLOOR AREA (GFA)		14,437	0.00	0.00	28,348.48	30,453.62	72.04	775.65	34,616.18	37,365.51	21,195.44
	TOTAL FLOOR AREA (GFA)		14,437	0.00	0.00	28,348.48	30,453.62	72.04	775.65	34,616.18	37,365.51	21,195.44

FLOOR AREA GROSS (GFA) Means the aggregate of the floor areas of all stories of a building measured to the exterior of the outside walls, but not including the areas of any ceiling, or other space above the ceiling, or below the ceiling, within a separate structure.

FLOOR AREA NET (FAN) Means the aggregate of the floor areas of all stories of a building measured to the interior of the inside walls, but not including the areas of any ceiling, or other space above the ceiling, or below the ceiling, within a separate structure.

FLOOR AREA NET (FAN) PER ECONOMIC FLOOR Means the portion of a building below the lowest story which has more than one half of its height from the floor to the underside of floor joists below the finished grade.

HEIGHT: Maximum In reference to a building or structure, the vertical distance measured from established grade (1). In the case of a flat roof, the height shall be measured from the highest point of the roof to the highest point of the roof of another or parapet, whichever is the greater. In the case of a sloped roof, the mean height between the eaves and the ridge, or: iii. In the case of any structure with no roof, the highest point of the structure.

STATISTICS

PROJECT: VMC Block 33
Interchange Way / Commerce Street SW Corner, Vaughan, ON

DRAWING: STATISTICS

PROJECT NO: 20-03ACS
PROJECT DATE: 2022-04-22
DRAWN BY: DVI
CHECKED BY: TMI
SCALE: AS SHOWN

DRAWING NO: RZ002 REV 11





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#	DATE	DESCRIPTION	BY
01	2023-06-19	ISSUED FOR COMMITTEE OF ADJUSTMENTS	DM
02	2023-07-26	ISSUED FOR SITE PLAN APPROVAL	DM
03	2023-08-04	ISSUED FOR ZONING SUBMISSION 1	DM
04	2023-08-04	ISSUED FOR ZONING SUBMISSION 1	DM

BRAWO

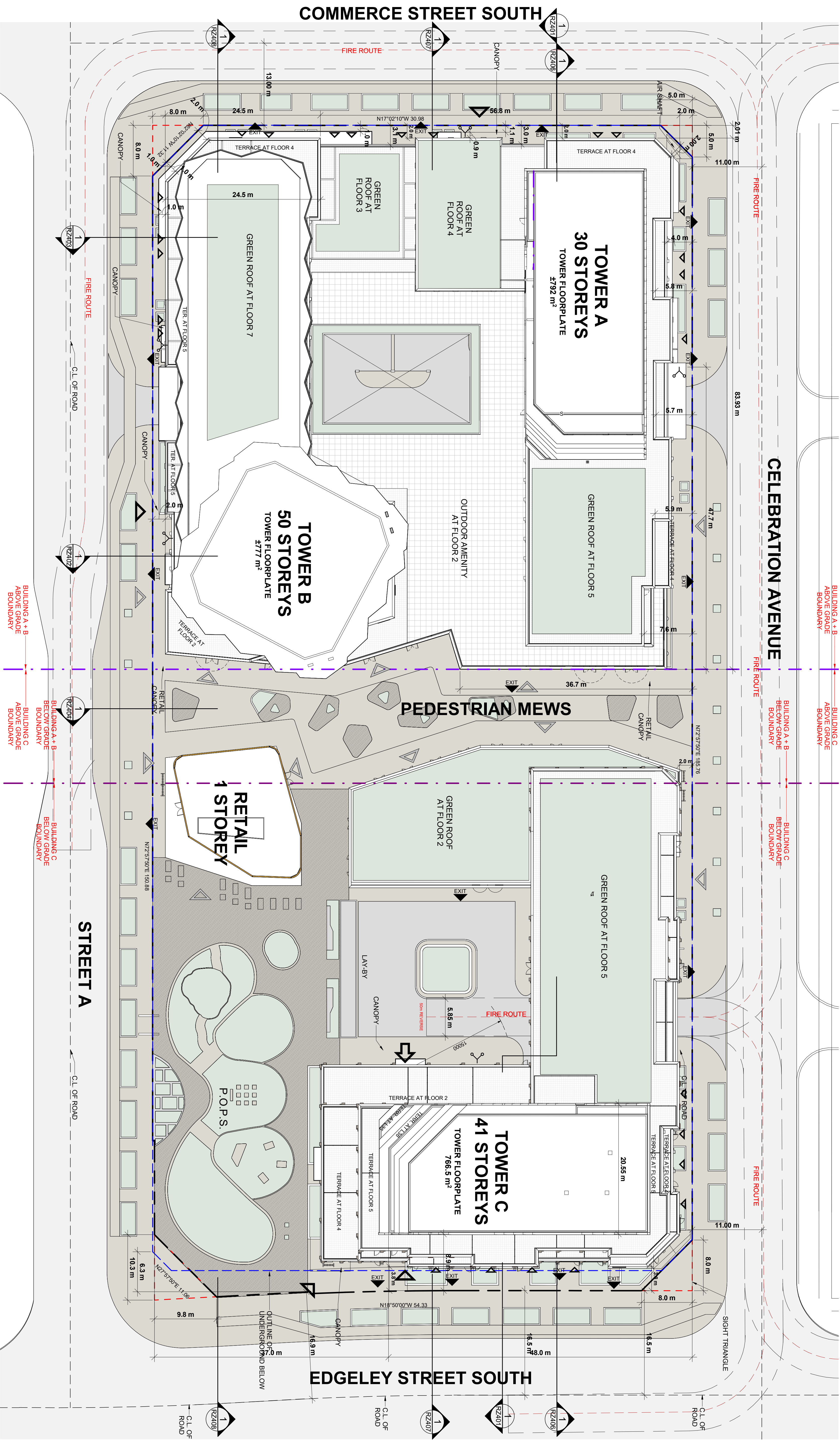
PROJECT
VMC Block 3S
Interchange Way + Commerce Street, SW Corner,
Vaughan, ON

CONTEXT PLAN

PROJECT NO
20 034CS
PROJECT DATE
2022-04-22
DRAWN BY
DVI
CHECKED BY
TMI
SCALE
1 : 5000

ONTARIO ASSOCIATION OF ARCHITECTS
LANCELL FLEISCHER
LICENCE
5004

DRAWING NO
RZ007
REV
10



LEGEND

- PRIMARY RESIDENTIAL ENTRANCE
- SECONDARY RESIDENTIAL ENTRANCE
- RETAIL ENTRANCE
- EXIT
- FIRE HYDRANT
- SIAMESE CONNECTION
- CONVEX MIRROR
- TRANSFORMER WITH CLEARANCES
- FIRE ROUTE SIGN
- 000000 SPOT ELEVATION

#	DATE	DESCRIPTION	BY
11	2023-07-04	ISSUED FOR COMMITTEE OF ADJUSTMENTS	DM
10	2023-06-19	ISSUED FOR COMMITTEE OF ADJUSTMENTS	DM
9	2023-06-26	ISSUED FOR STAFF REVIEW	DM
8	2023-04-26	ISSUED FOR STAFF REVIEW	DM
7	2023-04-26	ISSUED FOR STAFF REVIEW	DM
6	2023-04-26	ISSUED FOR STAFF REVIEW	DM
5	2023-04-26	ISSUED FOR STAFF REVIEW	DM
4	2023-04-26	ISSUED FOR STAFF REVIEW	DM
3	2023-04-26	ISSUED FOR STAFF REVIEW	DM
2	2023-04-26	ISSUED FOR STAFF REVIEW	DM
1	2023-04-26	ISSUED FOR STAFF REVIEW	DM

BRAMO

PROJECT: **VMC Block 3S**
 Interchange Way + Commerce Street, SW Corner,
 Vaughan, ON

SITE PLAN / ROOF PLAN

PROJECT NO: 20_034CS
 PROJECT DATE: 2022-04-22
 DRAWN BY: DVI
 CHECKED BY: TMI
 SCALE: As indicated
 ASSOCIATION OF ARCHITECTS OF ONTARIO
 PROFESSIONAL LICENCE
 RUSSELL LAEISCHER
 LICENCE 5004

DRAWING NO: **RZ010** REV: **11**

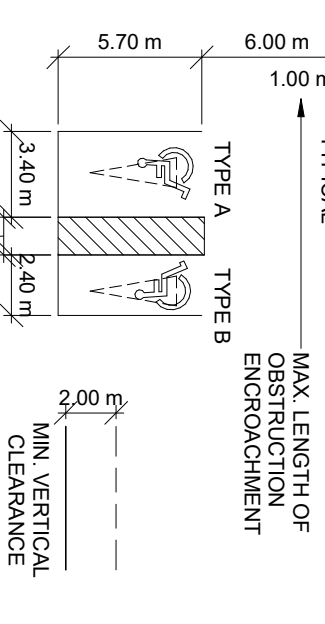
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LEGEND

- PRIMARY RESIDENTIAL ENTRANCE
- SECONDARY RESIDENTIAL ENTRANCE
- RETAIL ENTRANCE
- EXIT
- FIRE HYDRANT
- SIAMESE CONNECTION
- CONVEX MIRROR
- TRANSFORMER WITH CLEARANCES
- FIRE ROUTE SIGN
- 0000 SPOT ELEVATION

PARKING STANDARDS

ASLE WIDTH: MIN 6m
TYPICAL PARKING SPACE: MIN 2.6m x 5.7m
CS = CAR SHARE
S = SMALL CAR
R = RETAIL



#	DATE	BY	DESCRIPTION
11	2023-07-24	DA	ISSUED FOR COMMITTEE OF ADJUSTMENTS
10	2023-06-29	DA	ISSUED FOR COMMITTEE OF ADJUSTMENTS
9	2023-06-28	DA	ISSUED FOR COMMITTEE OF ADJUSTMENTS
8	2023-04-28	DA	ISSUED FOR STAFF REVIEW
7	2023-04-27	DA	ISSUED FOR STAFF REVIEW
6	2023-04-27	DA	ISSUED FOR STAFF REVIEW
5	2023-04-27	DA	ISSUED FOR STAFF REVIEW
4	2023-04-27	DA	ISSUED FOR STAFF REVIEW
3	2023-04-27	DA	ISSUED FOR STAFF REVIEW
2	2023-04-27	DA	ISSUED FOR STAFF REVIEW
1	2023-04-27	DA	ISSUED FOR STAFF REVIEW



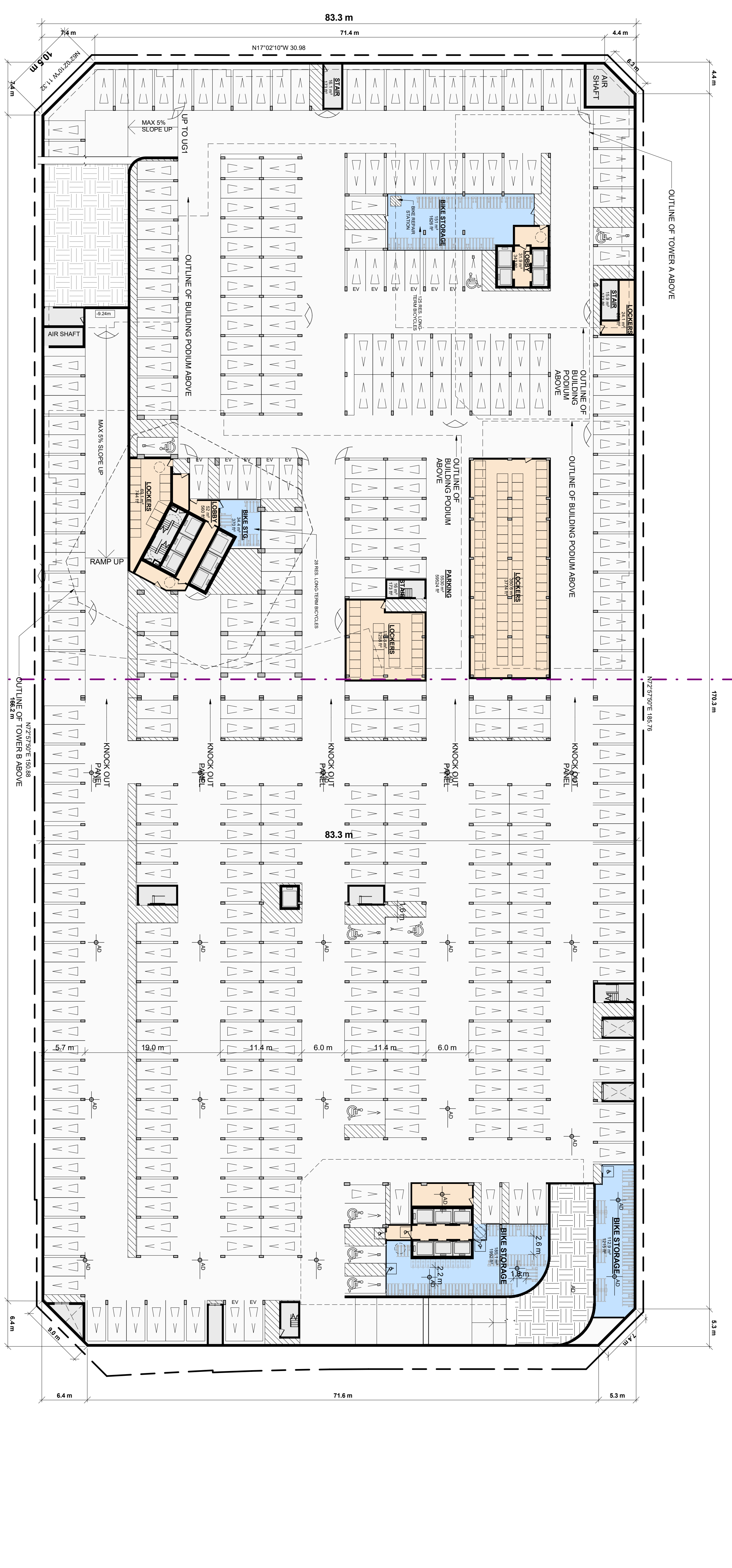
PROJECT
VMC Block 3S
Interchange Way + Commerce Street, SW Corner,
Vaughan, ON

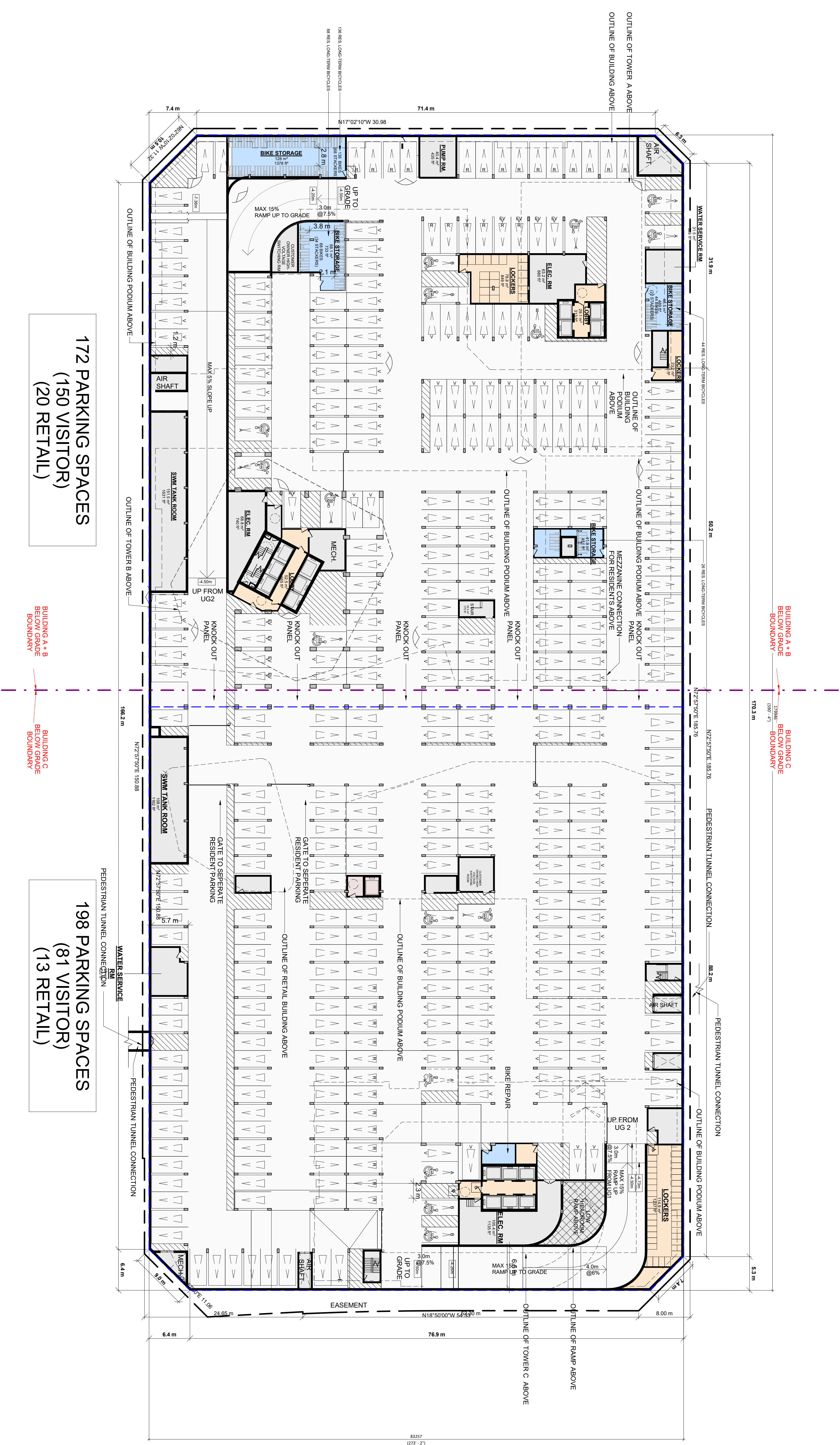
DRAWING
UNDERGROUND LEVEL 02

PROJECT NO: 20-034CS
PROJECT DATE: 2022-04-22
DRAWN BY: DVI
CHECKED BY: TMI
SCALE: 1:300 J

ASSOCIATION OF PROFESSIONALS OF ONTARIO
RUSSELL L. FLEISCHER
LICENCE 5004

DRAWING NO: RZ102
REV: 11





172 PARKING SPACES
(150 VISITOR)
(20 RETAIL)

198 PARKING SPACES
(81 VISITOR)
(13 RETAIL)

BUILDING A + B
BELOW GRADE
BOUNDARY

BUILDING C
BELOW GRADE
BOUNDARY

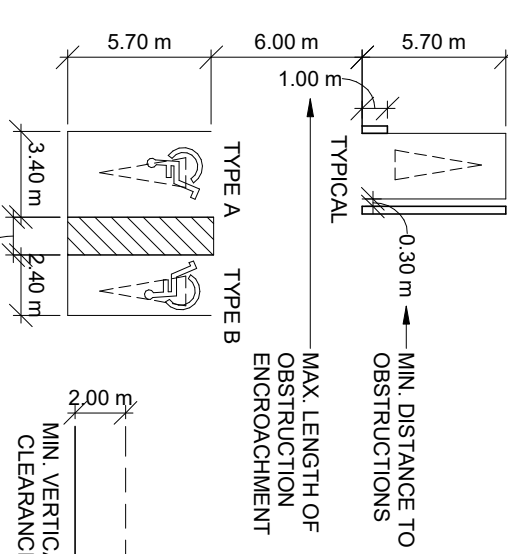
LEGEND

- PRIMARY RESIDENTIAL ENTRANCE
- SECONDARY RESIDENTIAL ENTRANCE
- RETAIL ENTRANCE
- EXIT
- FIRE HYDRANT
- SIAMESE CONNECTION
- CONVEX MIRROR
- TRANSFORMER WITH CLEARANCES
- FIRE ROUTE SIGN
- 0.000 SPOT ELEVATION

PARKING STANDARDS

aisle width: min 6m
typical parking space: min 2.6m x 5.7m

CS = CAR SHARE
S = SMALL CAR
R = RETAIL



BICYCLE PARKING

HORIZONTAL VERTICAL

E 0.20m

0.90m E

2.00m

1.50m

WALK AISLE

#	DATE	DESCRIPTION	BY
1	2023-07-24	ISSUED FOR COMMITTEE OF ADJUSTMENTS	DM
2	2023-08-09	ISSUED FOR COMMITTEE OF ADJUSTMENTS	DM
3	2023-04-22	ISSUED FOR STAFF REVIEW	DM
4	2023-04-22	ISSUED FOR STAFF REVIEW	DM
5	2023-04-22	ISSUED FOR STAFF REVIEW	DM
6	2023-04-22	ISSUED FOR STAFF REVIEW	DM
7	2023-04-22	ISSUED FOR STAFF REVIEW	DM
8	2023-04-22	ISSUED FOR STAFF REVIEW	DM
9	2023-04-22	ISSUED FOR STAFF REVIEW	DM
10	2023-04-22	ISSUED FOR STAFF REVIEW	DM
11	2023-04-22	ISSUED FOR STAFF REVIEW	DM

BRAWO

VMC Block 3S

Interchange Way + Commerce Street, SW Corner,
Vaughan, ON

UNDERGROUND LEVEL 01

PROJECT NO: 20.034CS
PROJECT DATE: 2022-04-22
DRAWN BY: DVI
CHECKED BY: TMI
SCALE: 1:300 J

ASSOCIATION OF PROFESSIONALS
RUSSELL LAEISCHER
LICENCE 5004

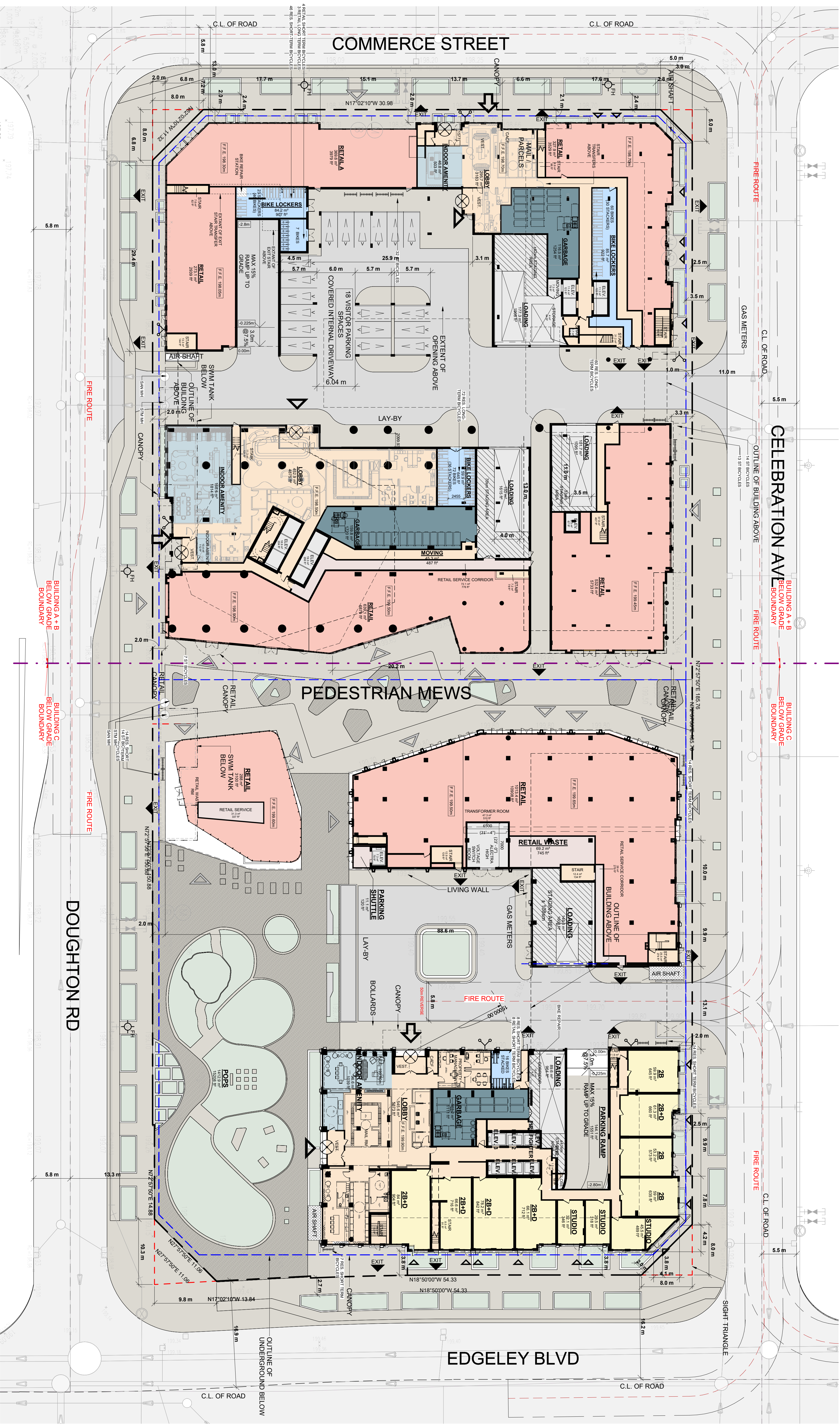
TURNER FLEISCHER ARCHITECTS INC.
671 Leslie Road
Toronto, ON M8B 2T8
turnerfleischer.com

DRAWING NO: **RZ103** REV: **11**

TURNER FLEISCHER

Turner Fleischer Architects Inc.
671 Leslie Road
Toronto, ON M8B 2T8
turnerfleischer.com

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TURNER FLEISCHER ARCHITECTS INC.
 671 Leslie Road
 Toronto, ON M8B 2T8
 turnerfleischer.com

LEGEND

- PRIMARY RESIDENTIAL ENTRANCE
- SECONDARY RESIDENTIAL ENTRANCE
- RETAIL ENTRANCE
- EXIT
- FIRE HYDRANT
- SIAMESE CONNECTION
- CONVEX MIRROR
- TRANSFORMER WITH CLEARANCES
- FIRE ROUTE SIGN
- 000.00 SPOT ELEVATION
- PARKING STANDARDS

ASIDE WIDTH: MIN. 6m
 TYPICAL PARKING SPACE: MIN. 2.6m x 5.7m
 CS = CAR SHARE
 S = SMALL CAR
 R = RETAIL

MIN. DISTANCE TO OBSTRUCTION
 0.30m - 0.50m

MAX. LENGTH OF OBSTRUCTIONS

MIN. VERTICAL CLEARANCE

TYPE A
 TYPE B

BICYCLE PARKING
 HORIZONTAL
 VERTICAL

WALK ASIDE

#	DATE	DESCRIPTION	BY
1	2023-06-24	ISSUED FOR COMMITTEE OF ADJUSTMENTS	DM
2	2023-06-19	ISSUED FOR COMMITTEE OF ADJUSTMENTS	DM
3	2023-06-19	ISSUED FOR COMMITTEE OF ADJUSTMENTS	DM
4	2023-06-19	ISSUED FOR COMMITTEE OF ADJUSTMENTS	DM
5	2023-06-20	ISSUED FOR STAFF REVIEW	DM
6	2023-06-20	ISSUED FOR STAFF REVIEW	DM
7	2023-06-20	ISSUED FOR STAFF REVIEW	DM
8	2023-06-20	ISSUED FOR STAFF REVIEW	DM
9	2023-06-20	ISSUED FOR STAFF REVIEW	DM
10	2023-06-20	ISSUED FOR STAFF REVIEW	DM
11	2023-06-20	ISSUED FOR STAFF REVIEW	DM
12	2023-06-20	ISSUED FOR STAFF REVIEW	DM
13	2023-06-20	ISSUED FOR STAFF REVIEW	DM
14	2023-06-20	ISSUED FOR STAFF REVIEW	DM
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16	2023-06-20	ISSUED FOR STAFF REVIEW	DM
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18	2023-06-20	ISSUED FOR STAFF REVIEW	DM
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BRWVO

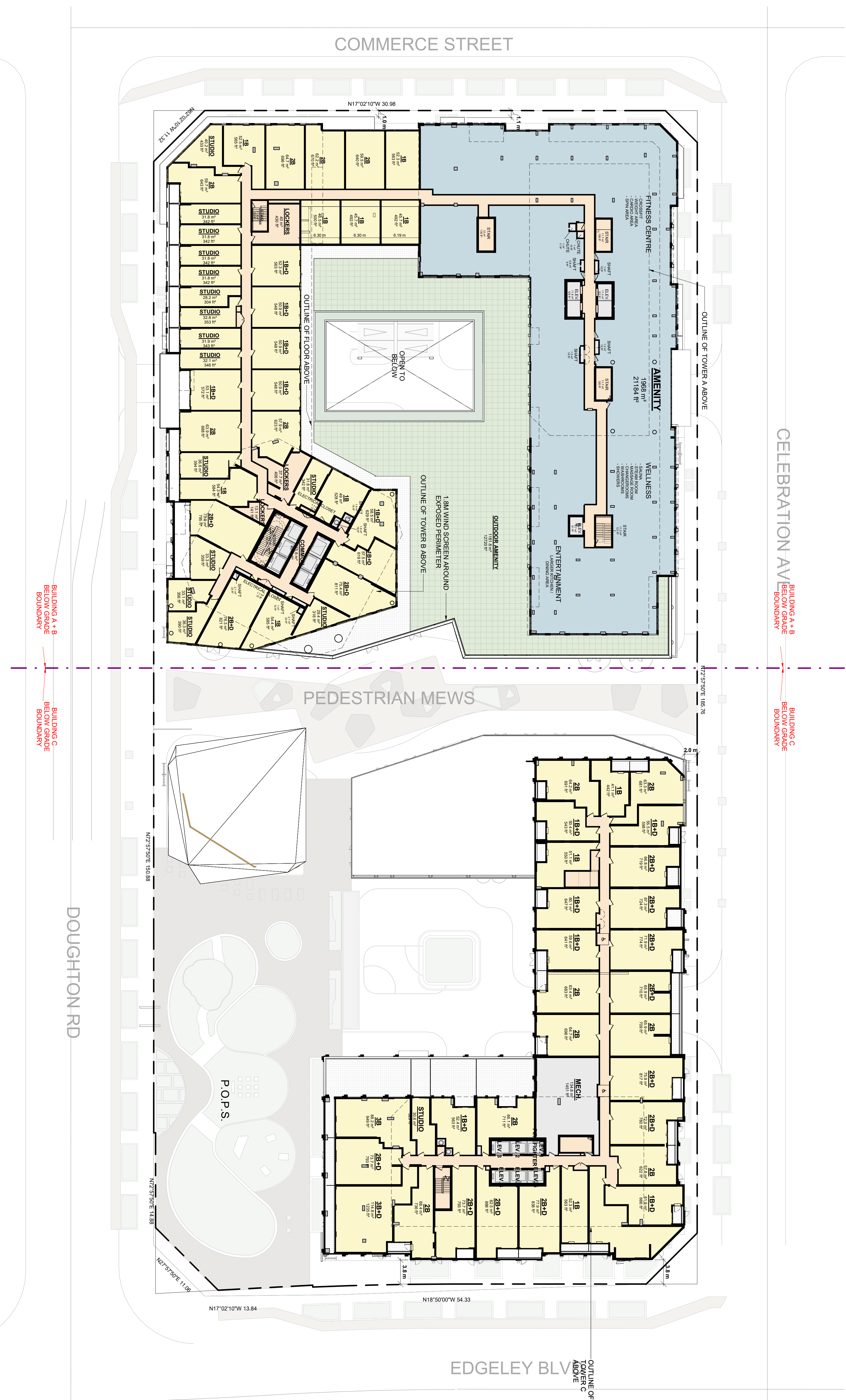
PROJECT: **VMC Block 3S**
 Interchange Way + Commerce Street SW Corner,
 Vaughan, ON

DRAWING: **FLOOR 01**

PROJECT NO: 20.034CS
 PROJECT DATE: 2022-04-22
 DRAWN BY: DVI
 CHECKED BY: TMI
 SCALE: 1:300 J

ONTARIO ASSOCIATION OF ARCHITECTS
 REGISTERED ARCHITECT
 RUSSELL FLEISCHER
 LICENCE 5004

DRAWING NO: **RZ105** REV: **11**



TURNER FLEISCHER ARCHITECTS INC.
 67 Leslie Road
 Toronto, ON M5B 2T8
 turnerfleischer.com

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#	DATE	DESCRIPTION	BY
1	2022-04-22	ISSUED FOR PERMITTING & APPROVALS	DM
2	2022-04-22	ISSUED FOR PERMITTING & APPROVALS	DM
3	2022-04-22	ISSUED FOR PERMITTING & APPROVALS	DM
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6	2022-04-22	ISSUED FOR PERMITTING & APPROVALS	DM
7	2022-04-22	ISSUED FOR PERMITTING & APPROVALS	DM
8	2022-04-22	ISSUED FOR PERMITTING & APPROVALS	DM
9	2022-04-22	ISSUED FOR PERMITTING & APPROVALS	DM
10	2022-04-22	ISSUED FOR PERMITTING & APPROVALS	DM

BRAWO

PROJECT: **VMC Block 3S**
 Interchange Way + Commerce Street, SW Corner, Vaughan, ON

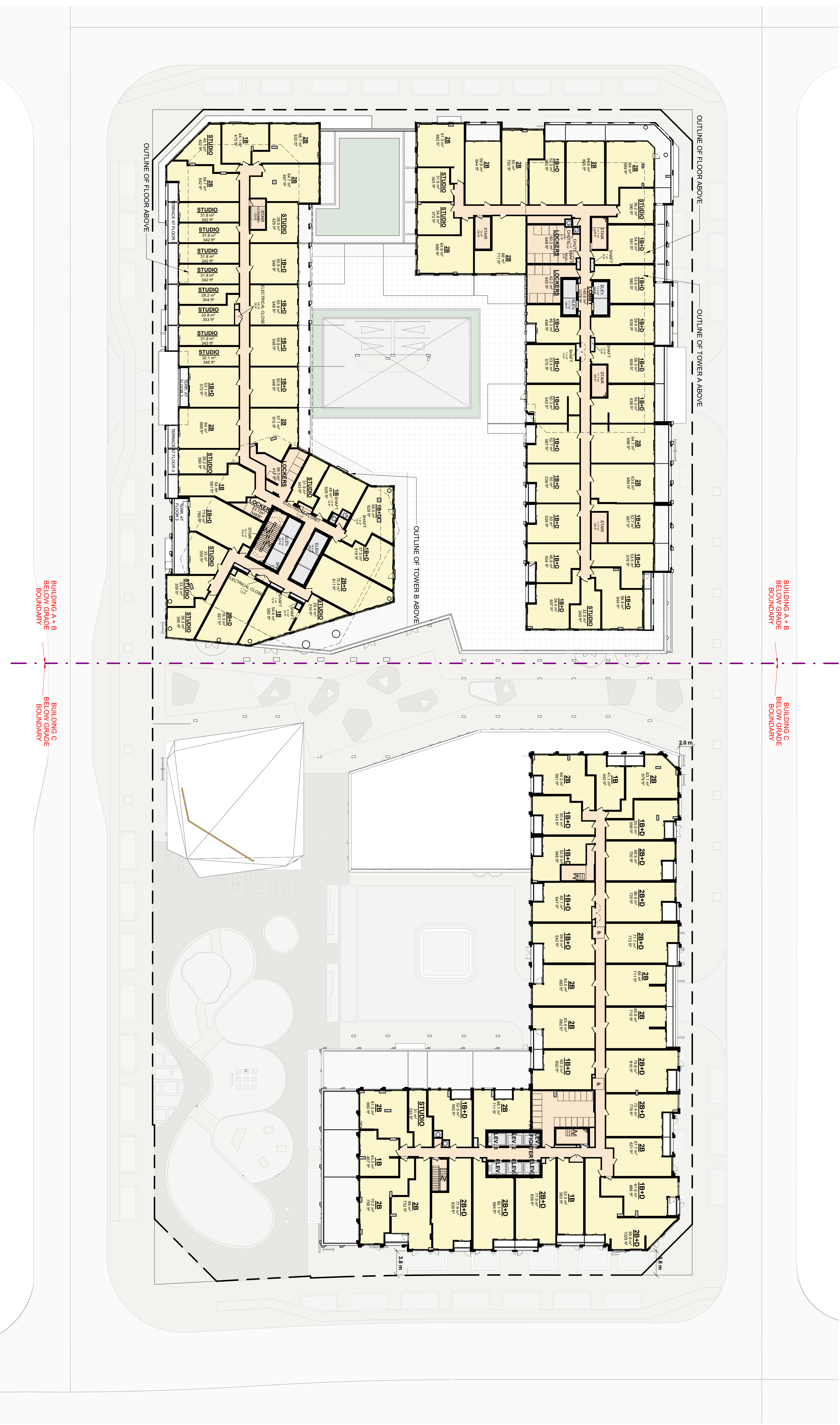
DRAWING: **FLOOR 02**

PROJECT NO: 20_034CS
 PROJECT DATE: 2022-04-22
 DRAWN BY: DVI
 CHECKED BY: TMI
 SCALE: 1 : 300

ASSOCIATION OF PROFESSIONALS OF ONTARIO
 RUSSELL L. FLEISCHER
 LICENCE 5004

DRAWING NO: **RZ107** REV: **10**

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#	DATE	DESCRIPTION	BY
1	2022-04-22	ISSUED FOR CONSTRUCTION PERMITS	DM
2	2022-04-22	ISSUED FOR CONSTRUCTION PERMITS	DM
3	2022-04-22	ISSUED FOR CONSTRUCTION PERMITS	DM
4	2022-04-22	ISSUED FOR CONSTRUCTION PERMITS	DM
5	2022-04-22	ISSUED FOR CONSTRUCTION PERMITS	DM
6	2022-04-22	ISSUED FOR CONSTRUCTION PERMITS	DM
7	2022-04-22	ISSUED FOR CONSTRUCTION PERMITS	DM
8	2022-04-22	ISSUED FOR CONSTRUCTION PERMITS	DM
9	2022-04-22	ISSUED FOR CONSTRUCTION PERMITS	DM
10	2022-04-22	ISSUED FOR CONSTRUCTION PERMITS	DM

BRAWO

PROJECT
VMC Block 3S
Interchange Way + Commerce Street, SW Corner,
Vaughan, ON

DRAWING
FLOOR 03

PROJECT NO: 20_034ACS
PROJECT DATE: 2022-04-22
DRAWN BY: DVI
CHECKED BY: TMI
SCALE: 1 : 300

ONTARIO ASSOCIATION OF ARCHITECTS
LISELLE L. FLEISCHER
LICENCE 5004

TURNER FLEISCHER ARCHITECTS INC.
RZ108 REV 10



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#	DATE	DESCRIPTION	BY
1	2022-04-22	ISSUED FOR CONSTRUCTION PERMITS	DM
2	2022-04-22	ISSUED FOR CONSTRUCTION PERMITS	DM
3	2022-04-22	ISSUED FOR CONSTRUCTION PERMITS	DM
4	2022-04-22	ISSUED FOR CONSTRUCTION PERMITS	DM
5	2022-04-22	ISSUED FOR CONSTRUCTION PERMITS	DM
6	2022-04-22	ISSUED FOR CONSTRUCTION PERMITS	DM
7	2022-04-22	ISSUED FOR CONSTRUCTION PERMITS	DM
8	2022-04-22	ISSUED FOR CONSTRUCTION PERMITS	DM
9	2022-04-22	ISSUED FOR CONSTRUCTION PERMITS	DM
10	2022-04-22	ISSUED FOR CONSTRUCTION PERMITS	DM

BRAWO

PROJECT: **VMC Block 3S**

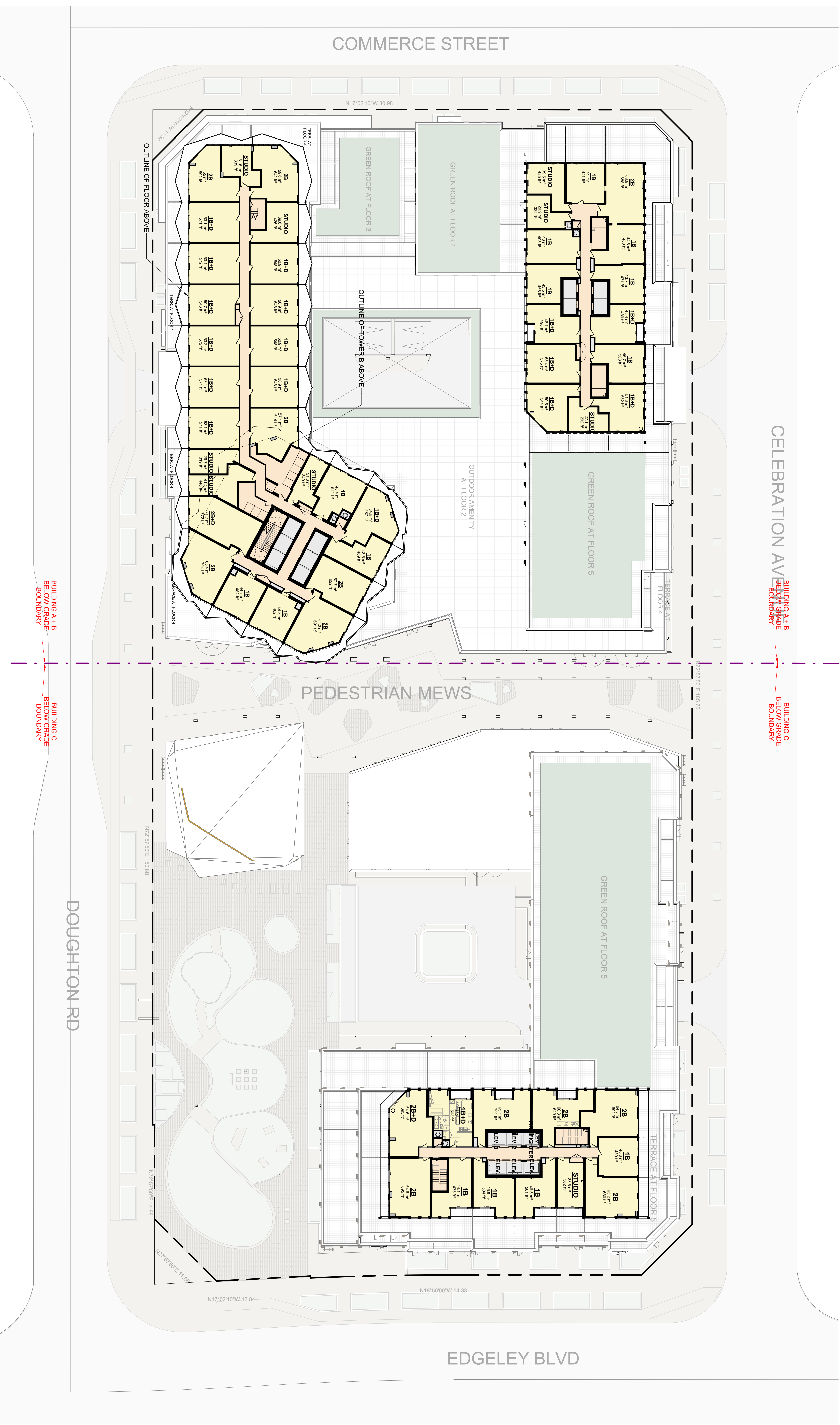
Interchange Way + Commerce Street, SW Corner, Vaughan, ON

FLOOR 04

PROJECT NO: 20.034ACS
PROJECT DATE: 2022-04-22
DRAWN BY: DVI
CHECKED BY: TMI
SCALE: 1:300

ONTARIO ASSOCIATION OF ARCHITECTS
RUSSELL L. FLEISCHER
LICENCE 5004

DRAWING NO: **RZ109** REV: 10



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#	DATE	DESCRIPTION	BY
1	2023-06-19	ISSUED FOR COMMITTEE OF ADJUSTMENTS	DM
2	2023-07-26	ISSUED FOR SITE PLAN APPROVAL	DM
3	2023-07-27	ISSUED FOR ZONING SUBMISSION 2	DM
4			

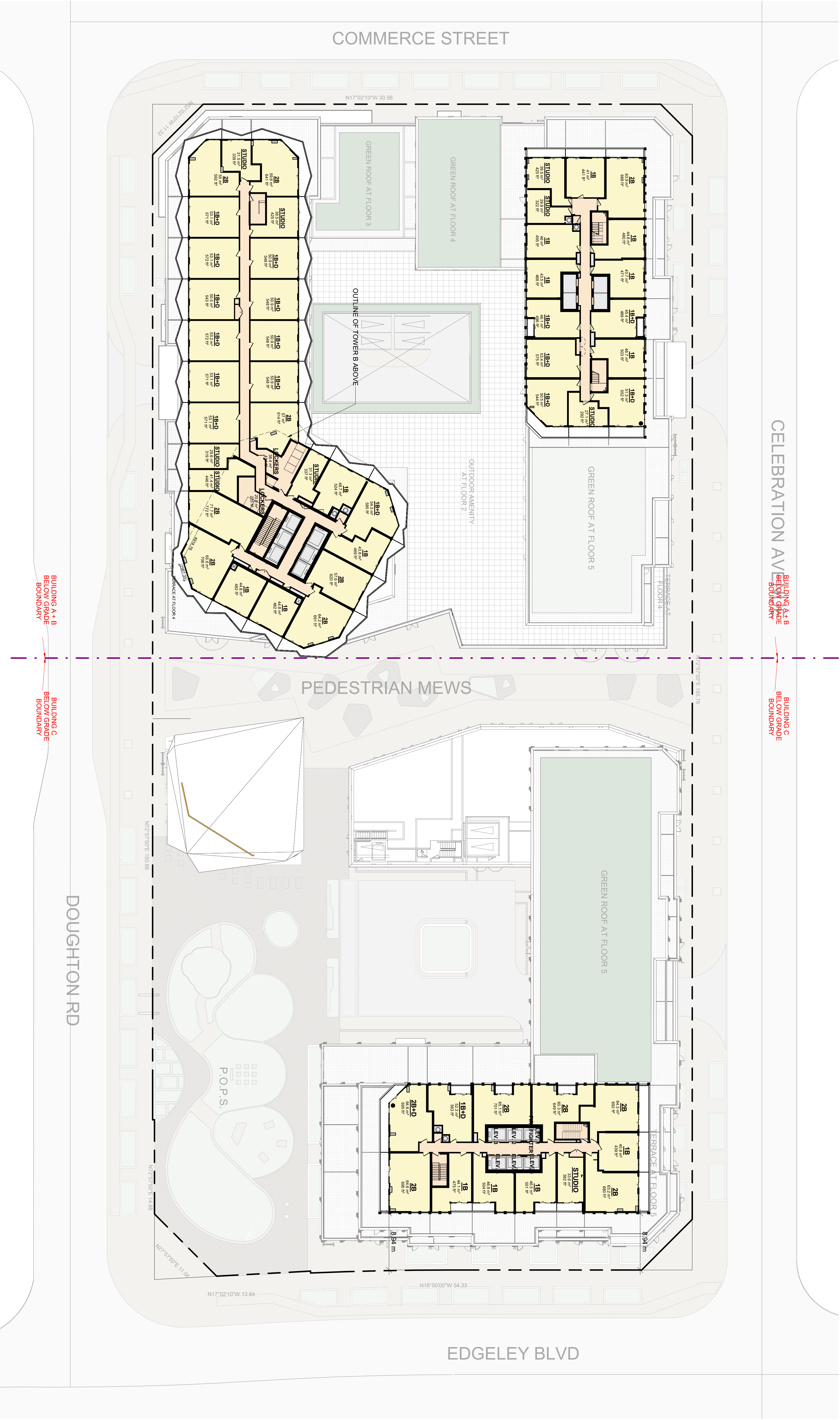
BRAWO

PROJECT
VMC Block 3S
 Interchange Way + Commerce Street, SW Corner,
 Vaughan, ON

FLOOR 05

PROJECT NO	20_034CS
PROJECT DATE	2022-04-22
DRAWN BY	DVI
CHECKED BY	TMI
SCALE	1 : 300
DATE	5004

DRAWING NO. **RZ110** REV. **10**



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#	DATE	DESCRIPTION	BY
1	2023-05-19	ISSUED FOR COMMITTEE OF ADJUSTMENTS	DM
2	2023-07-26	ISSUED FOR SITE PLAN APPROVAL	DM
3	2023-07-27	ISSUED FOR ZONING SUBMISSION 2	DM

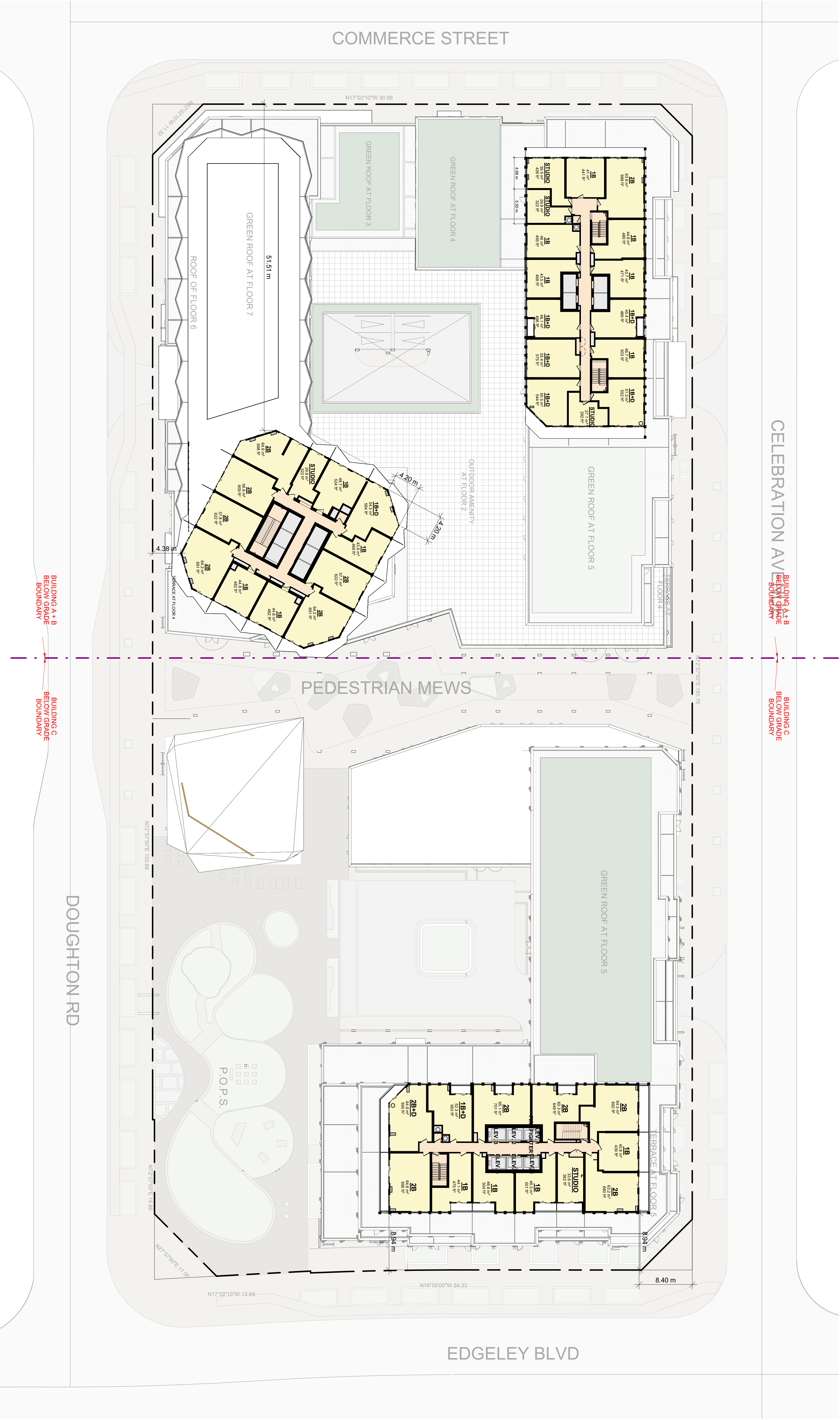
BRAWO

PROJECT
VMC Block 3S
 Interchange Way + Commerce Street, SW Corner,
 Vaughan, ON

FLOOR 06

PROJECT NO	20_034CS
PROJECT DATE	2022-04-22
DRAWN BY	DVI
CHECKED BY	TMI
SCALE	1 : 300
LICENCE	5004

DRAWING NO **RZ111** REV **10**



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#	DATE	DESCRIPTION	BY
1	2022-04-22	ISSUED FOR PERMITTING	DM
2	2022-04-22	ISSUED FOR PERMITTING	DM
3	2022-04-22	ISSUED FOR PERMITTING	DM
4	2022-04-22	ISSUED FOR PERMITTING	DM
5	2022-04-22	ISSUED FOR PERMITTING	DM
6	2022-04-22	ISSUED FOR PERMITTING	DM
7	2022-04-22	ISSUED FOR PERMITTING	DM
8	2022-04-22	ISSUED FOR PERMITTING	DM
9	2022-04-22	ISSUED FOR PERMITTING	DM
10	2022-04-22	ISSUED FOR PERMITTING	DM

BRAWO

PROJECT
VMC Block 3S
 Interchange Way + Commerce Street, SW Corner,
 Vaughan, ON

FLOOR TYP. TOWER

PROJECT NO
 20_034ACS
 PROJECT DATE
 2022-04-22
 DRAWN BY
 DVI
 CHECKED BY
 TMI
 SCALE
 1:300

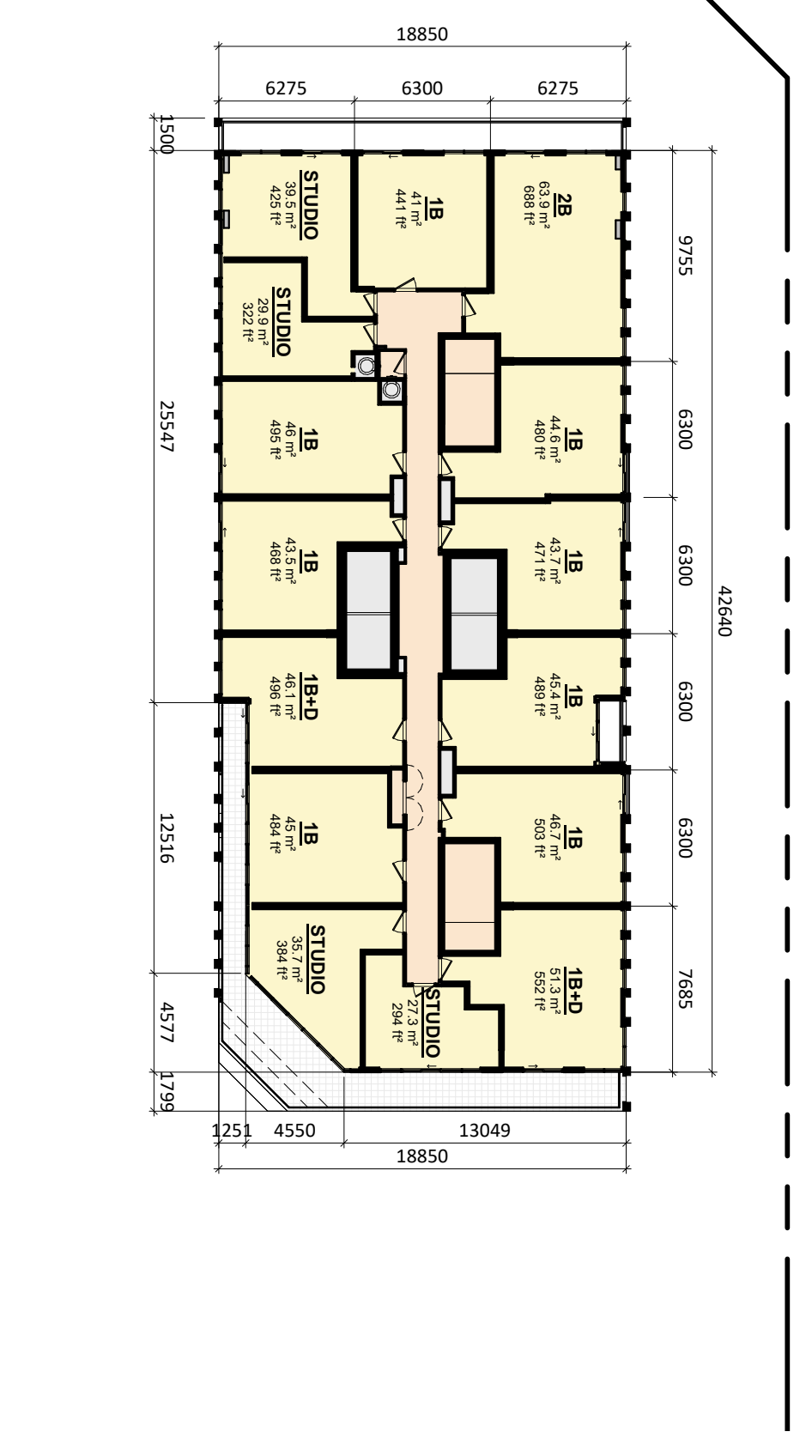
ONTARIO ASSOCIATION OF ARCHITECTS
 RUSSELL L. FLEISCHER
 LICENCE 5004

DRAWING NO
RZ112 REV
10

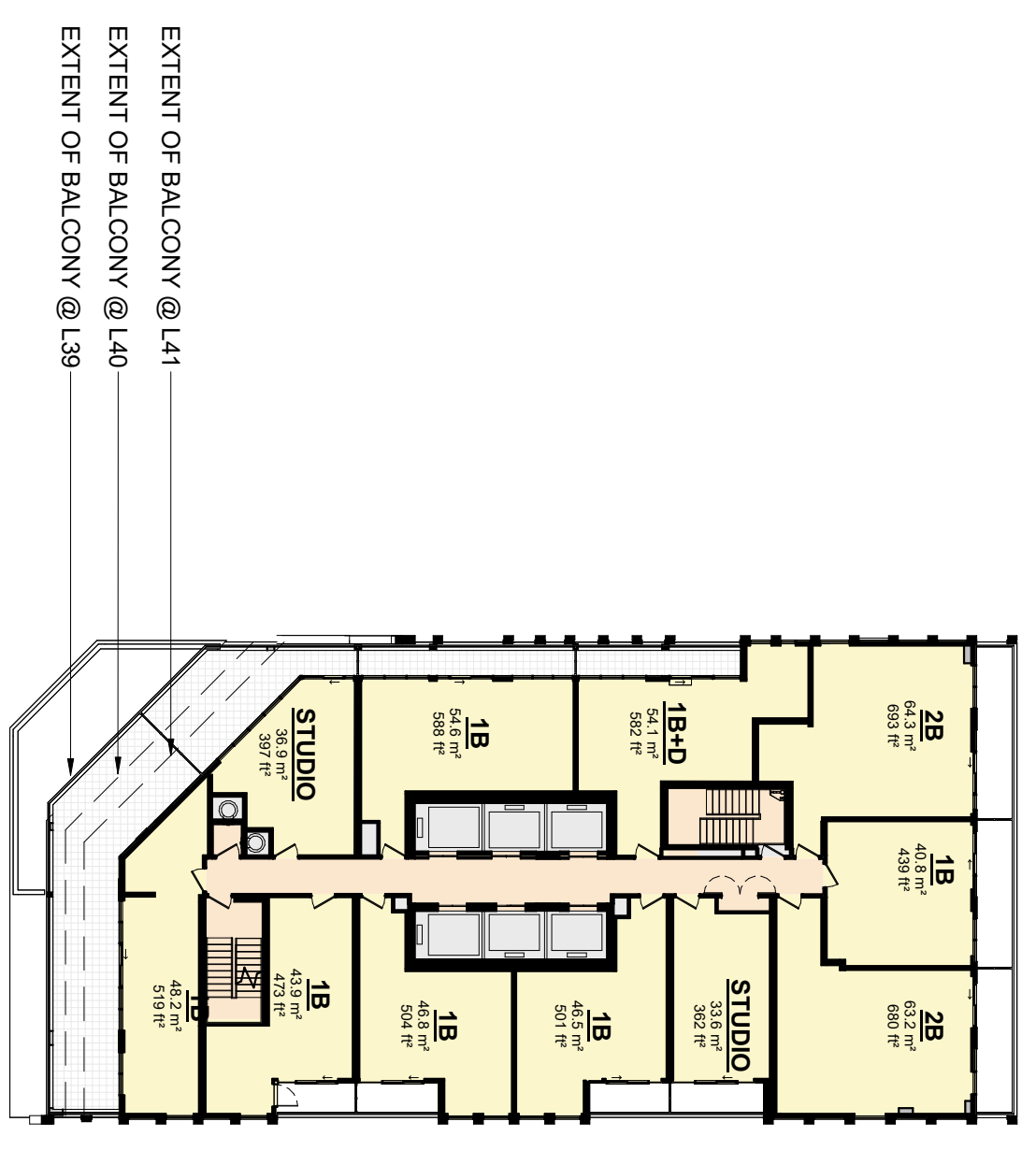
TURNER FLEISCHER

Turner Fleischer Architects Inc.
671 Lansell Road
Toronto, ON, M6B 2T8
turnerfleischer.com

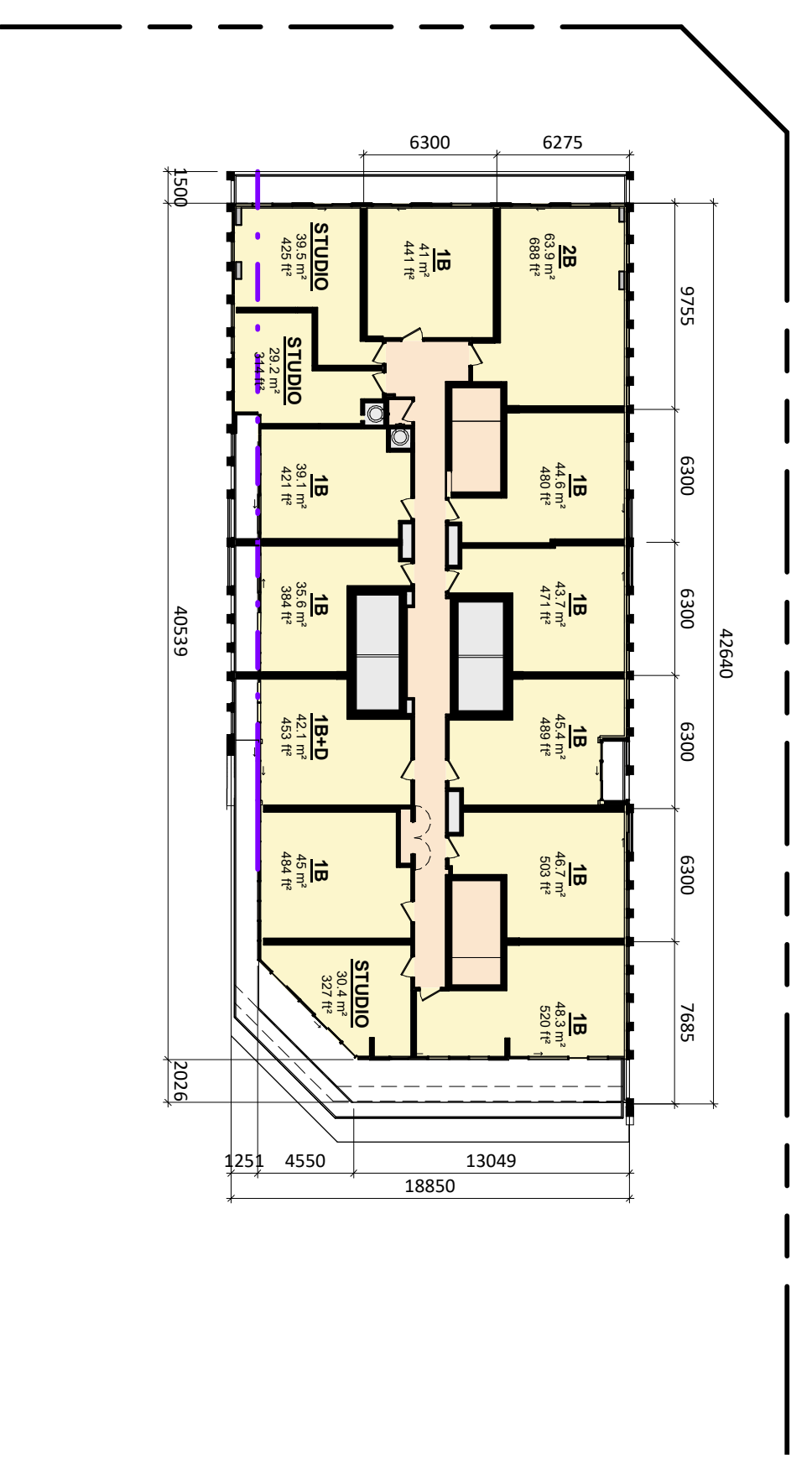
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2 TOWER A - LEVEL 25-27
RZ113 1:300



3 TOWER C - LEVEL 39-41
RZ113 1:300



1 TOWER A - LEVEL 28-30
RZ113 1:300



4 TOWER C - LEVEL 36-38
RZ113 1:300

BRAWO

PROJECT
VMC Block 3S
Interchange Way + Commerce Street, SW Corner,
Vaughan, ON

#	DATE	DESCRIPTION	BY
1	2022-01-24	ISSUED FOR COMMITTEE OF ADJUSTMENTS	DM
2	2022-01-24	ISSUED FOR COMMITTEE OF ADJUSTMENTS	DM
3	2022-07-26	ISSUED FOR SITE PLAN APPROVAL	DM
4	2022-07-27	ISSUED FOR ZONING SUBMISSION 1	DM
5	2022-07-27	ISSUED FOR ZONING SUBMISSION 2	DM
6	2022-07-27	ISSUED FOR ZONING SUBMISSION 3	DM

PROJECT NO
20 034ACS
PROJECT DATE
2022-04-22
DRAWN BY
Author
CHECKED BY
Russell L. Fleischer
SCALE
1 : 300

DRAWING NO
RZ113 REV
11



SCHEDULE B: STAFF & AGENCY COMMENTS				
DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Ministry of Transportation (MTO)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Building Standards (Zoning)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments

Date: July 13th 2023

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A052-23**

Related Files:

Applicant RP B3S Holdings Inc. c/o Mark Karam

Location Parts 1-24 of Plan 65R-40282 (Commerce Street) CONC 3 Lot 20



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

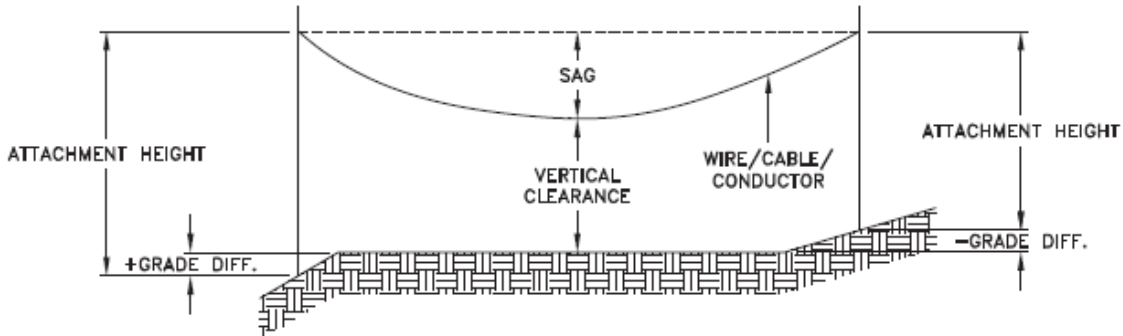
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

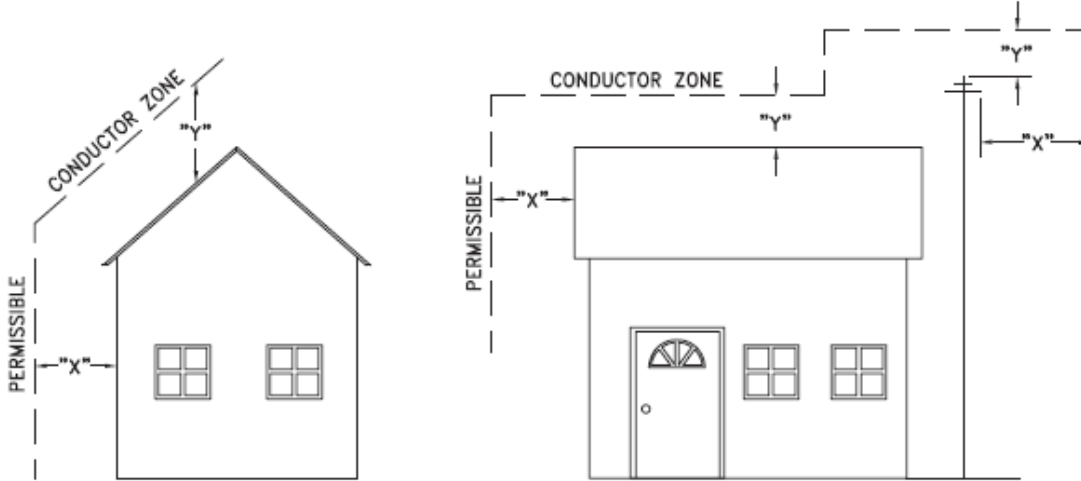
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

To: Committee of Adjustment
From: Lindsay Haviland, Building Standards Department
Date: July 18, 2023
Applicant: RP B3S Holdings Inc. c/o Mark Karam
Location: Parts 1-24 of Plan 65R-40282 (Commerce Street)
 CONC 3 Lot 20
File No.(s): A052/23

Zoning Classification:

The subject lands are zoned C9 – Corporate Centre Zone and subject to the provisions of Exception 9(1541) under Zoning By-law 1-88, as amended.

Zoning By-law 1-88		Variance requested
1	The maximum number of dwelling units on the Subject Lands shall not exceed 1,559 units [Exception 9(1541), mi ix)].	To permit a maximum of 1660 dwelling units on the subject lands.
2	The maximum residential Gross Floor Area of each storey above the first 24.0 metres of building height shall not exceed a. Building A: 776 square metres [Exception 9(1541), mi xiii)].	To permit a maximum residential Gross Floor Area of 795 square metres for storeys above the first 24.0 metres of building height.
3	A minimum of 1.2 parking spaces per 100 square metres of Gross Floor Area for Commercial Uses is required [Exception 9(1541) ci)lii)].	To permit a minimum of 0.9 parking spaces per 100 square metres of Gross Floor Area for Commercial Uses.
4	A maximum residential gross floor area of 112,00 square metres and a minimum non-residential gross floor area of 6,000 square metres is required [Exception 9(1541) mi viii)].	To permit a maximum residential gross floor area of 114,400 square metres, and a minimum non-residential gross floor area of 3,600 square metres.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
2	This application is deemed to be Transitioned under section 1.6 of By-law 001-2021 as amended.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

From: [Blaney, Cameron \(MTO\)](#)
To: [Christine Vigneault](#)
Subject: [External] RE: A052/23 (Parts 1-24 of Plan 65R-40282 (Commerce Street)- REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Friday, July 14, 2023 1:50:53 PM
Attachments: [image001.png](#)

No concerns for MTO in regards to reduced parking spaces as part of A052/23.

Cameron Blaney (He/Him) | Corridor Management Planner York & Simcoe

Highway Corridor Management Section | Central Operations | Ministry of Transportation

159 Sir William Hearst Avenue, 7th Floor, Toronto, ON. M3M 0B7

Telephone: 416-358-7871 Email: cameron.blaney@ontario.ca

Ontario 

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development Planning
Date: July 17, 2023
Name of Owner: RP B3S Holdings Inc.
Location: Parts 1-24 of Plan 65R-40282 (Commerce Street)
File No.(s): A052/23

Proposed Variance(s) (By-law 1-88):

1. To permit a maximum of 1660 dwelling units on the subject lands.
2. To permit a maximum residential Gross Floor Area of 795 square metres for storeys above the first 24.0 metres of building height.
3. To permit a minimum of 0.9 parking spaces per 100 square metres of Gross Floor Area for Commercial Uses.
4. To permit a maximum residential gross floor area of 114,400 square metres, and a minimum non-residential gross floor area of 3,600 square metres.

By-Law Requirement(s) (By-law 1-88):

1. The maximum number of dwelling units on the Subject Lands shall not exceed 1,559 units.
2. The maximum residential Gross Floor Area of each storey above the first 24.0 metres of building height shall not exceed Building A: 776 square metres.
3. A minimum of 1.2 parking spaces per 100 square metres of Gross Floor Area for Commercial Uses is required.
4. A maximum residential gross floor area of 112,000 square metres and a minimum non-residential gross floor area of 6,000 square metres is required.

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): "Station Precinct" in Section 11.12 Vaughan Metropolitan Centre Secondary Plan

Comments:

The Owner is requesting relief to permit revisions to parking provisions and site-specific adjustments, to the previously approved mixed-use three-tower development, with the above noted variances.

Official Plan Amendment Application OP.21.016 (By-law 148-2022) and Zoning By-law Amendment Application Z.21.027 (By-law 147-2022), was approved by the Committee of the Whole on June 21, 2022, and the decision was ratified by Council on June 28, 2022. The approvals permitted a mixed-use development in the Vaughan Metropolitan Centre (VMC) consisting of 1,557 residential units within three towers of 30 (Building A), 40 (Building C) and 50-storeys (Building B) on podiums up to 6-storeys in height, a one-storey standalone retail building, a north-south pedestrian mews, a privately owned-publicly accessible open space ('POPS'), and 6,122.7 m² of retail uses on the subject lands. Associated Site Development Application DA.21.031 was approved by Council on September 28, 2022.

The Development Planning Department has no objection to Variance 1 for the proposed unit increase, as residential dwelling units are a permitted use on the lands, and the requested variance is in keeping with provincial, regional, and municipal policies to increase housing stock and housing options within intensification areas such as the Vaughan Metropolitan Centre ('VMC'). Additionally, the proposed variance does not result in any building height or density increases beyond what was originally approved by Council for Building A. As per Development Engineering's comments, Variance 1 is conditional on the Owner receiving Servicing Allocation from Council.

The Development Planning Department has no objection to Variance 2 for the maximum Gross Floor Area ('GFA') for the storeys above the first 24 m of building height, as the requested increase from 776 m² to 795 m² represents a modest increase in floor plate area, continues to maintain a slender high-rise tower built-form that allows for a more

optimal floor plan and minimizes shadow impacts, maintains minimum tower separation distances, and does not substantially impact the design of the tower as originally approved. Additionally, the proposed variance contemplates a tower floor plate that is consistent with several other floor plate sizes approved within the VMC. As such the proposed variance maintains the general intent of the Official Plan and is minor in nature.

The Development Planning Department has no objection to Variance 3 for the parking rate reduction. The Owners submitted a Parking Justification Report prepared by BA Group, dated March 7, 2023, in support of the request which concludes that the proposed parking reduction of 0.9 spaces per 100 m² of commercial GFA would be sufficient for the proposed development. The Development Engineering Department has reviewed the Parking Justification Report and the reduced parking ratio and has no objection to the requested variance.

The Development Planning Department has no objection to Variance 4 for the increase in residential GFA and reduction in non-residential (commercial) GFA. The Owner is proposing to repurpose 2,400 m² of non-residential GFA to residential GFA, as a large occupant retail tenant is no longer contemplated as part of this development. Rather, the Owner has advised that the large occupant retail component will instead be relocated to another phase of development within their surrounding land holdings. The overall GFA remains consistent with previous Council approvals, and the development continues to maintain a generous non-residential GFA.

Accordingly, the Development Planning Department can support the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None

Comments Prepared by:

Michelle Perrone, Planner 1
David Harding, Senior Planner

From: [Kristen Regier](#)
To: [Committee of Adjustment](#)
Cc: [Christine Vigneault](#); [Lenore Providence](#)
Subject: [External] RE: A052/23 (Parts 1-24 of Plan 65R-40282 (Commerce Street)- REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Friday, July 14, 2023 3:05:19 PM
Attachments: [image001.png](#)

Hello,

The subject property at Parts 1-24 of Plan 65R-40282 (Commerce Street), Vaughan is not located within TRCA's Regulated Area. TRCA's Planning and Regulatory policy interests are not impacted.

As such, TRCA has no comments on the application.

Best,

Kristen Regier, MA (she / her)
Planner I
Development Planning and Permits | Development and Engineering Services
Toronto and Region Conservation Authority (TRCA)

T: [437-880-2129](tel:437-880-2129)
E: kristen.regier@trca.ca
A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](#) | trca.ca



From: [Development Services](#)
To: [Christine Vigneault](#)
Cc: [Committee of Adjustment](#)
Subject: RE: [External] RE: A052/23 (Parts 1-24 of Plan 65R-40282 (Commerce Street)- REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Monday, July 17, 2023 1:42:22 PM
Attachments: [image001.png](#)
[image003.png](#)

Hi Christine,

Thank you for providing the architectural plans.

The Regional Municipality of York has completed its review of the above minor variance A052/23 and has the following conditions:

Prior to final approval of the application, the Owner shall provide to the Region the following documentation to confirm that water and wastewater services are available to the subject development and have been allocated by the City of Vaughan:

a) a copy of the Council resolution confirming that the City of Vaughan has allocated servicing capacity, specifying the specific source of the capacity, to the development proposed within this site plan.

b) a copy of an email confirmation by a City of Vaughan staff member stating that the allocation to the subject development remains valid at the time of the request for regional clearance of this condition

Please also note that all previous regional conditions and comments continue to apply for Site Plan SP.21.V.0178 (DA.21.031).

Please provide us with a copy of the notice of decision for our records.

Many thanks,

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Development Services, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

Our Values: Integrity, Commitment, Accountability, Respect, Excellence

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				