

ITEM: 6.5	COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A064/23 254 BOURBON STREET, WOODBRIDGE
------------------	---

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES:**

*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

PUBLIC & APPLICANT CORRESPONDENCE

*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Public	Guido Tittoto	260 Bourbon Street	05/16/2023	Letter of Support
Public	Ivana Garito	259 Bourbon Street	05/15/2023	Letter of Support
Public	Vito Tricarico	253 Bourbon Street	05/15/2023	Letter of Support

PUBLIC & APPLICANT CORRESPONDENCE

*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City’s Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Public	Sandro Belfiglio	246 Bourbon Street	05/15/2023	Letter of Support
--------	------------------	--------------------	------------	-------------------

PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

File Number	Date of Decision MM/DD/YYYY	Decision Outcome
None		

ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

None	
------	--



**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A064/23
254 BOURBON STREET, WOODBRIDGE**

ITEM NUMBER: 6.5	CITY WARD #: 3
APPLICANT:	Nina & Raffaele Colosimo
AGENT:	Byron Escobar
PROPERTY:	254 Bourbon Street, Woodbridge
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit a proposed cabana and reduced rear yard landscaping requirements.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R2A(EN) and subject to the provisions of Exception 14.207 and 14.248 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 01-2021	Variance requested
1	A minimum rear yard setback of 2.4 metres to the proposed Residential Accessory Structure (Cabana) is required. [Section 4.1.2]	To permit a minimum rear yard setback of 1.6 metres to the proposed Residential Accessory Structure (Cabana).
2	A maximum height of 3.0 metres for the Residential Accessory Structure (Cabana) is permitted. [Section 4.1.4]	To permit a maximum height of 3.2 metres for the Residential Accessory Structure (Cabana).
3	The portion of the rear yard in excess of 135m ² shall be comprised of a minimum of 60% (113m ²) soft landscape.[Section 4.19.1]	To permit the portion of the rear yard in excess of 135m ² to be comprised of a minimum of 40% (76.0 m ²) soft landscape.

HEARING INFORMATION

DATE OF MEETING: Thursday, August 3, 2023
TIME: 6:00 p.m.
MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive
LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

That the general intent and purpose of the by-law will be maintained.

That the general intent and purpose of the official plan will be maintained.

That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.

That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT COMMENTS

Date Public Notice Mailed:	July 20, 2023	
Date Applicant Confirmed Posting of Sign:	July 19, 2023	
Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small>	1. The rear yard setback of 1.62 metres to the proposed accessory structure encroaches into the minimum required rear yard setback of 2.4 metres. 2. The interior side yard setback of 0.88 metres to the proposed accessory structure encroaches into the minimum required interior side yard setback of 2.4 metres. 3. The height of 3.50 metres of the proposed accessory structure has exceeded the maximum permitted height of 3.0 metres. 4. The area of soft landscaping proposed in the rear yard does not comply with the requirements of zoning by-law 001- 2021, as amended. Any portion of a yard in excess of 135m ² shall be comprised of 60% soft landscape. We propose 49% soft landscaping.	
Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	None	
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice. *A revised submission may be required to address staff / agency comments received as part of the application review process. *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>	No	
Adjournment Fees: In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice. An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice.		
Committee of Adjustment Comments:	General Comments	
Committee of Adjustment Recommended Conditions of Approval:	None	

BUILDING STANDARDS (ZONING) COMMENTS

****See Schedule B for Building Standards (Zoning) Comments**

Building Standards Recommended Conditions of Approval:	None
---	------

DEVELOPMENT PLANNING COMMENTS

****See Schedule B for Development Planning Comments.**

Development Planning Recommended Conditions of Approval:	That the final Landscape Plan, indicating the location of hedge plantings along the north side of the cabana, be
---	--

DEVELOPMENT PLANNING COMMENTS

approved to the satisfaction of the Development Planning Department.

DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#)
 [Link to Pool Permit](#)
 [Link to Curb Curt Permit](#)
 [Link Culvert Installation](#)

As the proposed cabana in the subject property is 58.48 m², the Owner / Applicant needs to obtain a Lot Grading Permit from Development Inspection and Lot Grading Division of the City's Development Engineering Department. Please note any in-ground structure over 10 m² requires a Grading Permit. Please contact the Development Engineering Reviewer after receiving the Grading Permit to clear the condition. (Condition attached)

The proposed work by the Owner / Applicant is increasing the lot coverage on the subject property. The added hardscape may have impacts on the City's Storm Water management system. Development Engineering strongly encourages the Owner / Applicant introduce Low-Impact Development (LID) measures (e.g., bioswales, permeable pavers, rain gardens, rain barrels etc.) to reduce the impacts to the stormwater system. Should further information be required, please contact the Development Engineering COA reviewer.

The Development Engineering Department does not object to the Minor Variance application A064/23, subject to the following condition(s):

Development Engineering Recommended Conditions of Approval:	The Owner / Applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading Division of the City's Development Engineering Department for final Lot Grading and/or Servicing Permit prior to any work being undertaken on the property. Please visit the Grading Permit page at City of Vaughan website to learn how to apply for the Grading Permit. If you have any questions about Grading Permit, please contact the Development Engineering Department by email at DEPermits@vaughan.ca .
--	---

PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

Forestry: No comments no concerns

PFH Recommended Conditions of Approval:	None
--	------

DEVELOPMENT FINANCE COMMENTS

No comment no concerns

Development Finance Recommended Conditions of Approval:	None
--	------

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

No comments received to date.

BCLPS Recommended Conditions of Approval:	None
--	------

BUILDING INSPECTION (SEPTIC) COMMENTS

No comments received to date.

Building Inspection Recommended Conditions of Approval:	None
--	------

FIRE DEPARTMENT COMMENTS

No comment no concerns

Fire Department Recommended Conditions of Approval:	None
--	------

SCHEDULES TO STAFF REPORT

*See Schedule for list of correspondence

Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Staff & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)

SCHEDULES TO STAFF REPORT

*See Schedule for list of correspondence

Schedule D (if required)	Previous COA Decisions on the Subject Land
---------------------------------	--

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “**if required**”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Planning Joshua.cipolletta@vaughan.ca	That the final Landscape Plan, indicating the location of hedge plantings along the north side of the cabana, be approved to the satisfaction of the Development Planning Department.
2	Development Engineering Rex.bondad@vaughan.ca	The Owner / Applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading Division of the City’s Development Engineering Department for final Lot Grading and/or Servicing Permit prior to any work being undertaken on the property. Please visit the Grading Permit page at City of Vaughan website to learn how to apply for the Grading Permit. If you have any questions about Grading Permit, please contact the Development Engineering Department by email at DEPermits@vaughan.ca .

IMPORTANT INFORMATION – PLEASE READ

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City’s Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

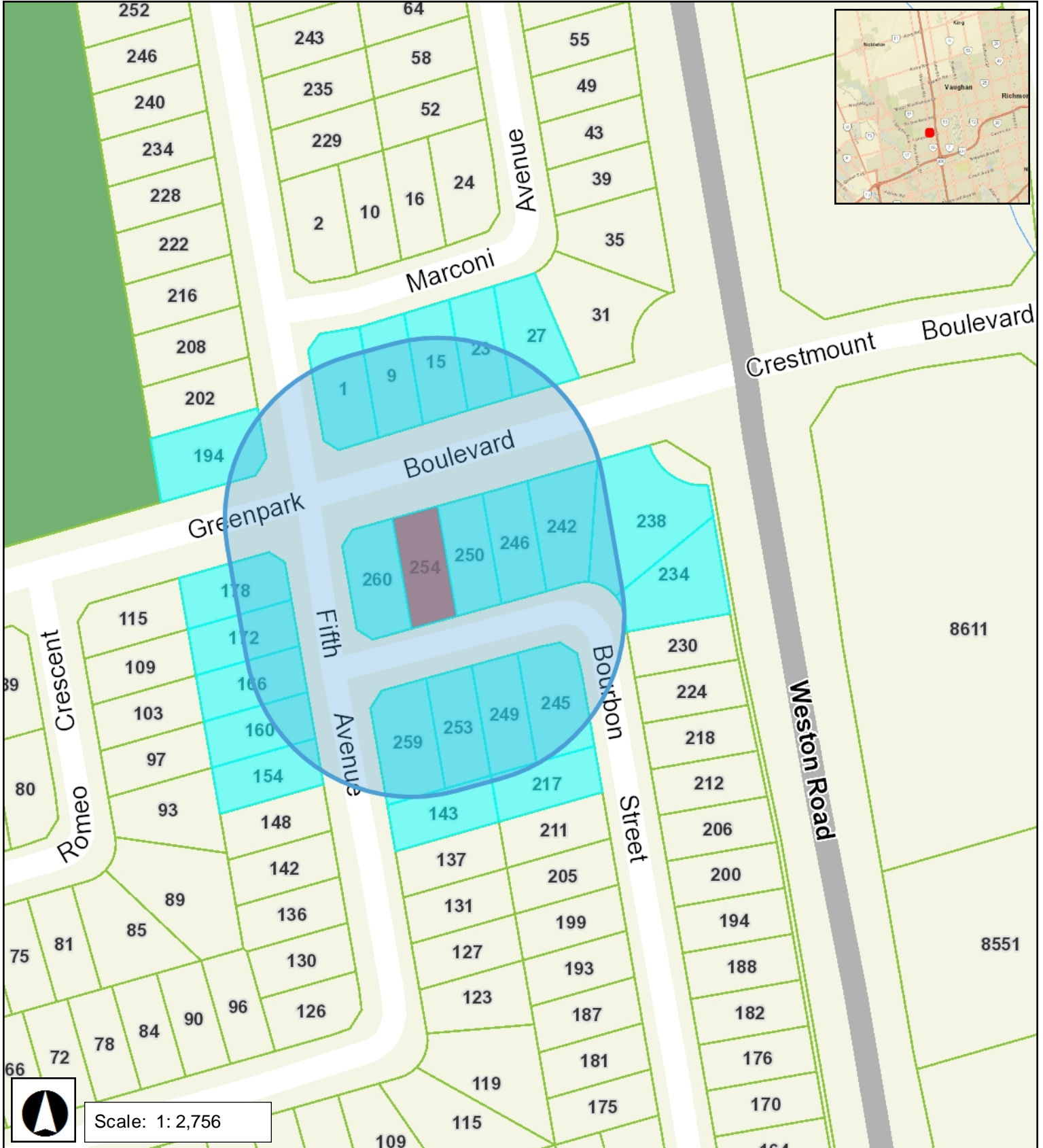
That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City’s

IMPORTANT INFORMATION – PLEASE READ

Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS



PLANS PREPARED AND VARIANCES IDENTIFIED BY APPLICANT

INFORMATION TAKEN FROM ALEX MARTON LIMITED, ONTARIO LAND SURVEYORS SIGNED ON FEB 28TH, 2023.



To permit the portion of the rear yard in excess of 135m² to be comprised of a minimum of 40% (76.0 m²) soft landscape.

Variance #2
40% Soft Landscaping

600 mm wide undisturbed area.

EXISTING REAR YARD $A = 322.89M^2$
REQUIRED SOFT LANDSCAPING = $322.89 - 135 = 187.90 * .60 = 113M^2$
PROPOSED SOFT LANDSCAPING = $76M^2 = 40\%$
ESTABLISHED GRADE: 207.51 + 207.66 + 207.70 = 207.62

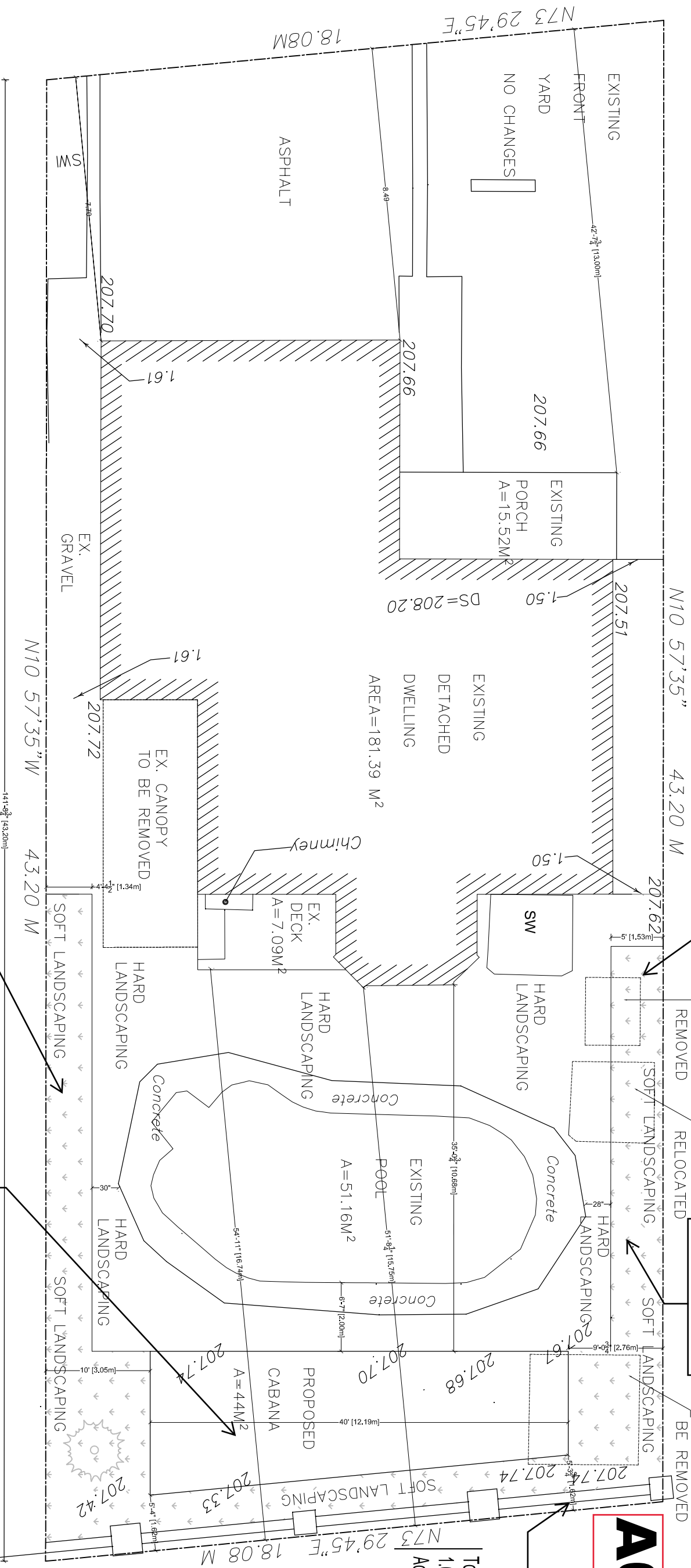
EXISTING SHED TO BE REMOVED

A064/23

Variance #1
1.62m

To permit a minimum rear yard setback of 1.6 metres to the proposed Residential Accessory Structure (Cabana).

BOURBON STREET



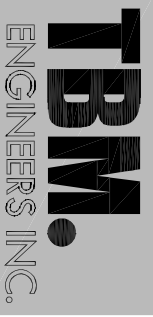
ALL GRADES WILL BE MAINTAINED

600 mm wide undisturbed area.

Variance #3
Height Cabana = 3.20m

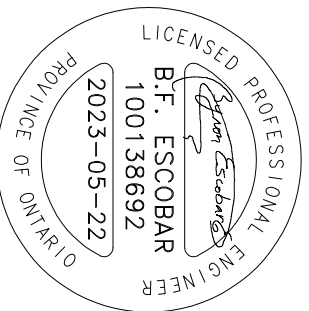
To permit a maximum height of 3.2 metres for the Residential Accessory Structure (Cabana).

Site Plan



DESIGN. DELIVER. INNOVATE.

TBM Engineers Inc.
15 Jaylynn Crt.
Woodbridge, ON (905) 893-9070
www.tbmengeers.com
tbmengeers@mail.com



Project Address:
254 Bourbon St,
Woodbridge, ON
L4L 6Z2

Proposed Cabana to Existing Detached Dwelling

Date Issued for:

2022-08-22 Review
2022-09-16 Building Permit
2022-09-24 Building Permit R1
2023-03-09 COA
2023-05-22 COAR1

Scale:
1:128

These Drawings are the sole property of TBM Engineers Inc. and must not be used for any other project and/or by any other person without written permission. All drawings must not be used for any construction before the building Permit. Do not scale this document.

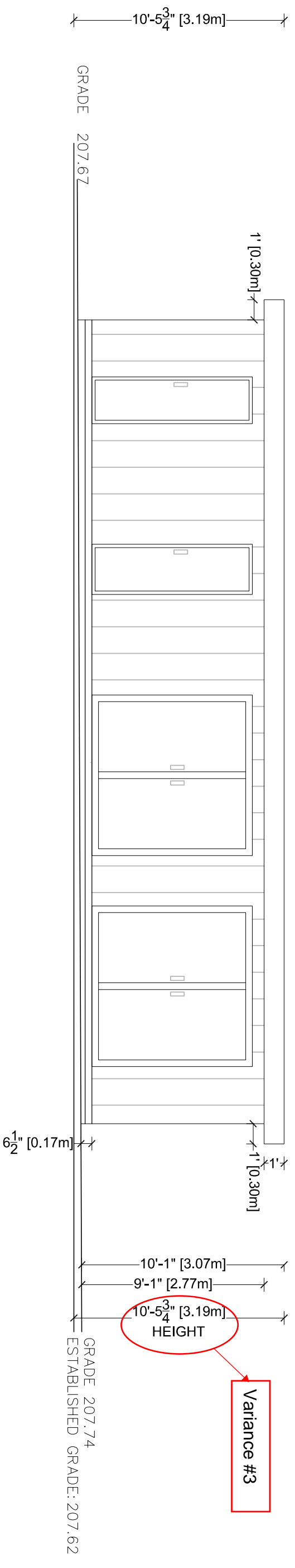
Drawing No.

D-01

1 of 9

A064/23

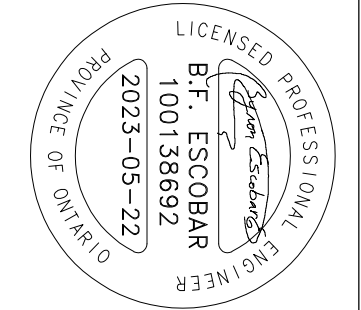
PLANS PREPARED AND VARIANCES IDENTIFIED BY APPLICANT



Proposed Cabana Front Elevation



TBM Engineers Inc.
15 Layllyn Crt.
Woodbridge, ON (905) 893-9070
www.tbmengeers.com
tbmengeers@mail.com



Project Address:
254 Bourbon St,
Woodbridge, ON
L4L 6Z2

Proposed Cabana on Existing Detached Dwelling

Date Issued for:
2022-07-18 Review
2022-08-22 Review
2022-09-16 Building Permit
2023-03-09 COA
2023-05-22 COAR1

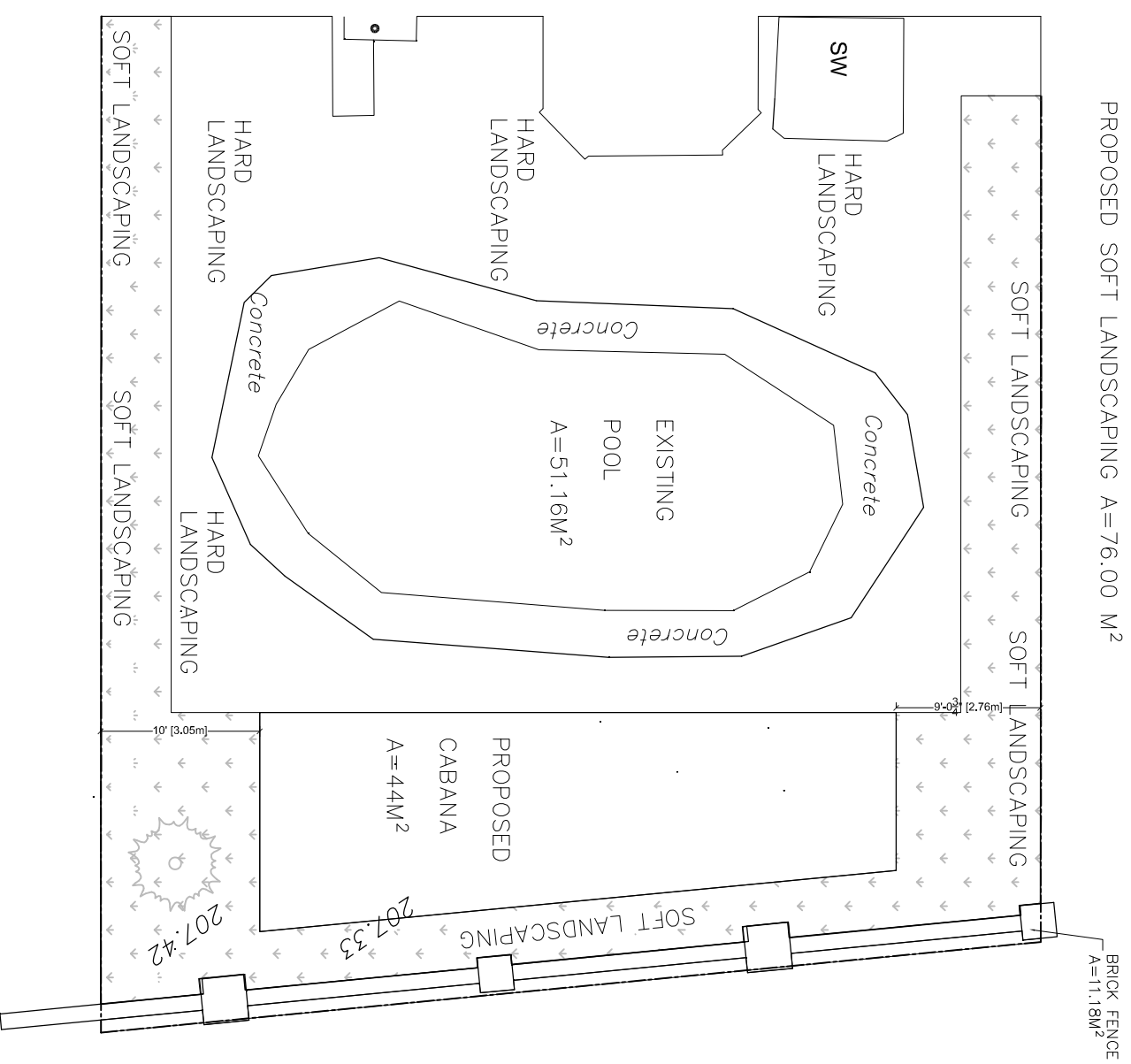
Scale:
3/16" = 1'-0" (1:64)

These Drawings are the sole property of TBM Engineers Inc. and must not be used for any other project and/or by any other person without written permission. All drawings must not be used for any construction before the building Permit. Do not scale this document.

Drawing No.
D-06
6 of 9

EXISTING REAR YARD A=322.89M²

PROPOSED SOFT LANDSCAPING A=76.00 M²



254 Bourbon St, Vaughan, Ontario, L4L 6Z2
R2 E-398, E-464

LOT AREA 781.23 M²
LOT FRONTAGE 18.08 M
LOT DEPTH 43.2 M
MAX. LOT COVERAGE 40/50 %
MA. BUILDING HEIGHT 9.5/11 M

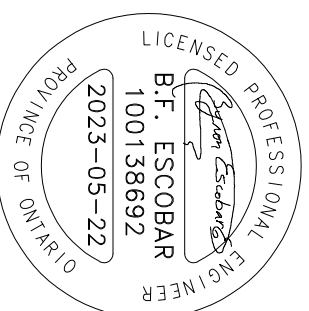
ADDRESS	EXISTING	COVERAGE
ZONING	M2	%
PLAN No.	181.39	
EX. HOUSE FOOTPRINT	15.52	
EX.FRONT PORCH	7.09	
EX.REAR DECK	44	
PROPOSED CABANA	248	
TOTAL	31.74	
LOT COVERAGE		31.74

REAR YARD	EXISTING
REAR YARD	M2
EXISTING POOL	322.89
TOTAL PROPOSED SOFT LANDSCAPING	51.16
PROPOSED CABANA	76.00
EXISTING BRICK FENCE	44.00
TOTAL HARD LANDSCAPING	11.18
	140.55



DESIGN. DELIVER. INNOVATE.

TBM Engineers Inc.
15 Jaylynn Crt.
Woodbridge, ON (905) 893-9070
www.tbmengineers.com
tbmengineers@mail.com



Project Address:
254 Bourbon St,
Woodbridge, ON
L4L 6Z2
Proposed Cabana to Existing Detached Dwelling

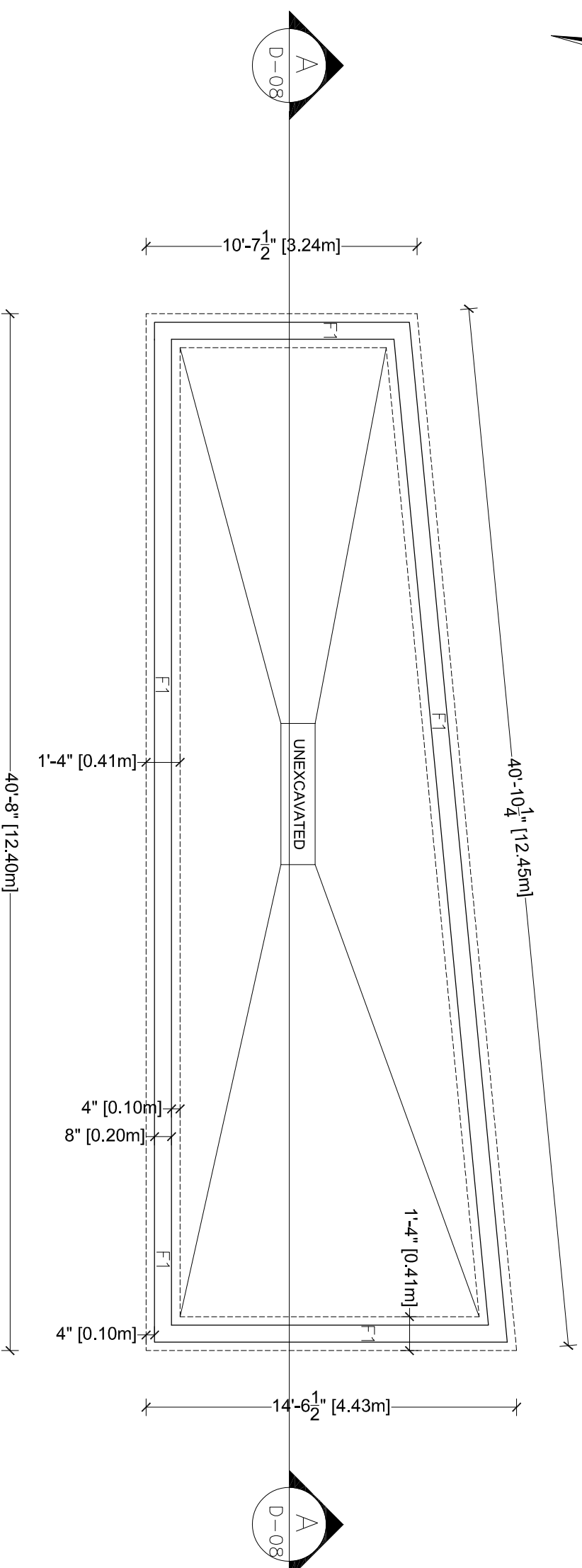
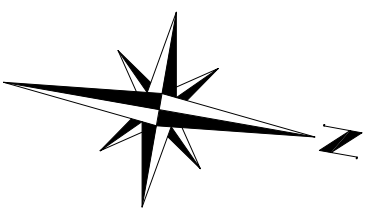
Date 2022-08-22 **Issued for:** Review
2022-09-16 Building Permit
2023-03-09 COA
2023-05-22 COAR1
Scale: 1:128

These Drawings are the sole property of TBM Engineers Inc. and must not be used for any other project and/or by any other person without written permission. All drawings must not be used for any construction before the building Permit. Do not scale this document.

Drawing No.

D-02

2 of 9


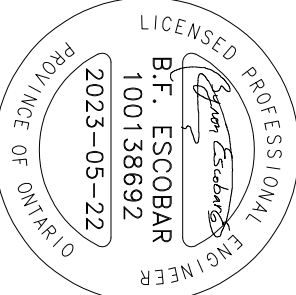


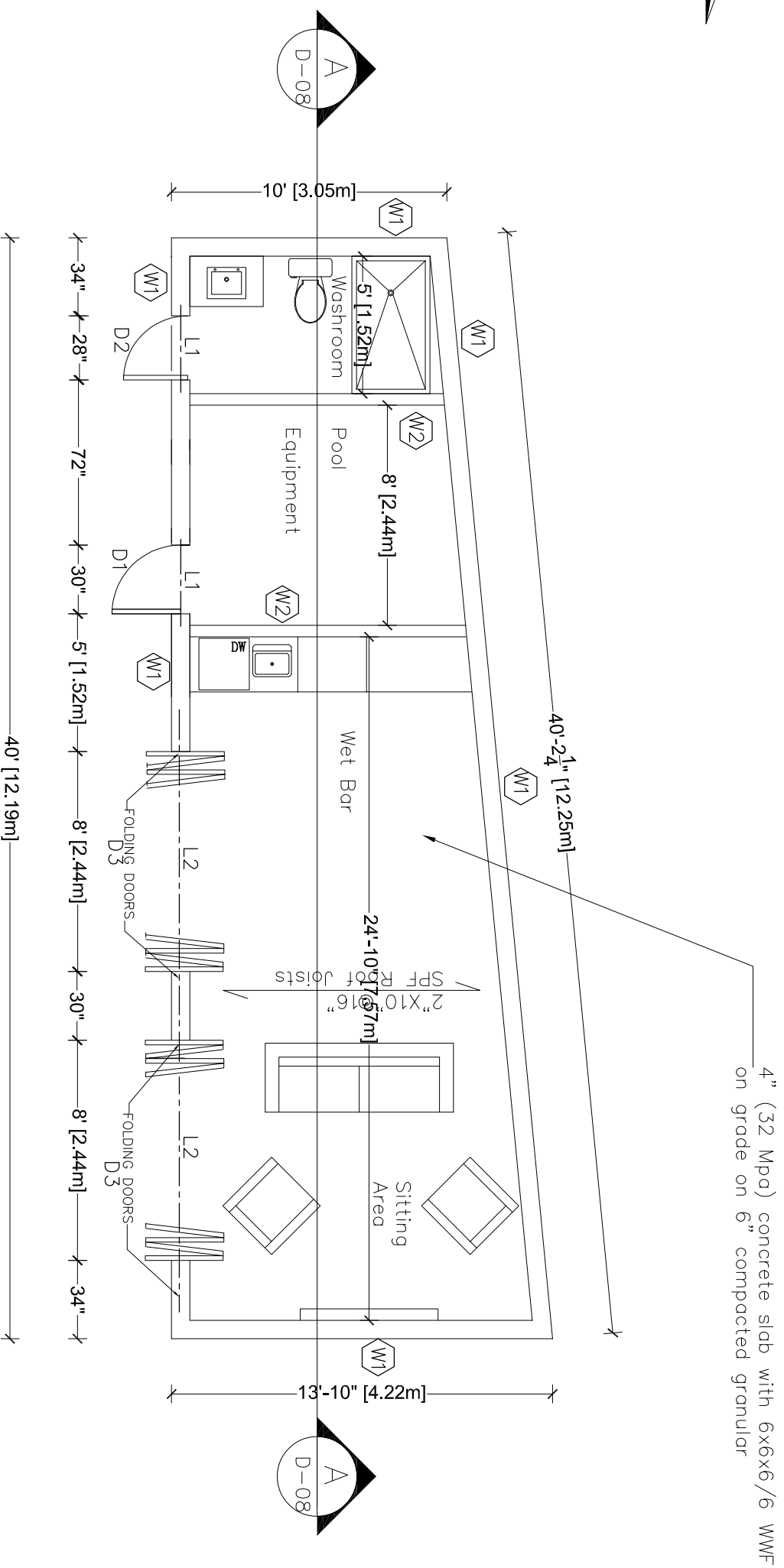
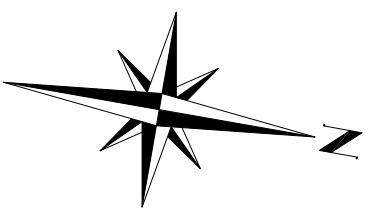
FOUNDATION WALL

F1

8" Poured concrete foundation wall or 8" concrete block foundation wall reinforced with 15M@32" o/c vertical and truss type masonry reinforcement @16" o/c horizontal. Grout in all cells with reinforced bars. Solid top course and bottom course on 16"x8" concrete footing with 2-15M long. Apply bituminous damproofing on minimum 1" parging on concrete foundation wall.

Proposed Foundation Plan

 <p>DESIGN. DELIVER. INNOVATE.</p>	<p>TBM Engineers Inc. 15 Jaylynn Crt. Woodbridge, ON (905) 893-9070 www.tbmengeers.com tbmengeers@mail.com</p>	 <p>LICENSED PROFESSIONAL ENGINEER B.F. ESCOBAR 100138692 2023-05-22 PROVINCE OF ONTARIO</p>	<p>Project Address: 254 Bourbon St, Woodbridge, ON L4L 6Z2</p> <p>Proposed Cabana Existing Detached Dwelling</p>	<p>Date Issued for:</p> <p>2022-07-18 Review 2022-08-22 Review 2022-09-16 Building Permit 2023-03-09 COA 2023-05-22 COAR1</p> <p>Scale: 3/16" = 1'-0" (1:64)</p>	<p>These Drawings are the sole property of TBM Engineers Inc. and must not be used for any other project and/or by any other person without written permission. All drawings must not be used for any construction before the building Permit. Do not scale this document.</p>	<p>Drawing No. D-03 3 of 9</p>
---	---	---	--	--	--	--



EXTERIOR WALL W1

FINISH AS PER ELEVATIONS SIDING
SHEATHING PAPER LAYERS
TO OVERLAP EACH OTHER
½" EXTERIOR PLYWOOD OR O.S.B
38x140 WOOD STUDS @ 400 O.C.
DOUBLE PLATE AT TOP AND
SOLE PLATE AT BOTTOM
CONTACT W SHEATHING
CONTINUOUS AIR/VAPOUR BARRIER
½" GYPSUM BOARD

INTERIOR WALL W2

12.7 MM DRYWALL FINISH BOTH SIDES
38x89 WOOD STUDS @ 400 O.C.
TWO TOP PLATES AND ONE BOTTOM PLATE
PROVIDE REINFORCING FOR FUTURE
GRAB BAR IN BATHROOM
USE WATER RESISTANT GWB IN BATHROOM AND
AROUND SHOWER AND BACKSPLASH

DOORS

D1 = 30"x80"
D2 = 28"x80"
D3 = 96"x80"

LINTELS

L1 = 2-2"x10" SPF
L2 = 4-2"x10" SPF

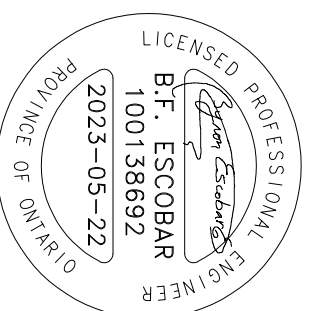
Proposed Floor Plan



DESIGN. DELIVER. INNOVATE.

TBM Engineers Inc.

15 Jaylynn Crt.
Woodbridge, ON (905) 893-9070
www.tbmengeers.com
tbmengeers@mail.com



Project Address:
254 Bourbon St,
Woodbridge, ON
L4L 6Z2

**Proposed Cabana on
Existing Detached
Dwelling**

Date Issued for:
2022-07-18 Review
2022-08-22 Review
2022-09-16 Building Permit
2023-03-09 COA
2023-05-22 COAR1

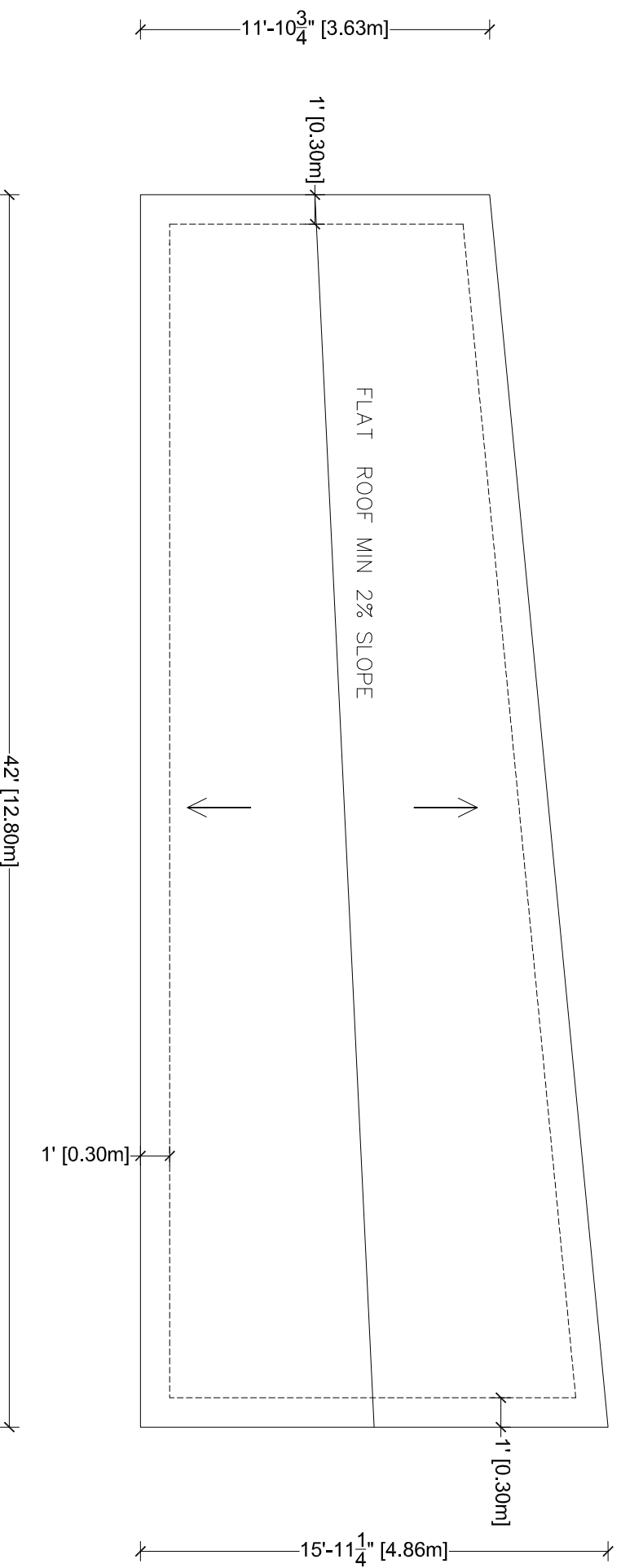
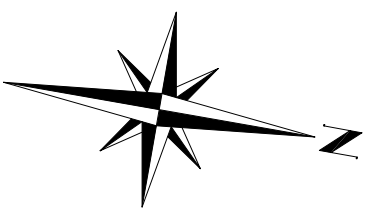
Scale:
¾" = 1'-0" (1:64)

These Drawings are the sole property of TBM Engineers Inc. and must not be used for any other project and/or by any other person without written permission. All drawings must not be used for any construction before the building Permit. Do not scale this document.

Drawing No.

D-04

4 of 9



FLAT ROOF

PREFINISHED METAL FLASHING ON EPDM MEMBRANE ROOFING ADHERED TO 1/2" EXT. GRADE PLY. ON 2"x8" JOISTS@16" OR AS MARKED ON DRAWINGS. ROOFING TO EXTEND 12" MIN OVER ROOF SHINGLES PROVIDE 2% SLOPE (SLOPE TO FLOOR DRAIN)

FASCIA AND SOFFITS

FASCIA AND SOFFIT TO BE PRE-FINISHED ALUMINIUM (UNLESS SHOWN) SOFFIT TO BE VENTED.

FLAT ROOF - CANOPY DRAINS

ROOF DRAINS SHALL DISCHARGE ON A SPLASH PAD AT FINISHED GRADE LEVEL AWAY FROM ANY FOOTINGS. IF SITE LIMITATIONS DICTATE, PROVIDE A PIPING SYSTEM TO CARRY WATER AWAY FROM ANY FOUNDATION WALL. SURFACE DRAINAGE SHALL NOT ACCUMULATE AT OR NEAR THE BUILDING OR ADVERSELY AFFECT ADJACENTS PROPERTIES, PRIVATE OR PUBLIC.

ROOF -VENTILATION

EVERY ROOF SPACE ABOVE AN INSULATED CEILING SHALL BE VENTILATED WITH UNOBSTRUCTED OPENINGS EQUAL TO NOT LESS THAN 50% OF INSULATED AREA. INSULATED ROOF SPACES NOT INCORPORATING AND ATTIC SHALL BE VENTILATED WITH UNOBSTRUCTED OPENINGS EQUAL TO NOT LESS THAN 150 OF INSULATED AREA. ROOF VENTS SHALL BE UNIFORMLY DISTRIBUTED AND DESIGNED TO PREVENT THE ENTRY OF RAIN, SNOW OR INSECTS.

Proposed Roof Plan

<p>DESIGN. DELIVER. INNOVATE.</p>	<p>TBM Engineers Inc. 15 Jaylynn Crt. Woodbridge, ON (905) 893-9070 www.tbmengeers.com tbmengeers@mail.com</p>		<p>Project Address: 254 Bourbon St, Woodbridge, ON L4L 6Z2</p> <p>Proposed Cabana on Existing Detached Dwelling</p>	<p>Date Issued for: 2022-07-18 Review 2022-08-22 Review 2022-09-16 Building Permit 2023-03-09 COA 2023-05-22 COAR1</p> <p>Scale: 3/16" = 1'-0" (1:64)</p>	<p>These Drawings are the sole property of TBM Engineers Inc. and must not be used for any other project and/or by any other person without written permission. All drawings must not be used for any construction before the building Permit. Do not scale this document.</p>	<p>Drawing No. D-05 5 of 9</p>
--	---	--	---	---	--	--

TBM Engineers Inc.
15 Jaylynn Crt.
Woodbridge, ON (905) 893-9070
www.tbmengeers.com
tbmengeers@mail.com



Project Address:
254 Bourbon St,
Woodbridge, ON
L4L 6Z2

Proposed Cabana on Existing Detached Dwelling

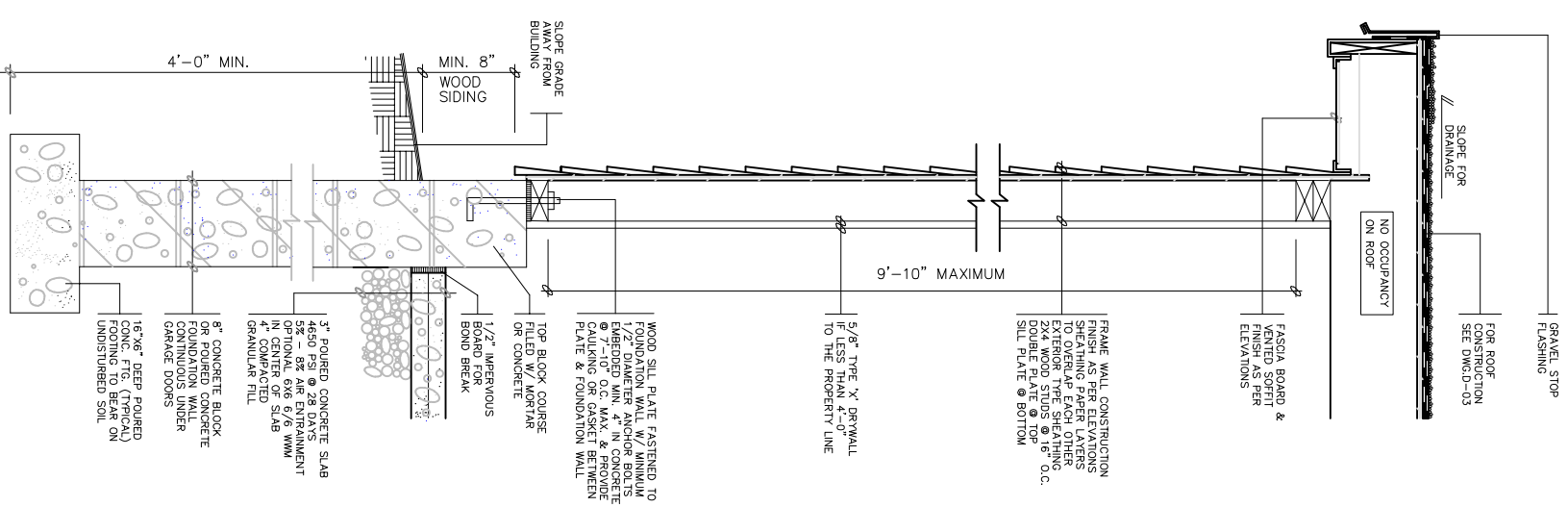
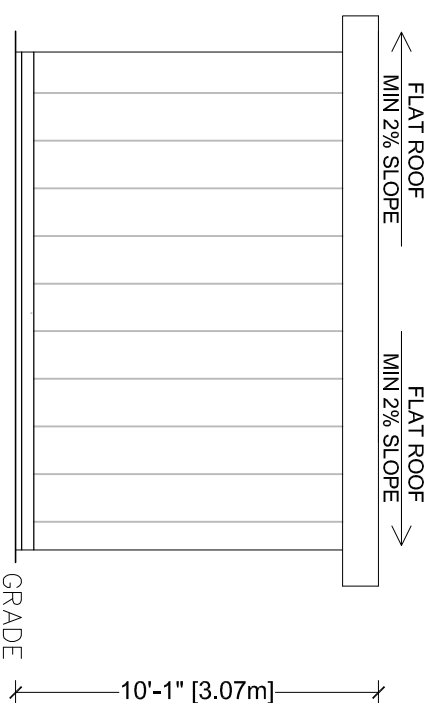
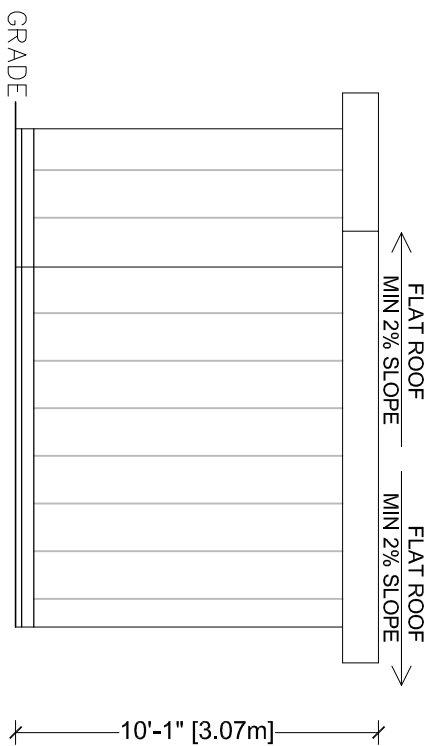
Date Issued for:
2022-07-18 Review
2022-08-22 Review
2022-09-16 Building Permit
2023-03-09 COA
2023-05-22 COARI

Scale:
3/16" = 1'-0" (1:64)

These Drawings are the sole property of TBM Engineers Inc. and must not be used for any other project and/or by any other person without written permission. All drawings must not be used for any construction before the building Permit. Do not scale this document.

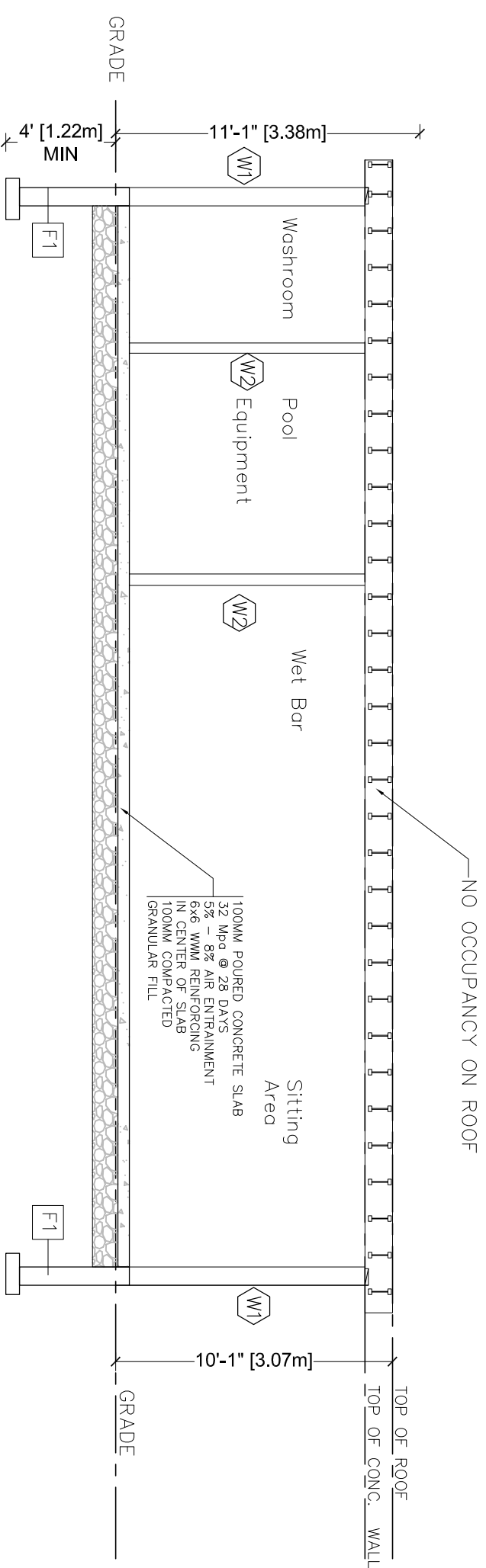
Drawing No.

D-07

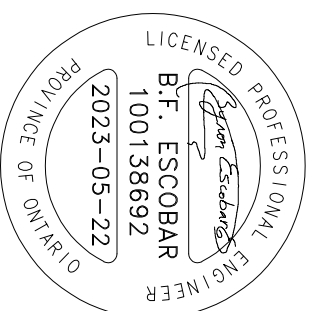


1 WALL SECTION

Proposed East, West Elevations and Wall Section



Section A-A



TBM Engineers Inc.
 15 Jaylynn Crt.
 Woodbridge, ON (905) 893-9070
 www.tbmengeers.com
 tbmengeers@mail.com

Project Address:
 254 Bourbon St,
 Woodbridge, ON
 L4L 6Z2

Proposed Cabana on Existing Detached Dwelling

Date Issued for:
 2022-07-18 Review
 2022-08-22 Review
 2022-09-16 Building Permit
 2023-03-09 COA
 2023-05-22 COAR1

Scale:
 $\frac{3}{16}'' = 1'-0'' (1:64)$

These Drawings are the sole property of TBM Engineers Inc. and must not be used for any other project and/or by any other person without written permission. All drawings must not be used for any construction before the building Permit. Do not scale this document.

Drawing No.
D-08
 8 of 9

① EXCAVATION AND BACKFILL

- Excavation shall be undertaken in such a manner so as to prevent damage to existing structures, adjacent property and utilities
- The topsoil and vegetable matter in unexcavated areas under a building shall be removed. The bottom of excavations for foundations shall be free of all organic material
- If termites are known to exist, all stumps, roots and wood debris shall be removed to a minimum depth of 11 3/4" excavated areas under a building, and the clearance between untreated structural wood elements and the ground shall be no less than 17 3/4"
- Backfill within 23 5/8" of the foundation walls shall be free of deleterious debris and boulders over 9 7/8" in diameter

② DAMPPROOFING AND DRAINAGE

- In normal soil conditions, the exterior surfaces of foundation walls enclosing basements and crawl spaces shall be dampproofed. Where hydrostatic pressure occurs, a waterproofing system is required
- Masonry foundation walls shall be parged with 1/4" of mortar covered over the footing prior to dampproofing
- 4" foundation drains shall be laid on level, undisturbed ground adjacent to the footings at or below the top of the basement slab or crawl space floor, and shall be covered with 6" of crushed stone. Foundation drains shall drain to a storm sewer, drainage ditch, dry well or sump
- Window wells shall be drained to the footing
- Downspouts not directly connected to a storm sewer shall have extensions to carry water away from the building, and provisions shall be made to prevent soil erosion
- Concrete slabs in attached garages shall be sloped to drain to the exterior
- The building site shall be graded so that surface, sump and roof drainage will not accumulate at or near the building and will not adversely affect adjacent properties

③ FOOTINGS

- minimum 15 MPa poured concrete
- minimum 48" below finished grade
- Footings shall be founded on natural undisturbed soil, rock or compacted granular fill with minimum bearing capacity of 100 KPa

④ FOUNDATION WALLS

- To be poured concrete, unit masonry or preserved wood (see drawings for type and thickness)
- Dampproofing shall be a heavy coat of bituminous material.
- Foundation wall to extend minimum 5 7/8" above finished grade.
- A drainage layer is required on the outside of a foundation wall where the interior insulation extends more than 2'-11" below exterior grade. A drainage layer shall consist of
 - Min. 3/4" mineral fibre insulation with min. Density of 3.6 lb/ft²
 - Min. 4" of free drainage granular material, or
 - An approved system which provides equivalent performance
- Foundation walls shall be braced or have the floor joists installed before backfilling

⑤ CONCRETE FLOOR SLABS

- Garage, carport and exterior slabs and exterior steps shall be 4650psi concrete with 5-8% air entrainment
- Other slabs 3600psi concrete
- Minimum 3" thick, placed on a minimum 4" of coarse, clean, granular material
- All fill other than coarse clean material placed beneath concrete slabs shall be compacted to provide uniform support

⑥ ROOFING

- Fasteners for roofing shall be corrosion resistant. Roofing nails shall penetrate through or at least 1/2" into roof sheathing
- Every asphalt shingle shall be fastened with at least 4 nails
- Eave protection shall extend 2' 11" up the roof slope from the edge, and at least 11 3/4" from the inside face of the exterior wall, and shall consist of Type M or Type S Roll Roofing laid with minimum 4" head and end laps cemented together, or glass Fibre or Polyester Fibre coated base sheets, or self sealing composite membranes consisting of modified bituminous coated material. Eave protection is not required for unheated buildings, for roofs exceeding a slope of 1 in 1.5 or where a low slope asphalt shingle application is provided
- Open valleys shall be flashed with 2 layers of roll roofing, or 1 layer of sheet metal min. 23 5/8" wide
- Flashing shall be provided at the intersection of shingle roofs with exterior walls and chimneys
- Sheet metal flashing shall consist of not less than 1/16" sheet lead, 0.013" galvanized steel, 0.018" copper, 0.018" zinc, or 0.019" aluminum

⑦ COLUMNS, BEAMS & LINTELS

- Steel beams and columns shall be shop primed.
- Minimum 3 1/2" end bearing for wood and steel beams, with 7 7/8" solid masonry beneath the beam.
- Steel columns to have minimum outside diameter of 2 7/8" and minimum wall thickness of 3/16"
- Wood columns for carports and garages shall be minimum 3 1/2" x 3 1/2" in all other cases either 5 1/2" x 5 1/2" or 7 1/4" round, unless calculations based on actual loads show lesser sizes are adequate. All columns shall be not less than the width of the supported member
- Masonry columns shall be a minimum of 11 3/8" x 11 3/8" or 9 1/2" x 15"
- Provide solid blocking the full width of the supported member under all concentrated loads

⑧ WALLS

- EXTERIOR WALL W1
- FINISH AS PER ELEVATIONS SIDING SHEATING PAPER LAYERS TO OVERLAP EACH OTHER
- 1" EXTERIOR PLYWOOD OR O.S.B
- 38X140 WOOD STUDS @ 400 O.C.
- DOUBLE PLATE AT TOP AND SOLE PLATE AT BOTTOM
- CONTACT W SHEATHING CONTINUOUS AIR/VAPOUR BARRIER
- 1/2" GYPSUM BOARD

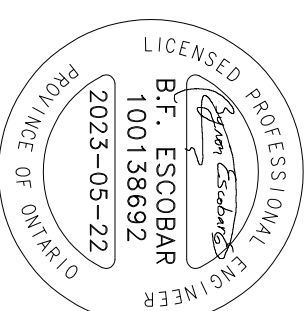
INTERIOR WALL W2

- 12.7 MM DRYWALL FINISH BOTH SIDES
- 38X89 WOOD STUDS @ 400 O.C.
- TWO TOP PLATES AND ONE BOTTOM PLATE PROVIDE REINFORCING FOR FUTURE GRAB BAR IN BATHROOM
- USE WATER RESISTANT GWB IN BATHROOM AND AROUND SHOWER AND BACKSPLASH



DESIGN. DELIVER. INNOVATE.

TBM Engineers Inc.
 15 Jaylynn Crt.
 Woodbridge, ON (905) 893-9070
 www.tbmengeers.com
 tbmengeers@mail.com



Project Address:
 254 Bourbon St,
 Woodbridge, ON
 L4L 6Z2

Proposed Cabana on Existing Detached Dwelling

Date	Issued for:
2022-07-18	Review
2022-08-22	Review
2022-09-16	Building Permit
2023-03-09	COA
2023-05-22	COAR1

Scale:
 3/16" = 1'-0" (1:64)

These Drawings are the sole property of TBM Engineers Inc. and must not be used for any other project and/or by any other person without written permission. All drawings must not be used for any construction before the building Permit. Do not scale this document.

Drawing No.

D-09

SCHEDULE B: STAFF & AGENCY COMMENTS				
DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend approval w/condition
Building Standards (Zoning)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		General Comments

Date: May 2nd 2023

Attention: **Sarah Scauzillo**

RE: Request for Comments

File No.: **A064-23**

Related Files:

Applicant Raffaele & Nina Colosimo

Location 254 Bourbon Street



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

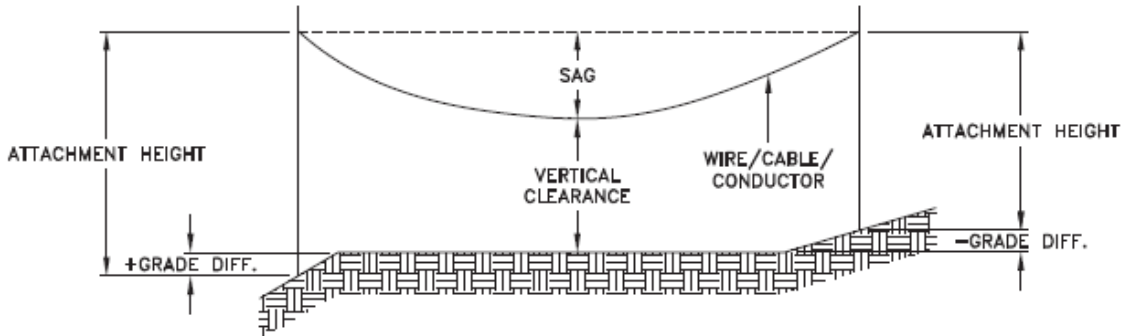
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

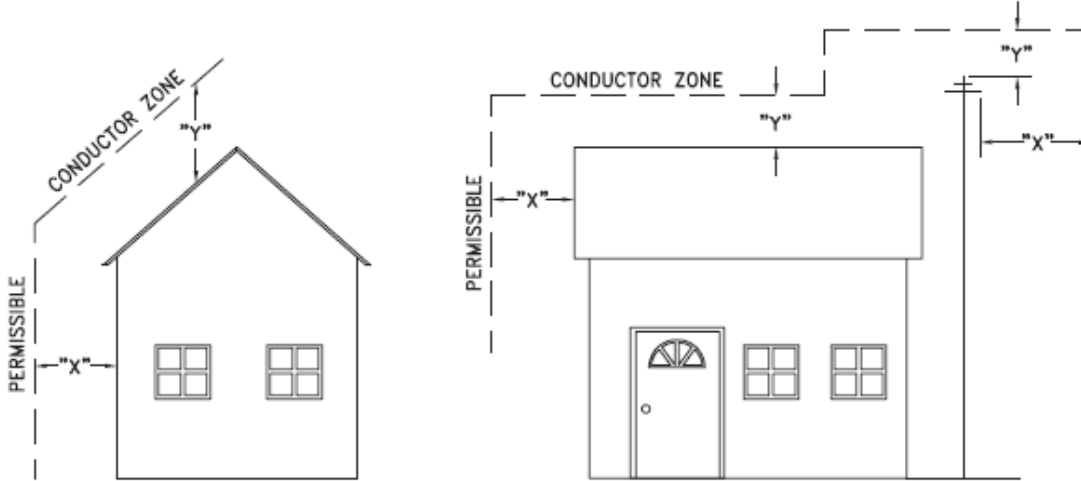
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

To: Committee of Adjustment
From: Sarah Scauzillo, Building Standards Department
Date: June 27, 2023
Applicant: Raffaele & Nina Colosimo
Location: 254 Bourbon Street
 PLAN 65M2266 Lot 128
File No.(s): A064/23

Zoning Classification:

The subject lands are zoned R2A(EN) and subject to the provisions of Exception 14.207 and 14.248 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 01-2021	Variance requested
1	A minimum rear yard setback of 2.4 metres to the proposed Residential Accessory Structure (Cabana) is required. [Section 4.1.2]	To permit a minimum rear yard setback of 1.6 metres to the proposed Residential Accessory Structure (Cabana).
2	A maximum height of 3.0 metres for the Residential Accessory Structure (Cabana) is permitted. [Section 4.1.4]	To permit a maximum height of 3.2 metres for the Residential Accessory Structure (Cabana).
3	The portion of the rear yard in excess of 135m ² shall be comprised of a minimum of 60% (113m ²) soft landscape. [Section 4.19.1]	To permit the portion of the rear yard in excess of 135m ² to be comprised of a minimum of 40% (76.0 m ²) soft landscape.

Staff Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
2	Hight shall be measured in accordance with the Section 3.0 Definitions of By-law 001-2021, as amended. Established grade shall be the approved grading at the time of the original building permit for the principal dwelling.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development Planning
Date: July 27, 2023
Name of Owners: Raffaele & Nina Colosimo
Location: 254 Bourbon Street
File No.(s): A064/23

Proposed Variance(s) (By-law 001-2021):

1. To permit a minimum rear yard setback of 1.6 m to the proposed Residential Accessory Structure (Cabana).
2. To permit a maximum height of 3.2 m for the Residential Accessory Structure (Cabana).
3. To permit the portion of the rear yard in excess of 135 m² to be comprised of a minimum of 40% (76.0 m²) soft landscape.

By-Law Requirement(s) (By-law 001-2021):

1. A minimum rear yard setback of 2.4 m to the proposed Residential Accessory Structure (Cabana) is required.
2. A maximum height of 3.0 m for the Residential Accessory Structure (Cabana) is permitted.
3. The portion of the rear yard in excess of 135 m² shall be comprised of a minimum of 60% (113 m²) soft landscape.

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Comments:

The Owners are requesting relief to permit the construction of a cabana and the existing rear yard hard landscaping, with the above-noted variances.

The Owners have revised their application to reduce the size and height of the cabana upon recommendations from the Development Planning Department. The Development Planning Department has no objection to Variances 1 and 2 for the revised cabana. The cabana has a flat roof design with the requested relief measured between the established grade to the top of the roof. The 0.2 m increase in height is minor in nature and not anticipated to pose adverse massing impacts to the neighbouring properties or street. Hedge plantings are proposed along the north side of the cabana to provide screening to further mitigate any massing impacts on Greenpark Boulevard from the reduced rear yard setback. As such, the cabana will not pose adverse massing, use and privacy impacts to the neighbouring properties and an appropriate area for maintenance access is maintained.

The Owners have revised their application to reduce the rear yard hard landscaping upon recommendations from the Development Planning Department. The Development Planning Department has no objection to Variance 3 for the revised reduction to the rear yard soft landscaping. The reduction in soft landscaping is minor in nature and will maintain an appropriate balance of soft landscaping to facilitate drainage, reduce urban heat island effects, and facilitate the establishment of vegetation. The Development Engineering Department has also reviewed the proposal and is satisfied that drainage in the rear yard will be maintained.

In support of the application, the Owners have submitted an Arborist Report prepared by I Love Gardens & Trees, dated June 4, 2023. The report inventoried eleven trees, three of which have been previously removed. Urban Design staff have reviewed the report and concur with its recommendations.

Accordingly, the Development Planning Department can support the requested variances and is of the opinion that the proposal is minor in nature, maintains the

general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application, subject to the following condition:

Condition of Approval:

If the Committee finds merit in the application, the following condition of approval is recommended:

1. That the final Landscape Plan, indicating the location of hedge plantings along the north side of the cabana, be approved to the satisfaction of the Development Planning Department.

Comments Prepared by:

Joshua Cipolletta, Planner
David Harding, Senior Planner

From: [Development Services](#)
To: [Committee of Adjustment](#)
Subject: [External] FW: A064/23 (1254 Bourbon Street) - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Wednesday, May 3, 2023 11:36:08 AM
Attachments: [image001.png](#)
[image003.png](#)
[CIRC_A064_23.pdf](#)

Hello,

The Regional Municipality of York has completed its review of minor variance application A064/23 (254 Bourbon Street) and has no comments.

Thank you,

Maryam Ahmed, B.U.R.PL. | Associate Planner, Programs and Process Improvement, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 x74528 | maryam.ahmed@york.ca | www.york.ca

Our Values: Integrity, Commitment, Accountability, Respect, Excellence



Our Mission: Working together to serve our thriving communities – today and tomorrow

Please consider the environment before printing this email.

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Public	Guido Tittoto	260 Bourbon Street	05/16/2023	Letter of Support
Public	Ivana Garito	259 Bourbon Street	05/15/2023	Letter of Support
Public	Vito Tricarico	253 Bourbon Street	05/15/2023	Letter of Support
Public	Sandro Belfiglio	246 Bourbon Street	05/15/2023	Letter of Support

Vaughan, May 16, 2023

Committee of Adjustment
City of Vaughan
Vaughan City Hall, Level 100
2141 Major Mackenzie Drive
Vaughan ON, L6A 1T1

Dear Sir / Madam:

I am the owner of 260 BOURBON ST
and have received the Public Hearing Notice regarding the minor variances sought for the property at 254 Bourbon St.

I have reviewed the information attached to the notice regarding the minor variances and discussed the application with the owner of the property.

In my opinion, the proposed variances would not negatively impact on our property or the surrounding neighbourhood, in fact, I think that it will make the house more in keeping with the esthetic of the neighbourhood. I am in support of the application.

Yours Truly,

QUIBO TITOTO

[Name]

[Signature]



Vaughan, May 15, 2023

Committee of Adjustment
City of Vaughan
Vaughan City Hall, Level 100
2141 Major Mackenzie Drive
Vaughan ON, L6A 1T1

Dear Sir / Madam:

I am the owner of 259 BOURBON STREET
and have received the Public Hearing Notice regarding the minor variances sought
for the property at 254 Bourbon St.

I have reviewed the information attached to the notice regarding the minor
variances and discussed the application with the owner of the property.

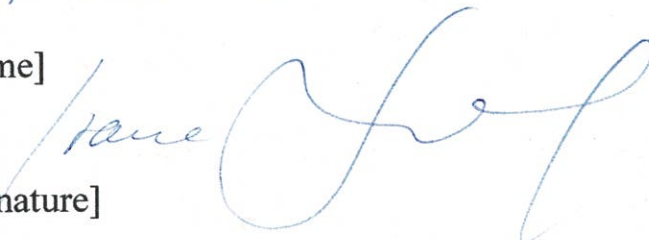
In my opinion, the proposed variances would not negatively impact on our
property or the surrounding neighbourhood, in fact, I think that it will make the
house more in keeping with the esthetic of the neighbourhood. I am in support of
the application.

Yours Truly,

IVANA GARITO

[Name]

[Signature]



Vaughan, May 15, 2023

Committee of Adjustment
City of Vaughan
Vaughan City Hall, Level 100
2141 Major Mackenzie Drive
Vaughan ON, L6A 1T1

Dear Sir / Madam:

I am the owner of 253 BOURBON ST.
and have received the Public Hearing Notice regarding the minor variances sought for the property at 254 Bourbon St.

I have reviewed the information attached to the notice regarding the minor variances and discussed the application with the owner of the property.

In my opinion, the proposed variances would not negatively impact on our property or the surrounding neighbourhood, in fact, I think that it will make the house more in keeping with the esthetic of the neighbourhood. I am in support of the application.

Yours Truly,

VITO TRICARICO

[Name]

[Signature]



Vaughan, May 15, 2023

Committee of Adjustment
City of Vaughan
Vaughan City Hall, Level 100
2141 Major Mackenzie Drive
Vaughan ON, L6A 1T1

Dear Sir / Madam:

I am the owner of 246 Bourbon St.
and have received the Public Hearing Notice regarding the minor variances sought for the property at 254 Bourbon St.

I have reviewed the information attached to the notice regarding the minor variances and discussed the application with the owner of the property.

In my opinion, the proposed variances would not negatively impact on our property or the surrounding neighbourhood, in fact, I think that it will make the house more in keeping with the esthetic of the neighbourhood. I am in support of the application.

Yours Truly,

[Name] SANDRO BELFIOGLIO

[Signature] 