

THE CITY OF VAUGHAN

BY-LAW

BY-LAW NUMBER 085-2023

A By-law to amend City of Vaughan By-law 1-88.

WHEREAS the matters herein set out are in conformity with the Official Plan of the Vaughan Planning Area, which is approved and in force at this time;

AND WHEREAS there has been an amendment to the Vaughan Official Plan adopted by Council and to be approved concurrently with this By-law, with which the matters herein set out are in conformity;

NOW THEREFORE the Council of The Corporation of the City of Vaughan ENACTS AS FOLLOWS:

1. That City of Vaughan By-law Number 1-88, as amended, be and it is hereby further amended by:
 - a) Rezoning the lands shown as “Subject Lands” on Schedule “1” attached hereto from “R2 Residential Zone” to “RA3(H) Apartment Residential Zone with the Holding Symbol ‘(H)’” and “OS1 Open Space Conservation Zone”, in the manner shown on the said Schedule “1”.
 - b) Adding the following Paragraph to Section 9.0 “EXCEPTIONS”:

“9(1562) A. The following provisions shall apply to all lands zoned with the Holding Symbol “(H)” as shown on Schedule “E-1694”, until the Holding Symbol “(H)” is removed pursuant to Subsection 36(3) or (4) of the *Planning Act*:

 - i) Lands zoned with the Holding Symbol “(H)” shall be used only for a use legally existing as of the date of the enactment of By-law 085-2023.
 - ii) Removal of the Holding Symbol “(H)” from the subject lands shall be contingent upon:
 - a. Vaughan Council adopting a resolution allocating sewage and water supply capacity in accordance

with the City's approved Servicing Capacity Distribution Policy assigning capacity to the subject lands.

- b. The Owner submitting a Stage 2 Archeological Assessment and any further archaeological assessment reports required to be completed as recommended. These reports shall be prepared by a licensed professional archaeologist and together with a letter or letters of review and acceptance from the Ministry of Citizenship and Multiculturalism, all to the satisfaction of the Cultural Heritage division of the Development Planning Department.
- c. The Owner submitting a revised Functional Servicing & Stormwater Management Report that shall include the following information to the satisfaction of the Development Engineering Department:
 - i. Short-term construction and long-term dewatering information and recommendations provided in the Geotechnical and Hydrogeological Investigations prepared by EXP Services Inc. dated February 14, 2022, and March 9, 2022, respectively (including any subsequent amendments and/or revisions); and
 - ii. Hydrant flow and pressure test to confirm the existing water supply infrastructure within Islington Avenue has adequate pressure to accommodate the development for domestic

and fire flow demands.

If any municipal infrastructure improvements identified external to the Subject Lands are required to service the development, the Owner shall enter into an Agreement with the City to secure for the construction and conveyance of the identified improvements to the satisfaction of the City and York Region.

B. Notwithstanding the provisions of:

- a) Subsection 3.8 respecting Parking Requirements;
- b) Subsection 3.13 respecting Minimum Landscaped Areas;
- c) Subsection 3.14 respecting Permitted Yard Encroachments and Restrictions;
- d) Subsection 3.17 respecting Portions of Buildings Below Grade;
- e) Subsection 4.1.1 respecting Accessory Buildings and Structures;
- f) Subsection 4.1.6 respecting Minimum Amenity Areas for the RA3 Apartment Residential Zone;
- g) Schedule "A" respecting the zone standards in the RA3 Zone;

the following provisions shall apply to the lands shown as "Subject Lands" on Schedule "E-1694":

- ai) Parking shall be provided at a minimum rate of 1 space per unit for residents, and a minimum of 0.2 spaces per unit for visitors;
- aii) The minimum width of the South joint access driveway shall be 6.3 m;
- bi) A strip of land not less than 1.7 m in width shall be provided along a lot line which abuts a street line

(Islington Avenue), and shall be used for no other purpose than landscaping. This shall not prevent the provision of access driveways across the said strip;

- ci) Balconies which are uncovered, unexcavated and unenclosed may extend into a required interior side yard to a maximum distance of 2.74 m;
- di) The minimum setback from the front lot line to the nearest part of a building below finished grade shall be 0.6 m;
- ei) The maximum height and setback of a retaining wall shall be:
 - North retaining wall - 3 m in height with a setback of 0 m;
 - West retaining wall - 4.5 m in height with a setback of 0 m; and
 - South retaining - 2 m in height with a setback of 0 m.
- fi) The minimum amenity area shall be 4,522.16 m²;
- gi) The minimum lot area per unit shall be 29 m²;
- gii) The maximum building height shall be 24.1 m, with an additional 5.4 m permitted only for the mechanical penthouse and amenity area;
- giii) The minimum interior side yard on the North side shall be 7.8 m and the minimum interior side yard on the South side shall be 6.9 m;
- giv) The minimum rear yard (to the OS1 Zone) shall be 5.2 m.”

c) Adding Schedule “E-1694” attached hereto as Schedule “1”.

d) Deleting Key Map 7B and substituting therefor the Key Map 7B attached hereto as Schedule “2”.

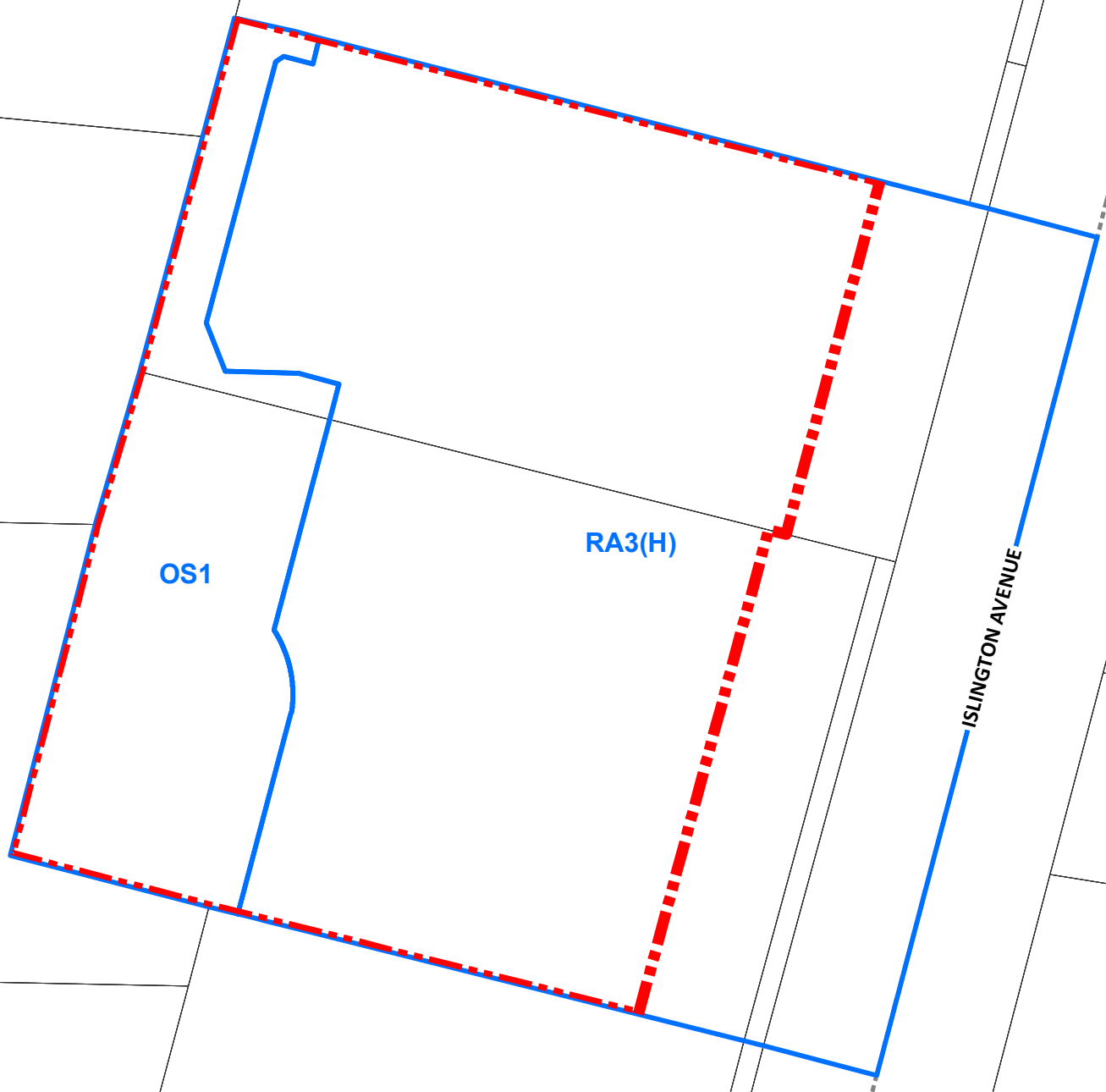
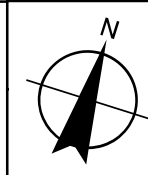
2. Schedules “1” and “2” shall be and hereby form part of this By-law.

Enacted by City of Vaughan Council this 20th day of June, 2023.

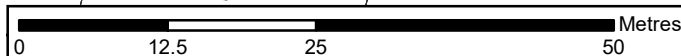
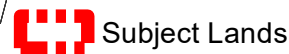
Steven Del Duca, Mayor

Todd Coles, City Clerk

Authorized by Item No. 8 of Report No. 28
of the Committee of the Whole
Adopted by Vaughan City Council on
June 20, 2023.



This is Schedule 'E-1694'
To By-Law 1-88
Section 9(1562)



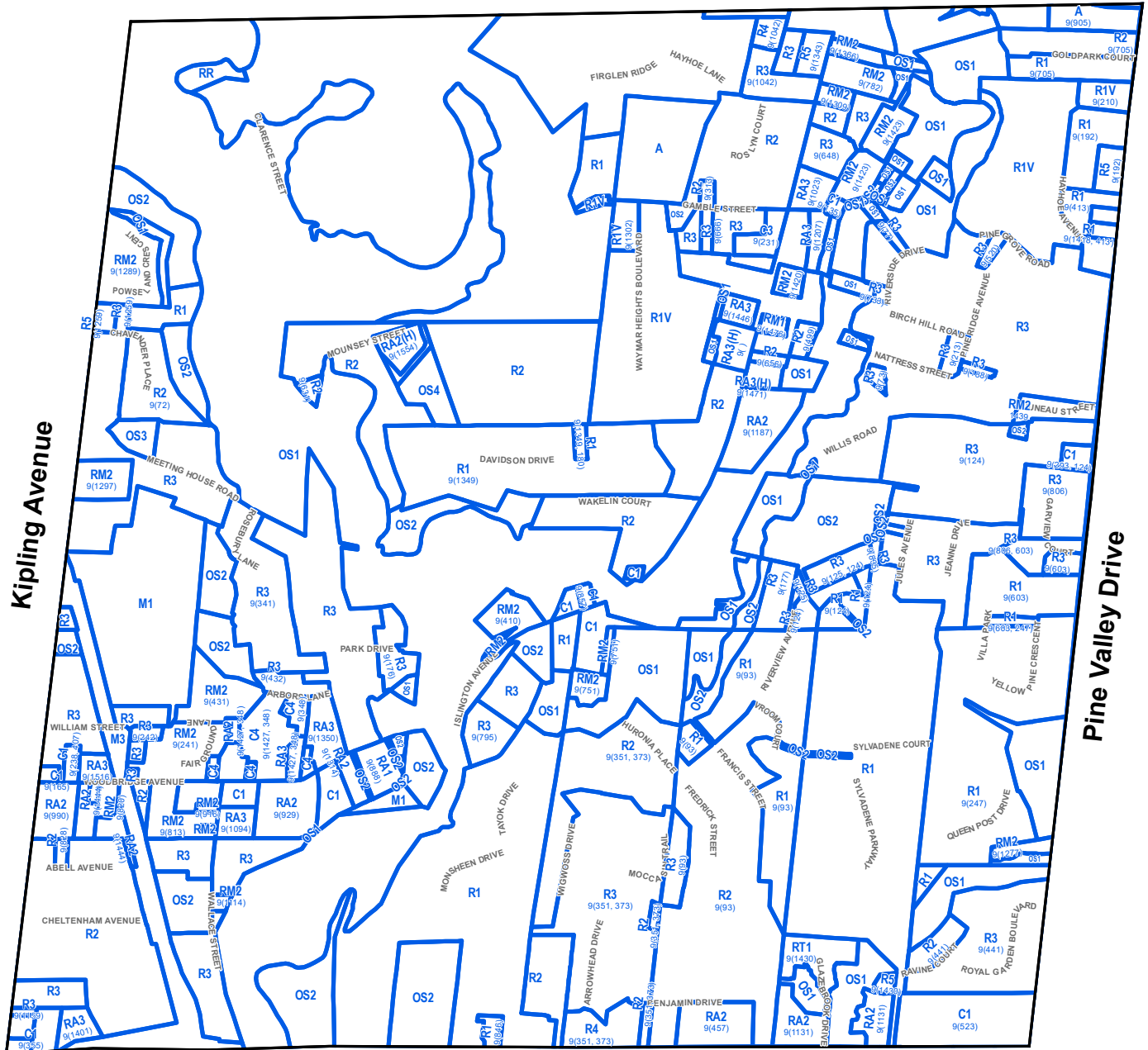
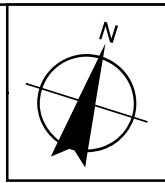
This is Schedule '1'
To By-Law 085-2023
Passed the 20TH Day of JUNE, 2023

File: Z.22.005
Related File: OP.22.003
Location: 8270, 8274 and 8286 Islington Avenue
Part of Lot 9, Concession 7
Applicant: 8274-8286 Islington Avenue Inc.
City of Vaughan

Signing Officers

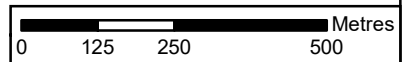
Mayor

Clerk



Highway 7

Key Map 7B
By-Law No. 1-88



This is Schedule '2'
To By-Law 085-2023
Passed the 20TH Day of JUNE, 2023

File: Z.22.005
Related File: OP.22.003
Location: 8270, 8274 and 8286 Islington Avenue
Part of Lot 9, Concession 7
Applicant: 8274-8286 Islington Avenue Inc.
City of Vaughan

SIGNING OFFICERS

MAYOR

CLERK

SUMMARY TO BY-LAW 085-2023

The lands subject to this By-law are located on the west side of Islington Avenue, south of Gamble Street and Pine Grove Road known municipally as 8270, 8274 and 8286 Islington Avenue, in the City of Vaughan.

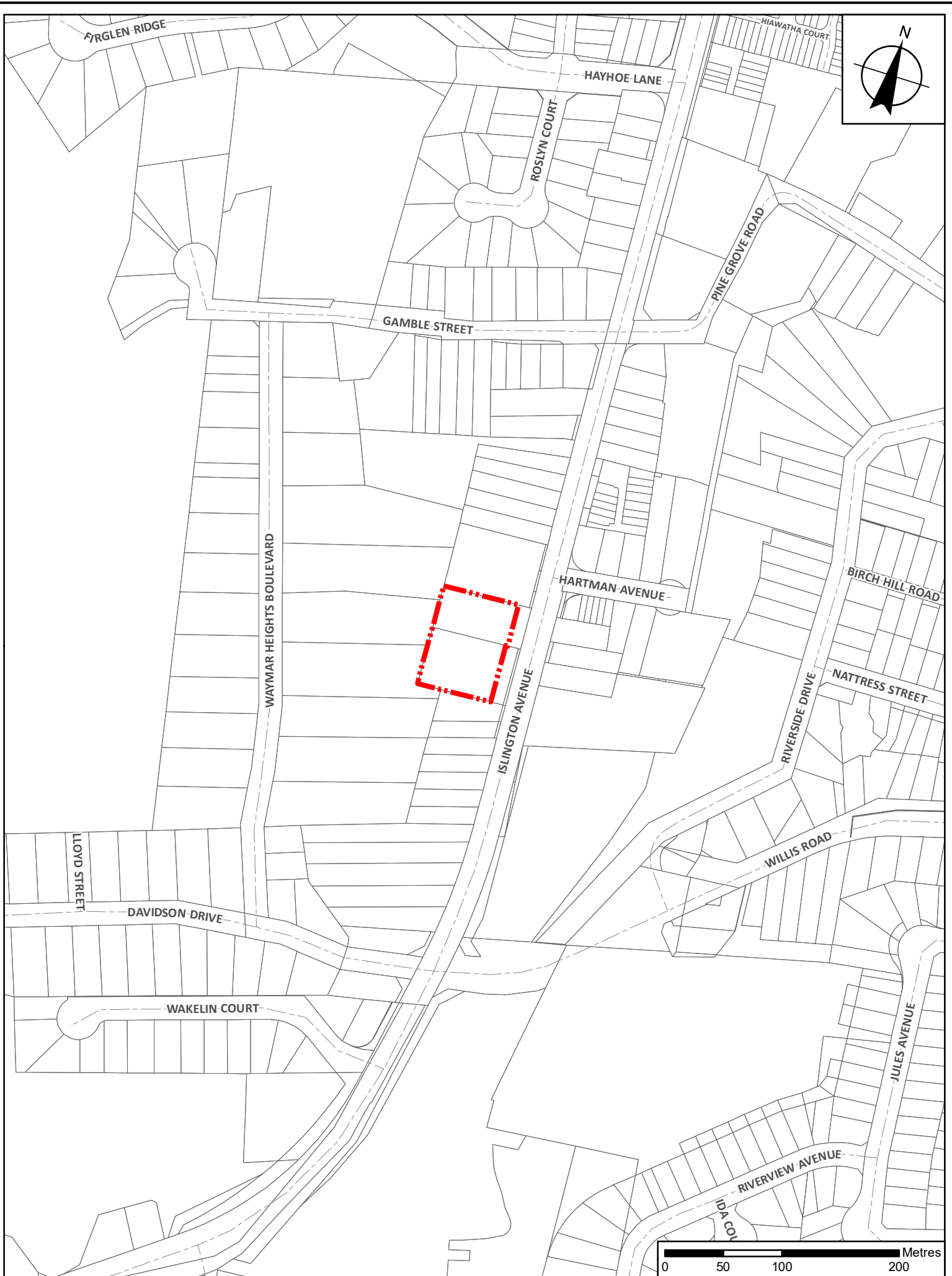
The purpose of this by-law is to rezone the lands subject to this By-law from “R2 Residential Zone” to “RA3(H) Apartment Residential Zone with the Holding Symbol ‘(H)’” and “OS1 Open Space Conservation Zone”.

The By-law includes the Holding Symbol “(H)” for the “RA3 Apartment Residential Zone”. These lands shall be used only for a use legally existing as of the date of the enactment of this By-law. The removal of the Holding Symbol “(H)” is contingent upon the following conditions being satisfied:

- a. For Vaughan Council to adopt a resolution allocating sewage and water supply capacity in accordance with the City’s approved Servicing Capacity Distribution Policy assigning capacity to the subject lands.
- b. The Owner shall submit a Stage 2 Archeological Assessment and any further archaeological assessment reports required to be completed as recommended. These reports shall be prepared by a licensed professional archaeologist and together with a letter or letters of review and acceptance from the Ministry of Citizenship and Multiculturalism, all to the satisfaction of the Cultural Heritage division of the Development Planning Department.
- c. The Owner shall submit a revised Functional Servicing & Stormwater Management Report that shall include the following information to the satisfaction of the Development Engineering Department:
 - i. Short-term construction and long-term dewatering information and recommendations provided in the Geotechnical and Hydrogeological Investigations prepared by EXP Services Inc. dated February 14, 2022, and March 9, 2022, respectively (including any subsequent amendments and/or revisions); and
 - ii. Hydrant flow and pressure test to confirm the existing water supply infrastructure within Islington Avenue has adequate pressure to accommodate the proposed development for domestic and fire flow demands.

Should any municipal infrastructure improvements be identified external to the Subject Lands, as required to service the development, the Owner shall enter into an Agreement with the City to secure for the construction and conveyance of the identified improvements to the satisfaction of the City and York Region.

This By-law also provides for site-specific development standards including exceptions to minimum yard setbacks, setbacks to portions of the building below grade, maximum building height permissions, permitted yard encroachments, minimum landscaped area requirements, minimum parking requirements, minimum amenity area requirements, and requirements for accessory buildings and structures.



Location Map To By-Law 085-2023

File: Z.22.005

Related File: OP.22.003

Location: 8270, 8274 and 8286 Islington Avenue
Part of Lot 9, Concession 7

Applicant: 8274-8286 Islington Avenue Inc.

City of Vaughan



Subject Lands