

ITEM: 6.2	COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A041/23 19 TRINITA AVE, WOODBRIDGE
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**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES:**

*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

PUBLIC & APPLICANT CORRESPONDENCE

*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

File Number	Date of Decision	Decision Outcome

PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

	MM/DD/YYYY	
A051/21	04/29/2021	Approved; COA

ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

None	
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**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A041/23
19 TRINITA AVE, WOODBRIDGE**

ITEM NUMBER:6.2	CITY WARD #: 3
APPLICANT:	Giancarlo & Tracie Staffieri
AGENT:	Daniel Falzon Lasonne Engineering Ltd.
PROPERTY:	19 Trinita Avenue, Woodbridge
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit a covered patio and cabana.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R3A (EN), Third Residential (Established Neighbourhood), subject to the provisions of Exception 14.693, under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	The minimum interior side yard setback required is 2.4 metres. [Section 4.1.2]	To permit a minimum interior side yard setback of 0.61 metres to an Accessory Building (Cabana).
2	The maximum permitted height of an Accessory Building is 3.0 metres taken from established grade. [Section 4.1.4.1]	To permit a maximum building height of 3.14 metres of an Accessory Building (Cabana).
3	The minimum rear yard setback required is 7.5 metres. [Section 7.2.3, Table 7-4]	To permit a minimum rear yard setback of 1.46 metres to a covered patio.
4	An outdoor swimming pool shall only be permitted in the rear yard of a lot. [Section 4.21, 2.]	To permit an outdoor swimming pool (hot tub) to be located in the interior side yard.

The subject lands are zoned RV3 (WS), Residential Urban Village Zone Three, subject to the provisions of Exception 9(1024) under Zoning By-law 1-88, as amended.

#	Zoning By-law 1-88	Variance requested
5	The minimum interior yard setback required is 1.2 metres. [Section 4.1.1, Schedule A1]	To permit a minimum interior side yard setback of 0.61 metres to an Accessory Building (Cabana).
6	Any accessory building or structure shall be located in the rear yard. [Section 4.1.1 c) and Section 2, Definitions]	To permit an Accessory Building (Cabana) not located in the rear yard.
7	The minimum rear yard setback required is 6.0 metres. [Schedule A1]	To permit a minimum rear yard setback of 1.46 metres to a covered patio.
8	A private swimming pool shall be constructed only in the rear yard. [Section 4.1.1, i)]	To permit an outdoor swimming pool (hot tub) to be located in the interior side yard.

HEARING INFORMATION

DATE OF MEETING: Thursday, August 3, 2023
TIME: 6:00 p.m.
MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive
LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

HEARING INFORMATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT COMMENTS

Date Public Notice Mailed:	July 20, 2023	
Date Applicant Confirmed Posting of Sign:	July 18, 2023	
Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small>	Irregular shaped lot	
Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	<p>On July 19, 2023 Development Planning provided:</p> <p>It appears that the soft and hard landscaping shown on the site plan does not accurately represent what is on site (photo attached). The smaller hot tub/pool located in between the cabana and large pool is also not shown on the site plan. Please revise the site plan to add these features so that everything is accurately portrayed. Please also confirm that the distance between the cabana and the fence is correct. If your application is approved, the approval will be tied to the site plan you provided so it is important everything matches as much as possible.</p> <p>Please provide some vegetation between the cabana and street to provide extra screening. If this screening can be provided, we will have no concerns with the cabana remaining as is.</p> <p>On July 19, 2023 the applicant submitted revised plans and zoning review waiver, identifying required variances.</p> <p>On July 19, 2023, Zoning staff confirmed required variances, an additional variance was added to accommodate the existing hot tub and a revised public notice was issued.</p>	
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes	*Zoning confirmed required variances

COMMITTEE OF ADJUSTMENT COMMENTS

*A revised submission may be required to address staff / agency comments received as part of the application review process.

*Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.

Adjournment Fees:

In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice.

An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff **after** the issuance of public notice.

Committee of Adjustment Comments: None

Committee of Adjustment Recommended Conditions of Approval: None

BUILDING STANDARDS (ZONING) COMMENTS

**See Schedule B for Building Standards (Zoning) Comments

Building Standards Recommended Conditions of Approval: None

DEVELOPMENT PLANNING COMMENTS

**See Schedule B for Development Planning Comments.

Development Planning Recommended Conditions of Approval: That the final Landscape Plan, indicating the location of all existing and proposed trees, be approved to the satisfaction of the Development Planning Department

DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

As the proposed dwelling in the subject property is 39.67m², the owner/ applicant needs to obtain a lot grading permit from Development Inspection and Lot Grading division of the City's Development Engineering Department. Please note any in ground structure over 10 m² requires a grading permit. Please contact COA application engineering reviewer after receiving the grading permit to clear the condition. (Condition attached)

The Development Engineering (DE) Department does not object to the variance application A041/23, subject to the following condition:

Development Engineering Recommended Conditions of Approval: The Owner/applicant shall submit a Lot Grading plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.

PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

Forestry: Forestry has no comment at his time

PFH Recommended Conditions of Approval: None

DEVELOPMENT FINANCE COMMENTS

No comment no concerns.

Development Finance Recommended Conditions of Approval: None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

No comment or objection

BCLPS Recommended Conditions of Approval: None

BUILDING INSPECTION (SEPTIC) COMMENTS

No comments received to date.

Building Inspection Recommended Conditions of Approval:	None
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FIRE DEPARTMENT COMMENTS

No comment no concerns.

Fire Department Recommended Conditions of Approval:	None
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SCHEDULES TO STAFF REPORT

*See Schedule for list of correspondence

Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Staff & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “**if required**”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Planning Joshua.cipolletta@vaughan.ca	That the final Landscape Plan, indicating the location of all existing and proposed trees, be approved to the satisfaction of the Development Planning Department
2	Development Engineering lan.reynolds@vaughan.ca	The Owner/applicant shall submit a Lot Grading plan to the Development Inspection and Lot Grading division of the City’s Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.

IMPORTANT INFORMATION – PLEASE READ

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

IMPORTANT INFORMATION – PLEASE READ

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

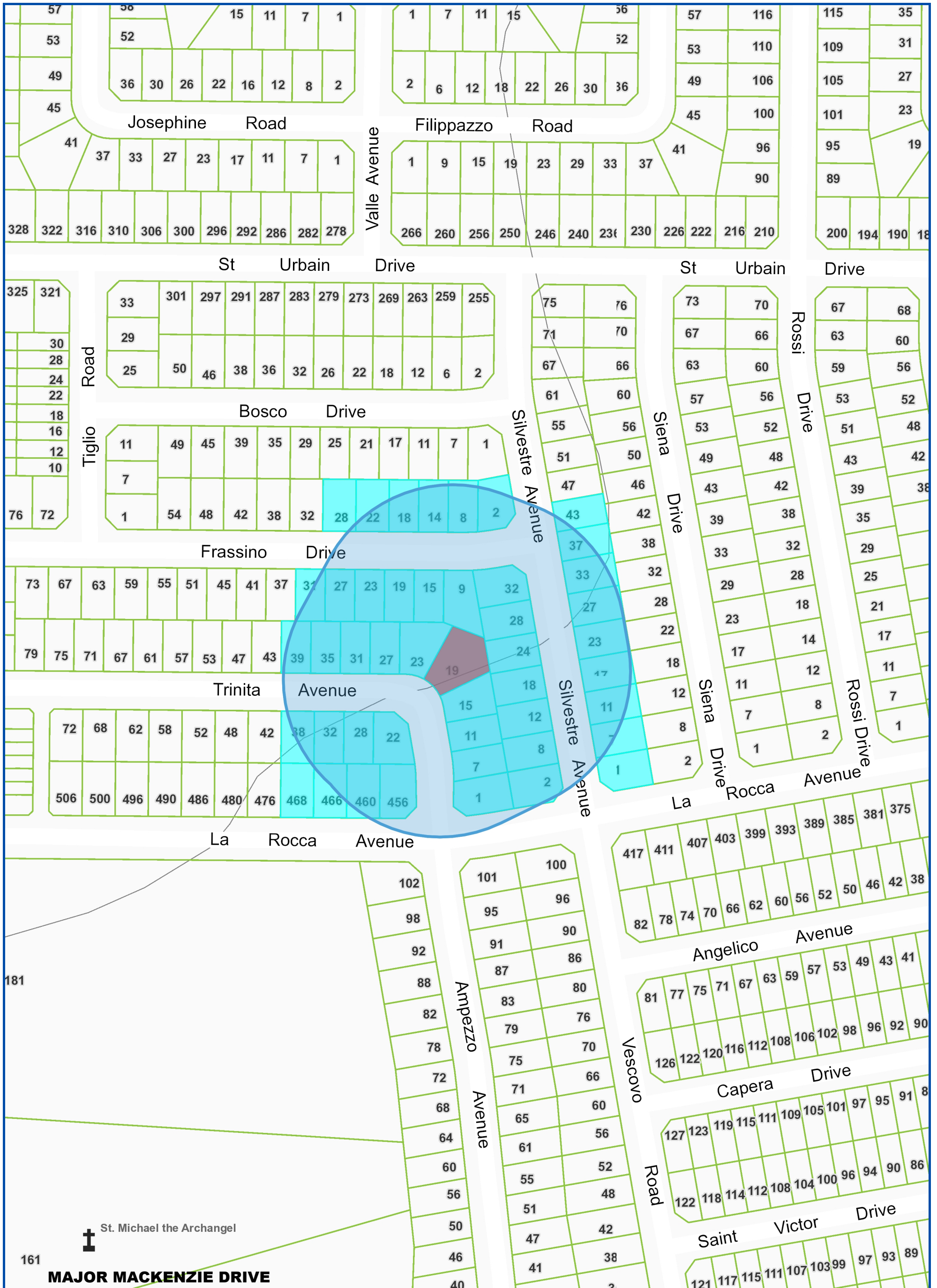
That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

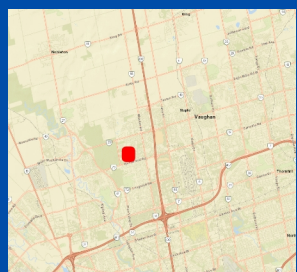
That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS



Map Information:



Title:

19 Trinita Avenue, Woodbridge

NOTIFICATION MAP - A041/23

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1: 2,257

0 0.04 km

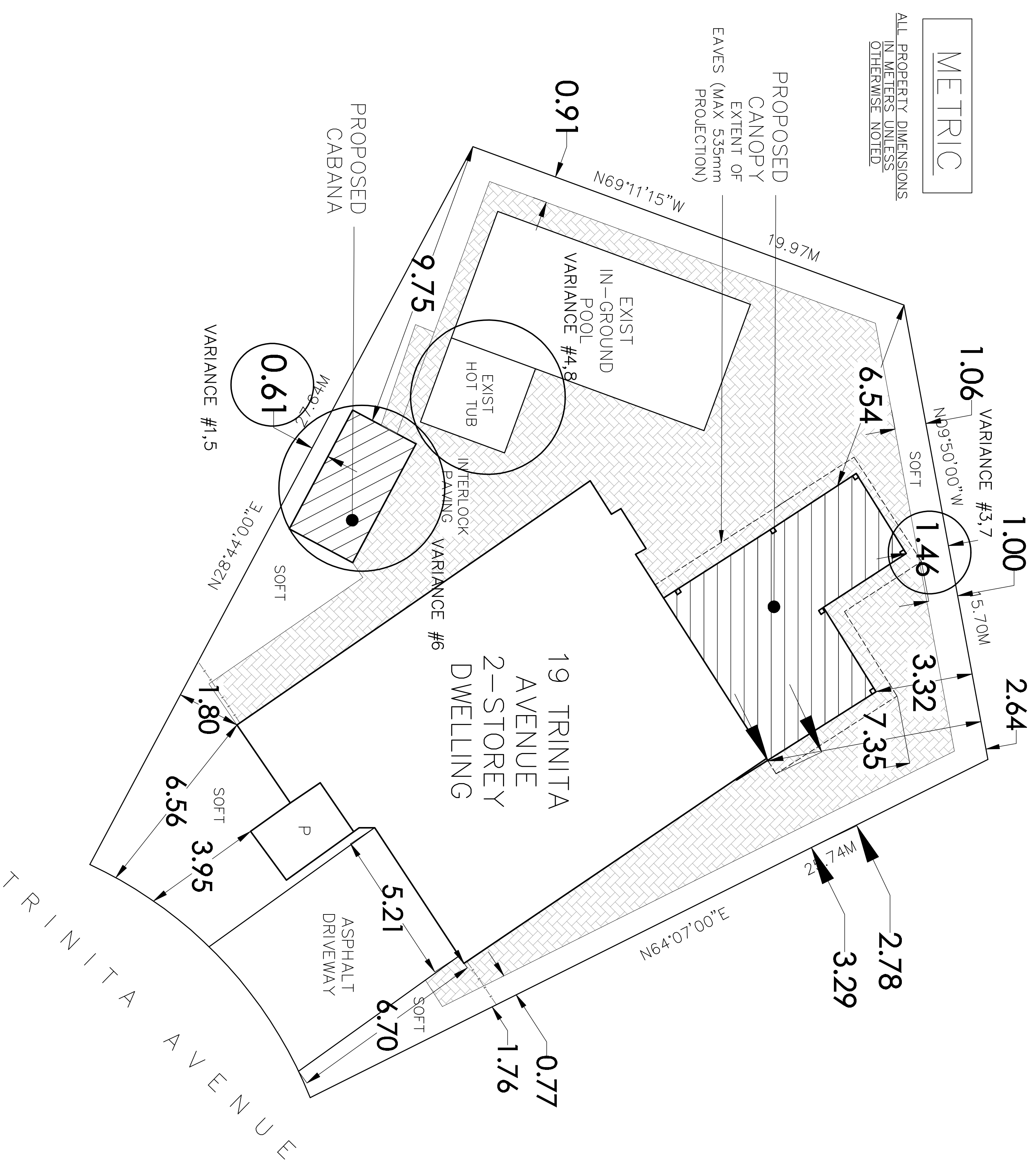


Created By:

Infrastructure Delivery
Department
June 19, 2023 5:57 PM

Projection:
NAD 83
UTM Zone
17N

RECEIVED
 By Christine Vigneault at 1:20 pm, Jul 24, 2023



METRIC

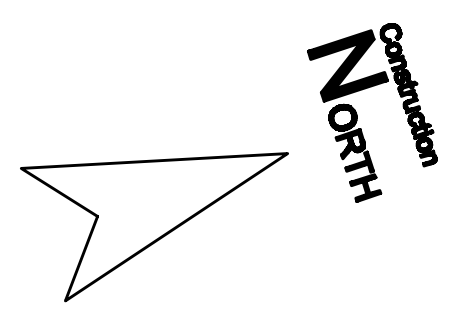
ALL PROPERTY DIMENSIONS
 IN METERS UNLESS
 OTHERWISE NOTED

PROPOSED
 CANOPY
 EXTENT OF
 EAVES (MAX 535mm
 PROJECTION)

PROPOSED
 CABANA

19 TRINITA
 AVENUE
 2-STORY
 DWELLING

TRINITA AVENUE



SCOPE OF WORK:
 CONSTRUCTION OF REAR YARD CANOPY
 OVER NEW PORCH AREA
 AND
 CONSTRUCTION OF NEW CABANA.

INFORMATION TAKEN FROM SURVEY:
 SURVEYOR'S REAL PROPERTY REPORT
 PART 118 TO 126 BOTH INCLUSIVE
 REGISTERED PLAN 69M-3811
 CITY OF VAUGHAN
 REGIONAL MUNICIPALITY OF YORK
 BY P. SALVA CO. LTD. O.L.S.
 DATED 2006 APRIL 12

CONTRACTOR MUST VERIFY ALL DIMENSIONS IN THE
 FIELD. ANY DISCREPANCIES MUST BE REPORTED
 BEFORE PROCEEDING WITH THE WORK.
 ALL CONSTRUCTION TO ADHERE TO THESE PLANS
 AND/OR SPECIFICATIONS AND TO CONFORM TO THE
 CODES AND AUTHORITIES HAVING JURISDICTION. THESE
 REQUIREMENTS ARE TO BE TAKEN AS MINIMUM
 SPECIFICATIONS. ONT. REG. 332/12.

BUILDING STATISTICS:
 SITE AREA: 581.63 SM (APPROXIMATE)
 DWELLING COVERAGE: 147.18 SM (APPROXIMATE)
 POOL (EXISTING): 41.8 SM
 HOT TUB: 8.29 SM
 INTERLOCKING: 174.34 SM
 DRIVEWAY: 34.67 SM
 EAVES > 0.45M: 0.00 SM
 CANOPY COVERAGE: 39.67 SM
 CANOPY HEIGHT: 3.63M
 CABANA COVERAGE: 11.55M
 CABANA HEIGHT: 3.145M
 BUILDING HEIGHTS TAKEN FROM APPROX. EXIST
 ESTABLISHED GRADE.

General Notes

LASONNE
 ENGINEERING LTD.
 KLEINBURG 416.982.2873

No.	Revision/Issue	Date

SITE PLAN

19 TRINITA AVENUE
 REAR YARD CANOPY
 Vaughan, Ontario

Project	2090	Sheet	S1
Date	JUNE '20	Scale	
Scale	1:100		

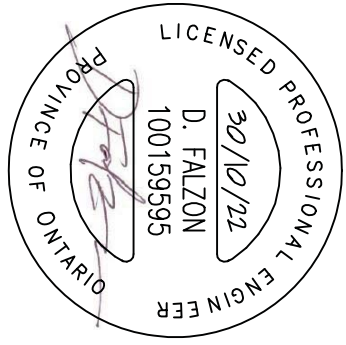
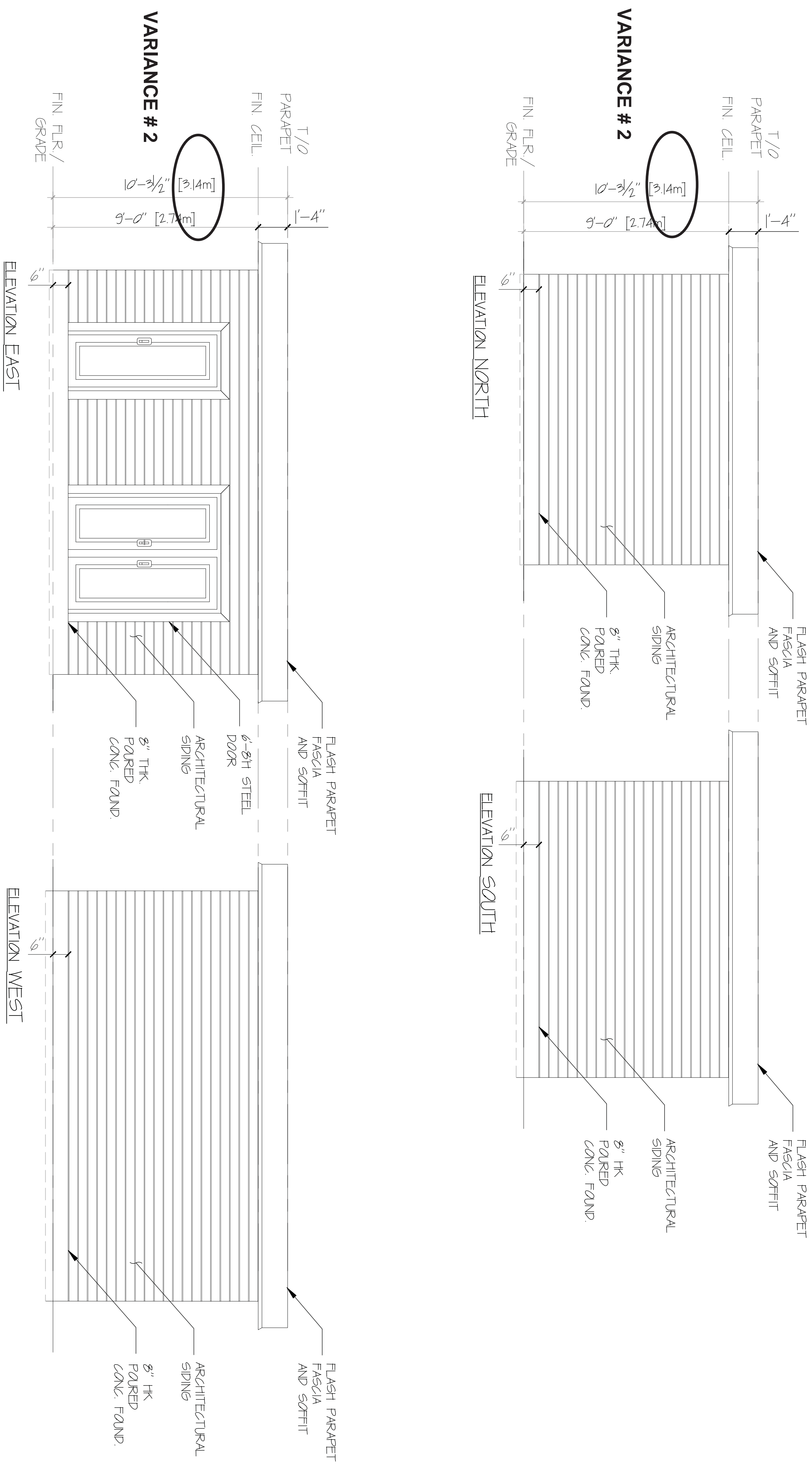
- GENERAL NOTES:**
1. LUMBER: ALL LUMBER SHALL BE SPRUCE No.2 GRADE OR BETTER UNLESS NOTED OTHERWISE.
 2. STUDS SHALL BE 2x6 ONCE SPACED UNLESS OTHERWISE NOTED.
 3. FASTENERS: PROVIDE APPROVED METAL ANCHORS AND FASTENERS TO MEET ALL APPLICABLE CODES AND MANUFACTURER'S INSTRUCTIONS WITH FLASH BOLT-15P.
 4. WOOD FRAMING NOT TREATED WITH A WOOD PRESERVATIVE IN CONTACT WITH CONCRETE SHALL BE PROTECTED WITH AN APPROVED WATER-RESISTIVE BARRIER (WRB) IN ACCORDANCE WITH CAN/CSA-F108-12 (MASONRY) OR OTHER APPLICABLE STANDARDS.
 5. STRUCTURAL STEEL SHALL CONFORM TO CAN/CSA-G40.21 GRADE 50W CLASS 150.
 6. STRUCTURAL STEEL SHALL CONFORM TO CAN/CSA-G40.21 GRADE 50W CLASS 150.
 7. REINFORCING STEEL SHALL CONFORM TO CAN/CSA-G30.5 GRADE 60M.
 8. CONCRETE: PROVIDE APPROVED TEST REPORTS FOR ALL CONCRETE.
 9. THE MINIMUM COMPRESSIVE STRENGTH F_c OF ALL CONCRETE SHALL BE 28MPa (4050 PSI).
 10. ALL REINFORCING STEEL SHALL BE AS FOLLOWS:
 - 100mm +/- 20mm FORGING CAST
 - 75mm +/- 20mm REBAR/ST
 - 100mm +/- 20mm UNLESS NOTED

- LEGEND:**
- EXHAUST FAN - ROOM VENTED TO OUTSIDE
 - ⊗ CARBON MONOXIDE DETECTOR (INTER-CONNECTED)
 - ⊕ SOLID BEARING TO BE AS WIDE AS SUPPORTED MEMBER (MIN. 2 PICES)
 - ⊖ SOLID WOOD BEARING TO MATCH FROM ABOVE
 - ⊘ DOUBLE JOIST
 - TU TRIPLE JOIST
 - LVL LAMINATED VENEER LUMBER
 - PT PRESSURE TREATED LUMBER
 - GT GIRDERS TRUSS BY MANU.
- ALL MATERIAL PRICES TO BE DETERMINED BY HOME OWNER DURING CONSTRUCTION

DOOR SCHEDULE

TK	SIZE	TYPE
D1	24" X 80"	FRM
D2	28" W X 68" - WOOD	N/A
D3	30" W X 68" - WOOD	N/A
D4	32" W X 68" - WOOD	N/A

S81 - 3-2"x6" SOLID BEARING
 S82 - 4-2"x6" SOLID BEARING
 S83 - 4-2"x6" SOLID BEARING
 S84 - 4-2"x6" SOLID BEARING
 S85 - 4-2"x6" SOLID BEARING
 ALL SOLID BEARING TO BE BRANCHED AT TOP AND BOTTOM



LASONNE ENGINEERING LTD.
 KILBURNING 416.882.2873

No.	Revision/Issue	Date

ELEVATIONS CABANA

19 TRINITA AVENUE
 REAR YARD ACCESSORIES
 Vaughan, Ontario

Project	2090	Sheet	S3
Date	OCT '20		
Scale	1:40		

SCHEDULE B: STAFF & AGENCY COMMENTS				
DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Building Standards (Zoning)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		General Comments

Date: May 29th 2023

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A041-23**

Related Files:

Applicant Giancarlo & Tracie Staffeierri

Location 19 Trinita Avenue



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

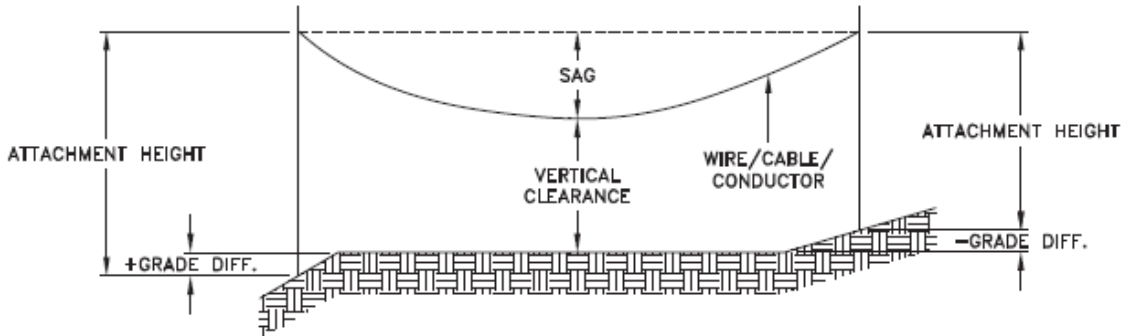
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

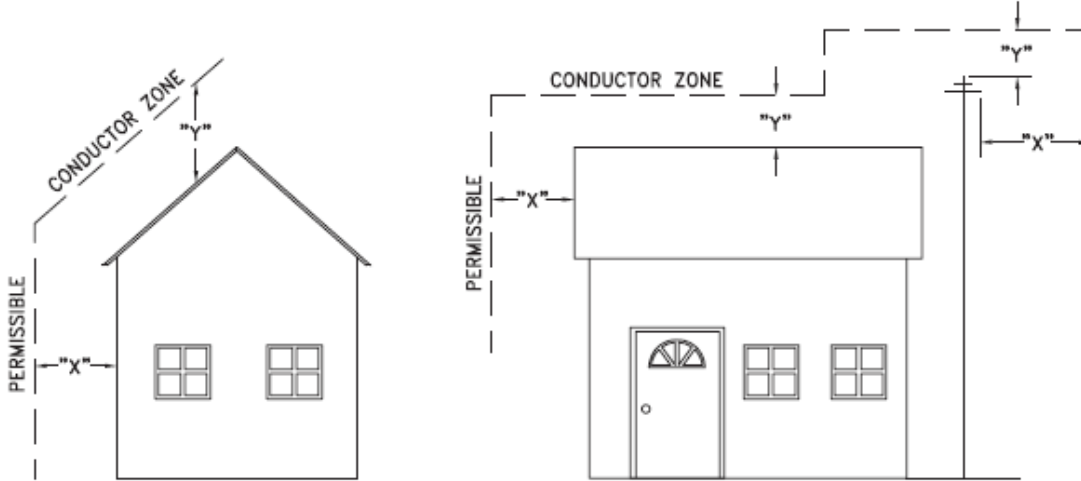
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

To: Committee of Adjustment
From: Christian Tinney, Building Standards Department
Date: July 18, 2023
Applicant: Giancarlo & Tracie Staffieri
Location: 19 Trinita Avenue
 PLAN 65M3811 Lot 322
File No.(s): A041/23

Zoning Classification:

The subject lands are zoned R3A (EN), Third Residential (Established Neighbourhood), subject to the provisions of Exception 14.693, under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	The minimum interior side yard setback required is 2.4 metres. [Section 4.1.2]	To permit a minimum interior side yard setback of 0.61 metres to an Accessory Building (Cabana).
2	The maximum permitted height of an Accessory Building is 3.0 metres taken from established grade. [Section 4.1.4.1]	To permit a maximum building height of 3.14 metres of an Accessory Building (Cabana).
3	The minimum rear yard setback required is 7.5 metres. [Section 7.2.3, Table 7-4]	To permit a minimum rear yard setback of 1.46 metres to a covered patio.
4	An outdoor swimming pool shall only be permitted in the rear yard of a lot. [Section 4.21, 2.]	To permit an outdoor swimming pool (hot tub) to be located in the interior side yard.

The subject lands are zoned RV3 (WS), Residential Urban Village Zone Three, subject to the provisions of Exception 9(1024) under Zoning By-law 1-88, as amended.

#	Zoning By-law 1-88	Variance requested
5	The minimum interior yard setback required is 1.2 metres. [Section 4.1.1, Schedule A1]	To permit a minimum interior side yard setback of 0.61 metres to an Accessory Building (Cabana).
6	Any accessory building or structure shall be located in the rear yard. [Section 4.1.1 c) and Section 2, Definitions]	To permit an Accessory Building (Cabana) not located in the rear yard.
7	The minimum rear yard setback required is 6.0 metres. [Schedule A1]	To permit a minimum rear yard setback of 1.46 metres to a covered patio.
8	A private swimming pool shall be constructed only in the rear yard. [Section 4.1.1, i)]	To permit an outdoor swimming pool (hot tub) to be located in the interior side yard.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

Order No. 22-134829, Order to Comply for , Issue Date: Sep 28, 2022
 Order No. 22-134826, Order to Comply for , Issue Date: Sep 28, 2022

Building Permit(s) Issued:

Building Permit No. 21-100733 for Single Detached Dwelling - Alteration, Issue Date: (Not Yet Issued)

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
2	Air Conditioner and/or Heat Pump Units shall be permitted in the interior side yard with a minimum setback of 0.6 metres and may encroach a maximum of 1.5 metres into the required rear yard or exterior side yard.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development Planning
Date: July 26, 2023
Name of Owners: Giancarlo & Tracie Staffieri
Location: 19 Trinita Avenue
File No.(s): A041/23

Proposed Variance(s) (By-law 001-2021):

1. To permit a minimum interior side yard setback of 0.61 m to an Accessory Building (Cabana).
2. To permit a maximum building height of 3.14 m of an Accessory Building (Cabana).
3. To permit a minimum rear yard setback of 1.46 m to a covered patio.
4. To permit an outdoor swimming pool (hot tub) to be located in the interior side yard.

By-Law Requirement(s) (By-law 001-2021):

1. The minimum interior side yard setback required is 2.4 m.
2. The maximum permitted height of an Accessory Building is 3.0 m taken from established grade.
3. The minimum rear yard setback required is 7.5 m.
4. An outdoor swimming pool shall only be permitted in the rear yard of a lot.

Proposed Variance(s) (By-law 1-88):

5. To permit a minimum interior side yard setback of 0.61 m to an Accessory Building (Cabana).
6. To permit an Accessory Building (Cabana) not located in the rear yard.
7. To permit a minimum rear yard setback of 1.46 m to a covered patio.
8. To permit an outdoor swimming pool (hot tub) to be located in the interior side yard.

By-Law Requirement(s) (By-law 1-88):

5. The minimum interior yard setback required is 1.2 m.
6. Any accessory building or structure shall be located in the rear yard.
7. The minimum rear yard setback required is 6.0 m.
8. A private swimming pool shall be constructed only in the rear yard.

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Comments:

The Owners are requesting relief to permit the existing cabana, covered patio, and hot tub, with the above-noted variances.

The Development Planning Department has no objection to Variances 1, 2, 5 and 6 for the cabana. The Subject Lands are pie-shaped, with a rear lot line composed of two segments that join together in an outward point. The cabana is an enclosed structure with a flat roof located in the interior side yard. The lot shape causes the wider interior side yard where the cabana is located to function as part of the greater rear yard. Due to its modest height, the reduced interior side setback for the cabana is not anticipated to have adverse impacts to the neighbouring property to the west. The Owners have agreed to provide hedge plantings to the south of the cabana to assist in screening it from the street. As such, the increased height and reduced interior side yard setback are not anticipated to pose adverse use, privacy, or massing impacts to the neighbouring properties or streetscape and an appropriate area for maintenance access is maintained.

The Development Planning Department has no objection to Variances 3 and 7 for the covered patio. The covered patio forms an "L" shape and abuts over half of the

dwelling's rear wall. The requested relief will only be required for the eastern portion of the rear yard. Only a corner of the covered patio will utilize the full extent of the requested relief as the patio and rear lot line are at angles to one another. The covered patio has two pinch-points relative the rear lot line (1.46 m and 3.32 m respectively). The subject lands contain hedge plantings along the rear fence which provides screening and separation between the covered patio and the neighbouring properties to the north. The neighbours to the north also have trees and vegetation near the shared lot line, which will provide additional buffering between the covered patio and neighbouring dwellings. The rear yards of the neighbouring properties are at a higher grade than the subject property, which will further mitigate the height of the covered patio and its proximity to the rear lot line. As such, the covered patio is not anticipated to pose adverse use, privacy, or massing impacts to the neighbouring properties.

The Development Planning Department has no objection to Variances 4 and 8 for the hot tub. The subject property is a pie-shaped lot, and the hot tub would be located in what is effectively used as part of the rear yard. The hot tub also complies with all rear yard and side yard setback requirements which allows for safe access around the hot tub area.

Accordingly, the Development Planning Department can support the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-laws, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application, subject to the following condition:

Condition of Approval:

If the Committee finds merit in the application, the following condition of approval is recommended:

1. That the final Landscape Plan, indicating the location of all existing and proposed trees, be approved to the satisfaction of the Development Planning Department.

Comments Prepared by:

Joshua Cipolletta, Planner
David Harding, Senior Planner

From: [Stephen Bohan](#)
To: [Committee of Adjustment](#)
Cc: [Kristen Regier](#)
Subject: [External] RE: A041/23 (19 Trinita Avenue) - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Monday, May 29, 2023 8:47:28 AM
Attachments: [image001.png](#)

Hello,

The subject property is not located within TRCA's Regulated Area. TRCA's Planning and Regulatory policy interests are not impacted.

TRCA has no comments on the application.

Regards,

Stephen Bohan

Senior Planner

Development Planning and Permits | Development and Engineering Services

Toronto and Region Conservation Authority (TRCA)

T: [437-880-1944](tel:437-880-1944)

E: stephen.bohan@trca.ca

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](#) | trca.ca



From: [Karyn McAlpine-Tran](#)
To: [Committee of Adjustment](#)
Subject: [External] Fwd: A041/23 (19 Trinita Avenue) - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Thursday, May 25, 2023 4:57:00 PM
Attachments: [CIRC A041_23.pdf](#)

Thank you for the opportunity to provide comments on the above referenced application. YCDSB staff have reviewed the material provided and have no comments or objections to its approval.

Thank you,
Karyn

Karyn McAlpine-Tran
Senior Planner
Planning Services
York Catholic District School Board

From: [Development Services](#)
To: [Christine Vigneault](#)
Cc: [Committee of Adjustment](#)
Subject: [External] RE: A041/23 (19 Trinita Avenue) - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Tuesday, May 30, 2023 6:56:26 PM
Attachments: [image001.png](#)
[image003.png](#)

Hi Christine,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Many thanks,

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Development Services, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

Our Values: Integrity, Commitment, Accountability, Respect, Excellence



Our Mission: **Working together to serve our thriving communities – today and tomorrow**

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

SCHEDULE D: PREVIOUS COA DECISIONS ON THE SUBJECT LAND

PREVIOUS COA DECISIONS ON THE SUBJECT LAND		
<small>*Please see Schedule D for a copy of the Decisions listed below</small>		
File Number	Date of Decision MM/DD/YYYY	Decision Outcome
A051/21	04/29/2021	Approved

NOTICE OF DECISION
Minor Variance Application A054/21
 Section 45 of the Planning Act, R.S.O., 1990, c.P.13

Date of Hearing: Thursday, April 29, 2021
Applicant: Giancarlo & Tracie Staffieri
Agent: None
Property: **19 Trinita Ave Woodbridge**
Zoning: The subject lands are zoned RV3(W.S) and subject to the provisions of Exception 9(1024) under By-law 1-88 as amended.
OP Designation: Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
Related Files: None
Purpose: Relief from by-law 1-88, as amended, is being requested to permit the construction of a proposed cabana and loggia. The cabana is to be located in the westerly side yard and the loggia is to be located in the rear yard.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
1. An accessory building or structure shall be located in the rear yard.	1. To permit an accessory building in the interior side yard.
2. The minimum rear yard setback required is 6.0 metres to a Loggia.	2. To permit a minimum rear yard setback of 3.32 metres to a Loggia.
3. The minimum rear yard setback required is 2.82 metres to an eaves or gutter of an Accessory Building (Loggia).	3. To permit a minimum rear yard setback of 2.71 metres to an eaves or gutter to an Accessory Building (Loggia).

Sketch: A sketch illustrating the request has been attached to the decision.

Having regard to the requirements of Section 45 of the *Planning Act*, R.S.O. 1990, c. P. 13, as amended, including the written and oral submissions related to the application, it is the decision of the Committee:

THAT Application No. A054/21 on behalf of Giancarlo & Tracie Staffieri be **APPROVED**, in accordance with the sketch submitted with the application (as required by Ontario Regulation 200/96) and subject to the following conditions:

	Department/Agency	Condition
1	Parks, Forestry and Horticulture Operations Zachary Guizzetti 905-832-8585 x 3614 Zachary.Guizzetti@vaughan.ca	Applicant is required to apply for a Private Property Tree Removal & Protection Permit (Construction/Infill). This is required for the injury to trees (over 20cm DBH) on the subject property or municipally owned trees of any size and trees located within 6 meters of the subject property, as per By-Law 052-2018.

For the following reasons:

1. The general intent and purpose of the by-law will be maintained.
2. The general intent and purpose of the official plan will be maintained.
3. The requested variance(s) is/are acceptable for the appropriate development of the subject lands.
4. The requested variance(s) is/are minor in nature.

Please Note:

It is the responsibility of the owner/applicant and/or authorized agent to address any condition(s) of approval noted in this decision to the satisfaction of the commenting department or agency. Once conditions have been satisfied, the Secretary Treasurer will be in a position to issue a clearance letter which is required prior to the issuance of a Building Permit.

Relief granted from the City's Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City's Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

Written & oral submissions considered in the making of this decision were received from the following:

Public Written Submissions	Public Oral Submissions
* Public Correspondence received and considered by the Committee in making this decision	*Please refer to the approved Minutes of the Thursday , April 29, 2021 meeting for submission details.
None	None

Late Written Public Submissions: N/A

Public written submissions on an Application shall only be received by the Secretary Treasurer until **noon** on the last business day prior to the day of the scheduled Meeting.

MEMBERS PRESENT WHO CONCUR IN THIS DECISION:

<i>Hao Zheng</i>	<i>Assunta Perrella</i>	<i>Robert Buckler</i>
H. Zheng Member	A. Perrella Chair	R. Buckler Member
<i>Steve Kerwin</i>		<i>Adolfo Antinucci</i>
S. Kerwin Vice Chair		A. Antinucci Member

DATE OF HEARING:	April 29, 2021
DATE OF NOTICE:	May 7, 2021
LAST DAY FOR *APPEAL: *Please note that appeals must be received by this office no later than 4:30 p.m. on the last day of appeal.	May 19, 2021 4:30 p.m.
CERTIFICATION: I hereby certify that this is a true copy of the decision of the City of Vaughan's Committee of Adjustment and this decision was concurred in by a majority of the members who heard the application. <div align="center"><i>Christine Vigneault</i></div> <hr/> Christine Vigneault, AMP, ACST Manager Development Services & Secretary Treasurer to the Committee of Adjustment	

*Electronic signatures have been used to process this decision as approved by the Committee of Adjustment at the May 28, 2020 hearing.

Appealing to The Local Planning Appeal Tribunal
The *Planning Act*, R.S.O. 1990, as amended, Section 45

The applicant, the Minister or any other person or public body who has an interest in the matter may within 20 days of the making of the decision appeal to the Local Planning Appeal Tribunal (LPAT) against the decision of the Committee by filing with the Secretary-Treasurer of the Committee a notice of appeal (A1 Appeal Form) setting out the objection to the decision and the reasons in support of the objection accompanied by payment to the Secretary-Treasurer of the fee prescribed by the Tribunal under the *Local Planning Appeal Tribunal Act*.

A notice of appeal may not be filed by an unincorporated association or group. However, a notice of appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

When **no appeal is lodged** within twenty days of the date of the making of the decision, the decision becomes final and binding and notice to that effect will be issued by the Secretary-Treasurer.

PLEASE NOTE: As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time. Please mail or courier appeals and prescribed fees to:

Office of the City Clerk - Committee of Adjustment
2141 Major Mackenzie Drive
Vaughan Ontario, L6A 1T1

If you have questions regarding the appeal process, please email cofa@vaughan.ca

Appeal Fees & Forms

Local Planning Appeal Tribunal: The LPAT appeal fee is \$400 plus \$25 for each additional consent/variance appeal filed by the same appellant against connected applications. The LPAT Appeal Fee must be paid by certified cheque or money order payable to the "Minister of Finance". Appeal forms (A1 Appeal Form – Minor Variance) can be obtained at www.elto.gov.on.ca or by contacting our office at 905-832-8585 Ext. 8332 or cofa@vaughan.ca

City of Vaughan LPAT Processing Fee: \$866.00 per application

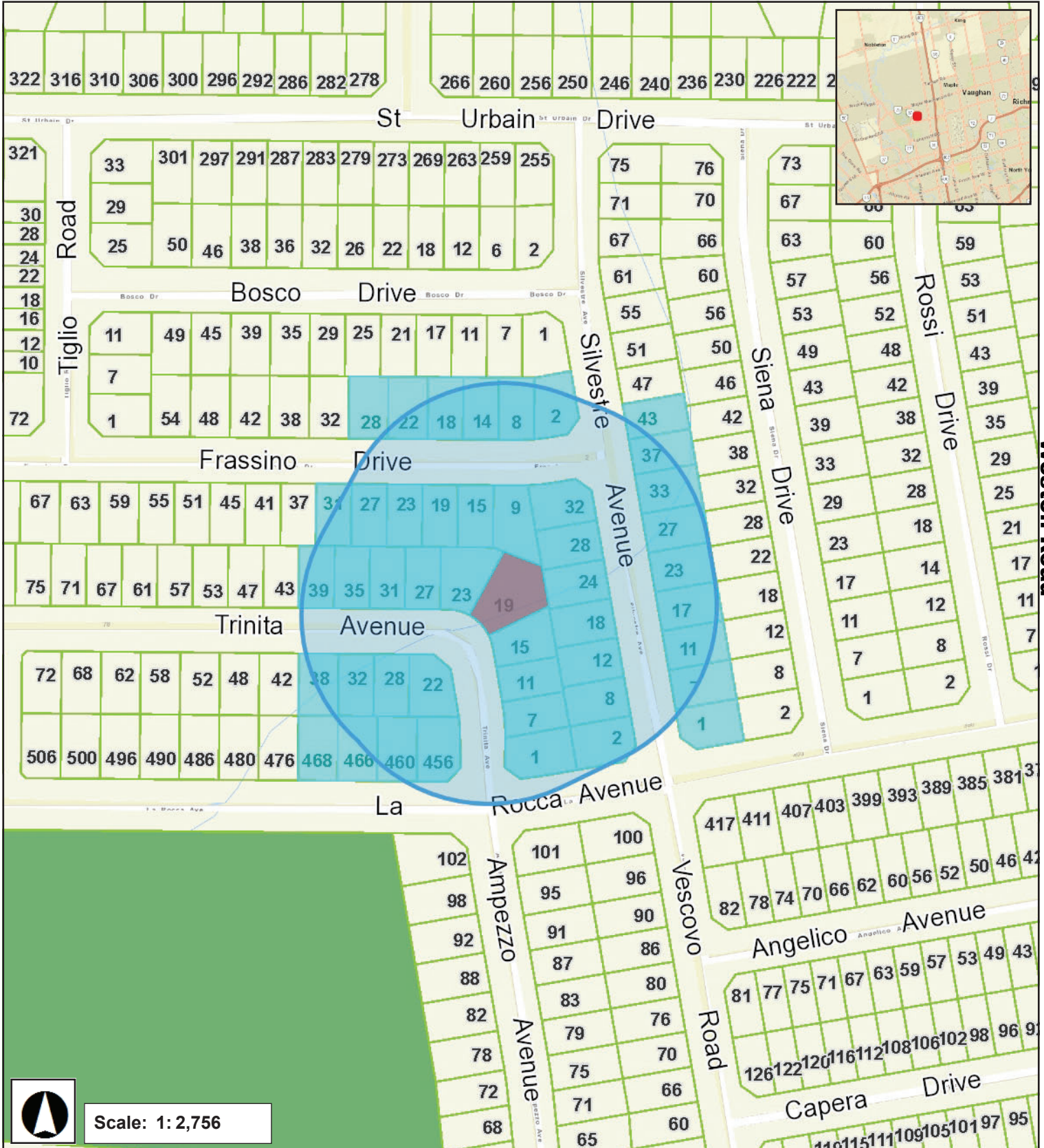
*Please note that all fees are subject to change.



LOCATION MAP - A054/21

19 TRINITA AVENUE, WOODBRIDGE

Major Mackenzie Drive



Rutherford Road

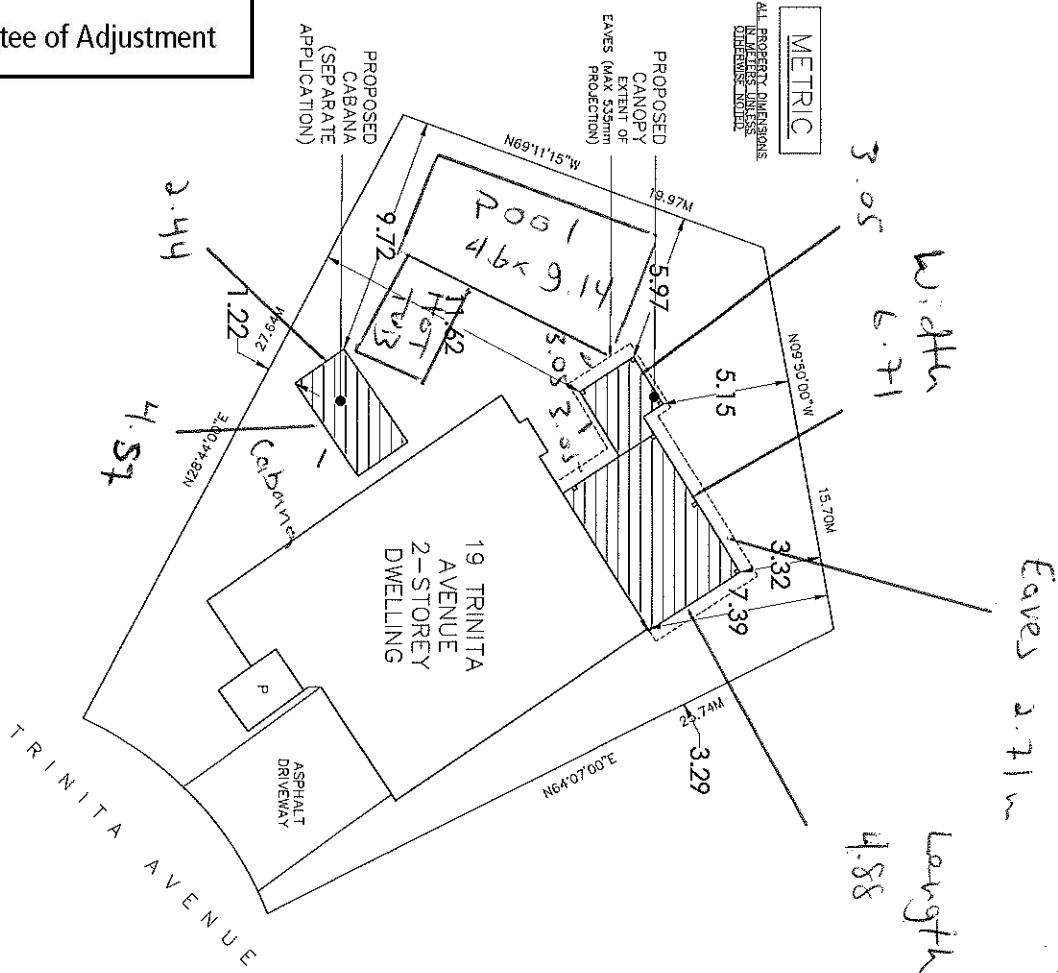
April 1, 2021 5:20 PM

RECEIVED

Received April 26, 2021

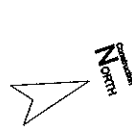
Committee of Adjustment

A054/21



METRIC

ALL PROPERTY DIMENSIONS IN METERS - UNLESS OTHERWISE NOTED



SCALE OF WORK:
CONSTRUCTION OF REAR YARD CANOPY
AND
CONSTRUCTION OF NEW CABANA

INSPIRATION TAKEN FROM SURVEY,
PLANNING'S REAL PROPERTY REPORT
LETTER 218 TO BE BORN RESIDENT
EXCEPTED FROM PLANNING
REGIONAL MUNICIPALITY OF YORK
BY 2 MAY 02, LD 015,
2180 2009 APRIL 12

CONTRACTOR MUST NOTIFY ALL ADJACENT PROPRIETORS OF THE WORK TO BE DONE AND OBTAIN THEIR WRITTEN CONSENT TO THE WORK.
ALL CONSTRUCTION TO BE DONE IN ACCORDANCE WITH THE CITY OF YORK ZONING BY-LAW AND ALL OTHER APPLICABLE REGULATIONS AND THE ZONING BY-LAW OF THE REGIONAL MUNICIPALITY OF YORK, REG. 227/12.

BEHIND: 2180 2009 APRIL 12
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BEHIND: 2180 2009 APRIL 12

Project: 2090		Scale: S1	
Date: JUNE 20		Scale: 1:100	
LASONNE ENGINEERING LTD. 441422201			
SITE PLAN			
19 TRINITA AVENUE REAR YARD CANOPY Vaughan, Ontario			