

<b>ITEM: 6.4</b>	<b>COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A059/23 464 WESTRIDGE DRIVE, KLEINBURG</b>
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**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING  
DEPARTMENTS & AGENCIES:**

\*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

**PUBLIC & APPLICANT CORRESPONDENCE**

\*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

**PREVIOUS COA DECISIONS ON THE SUBJECT LAND**

\*Please see **Schedule D** for a copy of the Decisions listed below

File Number	Date of Decision	Decision Outcome

**PREVIOUS COA DECISIONS ON THE SUBJECT LAND**

\*Please see **Schedule D** for a copy of the Decisions listed below

	MM/DD/YYYY	
None		

**ADJOURNMENT HISTORY**

\* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

None	
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**COMMITTEE OF ADJUSTMENT REPORT  
MINOR VARIANCE APPLICATION  
A059/23  
464 WESTRIDGE DRIVE, KLEINBURG**

<b>ITEM NUMBER: 6.4</b>	<b>CITY WARD #: 1</b>
<b>APPLICANT:</b>	Sylvain & Sharon Nadeau
<b>AGENT:</b>	Lucas Cocomello
<b>PROPERTY:</b>	464 Westridge Drive, Kleinburg
<b>ZONING DESIGNATION:</b>	See below.
<b>VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:</b>	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
<b>RELATED DEVELOPMENT APPLICATIONS:</b>	None
<b>PURPOSE OF APPLICATION:</b>	Relief from the Zoning By-law is being requested to permit a proposed cabana.

The following variances have been requested from the City's Zoning By-law:

**The subject lands are zoned R1B(EN) – First Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.336 under Zoning By-law 001-2021, as amended.**

#	Zoning By-law 001-2021	Variance requested
1	A residential accessory structure with a height greater than 2.8 metres shall not be located closer than 2.4 m to any lot line [Section 4.1.2.1 b].	To permit a residential accessory structure with a height greater than 2.8 metres to be located 1.52 metres to the interior side lot line.
2	In any Residential Zone, the maximum lot coverage of all accessory buildings and residential accessory structures shall be 10% of 67 m2, whichever is less [Section 4.1.3.1].	To permit a maximum lot coverage of 98.60 m2 for residential accessory structures.
3	In any Residential Zone, the maximum height of a residential accessory structure shall be 3.0 metres [Section 4.1.4.1].	To permit a maximum height of 3.82 metres for a residential accessory structure.

**HEARING INFORMATION**

**DATE OF MEETING:** Thursday, August 3, 2023

**TIME:** 6:00 p.m.

**MEETING LOCATION:** Vaughan City Hall, Woodbridge Room (2<sup>nd</sup> Floor), 2141 Major Mackenzie Drive

**LIVE STREAM LINK:** [Vaughan.ca/LiveCouncil](http://Vaughan.ca/LiveCouncil)

**PUBLIC PARTICIPATION**

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

If you would like to submit written comments, please quote file number above and submit by mail or email to:

**Email:** [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

**Mail:** City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to [cofa@vaughan.ca](mailto:cofa@vaughan.ca) no later than NOON on the last business day before the meeting.

**THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.**

**INTRODUCTION**

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

## INTRODUCTION

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

## COMMITTEE OF ADJUSTMENT COMMENTS

<b>Date Public Notice Mailed:</b>	July 20, 2023
<b>Date Applicant Confirmed Posting of Sign:</b>	July 14, 2023
<b>Applicant Justification for Variances:</b> <small>*As provided by Applicant in Application Form</small>	Due to the zoning bylaw restrictions on accessory structures, the proposed work does not comply with the current bylaw.
<b>Adjournment Requests (from staff):</b> <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	None
<b>Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:</b>  <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.  *A revised submission may be required to address staff / agency comments received as part of the application review process.  *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>	No
<b>Adjournment Fees:</b> In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice.  An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff <b>after</b> the issuance of public notice.	
<b>Committee of Adjustment Comments:</b>	None
<b>Committee of Adjustment Recommended Conditions of Approval:</b>	None

## BUILDING STANDARDS (ZONING) COMMENTS

<b>**See Schedule B for Building Standards (Zoning) Comments</b>	
<b>Building Standards Recommended Conditions of Approval:</b>	None

## DEVELOPMENT PLANNING COMMENTS

<b>**See Schedule B for Development Planning Comments.</b>	
<b>Development Planning Recommended Conditions of Approval:</b>	That the final Landscape Plan, indicating the location of hedge plantings along the north and east sides of the cabana, be approved to the satisfaction of the Development Planning Department

## DEVELOPMENT ENGINEERING COMMENTS

<a href="#">Link to Grading Permit</a> <a href="#">Link to Pool Permit</a> <a href="#">Link to Curb Curt Permit</a> <a href="#">Link Culvert Installation</a>	
<p>The Owner/applicant shall apply for a pool permit with the Development Engineering (DE) Department. Please visit or contact the Development Engineering Department through email at <a href="mailto:DEPermits@vaughan.ca">DEPermits@vaughan.ca</a> or visit the pool permit link provided above to learn how to apply for the pool permit.</p> <p>As the proposed dwelling cabana in the subject property is 74.32m<sup>2</sup>, the owner/ applicant needs to obtain a lot grading permit from Development Inspection and Lot Grading division of the City's</p>	

## DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#)  
 [Link to Pool Permit](#)  
 [Link to Curb Curt Permit](#)  
 [Link Culvert Installation](#)

Development Engineering Department. Please note any in ground structure over 10 m2 requires a grading permit. Please contact COA application engineering reviewer after receiving the grading permit to clear the condition. (Condition attached)

The Development Engineering (DE) Department does not object to the variance application A059/23 subject to the following condition:

<b>Development Engineering Recommended Conditions of Approval:</b>	The Owner/applicant shall submit a Lot Grading plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at <a href="mailto:DEPermits@vaughan.ca">DEPermits@vaughan.ca</a> or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.
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## PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

Forestry: Forestry has no comment at this time.

<b>PFH Recommended Conditions of Approval:</b>	None
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## DEVELOPMENT FINANCE COMMENTS

No comment no concerns.

<b>Development Finance Recommended Conditions of Approval:</b>	None
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## BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

No comment no concerns.

<b>BCLPS Recommended Conditions of Approval:</b>	None
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## BUILDING INSPECTION (SEPTIC) COMMENTS

No comments received to date.

<b>Building Inspection Recommended Conditions of Approval:</b>	None
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## FIRE DEPARTMENT COMMENTS

No comment no concerns

<b>Fire Department Recommended Conditions of Approval:</b>	None
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## SCHEDULES TO STAFF REPORT

\*See Schedule for list of correspondence

<b>Schedule A</b>	Drawings & Plans Submitted with the Application
<b>Schedule B</b>	Staff & Agency Comments
<b>Schedule C</b> (if required)	Correspondence (Received from Public & Applicant)
<b>Schedule D</b> (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

## SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Planning <a href="mailto:Joshua.cipolletta@vaughan.ca">Joshua.cipolletta@vaughan.ca</a>	That the final Landscape Plan, indicating the location of hedge plantings along the north and east sides of the cabana, be approved to the

## SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

		satisfaction of the Development Planning Department
2	Development Engineering <a href="mailto:ian.reynolds@vaughan.ca">ian.reynolds@vaughan.ca</a>	The Owner/applicant shall submit a Lot Grading plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at <a href="mailto:DEPermits@vaughan.ca">DEPermits@vaughan.ca</a> or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.

## IMPORTANT INFORMATION – PLEASE READ

**CONDITIONS:** It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

**APPROVALS:** Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

**DEVELOPMENT CHARGES:** That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

**NOTICE OF DECISION:** If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

**SCHEDULE A: DRAWINGS & PLANS**







**COVERAGE CALCULATIONS**

	METRIC	IMPERIAL
LOT AREA	1221.60 S.M.	13131.97 S.F.
HOUSE COVERAGE	329.50 S.M.	3546.72 S.F.
GARAGE AREA	35.40 S.M.	381.05 S.F.
FRONT PORCH AREA	7.24 S.M.	77.88 S.F.
NEW CABANA AREA	70.58 S.M.	759.75 S.F.
NEW CABANA OVERHANG AREA	27.99 S.M.	301.25 S.F.
REAR DECK AREA	6.42 S.M.	176.70 S.F.
COVERAGE (39.88%)	487.13 S.M.	5243.42 S.F.

**RECEIVED**  
By Christine Vigneault at 11:06 am, Jul 27, 2023

**Change: addition of more hedge plantings**

**WESTRIDGE DRIVE**

(BY REGISTERED PLAN 65M-2863)  
PIN 03323-0130 (LT)  
CENTER LINE OF PAVEMENT

**CITY OF VAUGHAN  
RESIDENTIAL LOT GRADING NOTES**

- ALL DIMENSIONS AND GRADE ELEVATIONS ARE EXPRESSED IN SI UNITS
- THE CONTRACTOR SHALL CHECK AND VERIFY ALL GIVEN GRADE ELEVATION AND DRAINAGE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- UNDERSIDE OF FOOTING SHOW IS TAKEN FROM ARCHITECTURAL PLANS AND MAY NOT REPRESENT ACTUAL FOOTING DEPTH
- FOOTING MUST BEAR ON NATIVE, UNDISTURBED SOIL OR ROCK, AND BE A MINIMUM 1.22M BELOW FINISHED GRADE.
- WHERE THE REAR LOT CATCH BASINS ARE PROVIDED, HOUSE FOOTINGS ADJACENT TO THE RLCB LEAD MUST BE LOWER THAN THE LEAD. RLCB SHALL HAVE A MINIMUM OF 150MM CONCRETE ENCASEMENT FROM SEWER TO CB.
- PERMISSIBLE SIDEYARD ENCROACHMENTS (IE. A.C. UNITS CHIMNEYS, GAS OR HYDRO METER, WATER SPIGOTS, ECT.) MAY NOT ENCROACH BY MORE THAN 0.5M (ENTRY STEPS AND BAY WINDOWS 0.3M) NOR BE WITHIN 1.2M OF ANY LOT LINE (EXCLUDING EAVES AND GUTTERS)
- EXTERIOR CLADDING, THRESHOLDS, AND WINDOW SILLS SHALL BE A MINIMUM OF 150MM ABOVE FINISHED GRADE. WHERE WINDOW WELLS ARE PROVIDED, THEY MUST BE PROPERLY DRAINED AND CONNECTED TO THE FOUNDATION DRAIN.
- SLOPE PARAMETERS:  
DRIVEWAYS - MIN. 1.5% - MAX 8.0%  
SWALES - MIN. 2.0% - MAX 5.0%  
EMBANKMENTS - MAX 3H:1V - MAX ELEVATION DIFF. 600MM  
FRONT AND REAR YARDS - MIN. 2.0% - MAX 5.0%  
MIN. 6.0M AT 2.0% TO 5.0%
- DRIVEWAYS - GRAN "A" MIN. 200MM AFTE COMPACTION  
- HL8 MIN. 50MM AFTER COMPACTION  
- PLACED WITHIN 9 MONTHS OF OCCUPANCY  
- HL3 MIN. 25MM AFTER COMPACTION  
- PLACED WITHIN ONE WINTER AFTER THE HL8  
- MAXIMUM WIDTH - 6.0M
- WATER SERVICE BOXES SHOULD NOT BE LOCATED WITHIN 1.0M OF THE EDGE OF THE DRIVEWAY. FROST COLLARS ARE TO BE PROVIDED AND INSTALLED TO THE CITY STANDARDS WHERE A WATER SERVICES VALVE BOX IS LOCATED IN THE DRIVEWAY.
- THE FIRM OR PERSON HIRING THE SOD CONTRACTOR MUST ENSURE THAT ALL WATER BOXES ARE ADJUSTED TO SOD LEVELS ARE OPERATIONAL FOLLOWING COMPLETING OF THE WORKS.
- TOP SOIL - MIN. 100MM UNDER ALL TURF.
- REFER TO VAUGHAN LOT GRADING DESIGN CRITERIA AND BYLAWS 1-88 AND 353-90 FROM COMPLETE REQUIREMENTS
- BUILDER IS TO VERIFY LOCATIONS OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS, AND OTHER SERVICES. IF MINIMUM DIMENSIONS ARE NOT MAINTAINED, THE BUILDER IS TO RELOCATE THEM AT HIS OWN EXPENSE.

**SCOPE OF WORK**

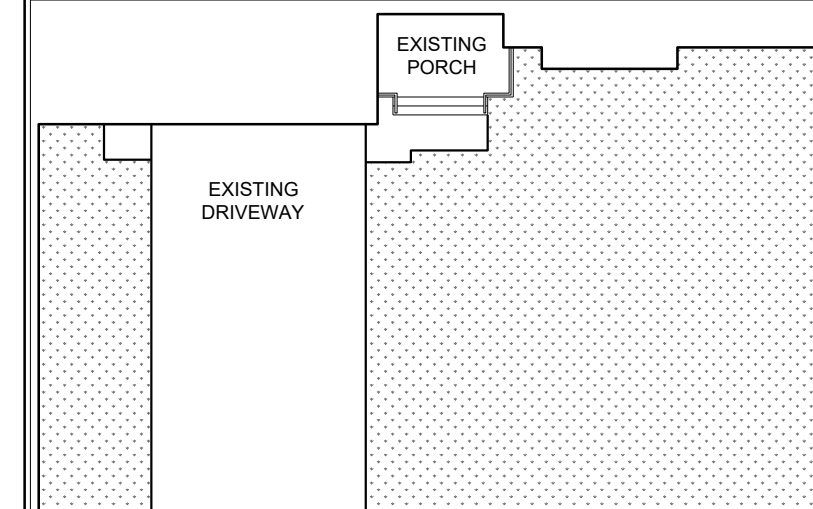
PROPOSED 1 STOREY REAR ADDITION

**SITE STATISTICS**

	METRIC	IMPERIAL
LOT AREA	1221.60 S.M.	13131.97 S.F.
GROUND FLOOR AREA	329.50 S.M.	3546.72 S.F.
GARAGE AREA	35.40 S.M.	381.05 S.F.
FRONT PORCH AREA	7.24 S.M.	77.88 S.F.
REAR DECK AREA	16.42 S.M.	176.70 S.F.
POOL AREA	85.84 S.M.	924.00 S.F.
NEW CABANA AREA	70.58 S.M.	759.75 S.F.
COVERAGE (39.88%)	487.13 S.M.	5243.42 S.F.
<small>(TOTAL GROUND FLOOR AREA, GARAGE, REAR DECK AREA, FRONT PORCH, NEW CABANA, CABANA OVERHANG)</small>		
<b>ZONING INFORMATION</b>		
ZONING	PROPOSED	
ZONE	R1	
FRONTAGE	18.00M	20.00M
FRONT YARD	7.50M	10.00M
SIDE YARD	1.50M	2.62M
REAR YARD	1.50M	2.54M
REAR DECK AREA	7.50M	21.20M
COVERAGE	40.00%	37.59%
<small>(TOTAL GROUND FLOOR AREA, GARAGE, REAR DECK AREA, FRONT PORCH)</small>		
MAX HEIGHT	11.00M	7.50M

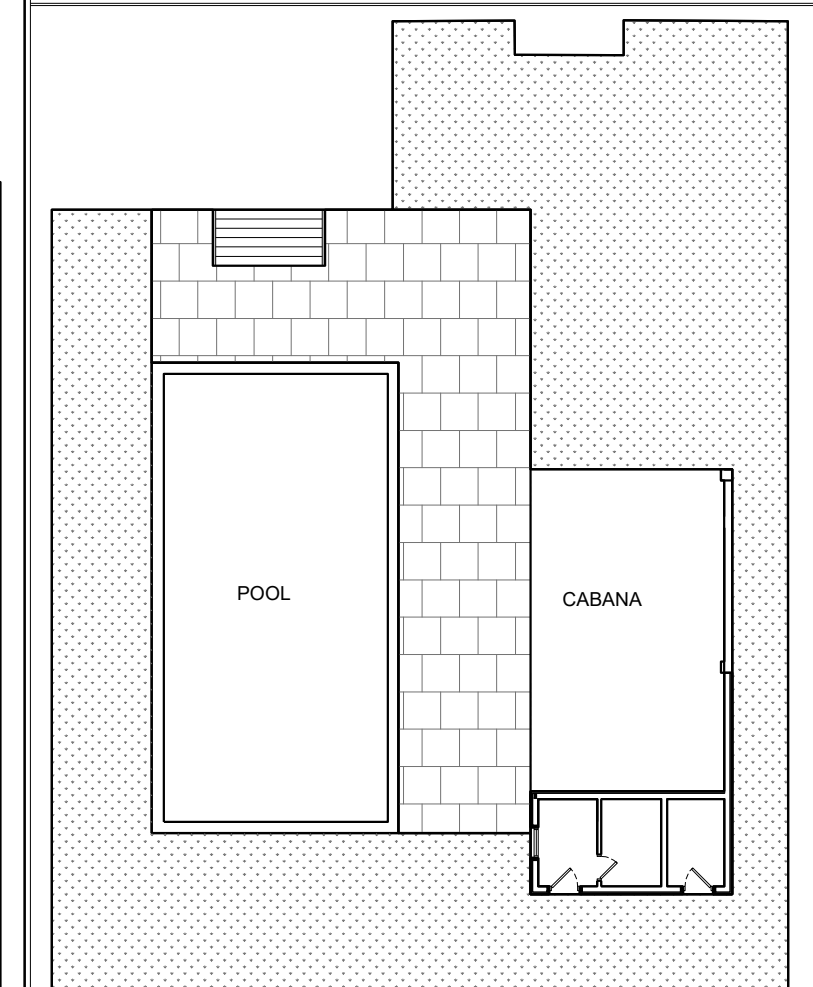
**FRONT YARD PERVIOUS SURFACE AREA 52%**

FRONT YARD AREA	223.15 S.M.	2401.95 S.F.
PORCH AREA	7.24 S.M.	77.88 S.F.
WALKWAY/STEP AREA	4.45 S.M.	47.93 S.F.
DRIVEWAY AREA	55.12 S.M.	593.29 S.F.
GRASS AREA	218.70 S.M.	2354.07 S.F.



**REAR YARD SURFACE AREA 72.33%**

REAR YARD AREA	477.08 S.M.	5135.24 S.F.
HARDSCAPING AREA	80.09 S.M.	862.08 S.F.
STEP AREA	4.65 S.M.	50.00 S.F.
POOL AREA	74.32 S.M.	800.00 S.F.
GRASS AREA	247.44 S.M.	2663.42 S.F.
NEW CABANA AREA	70.58 S.M.	759.75 S.F.



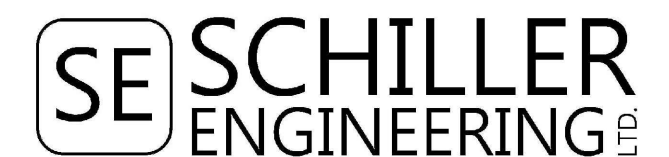
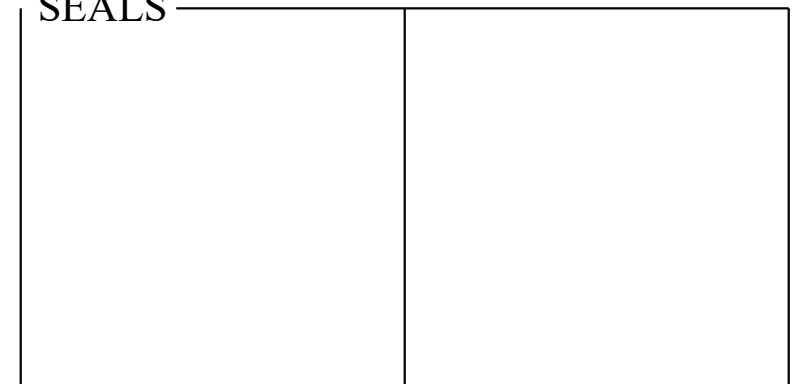
**NOTES**

THIS DRAWING, AS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF THE DESIGNER. THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND NOTIFY THE DESIGNER OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION. THE DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL INFORMATION SHOWN ON THIS DRAWING. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS (I.E. FLOOR LAYOUT, TRUSS LAYOUT) BEFORE PROCEEDING WITH THE WORK. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

DRAWINGS SHALL NOT BE SCALED. THESE DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL THE REQUIRED BUILDING PERMITS HAVE BEEN ISSUED.

No.	DATE:	REVISION
1	JUN. 7, 2021	ISSUED FOR PERMIT

**SEALS**



2157 ROYAL WINDSOR DRIVE, UNIT 4  
MISSISSAUGA, ON L5J 1K5  
PHONE: 905-822-1666  
EMAIL: TRAVIS@SCHILLERENGINEERING.CA

**CLIENT**

PRIVATE RESIDENCE

**PROJECT**

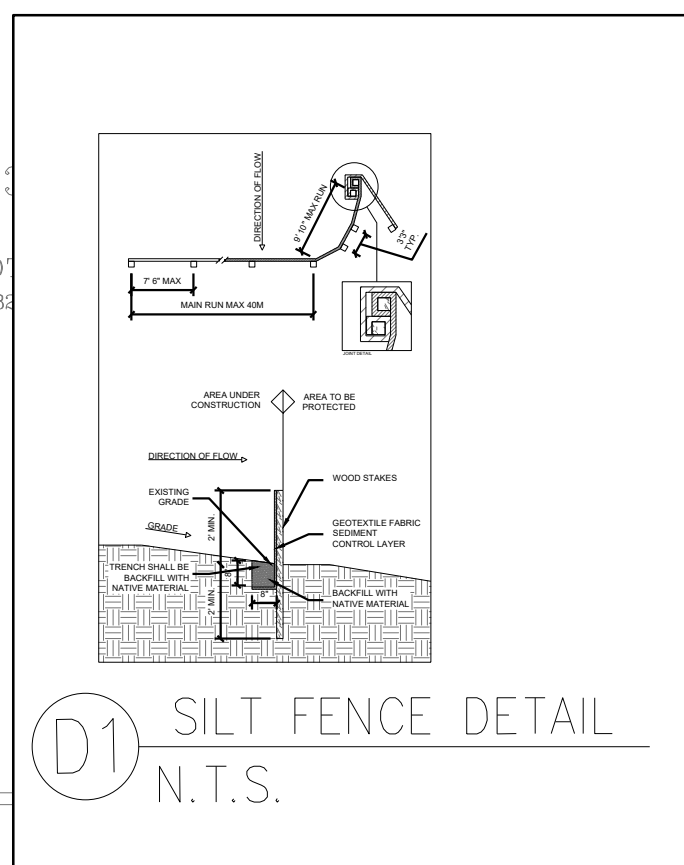
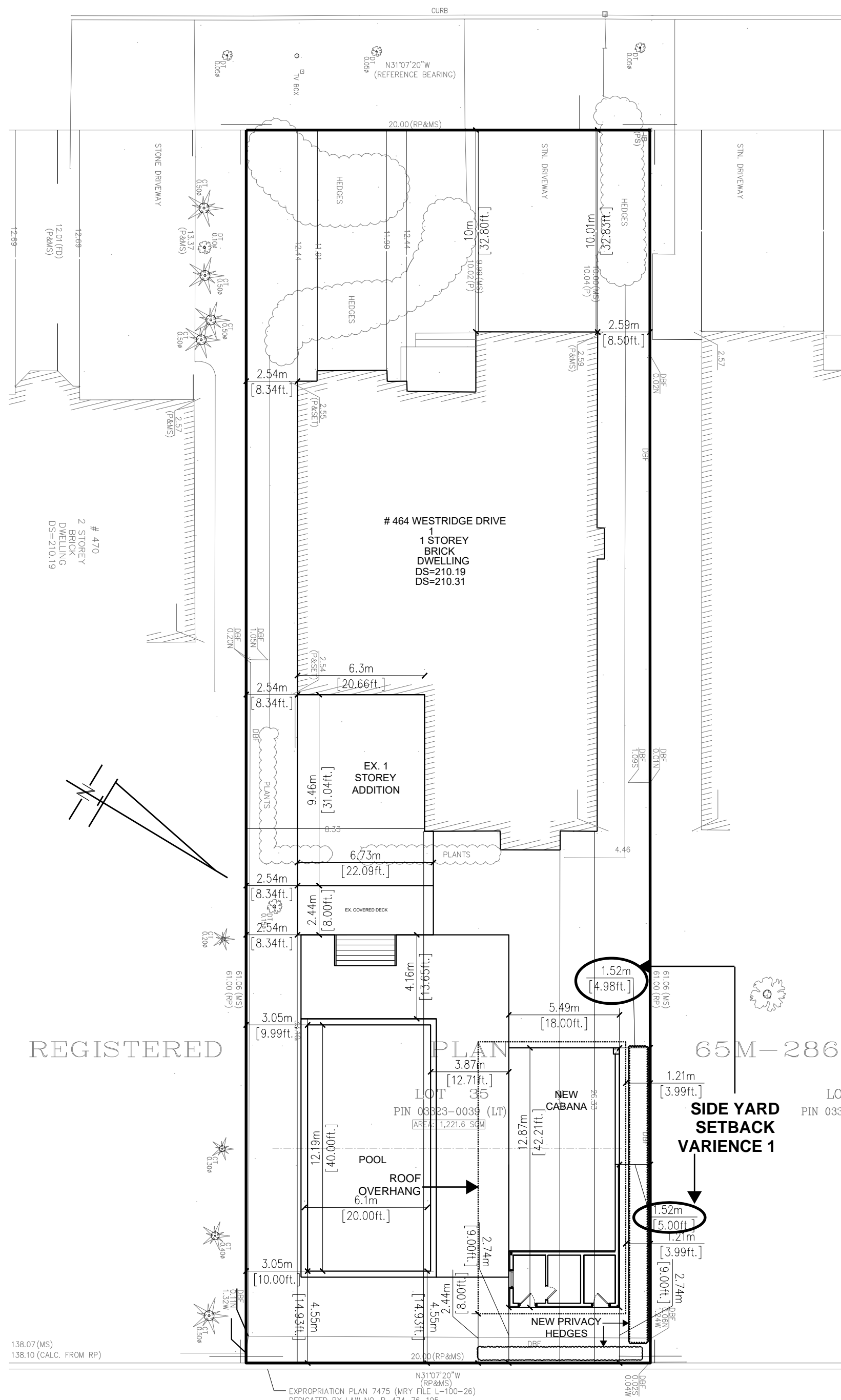
464 WESTRIDGE DRIVE,  
KLEINBURG, ON

**PAGE**

SITE PLAN,  
SITE STATISTICS

APPROVED BY:	TS	<b>A0.1</b>
DATE:	JUN. 2021	
SCALE:	1" = 10' - 0"	
PROJECT No.	2021SE194	

COVERAGE VARIENCE 2



REGISTERED

PLAN

65M-2863

LOT 35

PIN 03323-0038 (LT)

AREA: 1,221.6 S.M.

138.07 (MS)  
138.10 (CALC. FROM RP)

EXPROPRIATION PLAN 7475 (MRY FILE C-100-26)  
DEDICATED BY LAW NO. R-474-76-195



<b>SCHEDULE B: STAFF &amp; AGENCY COMMENTS</b>				
<b>DEPT/AGENCY</b>	<b>Circulated</b>	<b>Comments Received</b>	<b>Conditions</b>	<b>Nature of Comments</b>
TRCA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Building Standards (Zoning)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		General Comments

**Date:** May 2<sup>nd</sup> 2023

**Attention:** **Sarah Scauzillo**

**RE:** Request for Comments

**File No.:** **A059-23**

**Related Files:**

**Applicant** Sylvain & Sharon Nadeau

**Location** 464 Westridge Drive



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### COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

### References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T  
Supervisor, Distribution Design, ICI & Layouts (North)  
**Phone:** 1-877-963-6900 ext. 31297

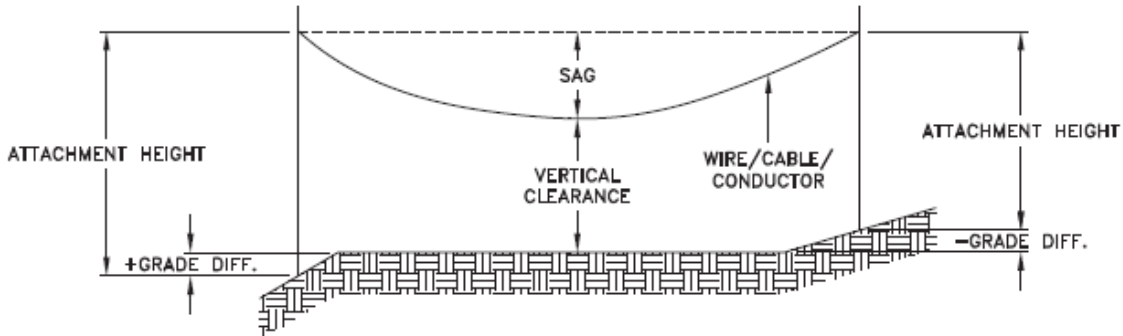
**E-mail:** [stephen.cranley@alectrautilities.com](mailto:stephen.cranley@alectrautilities.com)

Mitchell Penner  
Supervisor, Distribution Design-Subdivisions  
**Phone:** 416-302-6215

**Email:** [Mitchell.Penner@alectrautilities.com](mailto:Mitchell.Penner@alectrautilities.com)



LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG  
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)  
 ± GRADE DIFFERENCE  
 + 0.3m (VEHICLE OR RAILWAY LOCATION)  
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

**NOTES:**

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

**CONVERSION TABLE**

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

**REFERENCES**

SAGS AND TENSIONS | SECTION 02

**MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS**

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier





VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

**NOTES**

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

**MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)**

**Certificate of Approval**  
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04  
Debbie Dadwani, P.Eng. 2010-MAY-05  
Name Date  
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:  
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

**To:** Committee of Adjustment  
**From:** Lindsay Haviland, Building Standards Department  
**Date:** July 13, 2023  
**Applicant:** Sylvain & Sharon Nadeau  
**Location:** 464 Westridge Drive  
 PLAN 65M2863 Lot 35  
**File No.(s):** A059/23

**Zoning Classification:**

The subject lands are zoned R1B(EN) – First Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.336 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	A residential accessory structure with a height greater than 2.8 metres shall not be located closer than 2.4 m to any lot line [Section 4.1.2.1 b].	To permit a residential accessory structure with a height greater than 2.8 metres to be located 1.52 metres to the interior side lot line.
2	In any Residential Zone, the maximum lot coverage of all accessory buildings and residential accessory structures shall be 10% of 67 m <sup>2</sup> , whichever is less [Section 4.1.3.1].	To permit a maximum lot coverage of 98.60 m <sup>2</sup> for residential accessory structures.
3	In any Residential Zone, the maximum height of a residential accessory structure shall be 3.0 metres [Section 4.1.4.1].	To permit a maximum height of 3.82 metres for a residential accessory structure.

**Staff Comments:**

**Stop Work Order(s) and Order(s) to Comply:**

There are no outstanding Orders on file

**Building Permit(s) Issued:**

**Other Comments:**

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
2	The applicant shall be advised that the established grade as show on the elevation plans is considered the ground level. Should the grading on site change, additional relief will be required.

**Conditions of Approval:**

If the committee finds merit in the application, the following conditions of approval are recommended.

\* Comments are based on the review of documentation supplied with this application.

**To:** Christine Vigneault, Committee of Adjustment Secretary Treasurer  
**From:** Nancy Tuckett, Director of Development Planning  
**Date:** July 27, 2023  
**Name of Owners:** Sylvain & Sharon Nadeau  
**Location:** 464 Westridge Drive  
**File No.(s):** A059/23

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**Proposed Variance(s) (By-law 001-2021):**

1. To permit a residential accessory structure with a height greater than 2.8 m to be located 1.52 m to the interior side lot line.
2. To permit a maximum lot coverage of 98.60 m<sup>2</sup> for residential accessory structures.
3. To permit a maximum height of 3.82 m for a residential accessory structure.

**By-Law Requirement(s) (By-law 001-2021):**

1. A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line.
2. In any Residential Zone, the maximum lot coverage of all accessory buildings and residential accessory structures shall be 10% of 67 m<sup>2</sup>, whichever is less.
3. In any Residential Zone, the maximum height of a residential accessory structure shall be 3.0 m.

**Official Plan:**

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

**Comments:**

The Owners are requesting relief to permit the construction of a cabana, with the above-noted variances.

The Development Planning Department has no objection to Variances 1 and 3 for the interior side yard setback and height of the cabana. The cabana has a slanted roof that is lowest along the northern side, facing the neighbouring property. The roof extends to the south, creating an overhang facing the pool. The proposed 3.82 m cabana height is measured from the highest roof edge facing the pool to established grade. The height of the cabana when measured from the roof section closest the north interior side lot line to established grade is approximately 3.37 m. Hedge plantings are proposed along the north and east sides of the cabana to provide screening to mitigate privacy and massing impacts. The slanted roof design of the cabana, in conjunction with the proposed plantings, is not anticipated to pose adverse impacts to the neighbouring property to the north. The reduction to the interior side yard setback will also maintain an appropriate area for maintenance access. As such, the cabana is not anticipated to pose adverse use, privacy, or massing impacts to the neighbouring properties.

Upon recommendations from the Development Planning Department, the Owners have revised their application to reduce the size of the cabana. The Development Planning Department has no objection to Variance 2 for the revised lot coverage of the cabana. Development Planning Department staff had concerns with the size and length of the cabana as the continuous built form of the cabana created adverse massing impacts to the neighbouring properties. Reducing the size of the cabana will mitigate the adverse impacts associated with the building's built form, particularly those impacts facing the neighbour to the north. Much of the proposed additional lot coverage is also comprised of the area underneath the roof overhang. The lot coverage of the fully enclosed structure is approximately 70.63 m<sup>2</sup>, which is a minor increase to the permitted 67 m<sup>2</sup>. As such, the increase in lot coverage for the cabana can be considered appropriate for the size of the lot and will not pose adverse use or massing impacts to the neighbouring properties.

Accordingly, the Development Planning Department can support the requested variances and is of the opinion that the proposal is minor in nature, maintains the

general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

**Recommendation:**

The Development Planning Department recommends approval of the application, subject to the following condition:

**Condition of Approval:**

If the Committee finds merit in the application, the following condition of approval is recommended:

1. That the final Landscape Plan, indicating the location of hedge plantings along the north and east sides of the cabana, be approved to the satisfaction of the Development Planning Department.

**Comments Prepared by:**

Joshua Cipolletta, Planner  
David Harding, Senior Planner

**From:** [Rajevan, Niranjan](#)  
**To:** [Committee of Adjustment](#)  
**Subject:** [External] FW: A059/23 (464 Westridge Drive) - REQUEST FOR COMMENTS, CITY OF VAUGHAN  
**Date:** Tuesday, May 9, 2023 11:00:07 AM  
**Attachments:** [image001.png](#)  
[image003.png](#)

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**From:** Development Services  
**Sent:** Tuesday, May 9, 2023 10:58 AM  
**To:** Christine Vigneault <[Christine.Vigneault@vaughan.ca](mailto:Christine.Vigneault@vaughan.ca)>  
**Subject:** RE: A059/23 (464 Westridge Drive) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

Hi Christine,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Many thanks,

*Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.*

**Niranjan Rajevan, M.Pl.** | Associate Planner, Programs and Process Improvement, Planning and Economic Development, Corporate Services

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The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1  
1-877-464-9675 ext. 71521 | [niranjan.rajevan@york.ca](mailto:niranjan.rajevan@york.ca) | [www.york.ca](http://www.york.ca)

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**SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE**

<b>Correspondence Type</b>	<b>Name</b>	<b>Address</b>	<b>Date Received (mm/dd/yyyy)</b>	<b>Summary</b>
None				