

<b>ITEM: 6.9</b>	<b>COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A095/23 73 ALISTAIR CRESCENT, KLEINBURG</b>
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**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING  
DEPARTMENTS & AGENCIES:**

\*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

**PUBLIC & APPLICANT CORRESPONDENCE**

\*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

**PREVIOUS COA DECISIONS ON THE SUBJECT LAND**

\*Please see **Schedule D** for a copy of the Decisions listed below

<b>File Number</b>	<b>Date of Decision</b> MM/DD/YYYY	<b>Decision Outcome</b>
None		

**ADJOURNMENT HISTORY**

\* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

None	
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**COMMITTEE OF ADJUSTMENT REPORT  
MINOR VARIANCE APPLICATION  
A095/23  
73 ALISTAIR CRESCENT, KLEINBURG**

<b>ITEM NUMBER: 6.9</b>	<b>CITY WARD #: 1</b>
<b>APPLICANT:</b>	Stephanie Criminisi
<b>AGENT:</b>	AG Design
<b>PROPERTY:</b>	73 Alistair Crescent, Kleinburg
<b>ZONING DESIGNATION:</b>	See below.
<b>VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:</b>	Vaughan Official Plan 2010 ('VOP 2010'): "Natural Areas" by Volume 2, Area Specific Policy 12.7, Block 61 West - Nashville Heights
<b>RELATED DEVELOPMENT APPLICATIONS:</b>	None
<b>PURPOSE OF APPLICATION:</b>	Relief from the Zoning By-law is being requested to permit a covered porch/deck at the rear of the existing dwelling.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned **A, Agricultural** under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
	N/A	

The subject lands are zoned **RD4, Residential Detached Zone Four** and subject to the provisions of Exception 9(1376) under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
1	An uncovered porch is permitted to encroach a maximum of 1.8 metres into the minimum required rear yard. [Section 3.14]	To permit an uncovered porch to encroach a maximum of 2.8 metres into the minimum required yard.

**HEARING INFORMATION**

<p><b>DATE OF MEETING:</b> Thursday, August 3, 2023  <b>TIME:</b> 6:00 p.m.  <b>MEETING LOCATION:</b> Vaughan City Hall, Woodbridge Room (2<sup>nd</sup> Floor), 2141 Major Mackenzie Drive  <b>LIVE STREAM LINK:</b> <a href="http://Vaughan.ca/LiveCouncil">Vaughan.ca/LiveCouncil</a></p> <p align="center"><b>PUBLIC PARTICIPATION</b></p> <p>If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the <a href="#">Request to Speak Form</a> and submit to <a href="mailto:cofa@vaughan.ca">cofa@vaughan.ca</a></p> <p>If you would like to submit written comments, please quote file number above and submit by mail or email to:</p> <p><b>Email:</b> <a href="mailto:cofa@vaughan.ca">cofa@vaughan.ca</a></p> <p><b>Mail:</b> City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1</p> <p>To speak electronically, pre-registration is required by completing the <a href="#">Request to Speak Form</a> on-line and submitting it to <a href="mailto:cofa@vaughan.ca">cofa@vaughan.ca</a> no later than NOON on the last business day before the meeting.</p> <p><b>THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.</b></p>
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## INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

## COMMITTEE OF ADJUSTMENT COMMENTS

<b>Date Public Notice Mailed:</b>	July 20, 2023
<b>Date Applicant Confirmed Posting of Sign:</b>	July 7, 2023
<b>Applicant Justification for Variances:</b> <small>*As provided by Applicant in Application Form</small>	The deck would be too small if we complied with the City's Zoning By-law.
<b>Adjournment Requests (from staff):</b> <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	None
<b>Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:</b>  <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.  *A revised submission may be required to address staff / agency comments received as part of the application review process.  *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>	No
<b>Adjournment Fees:</b> In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice.  An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff <b>after</b> the issuance of public notice.	
<b>Committee of Adjustment Comments:</b>	None
<b>Committee of Adjustment Recommended Conditions of Approval:</b>	None

## BUILDING STANDARDS (ZONING) COMMENTS

<b>**See Schedule B for Building Standards (Zoning) Comments</b>	
<b>Building Standards Recommended Conditions of Approval:</b>	None

## DEVELOPMENT PLANNING COMMENTS

<b>**See Schedule B for Development Planning Comments.</b>	
<b>Development Planning Recommended Conditions of Approval:</b>	None

## DEVELOPMENT ENGINEERING COMMENTS

<a href="#">Link to Grading Permit</a> <a href="#">Link to Pool Permit</a> <a href="#">Link to Curb Curt Permit</a> <a href="#">Link Culvert Installation</a>	
The Development Engineering (DE) Department does not object to the variance application A095/23.	
<b>Development Engineering Recommended Conditions of Approval:</b>	None

### PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

Forestry: Forestry has no comment at this time

<b>PFH Recommended Conditions of Approval:</b>	None:
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### DEVELOPMENT FINANCE COMMENTS

No comment no concerns.

<b>Development Finance Recommended Conditions of Approval:</b>	None
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### BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

No comment no concerns.

<b>BCLPS Recommended Conditions of Approval:</b>	None
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### BUILDING INSPECTION (SEPTIC) COMMENTS

No comments received to date.

<b>Building Inspection Recommended Conditions of Approval:</b>	None
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### FIRE DEPARTMENT COMMENTS

No comments received to date.

<b>Fire Department Recommended Conditions of Approval:</b>	None
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### SCHEDULES TO STAFF REPORT

\*See Schedule for list of correspondence

<b>Schedule A</b>	Drawings & Plans Submitted with the Application
<b>Schedule B</b>	Staff & Agency Comments
<b>Schedule C</b> (if required)	Correspondence (Received from Public & Applicant)
<b>Schedule D</b> (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

### SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “**if required**”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	TRCA <a href="mailto:Kristen.Regier@trca.ca">Kristen.Regier@trca.ca</a>	That the applicant provides the required fee amount of \$660.00 payable to the Toronto and Region Conservation Authority.

### IMPORTANT INFORMATION – PLEASE READ

**CONDITIONS:** It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

## IMPORTANT INFORMATION – PLEASE READ

**APPROVALS:** Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

**DEVELOPMENT CHARGES:** That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

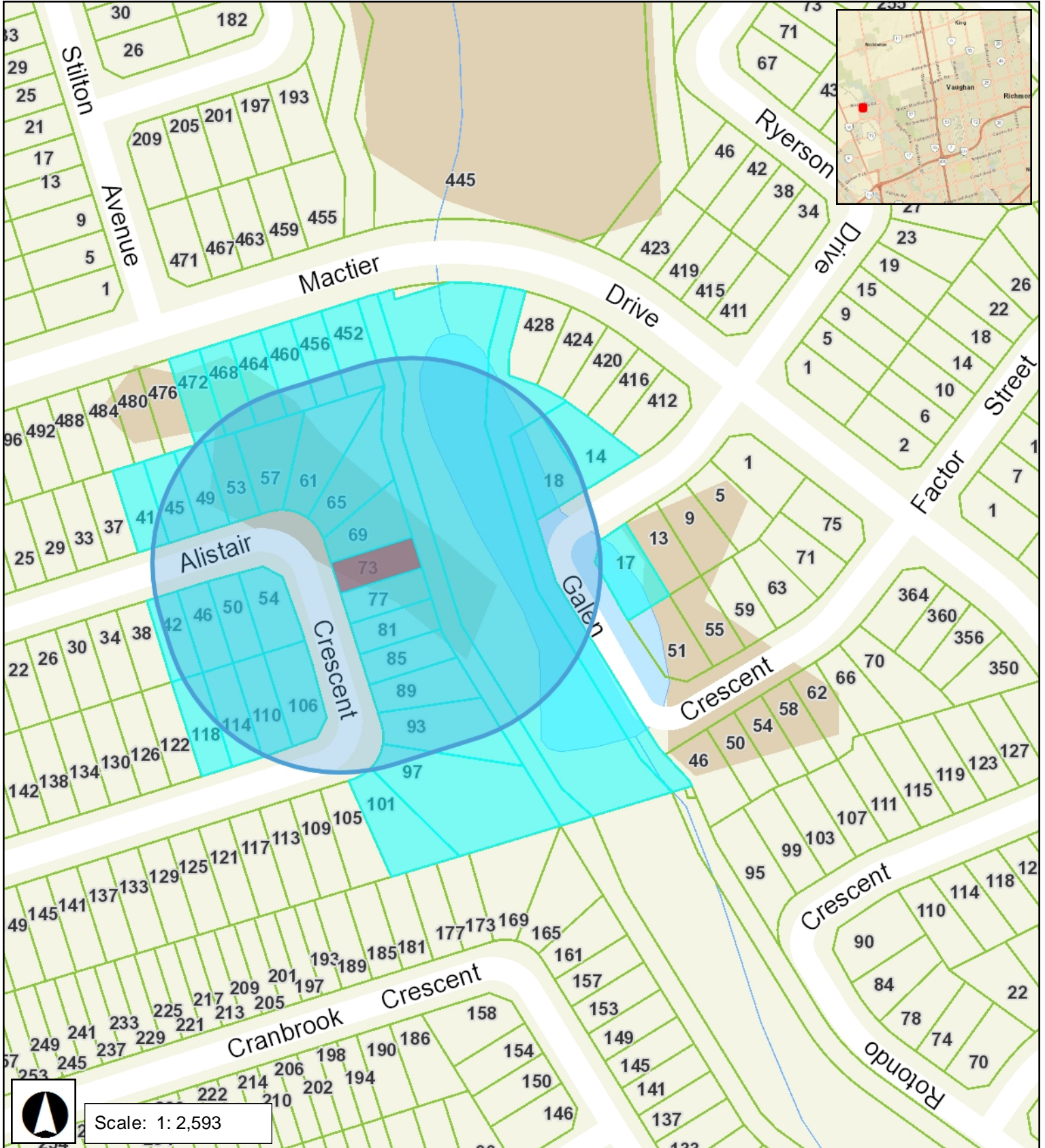
That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

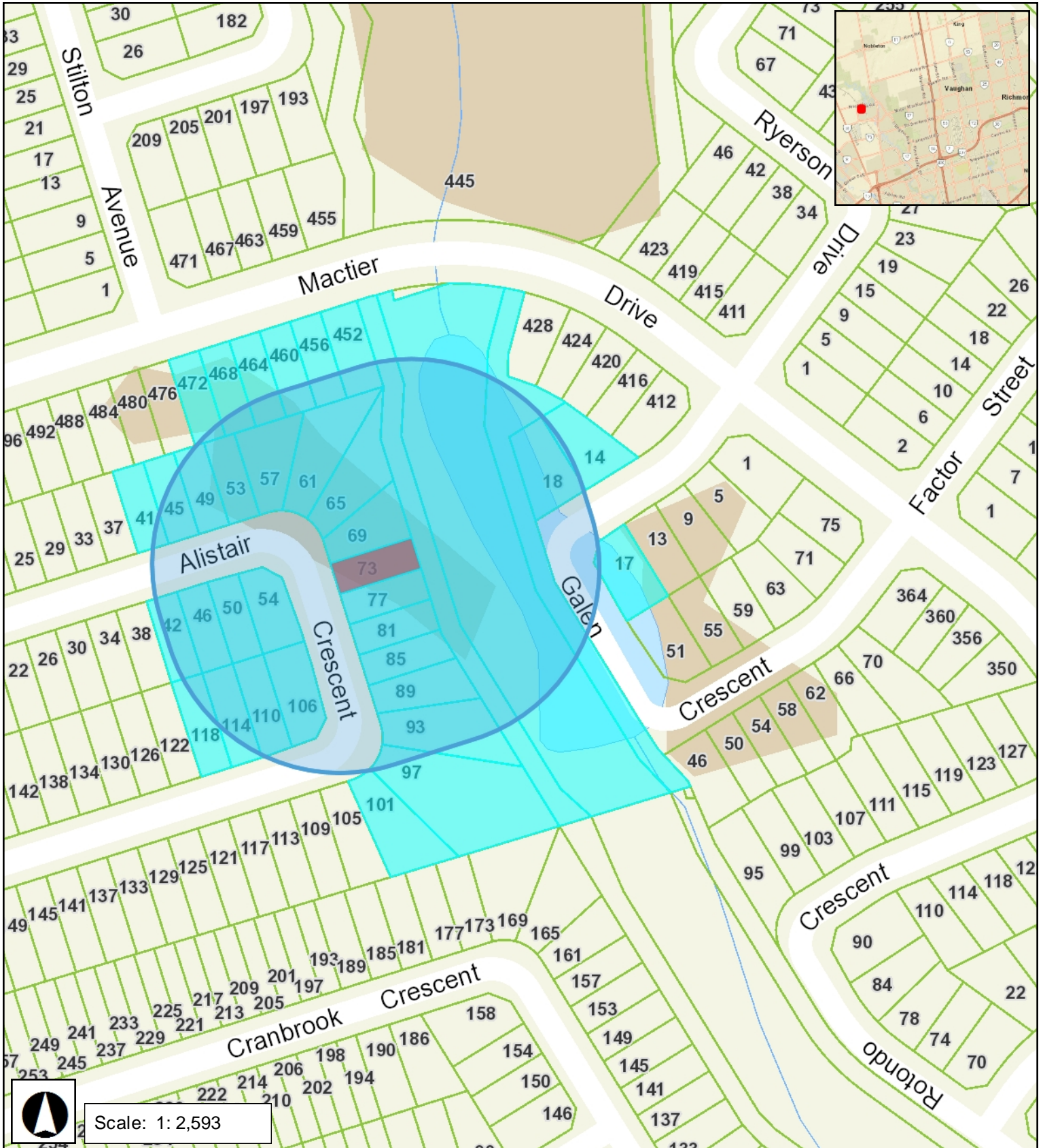
That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

**NOTICE OF DECISION:** If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

**SCHEDULE A: DRAWINGS & PLANS**







**CONSTRUCTION NOTES (UNLESS OTHERWISE NOTED)**

ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPEC'S AND TO CONFORM TO THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS. (ONT. REG. 350/06)

**GENERAL CONSTRUCTION NOTES**

1. ALL CONSTRUCTION MUST COMPLY TO THE LATEST EDITIONS OF THE NATIONAL AND ONTARIO BUILDING CODES AND LOCAL BYLAWS IN EXISTENCE AT THE TIME OF CONSTRUCTION AND SHALL BE GOVERNED BY LOCAL AUTHORITIES HAVING JURISDICTION. MANUFACTURED ITEMS, MATERIALS AND CONSTRUCTION MUST COMPLY WITH ALL REQUIREMENTS OF CANADA MORTGAGE AND HOUSING CORPORATION (C.M.H.C.).
2. ALL DIMENSIONS MUST BE CHECKED AGAINST THE ARCHITECTURAL DRAWINGS AND THE FIELD CONDITIONS BEFORE COMMENCING FABRICATION. ANY INCONSISTENCIES ARE TO BE REPORTED TO THE CONSULTANT BEFORE PROCEEDING WITH THE WORK.
3. CONTRACTOR SHALL PROPERLY SUPERVISE THE WORK AND ENSURE THAT THE WORK IS INSTALLED TO CORRECT LINES AND LEVELS; THAT THE CONNECTIONS AND DETAILS CONFORM TO THE DRAWING DETAILS AND SHALL CO-ORDINATE THE INTERFACING OF ALL WORK WITH SUB-TRADES.
4. CONTRACTOR TO BE RESPONSIBLE FOR VERIFYING THE LOCATIONS OF ALL EXISTING UNDERGROUND AND ABOVE UTILITIES AND SERVICES. VARIOUS UTILITIES CONCERNED TO BE GIVEN REQUIRED NOTICE PRIOR TO ANY DIGGING, FOR STAKE OUT.
5. CONTRACTOR TO VERIFY WINDOW OPENINGS WITH WINDOW MANUFACTURER PRIOR TO COMMENCING WORK.
6. ALL EXCAVATION AND BACK FILL MUST COMPLY WITH DIV. B SECTION 9.12 OF THE ONTARIO BUILDING CODE.
7. PROVIDE 'IN WALL' BLOCKING FOR ALL FUTURE INSTALLATIONS OF MILLWORK AND ACCESSORIES. CONSULT WITH OWNER FOR LOCATIONS.
8. CONTRACTOR SHALL APPLY AND PAY FOR ALL FEES AS REQUIRED BY AUTHORITIES OTHER THAN BUILDING PERMIT.
9. PROVIDE ALL REQUIRED AIR & VAPOUR BARRIERS.
10. PROVIDE REQUIRED PROTECTION FROM PRECIPITATION FOR VARIOUS CLADDING SYSTEMS INCLUDING 1ST & 2ND PHASES OF PROTECTION, (REFER TO OBC DIV. B SECTION 9.27).
11. CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB. REPORT ANY DISCREPANCIES TO THE CONSULTANT BEFORE PROCEEDING WITH THE WORK. ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF THE CONSULTANT.

**WINDOWS**

1. **MINIMUM BEDROOM WINDOW -OBC 9.7.1.3-**  
AT LEAST ONE BEDROOM WINDOW ON A GIVEN FLOOR IS TO HAVE MIN. 0.35m<sup>2</sup> UNOBSTRUCTED GLAZED OR OPENABLE AREA WITH MIN. CLEAR WIDTH OF 380mm (1'-3").
2. **WINDOW GUARDS -OBC 9.7.1.6 & 9.8.8-**  
A GUARD OR A WINDOW WITH A MAXIMUM RESTRICTED OPENING WIDTH OF 100mm (4") IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 480mm (1'-6") ABOVE FIN. FLOOR AND THE DISTANCE FROM THE FIN. FLOOR TO THE ADJACENT GRADE IS GREATER THAN 1800mm (5'-11").
3. **WINDOW IN EXIT STAIRWAYS -OBC 9.7.5.3-**  
WINDOWS IN EXIT STAIRWAYS THAT EXTEND TO LESS THAN 1070mm (3'-6") SHALL BE PROTECTED BY GUARDS IN ACCORDANCE WITH NOTE 2 (ABOVE) OR THE WINDOW SHALL BE NON-OPERABLE AND DESIGNED TO WITHSTAND THE SPECIFIED LOADS FOR BALCONY GUARDS AS PROVIDED IN PART 4 OF THE ONTARIO BUILDING CODE.
4. **WINDOWS & SLIDING GLASS DOORS - MAX U-VALUE 1.8**
5. **SKYLIGHTS - MAX U-VALUE 2.8**

**MECHANICAL & ELECTRICAL**

1. MECHANICAL AND ELECTRICAL INSTALLATION SHALL COMPLY WITH CODE REQUIREMENTS.
2. READ ARCHITECTURAL DRAWINGS IN CONJUNCTION WITH MECHANICAL AND ELECTRICAL DRAWINGS.
3. MECHANICAL VENTILATION IS REQUIRED TO PROVIDE 0.3 AIR CHANGES PER HOUR AVERAGED OVER 24 HOURS. SEE MECHANICAL DRAWINGS.

**LUMBER**

1. ALL LUMBER SHALL BE SPRUCE NO.2 GRADE, UNLESS NOTED OTHERWISE.
2. STUDS SHALL BE STUD GRADE SPRUCE, UNLESS NOTED OTHERWISE.
3. LUMBER EXPOSED TO THE EXTERIOR TO BE SPRUCE NO.2 GRADE PRESSURE TREATED OR CEDAR, UNLESS NOTED OTHERWISE.
4. ALL LAMINATED VENEER LUMBER (LVL) BEAMS, GIRDER TRUSSES, AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED & CERTIFIED BY TRUSS MANUFACTURER.
5. LVL BEAMS SHALL BE 2.0E W5 MICRO-LAM LVL (Fb=2800psi, MIN.) OR EQUIVALENT. NAIL EACH PLY OF LVL WITH 89mm (3 1/2") LONG COMMON WIRE NAILS @ 300mm (12") O/C STAGGERED IN 2 ROWS FOR 184, 240 & 300mm (7 1/4", 9 1/2", 11 7/8") DEPTHS AND STAGGERED IN 3 ROWS FOR GREATER DEPTHS AND FOR 4 PLY MEMBERS ADD 13mm (1/2") DIA. GALVANIZED BOLTS BOLTED AT MID-DEPTH OF BEAM @ 915mm (3'-0") O/C.
6. PROVIDE TOP MOUNT BEAM HANGERS TYPE "SCL" MANUFACTURED BY MGA CONNECTOR LTD. OR EQUAL FOR ALL LVL BEAM TO BEAM CONNECTIONS UNLESS NOTED OTHERWISE.
7. JOIST HANGERS: PROVIDE METAL HANGERS FOR ALL JOISTS AND BUILT-UP WOOD MEMBERS INTERSECTING FLUSH BUILT-UP WOOD MEMBERS.
8. WOOD FRAMING NOT TREATED WITH A WOOD PRESERVATIVE, IN CONTACT WITH CONCRETE, SHALL BE SEPARATED FROM THE CONC. BY AT LEAST 2mil. POLYETHYLENE FILM, NO.50 (45lbs.) ROLL ROOFING OR OTHER DAMPPROOFING MATERIAL, EXCEPT WHERE THE WOOD MEMBER IS AT LEAST 150mm (6") ABOVE THE GROUND.

**STEEL**

1. STRUCTURAL STEEL SHALL CONFORM TO CAN/CSA-G40-21 GRADE 300W. HOLLOW STRUCTURAL SECTIONS SHALL CONFORM TO CAN/CSA-G40-12 GRADE 350W CLASS "H".
2. REINFORCING STEEL SHALL CONFORM TO CSA-G30-10M GRADE 400R.

**FLAT ARCHES**

1. FOR 2440mm (8'-0") CEILINGS, FLAT ARCHES TO BE 2080mm (6'-10") A.F.F. UNLESS OTHERWISE NOTED.
2. FOR 2740mm (9'-0") CEILINGS, FLAT ARCHES TO BE 2400mm (7'-10") A.F.F. UNLESS OTHERWISE NOTED.

**ROOF OVERHANGS**

1. ALL ROOF OVERHANGS ARE 305mm (1'-0") UNLESS OTHERWISE DIMENSIONED.

**SMOKE ALARM -OBC 9.10.18-**

PROVIDE 1 PER FLOOR. NEAR THE STAIRS CONNECTING THE FLOOR LEVELS. ALARMS TO BE CONNECTED TO AN ELECTRICAL CIRCUIT AND INTERCONNECTED TO ACTIVATE ALL ALARMS IF 1 SOUNDS.

**CARBON MONOXIDE DETECTOR -OBC 9.32.3.8-**

A CARBON MONOXIDE DETECTOR CONFORMING TO CAN/CGA-6.19, SHALL BE INSTALLED ON OR NEAR THE CEILING IN EACH ROOM IN WHICH THERE IS INSTALLED A SOLID FUEL BURNING APPLIANCE.

**RECEIVED**

By Christine Vigneault at 4:07 pm, Jul 17, 2023

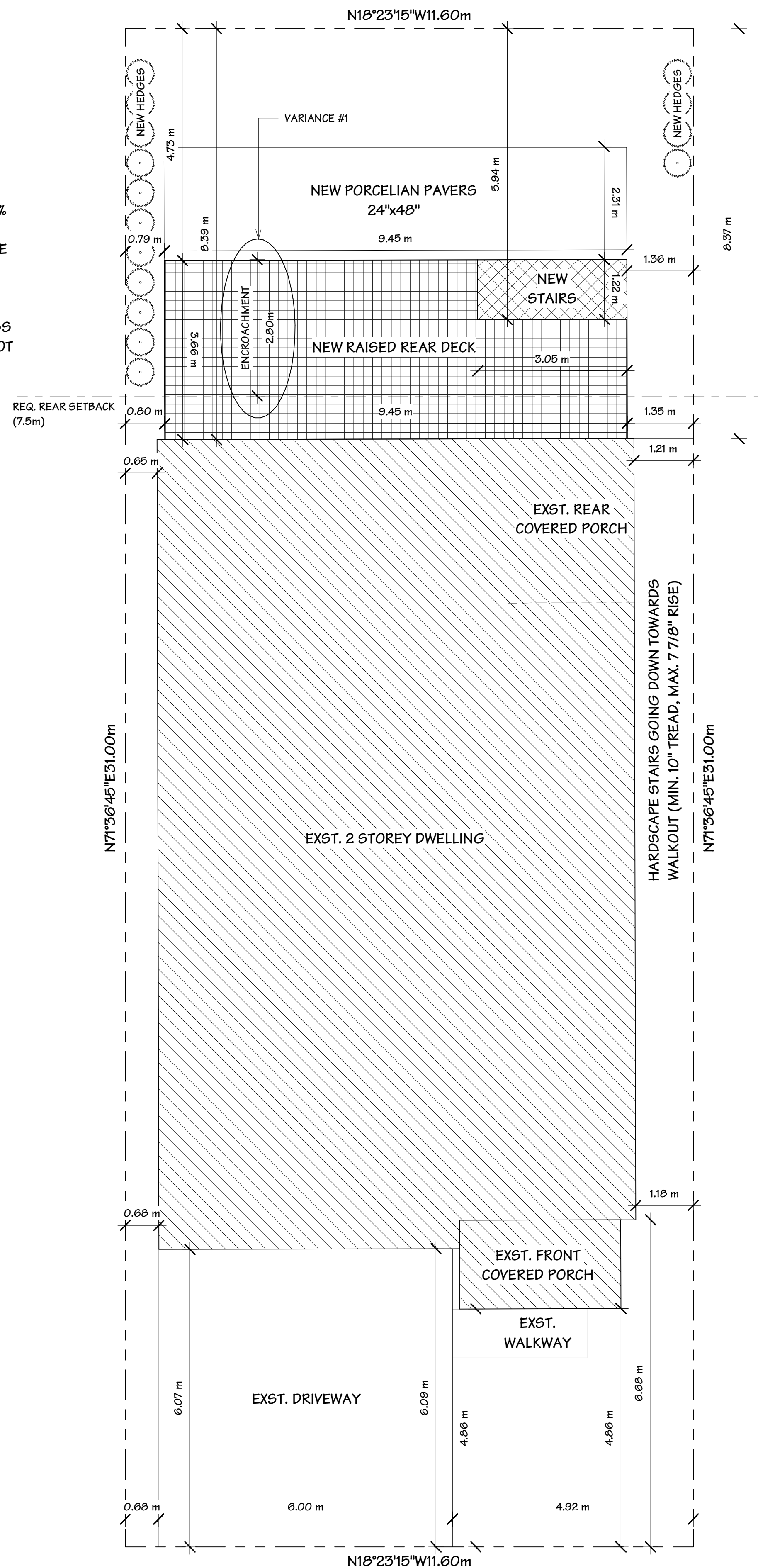
**RD4 ZONING**

LOT AREA  
MAIN DWELLING COVERAGE 1,711.14 SQFT  
DECK & STAIRS COVERAGE 372.00 SQFT

REAR YARD AREA \*\*\* 589.57 SQFT  
REQ. SOFT LANDSCAPE 60% = 353.74 SQFT  
PROP. SOFT LANDSCAPE 355.47 SQFT = 60.29%

\*\*\*NOTE: REAR YARD AREA IS MEASURED FROM THE BACK OF THE DECK AS PER THE REAR YARD DEFINITION BELOW.

YARD, REAR - MEANS THE YARD EXTENDING ACROSS THE FULL WIDTH OF THE LOT BETWEEN THE REAR LOT LINE OF THE LOT AND THE NEAREST PART OF THE NEAREST BUILDING OR STRUCTURE ON THE LOT OR THE NEAREST OPEN STORAGE USE ON THE LOT.



1 SITE PLAN  
3/16" = 1'-0" 73 ALISTAIR CRESCENT



**DESIGN**

EMAIL: info@designag.ca

TORONTO OFFICE: (647) 607-9693  
887 DUNDAS STREET WEST  
TORONTO, ON M6J 1V9

MUSKOKA OFFICE: (705) 704-9615  
1038 FIELDALE ROAD  
HUNTSVILLE, ON P1H 2J6

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

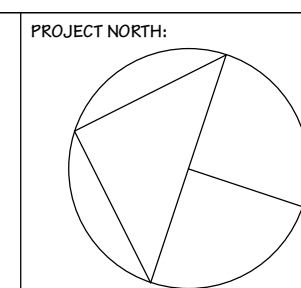
QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Antonio Giovinazzo 108305  
NAME SIGNATURE BCIN

REGISTRATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

Antonio Domenico Giovinazzo 116641  
FIRM NAME BCIN

NO.	DATE	REVISION
0	03/20/2023	ISSUED FOR PERMIT



PROJECT:  
**73 ALISTAIR CRESCENT  
KLEINBURG, ON L4H 4T7**

DRAWING TITLE:  
**GENERAL NOTES & SITE  
PLAN**

DATE: 03/20/2023	DRAWING NO.:
SCALE: 3/16" = 1'-0"	<b>AO</b>
DRAWN BY: AG	
	2267



**DESIGN**

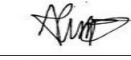
EMAIL: [info@designag.ca](mailto:info@designag.ca)

TORONTO OFFICE: (647) 607-9693  
887 DUNDAS STREET WEST  
TORONTO, ON M6J 1V9

MUSKOKA OFFICE: (705) 704-9615  
1038 FIELDALE ROAD  
HUNTSVILLE, ON P1H 2J6

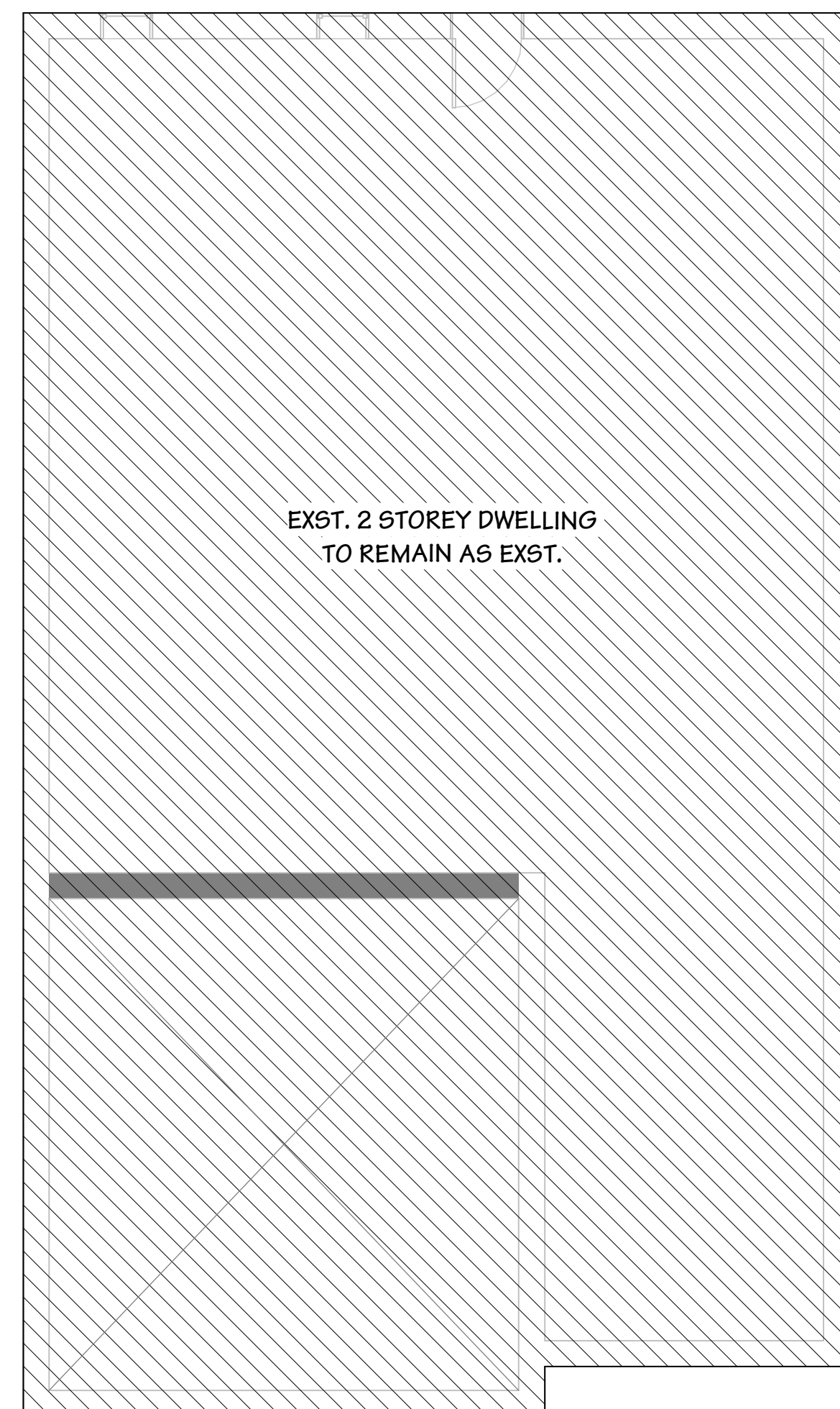
The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

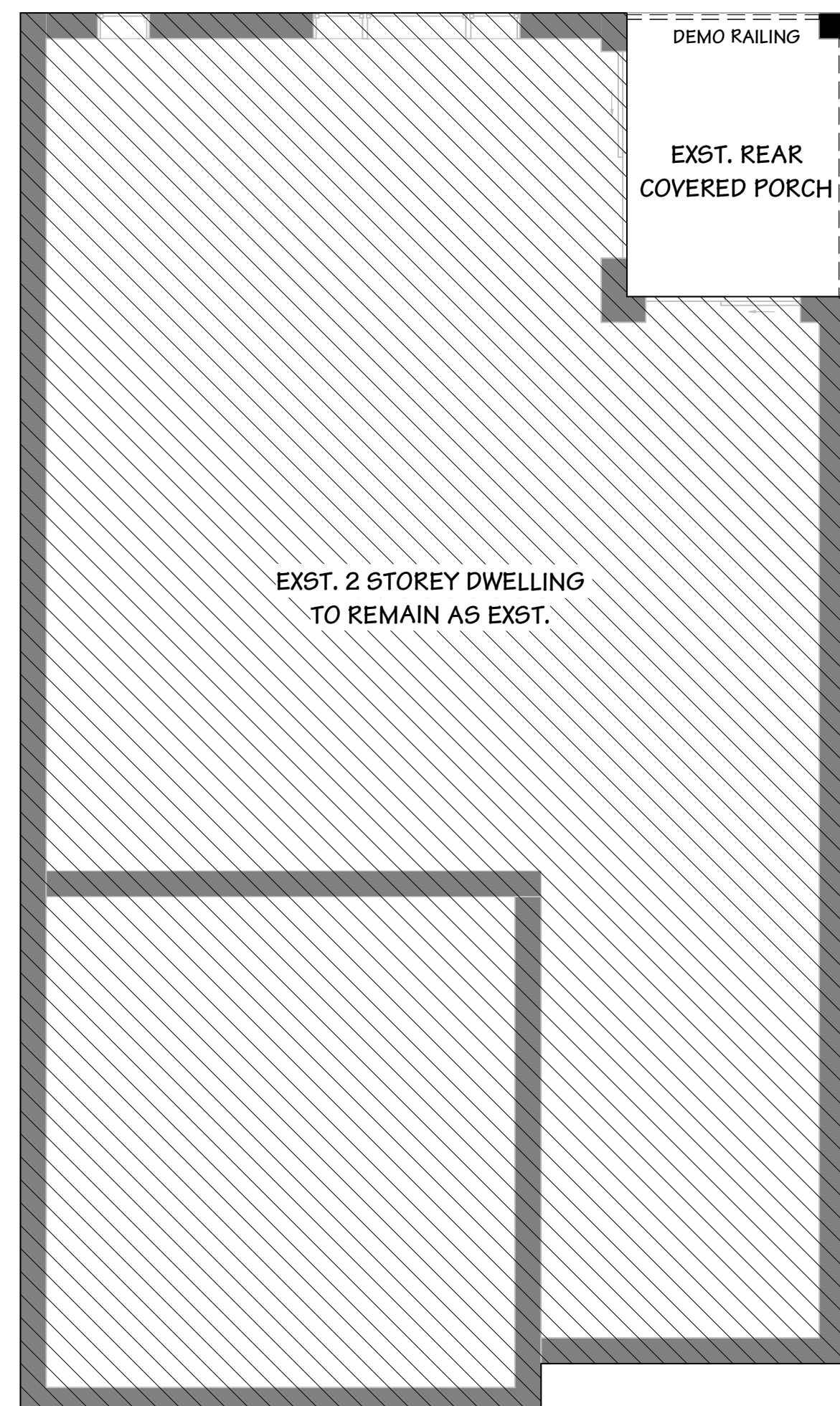
Antonio Giovinozzo  108305  
NAME SIGNATURE BCIN

REGISTRATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

Antonio Domenico Giovinozzo 116641  
FIRM NAME BCIN



① BASEMENT EXST.  
3/16" = 1'-0"

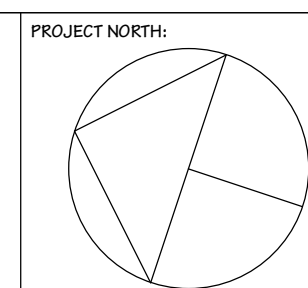


② MAIN FLOOR EXST.  
3/16" = 1'-0"



③ REAR EXST.  
3/16" = 1'-0"

NO.	DATE	REVISION
0	03/20/2023	ISSUED FOR PERMIT



PROJECT:  
**73 ALISTAIR CRESCENT  
KLEINBURG, ON L4H 4T7**

DRAWING TITLE:  
**EXST. PLANS**

DATE: 03/20/2023	DRAWING NO.:
SCALE: 3/16" = 1'-0"	<b>A1</b>
DRAWN BY: AG	
	2267

**SOLID WOOD BEARING**  
 SOLID BEARING TO BE AT LEAST AS WIDE AS THE SUPPORTED MEMBER. SOLID WOOD BEARING COMPRISED OF BUILT-UP WOOD STUDS TO BE CONSTRUCTED IN ACCORDANCE WITH OBC. 9.17.4.2 (2). WHEN SOLID BEARING SITS ON A CONC. PAD FTG., PROVIDE A METAL BASE SHOE ANCHORED TO CONC. WITH 12.7 DIA. BOLT.

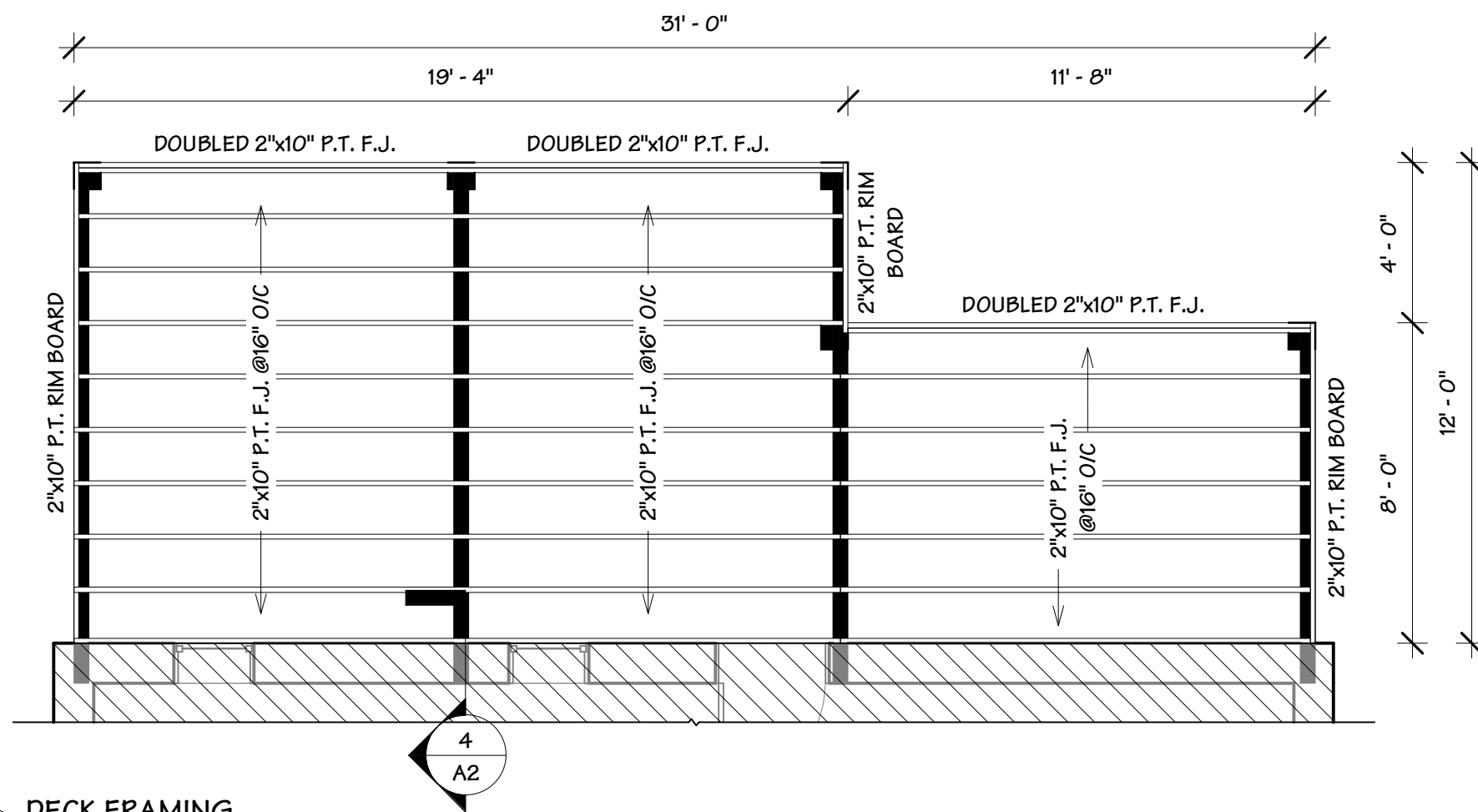
SB3 3 MEMBER BUILT-UP STUD  
 SB4 4 MEMBER BUILT-UP STUD  
 SB5 5 MEMBER BUILT-UP STUD  
 SB8 8"x8" P.T WOOD COLUMN

**PAD FOOTINGS**  
 CONC. FOOTING ON UNDISTURBED SOIL OR ENGINEERED FILL CAPABLE OF SUSTAINING A PRESSURE OF 125 Kpa. MIN. AND AS PER SOILS REPORT.

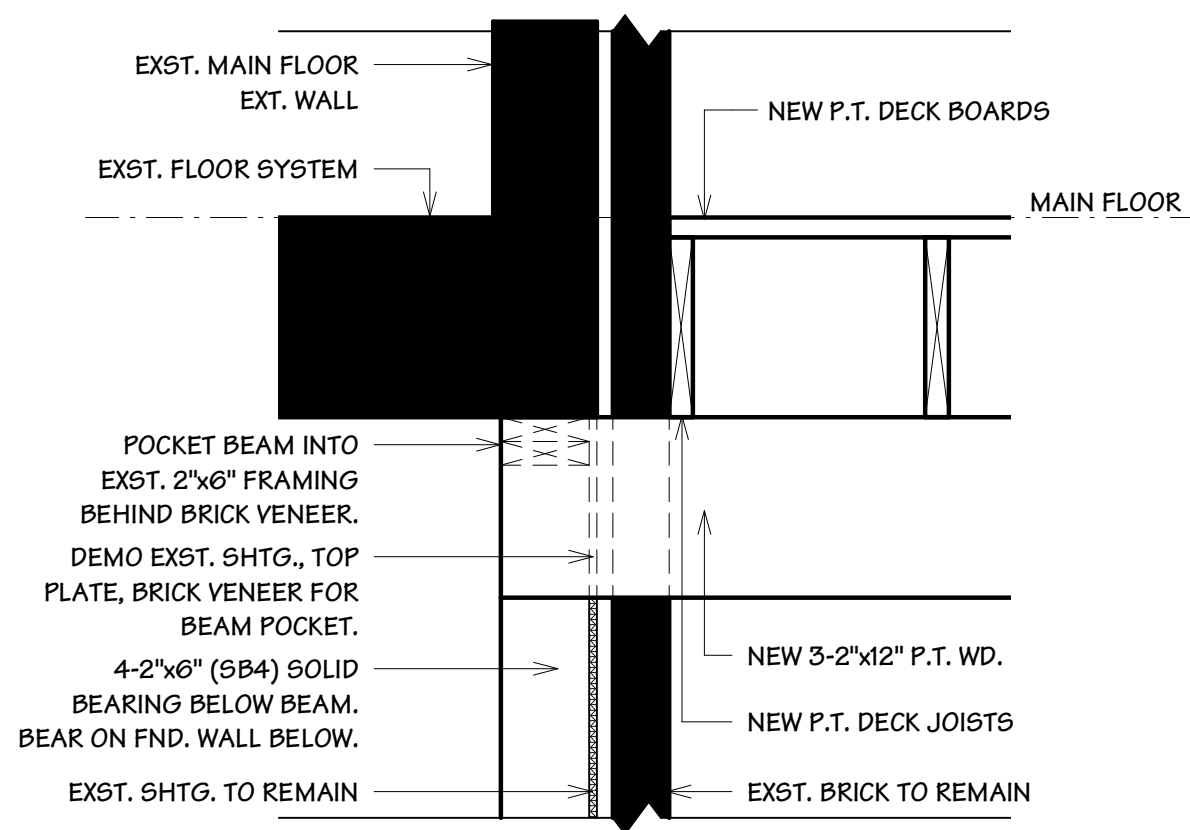
F1 305mm (12") DIA. CONC. PIER C/W 914mm (36") 'BIGFOOT' FTG.

**FJ1 - DECK FLOOR SYSTEM**  
 SEE OBC DIV. B PART 9.23.9.4 FOR RESILIENT FLOORING.  
 SEE OBC DIV. B PART 9.30.6 FOR CERAMIC TILE.  
 5/4" P.T. DECK BOARDS, 2"x10" P.T. DECK JOISTS @ 16" O/C. PROVIDE BLOCKING @ 2100mm (6'-10") C/C MAX.

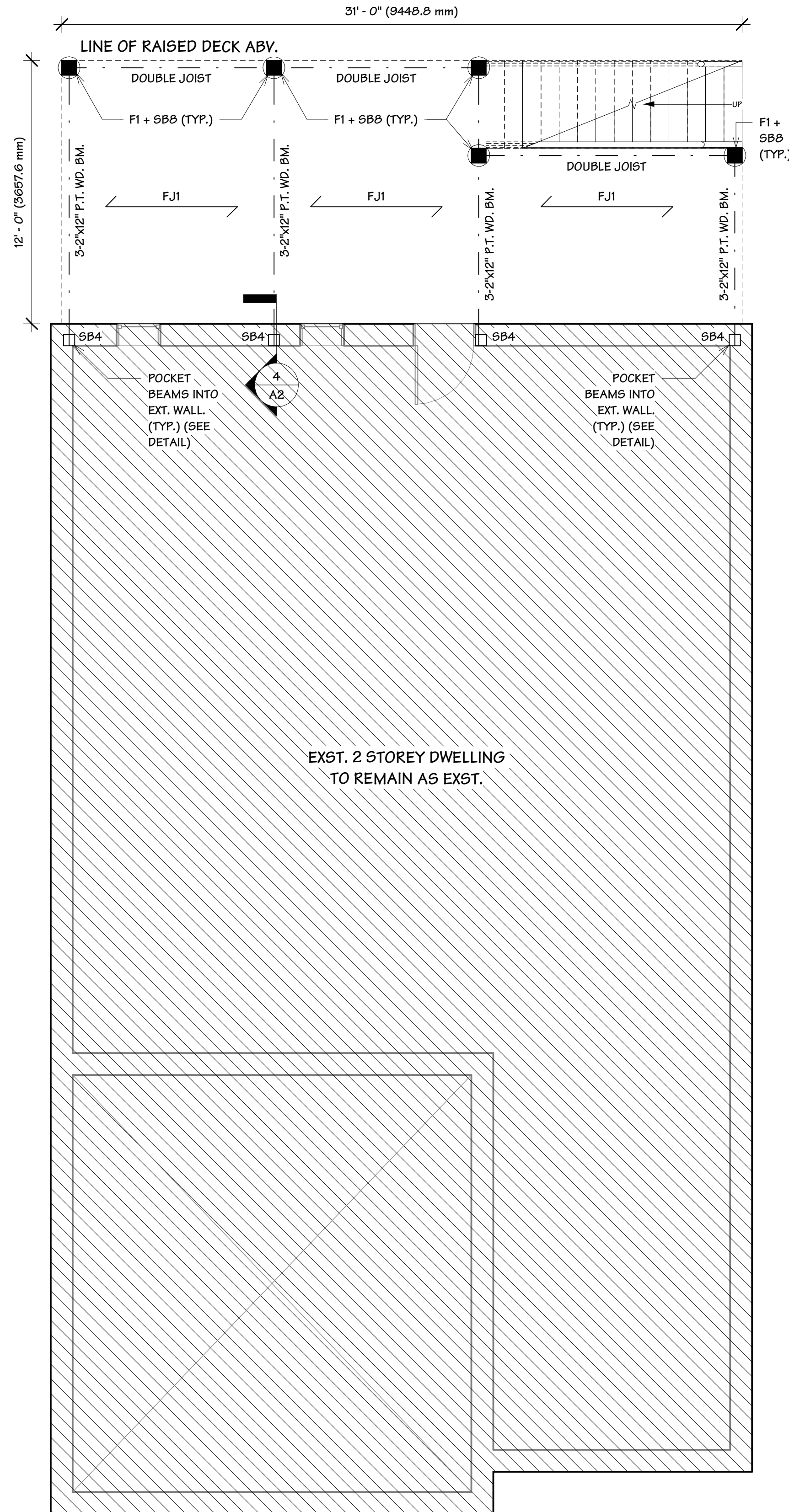
NOTE: IF THE U/S OF THE DECK IS TO BE FINISHED, PROVIDE 3/4" T&G PLYWOOD SUBFLOOR C/W BLUESKIN MEMBRANE TO PREVENT WATER PENETRATION. WRAP ALL BEAM TO JOIST JOINTS IN THE MEMBRANE.



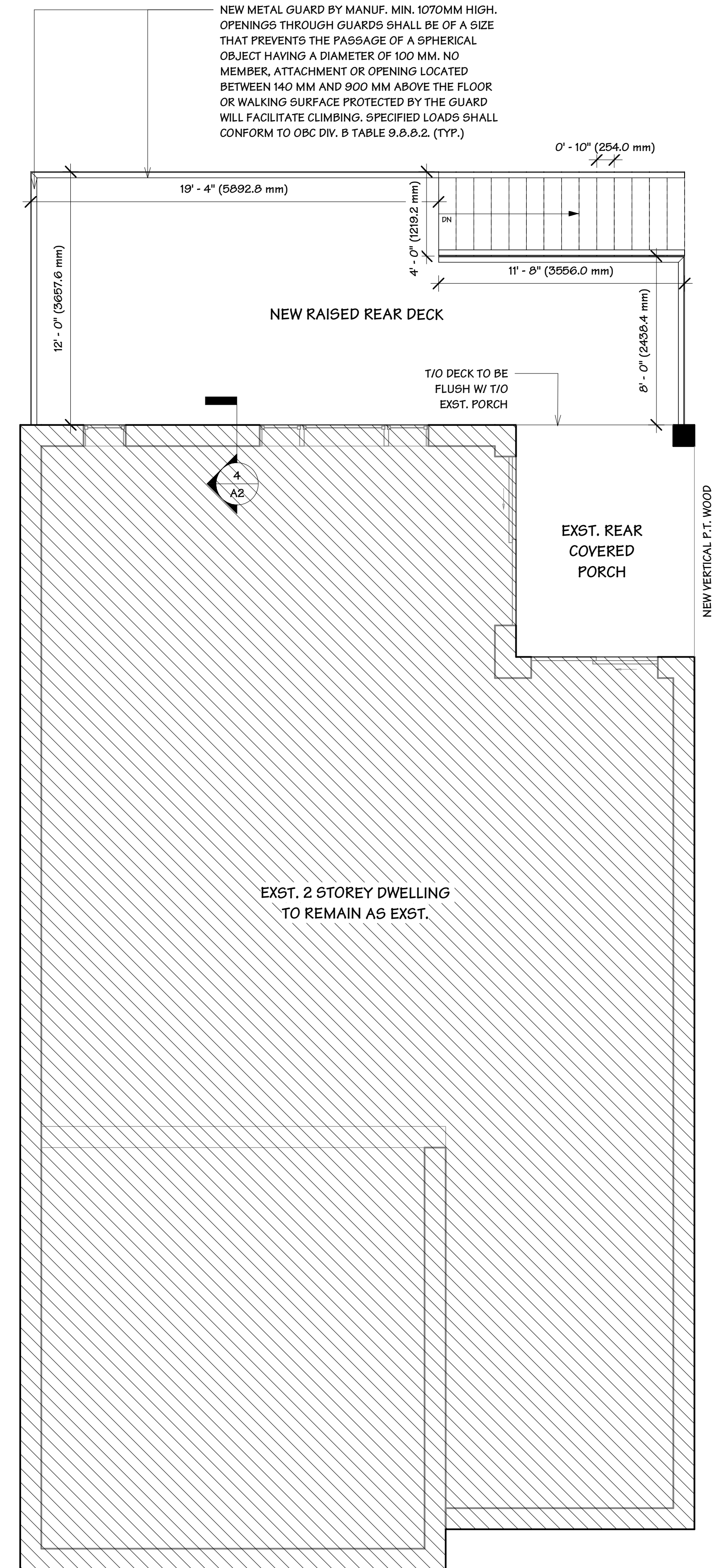
3 DECK FRAMING  
 1/4" = 1'-0"



4 BEAM POCKET  
 1" = 1'-0"



1 BASEMENT PROP.  
 1/4" = 1'-0"



2 MAIN FLOOR PROP.  
 1/4" = 1'-0"



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 887 DUNDAS STREET WEST  
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MUSKOKA OFFICE: (705) 704-9615  
 1038 FIELDALE ROAD  
 HUNTSVILLE, ON P1H 2J6

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

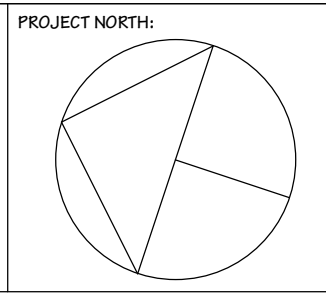
QUALIFICATION INFORMATION  
 Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Antonio Giovinazzo 108305  
 NAME SIGNATURE BCIN

REGISTRATION INFORMATION  
 Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

Antonio Domenico Giovinazzo 116641  
 FIRM NAME BCIN

NO.	DATE	REVISION
0	03/20/2023	ISSUED FOR PERMIT



PROJECT:  
**73 ALISTAIR CRESCENT  
 KLEINBURG, ON L4H 4T7**

DRAWING TITLE:  
**PROP. FLOOR PLANS**

DATE: 03/20/2023	DRAWING NO.:
SCALE: As indicated	A2
DRAWN BY: AG	
	2267



EMAIL: [info@designag.ca](mailto:info@designag.ca)

TORONTO OFFICE: (647) 607-9693  
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MUSKOKA OFFICE: (705) 704-9615  
1038 FIELDALE ROAD  
HUNTSVILLE, ON P1H 2J6

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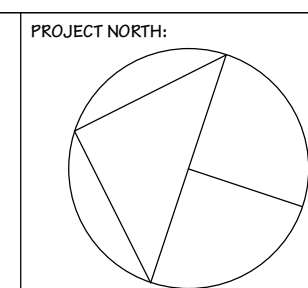
QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Antonio Giovinozzo 108305  
NAME SIGNATURE BCIN

REGISTRATION INFORMATION  
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Antonio Domenico Giovinozzo 116641  
FIRM NAME BCIN

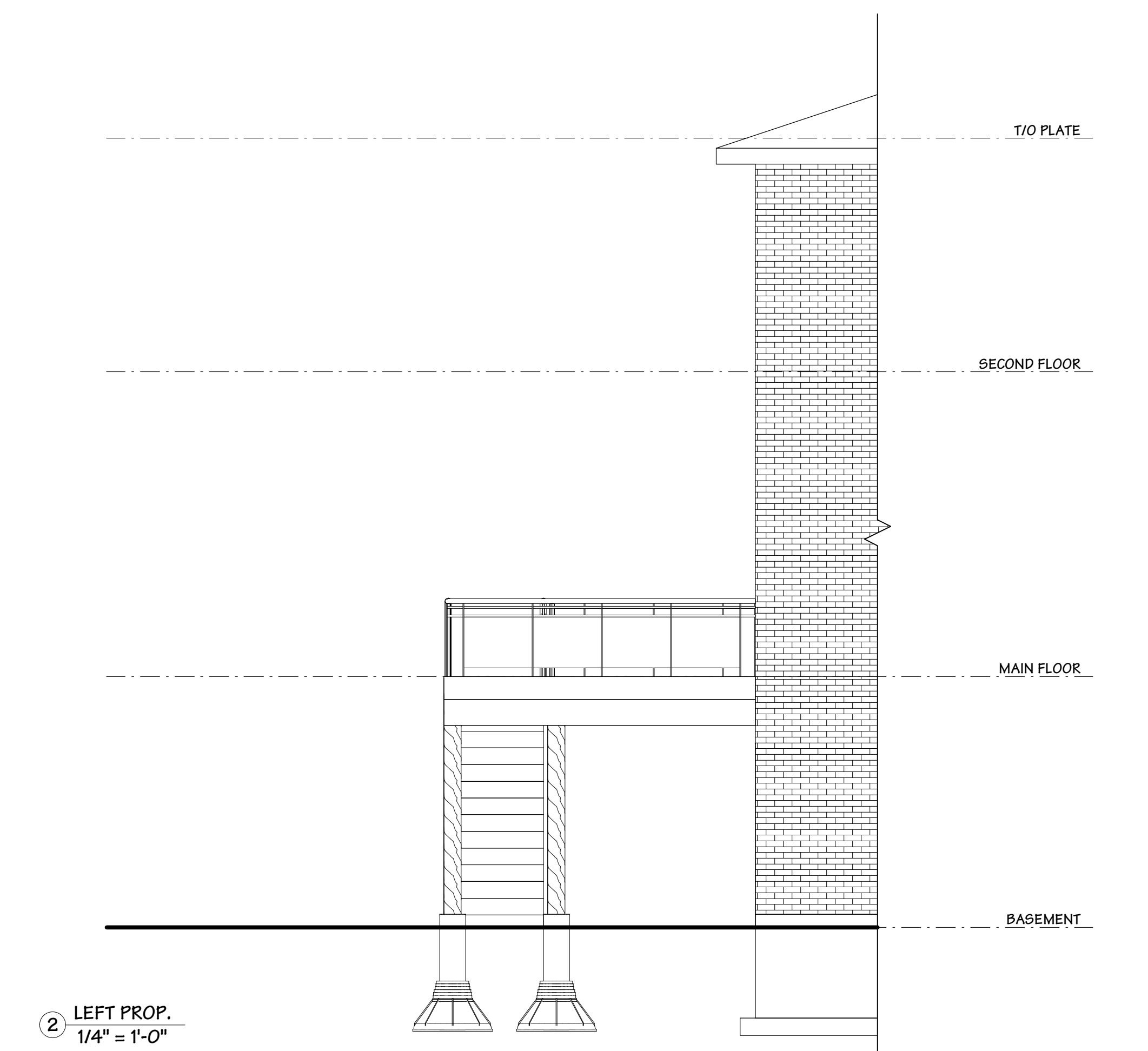
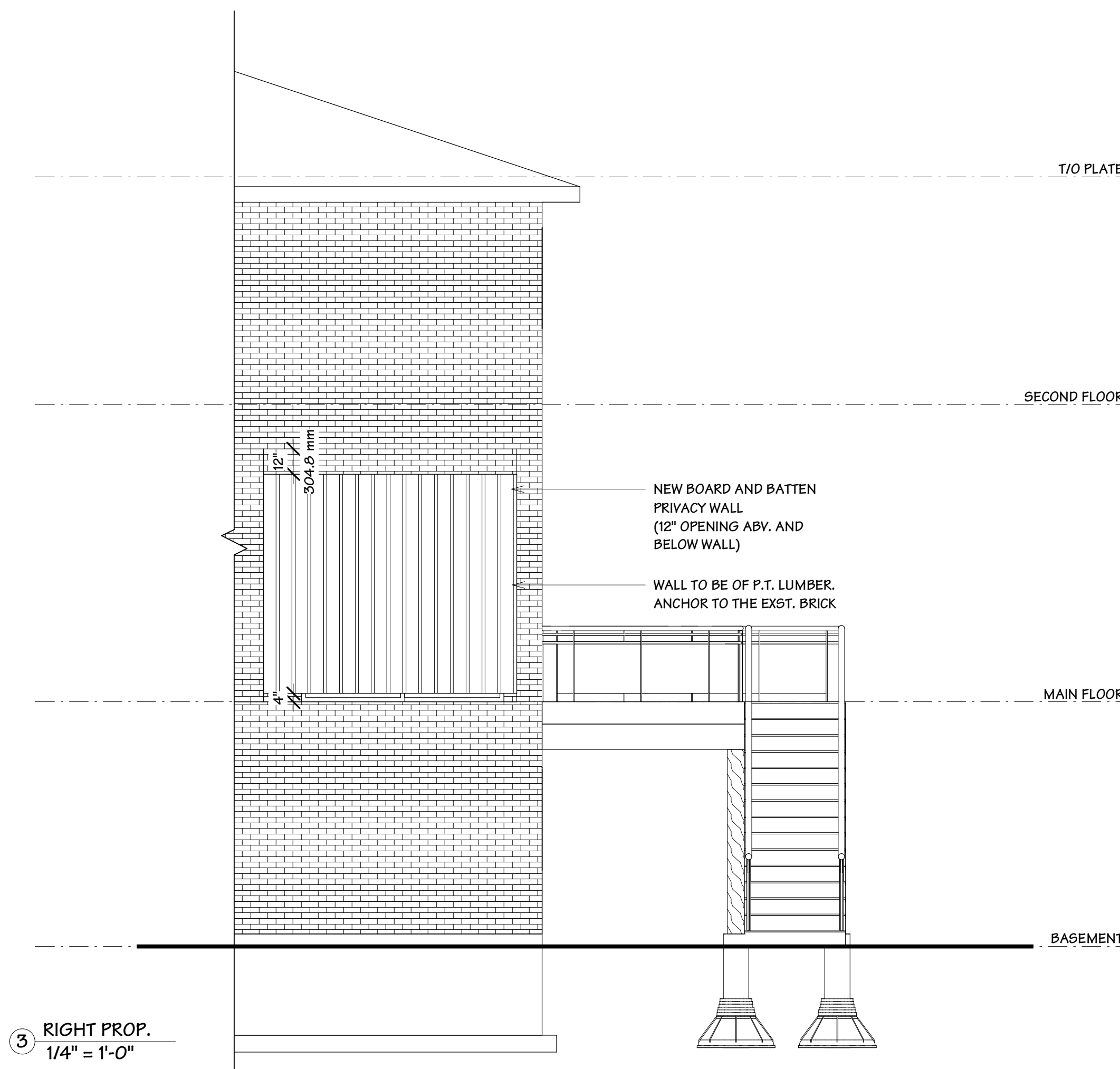
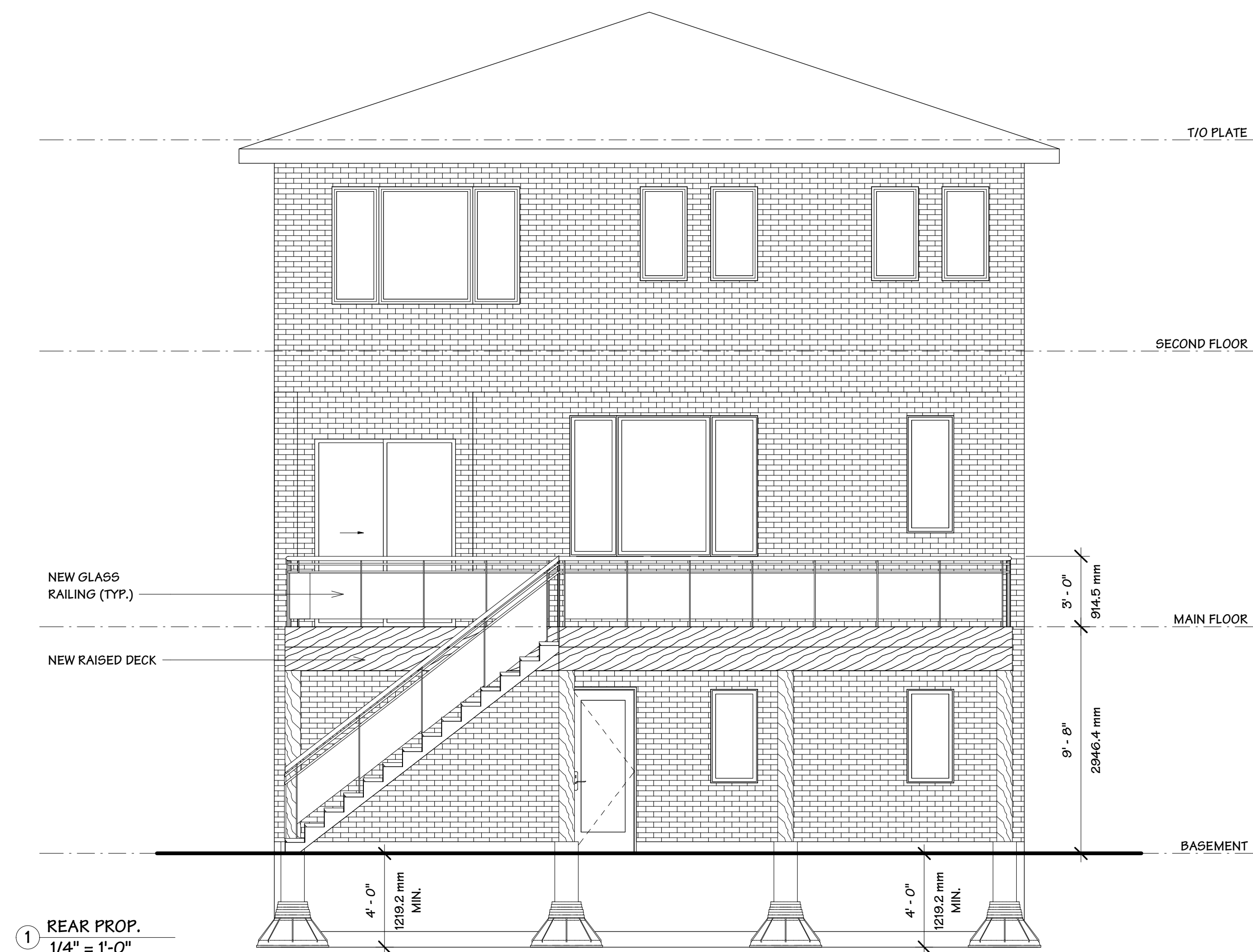
NO.	DATE	REVISION
0	03/20/2023	ISSUED FOR PERMIT



PROJECT:  
**73 ALISTAIR CRESCENT  
KLEINBURG, ON L4H 4T7**

DRAWING TITLE:  
**ELEVATIONS**

DATE: 03/20/2023	DRAWING NO.:
SCALE: 1/4" = 1'-0"	<b>A3</b>
DRAWN BY: AG	
	2267



**CONSTRUCTION NOTES (UNLESS OTHERWISE NOTED)**

ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPEC'S AND TO CONFORM TO THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS. (ONT. REG. 350/06)

**GENERAL CONSTRUCTION NOTES**

1. ALL CONSTRUCTION MUST COMPLY TO THE LATEST EDITIONS OF THE NATIONAL AND ONTARIO BUILDING CODES AND LOCAL BYLAWS IN EXISTENCE AT THE TIME OF CONSTRUCTION AND SHALL BE GOVERNED BY LOCAL AUTHORITIES HAVING JURISDICTION. MANUFACTURED ITEMS, MATERIALS AND CONSTRUCTION MUST COMPLY WITH ALL REQUIREMENTS OF CANADA MORTGAGE AND HOUSING CORPORATION (C.M.H.C.).
2. ALL DIMENSIONS MUST BE CHECKED AGAINST THE ARCHITECTURAL DRAWINGS AND THE FIELD CONDITIONS BEFORE COMMENCING FABRICATION. ANY INCONSISTENCIES ARE TO BE REPORTED TO THE CONSULTANT BEFORE PROCEEDING WITH THE WORK.
3. CONTRACTOR SHALL PROPERLY SUPERVISE THE WORK AND ENSURE THAT THE WORK IS INSTALLED TO CORRECT LINES AND LEVELS; THAT THE CONNECTIONS AND DETAILS CONFORM TO THE DRAWING DETAILS AND SHALL CO-ORDINATE THE INTERFACING OF ALL WORK WITH SUB-TRADES.
4. CONTRACTOR TO BE RESPONSIBLE FOR VERIFYING THE LOCATIONS OF ALL EXISTING UNDERGROUND AND ABOVE UTILITIES AND SERVICES. VARIOUS UTILITIES CONCERNED TO BE GIVEN REQUIRED NOTICE PRIOR TO ANY DIGGING, FOR STAKE OUT.
5. CONTRACTOR TO VERIFY WINDOW OPENINGS WITH WINDOW MANUFACTURER PRIOR TO COMMENCING WORK.
6. ALL EXCAVATION AND BACK FILL MUST COMPLY WITH DIV. B SECTION 9.12 OF THE ONTARIO BUILDING CODE.
7. PROVIDE 'IN WALL' BLOCKING FOR ALL FUTURE INSTALLATIONS OF MILLWORK AND ACCESSORIES. CONSULT WITH OWNER FOR LOCATIONS.
8. CONTRACTOR SHALL APPLY AND PAY FOR ALL FEES AS REQUIRED BY AUTHORITIES OTHER THAN BUILDING PERMIT.
9. PROVIDE ALL REQUIRED AIR & VAPOUR BARRIERS.
10. PROVIDE REQUIRED PROTECTION FROM PRECIPITATION FOR VARIOUS CLADDING SYSTEMS INCLUDING 1ST & 2ND PHASES OF PROTECTION, (REFER TO OBC DIV. B SECTION 9.27).
11. CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB. REPORT ANY DISCREPANCIES TO THE CONSULTANT BEFORE PROCEEDING WITH THE WORK. ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF THE CONSULTANT.

**WINDOWS**

1. **MINIMUM BEDROOM WINDOW -OBC 9.7.1.3-**  
AT LEAST ONE BEDROOM WINDOW ON A GIVEN FLOOR IS TO HAVE MIN. 0.35m<sup>2</sup> UNOBSTRUCTED GLAZED OR OPENABLE AREA WITH MIN. CLEAR WIDTH OF 380mm (1'-3").
2. **WINDOW GUARDS -OBC 9.7.1.6 & 9.8.8-**  
A GUARD OR A WINDOW WITH A MAXIMUM RESTRICTED OPENING WIDTH OF 100mm (4") IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 480mm (1'-6") ABOVE FIN. FLOOR AND THE DISTANCE FROM THE FIN. FLOOR TO THE ADJACENT GRADE IS GREATER THAN 1800mm (5'-11").
3. **WINDOW IN EXIT STAIRWAYS -OBC 9.7.5.3-**  
WINDOWS IN EXIT STAIRWAYS THAT EXTEND TO LESS THAN 1070mm (3'-6") SHALL BE PROTECTED BY GUARDS IN ACCORDANCE WITH NOTE 2 (ABOVE) OR THE WINDOW SHALL BE NON-OPERABLE AND DESIGNED TO WITHSTAND THE SPECIFIED LOADS FOR BALCONY GUARDS AS PROVIDED IN PART 4 OF THE ONTARIO BUILDING CODE.
4. **WINDOWS & SLIDING GLASS DOORS - MAX U-VALUE 1.8**
5. **SKYLIGHTS - MAX U-VALUE 2.8**

**MECHANICAL & ELECTRICAL**

1. MECHANICAL AND ELECTRICAL INSTALLATION SHALL COMPLY WITH CODE REQUIREMENTS.
2. READ ARCHITECTURAL DRAWINGS IN CONJUNCTION WITH MECHANICAL AND ELECTRICAL DRAWINGS.
3. MECHANICAL VENTILATION IS REQUIRED TO PROVIDE 0.3 AIR CHANGES PER HOUR AVERAGED OVER 24 HOURS. SEE MECHANICAL DRAWINGS.

**LUMBER**

1. ALL LUMBER SHALL BE SPRUCE NO.2 GRADE, UNLESS NOTED OTHERWISE.
2. STUDS SHALL BE STUD GRADE SPRUCE, UNLESS NOTED OTHERWISE.
3. LUMBER EXPOSED TO THE EXTERIOR TO BE SPRUCE NO.2 GRADE PRESSURE TREATED OR CEDAR, UNLESS NOTED OTHERWISE.
4. ALL LAMINATED VENEER LUMBER (LVL) BEAMS, GIRDER TRUSSES, AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED & CERTIFIED BY TRUSS MANUFACTURER.
5. LVL BEAMS SHALL BE 2.0E W5 MICRO-LAM LVL (Fb=2800psi, MIN.) OR EQUIVALENT. NAIL EACH PLY OF LVL WITH 89mm (3 1/2") LONG COMMON WIRE NAILS @ 300mm (12") O/C STAGGERED IN 2 ROWS FOR 184, 240 & 300mm (7 1/4", 9 1/2", 11 7/8") DEPTHS AND STAGGERED IN 3 ROWS FOR GREATER DEPTHS AND FOR 4 PLY MEMBERS ADD 13mm (1/2") DIA. GALVANIZED BOLTS BOLTED AT MID-DEPTH OF BEAM @ 915mm (3'-0") O/C.
6. PROVIDE TOP MOUNT BEAM HANGERS TYPE "SCL" MANUFACTURED BY MGA CONNECTOR LTD. OR EQUAL FOR ALL LVL BEAM TO BEAM CONNECTIONS UNLESS NOTED OTHERWISE.
7. JOIST HANGERS: PROVIDE METAL HANGERS FOR ALL JOISTS AND BUILT-UP WOOD MEMBERS INTERSECTING FLUSH BUILT-UP WOOD MEMBERS.
8. WOOD FRAMING NOT TREATED WITH A WOOD PRESERVATIVE, IN CONTACT WITH CONCRETE, SHALL BE SEPARATED FROM THE CONC. BY AT LEAST 2mil. POLYETHYLENE FILM, NO.50 (45lbs.) ROLL ROOFING OR OTHER DAMPPROOFING MATERIAL, EXCEPT WHERE THE WOOD MEMBER IS AT LEAST 150mm (6") ABOVE THE GROUND.

**STEEL**

1. STRUCTURAL STEEL SHALL CONFORM TO CAN/CSA-G40-21 GRADE 300W. HOLLOW STRUCTURAL SECTIONS SHALL CONFORM TO CAN/CSA-G40-12 GRADE 350W CLASS "H".
2. REINFORCING STEEL SHALL CONFORM TO CSA-G30-10M GRADE 400R.

**FLAT ARCHES**

1. FOR 2440mm (8'-0") CEILINGS, FLAT ARCHES TO BE 2080mm (6'-10") A.F.F. UNLESS OTHERWISE NOTED.
2. FOR 2740mm (9'-0") CEILINGS, FLAT ARCHES TO BE 2400mm (7'-10") A.F.F. UNLESS OTHERWISE NOTED.

**ROOF OVERHANGS**

1. ALL ROOF OVERHANGS ARE 305mm (1'-0") UNLESS OTHERWISE DIMENSIONED.

**SMOKE ALARM -OBC 9.10.18-**

PROVIDE 1 PER FLOOR. NEAR THE STAIRS CONNECTING THE FLOOR LEVELS. ALARMS TO BE CONNECTED TO AN ELECTRICAL CIRCUIT AND INTERCONNECTED TO ACTIVATE ALL ALARMS IF 1 SOUNDS.

**CARBON MONOXIDE DETECTOR -OBC 9.32.3.8-**

A CARBON MONOXIDE DETECTOR CONFORMING TO CAN/CGA-6.19, SHALL BE INSTALLED ON OR NEAR THE CEILING IN EACH ROOM IN WHICH THERE IS INSTALLED A SOLID FUEL BURNING APPLIANCE.

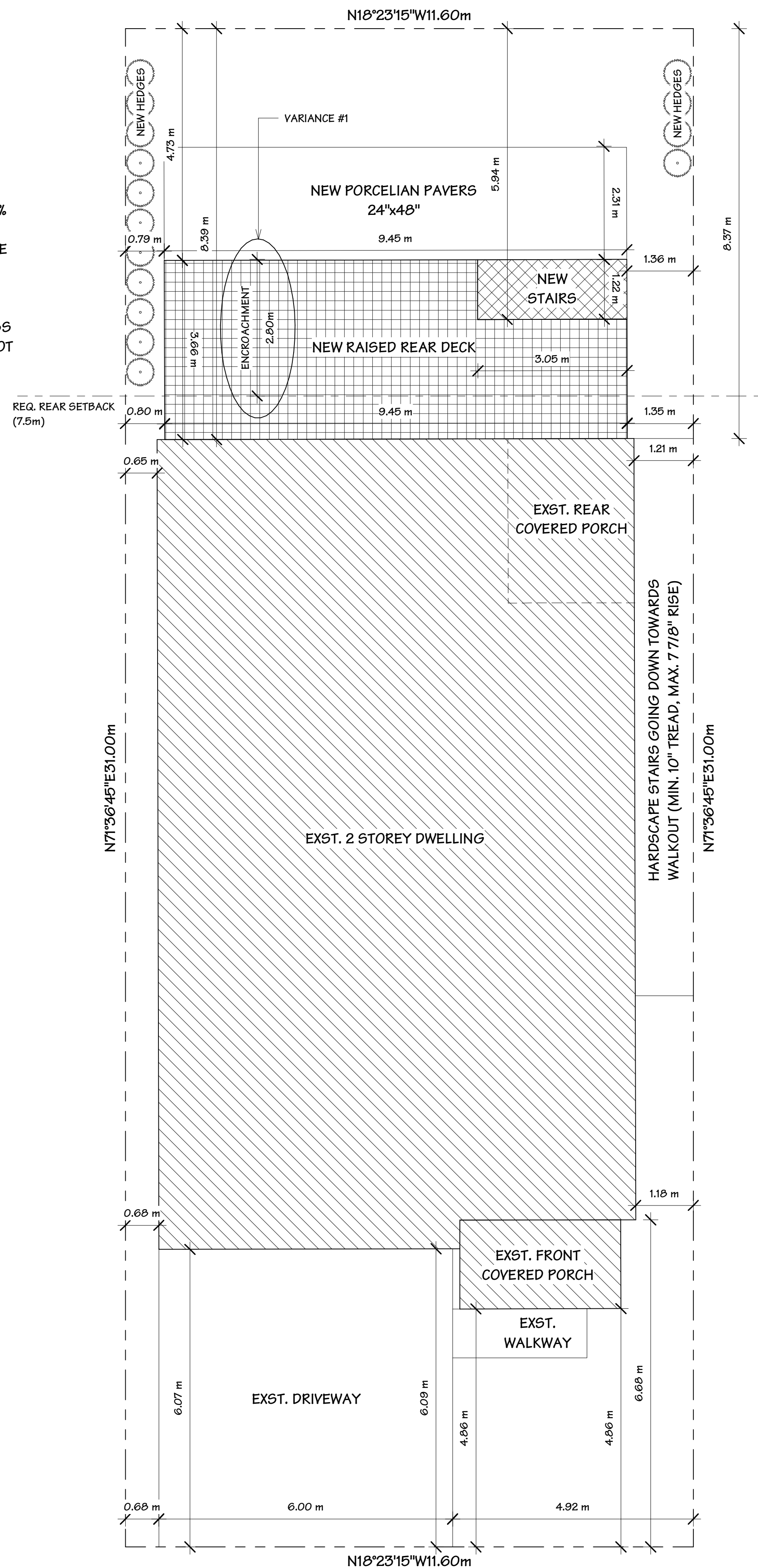
**RD4 ZONING**

LOT AREA  
MAIN DWELLING COVERAGE 1,711.14 SQFT  
DECK & STAIRS COVERAGE 372.00 SQFT

REAR YARD AREA \*\*\* 589.57 SQFT  
REQ. SOFT LANDSCAPE 60% = 353.74 SQFT  
PROP. SOFT LANDSCAPE 355.47 SQFT = 60.29%

\*\*\*NOTE: REAR YARD AREA IS MEASURED FROM THE BACK OF THE DECK AS PER THE REAR YARD DEFINITION BELOW.

YARD, REAR - MEANS THE YARD EXTENDING ACROSS THE FULL WIDTH OF THE LOT BETWEEN THE REAR LOT LINE OF THE LOT AND THE NEAREST PART OF THE NEAREST BUILDING OR STRUCTURE ON THE LOT OR THE NEAREST OPEN STORAGE USE ON THE LOT.



1 SITE PLAN  
3/16" = 1'-0" **73 ALISTAIR CRESCENT**



**DESIGN**

EMAIL: info@designag.ca

TORONTO OFFICE: (647) 607-9693  
887 DUNDAS STREET WEST  
TORONTO, ON M6J 1V9

MUSKOKA OFFICE: (705) 704-9615  
1038 FIELDALE ROAD  
HUNTSVILLE, ON P1H 2J6

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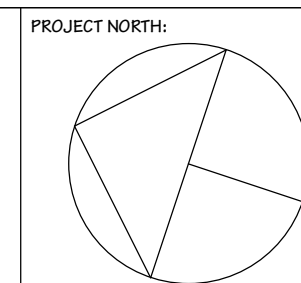
QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Antonio Giovinazzo 108305  
NAME SIGNATURE BCIN

REGISTRATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

Antonio Domenico Giovinazzo 116641  
FIRM NAME BCIN

NO.	DATE	REVISION
0	03/20/2023	ISSUED FOR PERMIT



PROJECT:  
**73 ALISTAIR CRESCENT  
KLEINBURG, ON L4H 4T7**

DRAWING TITLE:  
**GENERAL NOTES & SITE  
PLAN**

DATE: 03/20/2023	DRAWING NO.:
SCALE: 3/16" = 1'-0"	<b>AO</b>
DRAWN BY: AG	
	2267

<b>SCHEDULE B: STAFF &amp; AGENCY COMMENTS</b>				
<b>DEPT/AGENCY</b>	<b>Circulated</b>	<b>Comments Received</b>	<b>Conditions</b>	<b>Nature of Comments</b>
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		Recommend Approval/No Conditions
Building Standards (Zoning)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		General Comments

**Date:** July 4<sup>th</sup> 2023

**Attention:** **Christine Vigneault**

**RE:** Request for Comments

**File No.:** **A095-23**

**Related Files:**

**Applicant** AG Design

**Location** 73 Alistair Crescent





Discover the possibilities

### COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

### References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

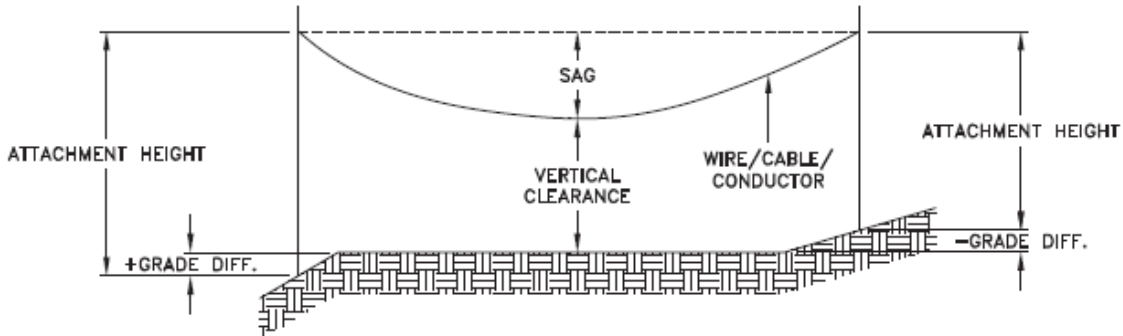
Mr. Stephen Cranley, C.E.T  
Supervisor, Distribution Design, ICI & Layouts (North)  
**Phone:** 1-877-963-6900 ext. 31297

**E-mail:** [stephen.cranley@alectrautilities.com](mailto:stephen.cranley@alectrautilities.com)

Mitchell Penner  
Supervisor, Distribution Design-Subdivisions  
**Phone:** 416-302-6215

**Email:** [Mitchell.Penner@alectrautilities.com](mailto:Mitchell.Penner@alectrautilities.com)

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG  
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)  
 ± GRADE DIFFERENCE  
 + 0.3m (VEHICLE OR RAILWAY LOCATION)  
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

**NOTES:**

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

**CONVERSION TABLE**

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

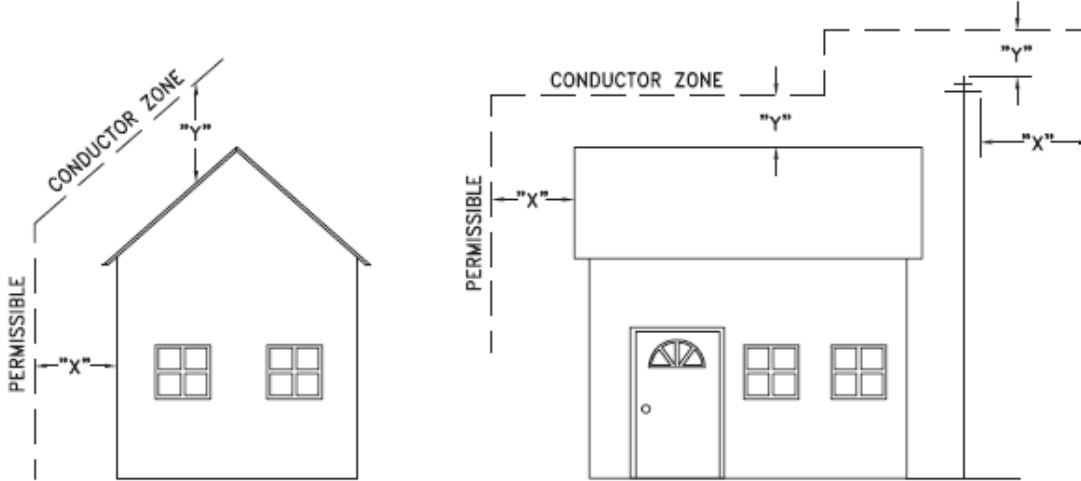
**REFERENCES**

SAGS AND TENSIONS | SECTION 02

**MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS**

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

**NOTES**

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

**MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)**

**Certificate of Approval**  
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04  
Debbie Dadwani, P.Eng. 2010-MAY-05  
Name Date  
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:  
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

**To:** Committee of Adjustment  
**From:** Sarah Scauzillo, Building Standards Department  
**Date:** July 17, 2023  
**Applicant:** AG Design  
**Location:** 73 Alistair Crescent  
 PLAN 65M4639 Lot 74  
**File No.(s):** A095/23

**Zoning Classification:**

The subject lands are zoned A, Agricultural under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
	N/A	

The subject lands are zoned RD4, Residential Detached Zone Four and subject to the provisions of Exception 9(1376) under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
1	An uncovered porch is permitted to encroach a maximum of 1.8 metres into the minimum required rear yard. [Section 3.14]	To permit an uncovered porch to encroach a maximum of 2.8 metres into the minimum required yard.

**Staff Comments:**

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
2	The subject lands may be subject to Ontario Regulation 166/06 (TRCA - Toronto and Region Conservation Authority).

**Conditions of Approval:**

If the committee finds merit in the application, the following conditions of approval are recommended.

\* Comments are based on the review of documentation supplied with this application.

**To:** Christine Vigneault, Committee of Adjustment Secretary Treasurer  
**From:** Nancy Tuckett, Director of Development Planning  
**Date:** July 26, 2023  
**Name of Owner:** Stephanie Criminisi  
**Location:** 73 Alistair Crescent  
**File No.(s):** A095/23

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**Proposed Variance(s) (By-law 1-88):**

1. To permit an uncovered porch to encroach a maximum of 2.8 m into the minimum required yard.

**By-Law Requirement(s) (By-law 1-88):**

1. An uncovered porch is permitted to encroach a maximum of 1.8 m into the minimum required rear yard.

**Official Plan:**

City of Vaughan Official Plan 2010 ('VOP 2010'): "Natural Areas" by Volume 2, Area Specific Policy 12.7, Block 61 West - Nashville Heights

**Comments:**

The Owner is requesting relief to permit the construction of an uncovered elevated deck in the rear yard, with the above-noted variance.

The Development Planning Department has no objection to the proposed variance for the elevated deck. The deck is proposed above a walk-out basement and will facilitate access between the main floor and rear yard. The stairs, located to the southeast, are incorporated into the deck's footprint and will not further project into the rear yard. The incorporation of the stairs into the deck footprint will reduce the mass and useable deck space facing the south and east lot lines. The property also backs onto an open space zone. As such, the development will not pose any adverse use or massing impacts to the abutting properties.

Accordingly, the Development Planning Department can support the requested variance and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

**Recommendation:**

The Development Planning Department recommends approval of the application.

**Conditions of Approval:**

If the Committee finds merit in the application, the following conditions of approval are recommended:

None

**Comments Prepared by:**

Joshua Cipolletta, Planner  
David Harding, Senior Planner

July 10, 2023

X-Ref: CFN 69161

**SENT BY E-MAIL: Christine.Vigneault@vaughan.ca**

Christine Vigneault  
Secretary Treasurer  
Committee of Adjustment  
City of Vaughan  
2141 Major Mackenzie Drive  
Vaughan, Ontario L6A 1T1

Dear Christine:

**Re: Minor Variance Application A095.23  
73 Alistair Crescent  
PLAN 65M4639 Lot 74  
City of Vaughan, Region of York  
Owner: Stephanie Criminisi  
Agent: AG Design**

This letter acknowledges receipt of the above-noted application circulated by the City of Vaughan. The materials were received by Toronto and Region Conservation Authority (TRCA) on June 30, 2023. TRCA staff have reviewed the application and offer the following comments for the consideration of the Committee of Adjustment.

**Purpose of the Application**

It is our understanding that the purpose of the above noted application is to request a variance under By-Law 1-88:

- To permit an uncovered porch to encroach a maximum of 2.8 metres into the minimum required rear yard, whereas an uncovered porch is permitted to encroach a maximum of 1.8 metres into the minimum required rear yard.

The noted variance is being requested to facilitate the construction of a deck at the rear of an existing dwelling.

**Ontario Regulation 166/06**

A portion of the subject property is located within TRCA's Regulated Area due to a stream corridor associated with a tributary of the Humber River. In accordance with Ontario Regulation 166/06 (Regulation of Development, Interference with Wetlands and Alterations to Shorelines and Watercourses), development, interference or alteration may be permitted in the Regulated Area where it can be demonstrated to TRCA's satisfaction that the control of flooding, erosion, dynamic beaches, pollution, or the conservation of land will not be affected.

**Application-Specific Comments**

TRCA issued a permit for the construction of a deck and associated minor landscaping on June 22, 2023 (TRCA Permit No. C-230665).

Based on a review of the plans submitted with this variance, the noted works are consistent with the plans that were approved as part of TRCA Permit No. C-230665. As such, TRCA has no concerns with the proposed variance.

**Fees**

By copy of this letter, the applicant is advised that the TRCA has implemented a fee schedule for our planning application review services. This application is subject to a \$660.00 (Minor Variance – Residential - Minor) review fee. The applicant is responsible for fee payment and should forward the application fee to this office as soon as possible.

**Recommendations**

Based on the comments noted above, TRCA provides conditional approval to the approval of Minor Variance Application A095.23 subject to the following conditions:

1. That the applicant provides the required fee amount of \$660.00 payable to the Toronto and Region Conservation Authority.

We trust these comments are of assistance. Should you have any questions, please contact me at 437-880-2129 or at [Kristen.regier@trca.ca](mailto:Kristen.regier@trca.ca)

Sincerely,

*Kristen Regier*

Kristen Regier  
Planner I  
Development Planning and Permits

KR/sb

**From:** [Development Services](#)  
**To:** [Christine Vigneault](#)  
**Cc:** [Committee of Adjustment](#)  
**Subject:** [External] RE: A095/23 (73 Alistair Crescent) - REQUEST FOR COMMENTS, CITY OF VAUGHAN  
**Date:** Friday, July 7, 2023 3:54:45 PM  
**Attachments:** [image001.png](#)  
[image003.png](#)

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Hi Christine,

The Regional Municipality of York has completed its review of the minor variance application – A095/23 and has no comment.

Please provide us with a copy of the notice of decision for our records.

Many thanks,

*Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.*

**Niranjan Rajevan, M.Pl.** | Associate Planner, Development Services, Planning and Economic Development, Corporate Services

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The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1  
1-877-464-9675 ext. 71521 | [niranjan.rajevan@york.ca](mailto:niranjan.rajevan@york.ca) | [www.york.ca](http://www.york.ca)

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**SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE**

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None				