

# *THE CITY OF VAUGHAN*

# *BY-LAW*

## **BY-LAW NUMBER 080-2023**

**A By-law to amend City of Vaughan By-law 1-88.**

**WHEREAS** the matters herein set out are in conformity with the Official Plan of the Vaughan Planning Area, which is approved and in force at this time;

**AND WHEREAS** there has been an amendment to the Vaughan Official Plan adopted by Council and to be approved concurrently with this By-law, with which the matters herein set out are in conformity;

**NOW THEREFORE** the Council of The Corporation of the City of Vaughan ENACTS AS FOLLOWS:

1. That City of Vaughan By-law Number 1-88, as amended, be and it is hereby further amended by:
  - a) Rezoning the lands shown as “Subject Lands” on Schedule “1” attached hereto from EM1 Prestige Employment Area Zone, EM2 General Employment Area Zone, EM3 Retail Warehouse Employment Area Zone and OS1 Open Space Conservation Zone to EM3 Retail Warehouse Employment Area Zone, C7 Service Commercial Zone and OS1 Open Space Conservation Zone, in the manner shown on the said Schedule “1”.
  - b) Adding the following Paragraph to Section 9.0 “EXCEPTIONS”:

“(1563) Notwithstanding the provisions of:

    - a) Subsection 2.0 respecting the Definitions for Commercial Motor Vehicle, Intermodal Container, Intermodal Facility, Landscaping or Landscaping Area, and Parking Space;
    - b) Subsection 3.8 a) respecting the Parking Requirements;
    - c) Subsection 3.9 b) and d) respecting the Loading Space Requirements;
    - d) Subsections 3.13, and 6.1.6 b) and d) respecting the

Minimum Landscape Area Requirements;

- e) Subsection 3.14 e) respecting the Permitted Yard Encroachments and Restrictions;
- f) Subsection 6.1.2 and Schedule “A” respecting the Zone Requirements in the EM3 Retail Warehouse Employment Area Zone;
- g) Subsection 6.3.2 respecting the Accessory Outside Storage; and
- h) Subsection 6.5 respecting the Uses Permitted in the EM3 Retail Warehouse Employment Area Zone;

the following provisions shall apply to the lands shown as “Subject Lands” on Schedules “E-1307” and “E-1435”:

- ai) For the purpose of this By-law, the following definitions shall apply:

COMMERCIAL MOTOR VEHICLE: Means a motor vehicle having attached to it a truck or delivery body, and may include a food truck, bus, cube van, tow truck, tilt and load trucks or trailers, dump trucks, tractor trailers, semitrailers, or construction equipment that is self-propelled or designed to be towed.

INTERMODAL CONTAINER: Means a standardized container that is fully enclosed and designed to be used interchangeably between two or more modes of transportation intended for the trans-shipment of goods and materials.

INTERMODAL FACILITY: Means premises where intermodal containers are loaded, unloaded, temporarily stored, dispatched or parked, and which may include freight handling facilities related to the trans-shipment of goods, materials, or products as well as the accessory

storage and maintenance of transport trucks and rail cars.

LANDSCAPING OR LANDSCAPING AREA: Means an area of land comprising trees, shrubs, flowers, grass or other horticultural elements. Landscaping may include retaining walls, paths, patios, walkways, decorative stonework or other architectural elements designed to enhance the visual amenity of a property but does not include open storage display areas, parking or loading areas, or areas covered by driveways.

PARKING SPACE: Means a rectangular area measuring at least 2.7 metres by 5.7 metres, exclusive of any aisles or ingress and egress lanes, used for the temporary parking of motor vehicles, and shall include a private garage or carport and private driveway leading thereto.

- bi) The minimum parking space rate for an Employment Use shall be 1 space / 100 m<sup>2</sup> of GFA.
- bii) The minimum parking space rate for a Warehousing Use shall be 0.5 space / 100 m<sup>2</sup> of GFA.
- ci) A driveway and/or aisle which serves the movement of trucks to and from a loading space shall have a minimum width of six (6) metres and maximum width of twenty-five and one half (25.5) metres.
- cii) Loading and unloading may be permitted between a building and a street (Rutherford Road).
- di) A strip of land not less than five (5) metres in width shall be provided along a lot line of Regional Road 50, and shall be used for no purpose other than landscaping. This shall not prevent the provision of access driveways across the said strip.

- dii) A strip of land not less than three (3) metres in width shall be provided along a lot line of Hunter's Valley Road, and shall be used for no purpose other than landscaping. This shall not prevent the provision of access driveways across the said strip.
- diii) Where an Employment Area Zone abuts the boundary of lands zoned Open Space, a strip of land not less than 2.5 metres in width and inside the Employment Area Zone and abutting its boundary, shall be used for no purpose other than landscaping.
- ei) The minimum setback of a retaining wall, regardless of height, shall be 0.2 m and the retaining wall may be permitted in any yard.
- fi) The following zone requirements shall apply to the EM3 Retail Warehouse Employment Area Zone:
  - Minimum Rear Yard – 7.5 m
  - Maximum Building Height – 32 m
- gi) Permit accessory outside storage for trucks and trailers, intermodal containers and commercial motor vehicles to a permitted use in accordance with the following provisions:
  - i) Accessory outside storage to a permitted use may exceed 30% of the lot area;
  - ii) An intermodal container shall not be considered an accessory structure and shall not be subject to any maximum lot coverage requirement or location and setback requirements;
  - iii) Accessory outside storage to a permitted use is not permitted on any lot or block unless there is an existing building with a minimum 550 m<sup>2</sup> of GFA;
  - iv) Accessory outside storage shall be permitted in

any front yard, exterior side yard or between any main building and a street line and may be located closer than 20 m to the street line;

- v) Accessory outside storage is not required to be enclosed by a stone or masonry wall or chain link fence;
  - vi) Accessory outside storage shall be permitted on a corner lot;
  - vii) The accessory outside storage area shall not be located in a yard abutting an Open Space Zone; and
  - viii) Accessory outside storage for trucks and trailers, intermodal containers and commercial motor vehicles shall not exceed a maximum height of 4.2 m.
- hi) The following additional uses shall be permitted in the EM3 Retail Warehouse Employment Area Zone:
- Intermodal Facility
  - Accessory outside storage for trucks and trailers, intermodal containers, and commercial motor vehicles to a permitted use
  - Accessory Drive-through Facility”
- c) Adding Schedule “E-1695” attached hereto as Schedule “1”.
  - d) Deleting Schedule “E-1435” and substituting therefor the Schedule “E-1435” attached hereto as Schedule “2”.
  - e) Deleting Schedule “E-1246” and substituting therefor the Schedule “E-1246” attached hereto as Schedule “3”
  - f) Deleting Key Map 10C and substituting therefor the Key Map 10C attached hereto as Schedule “4”.

2. Schedules “1”, “2”, “3”, and “4” shall be and hereby form part of this By-law.

Enacted by City of Vaughan Council this 20<sup>th</sup>. day of June, 2023.

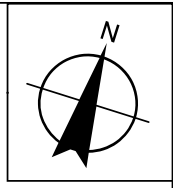
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Steven Del Duca, Mayor

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Todd Coles, City Clerk

Authorized by Item No. 1 of Report No. 25  
of the Committee of the Whole  
Adopted by Vaughan City Council on  
June 20, 2023.



RUTHERFORD ROAD

C7

EM3

REGIONAL ROAD 50

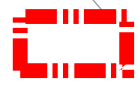
OS1

OS1

EM3

HUNTER'S VALLEY ROAD

THIS IS SCHEDULE 'E-1695'  
TO BY-LAW 1-88  
SECTION 9(1563)

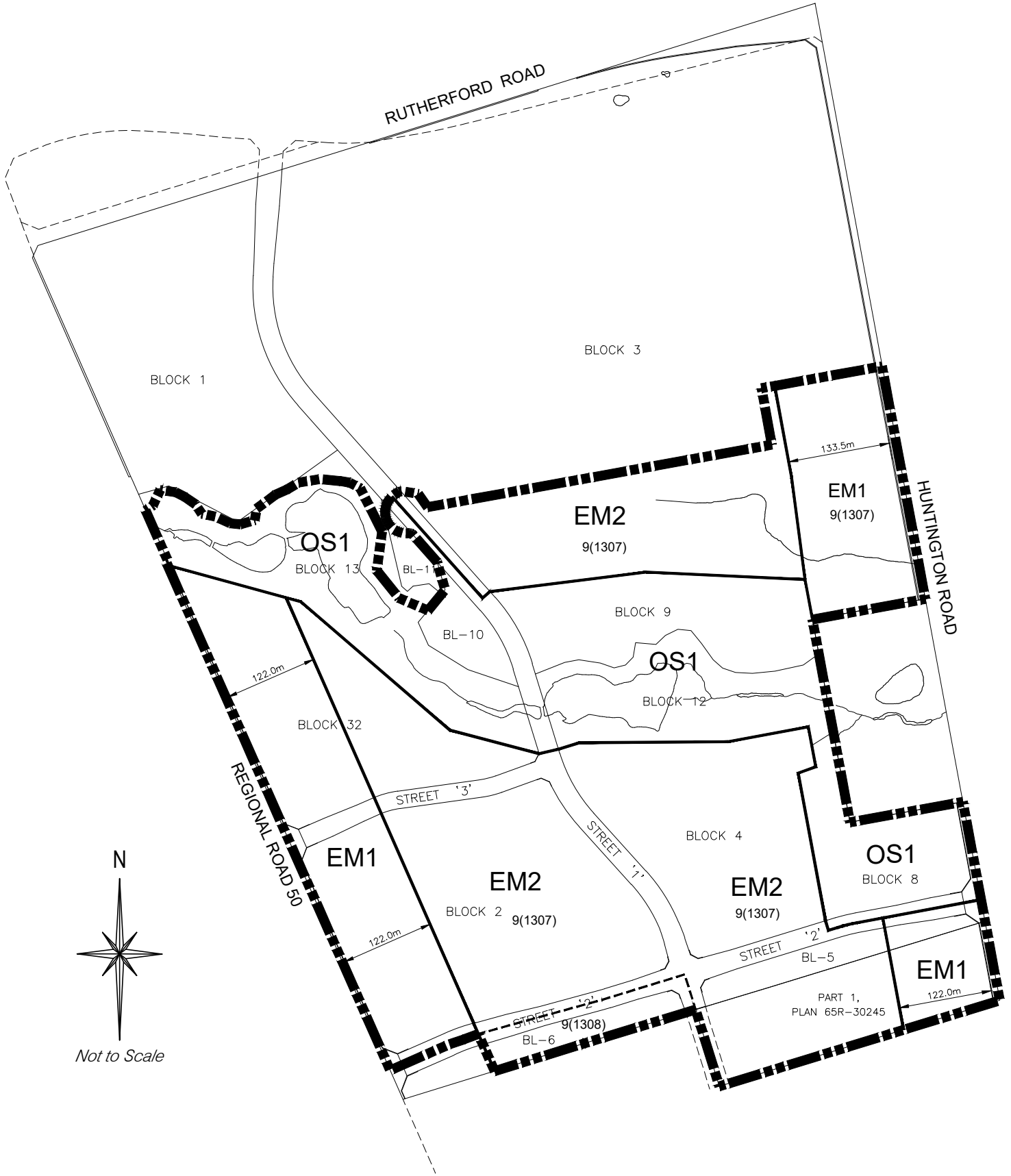


SUBJECT LANDS

THIS IS SCHEDULE '1'  
TO BY-LAW 080-2023  
PASSED THE 20TH DAY OF JUNE, 2023

**FILE:** Z.21.023  
**RELATED FILES:** OP.21.013 and DA.23.026  
**LOCATION:** 9001 Regional Road 50  
Part of Lots 14 and 15, Concession 10  
**APPLICANT:** Bethpage Properties West Inc.  
**CITY OF VAUGHAN**

SIGNING OFFICERS  
\_\_\_\_\_  
MAYOR  
\_\_\_\_\_  
CLERK



THIS IS SCHEDULE 'E-1435'  
 TO BY-LAW 1-88  
 SECTION 9(1307)

**—————**  
 SUBJECT LANDS

# THIS IS SCHEDULE '2' TO BY-LAW 080-2023

PASSED THE 20TH DAY OF JUNE, 2023

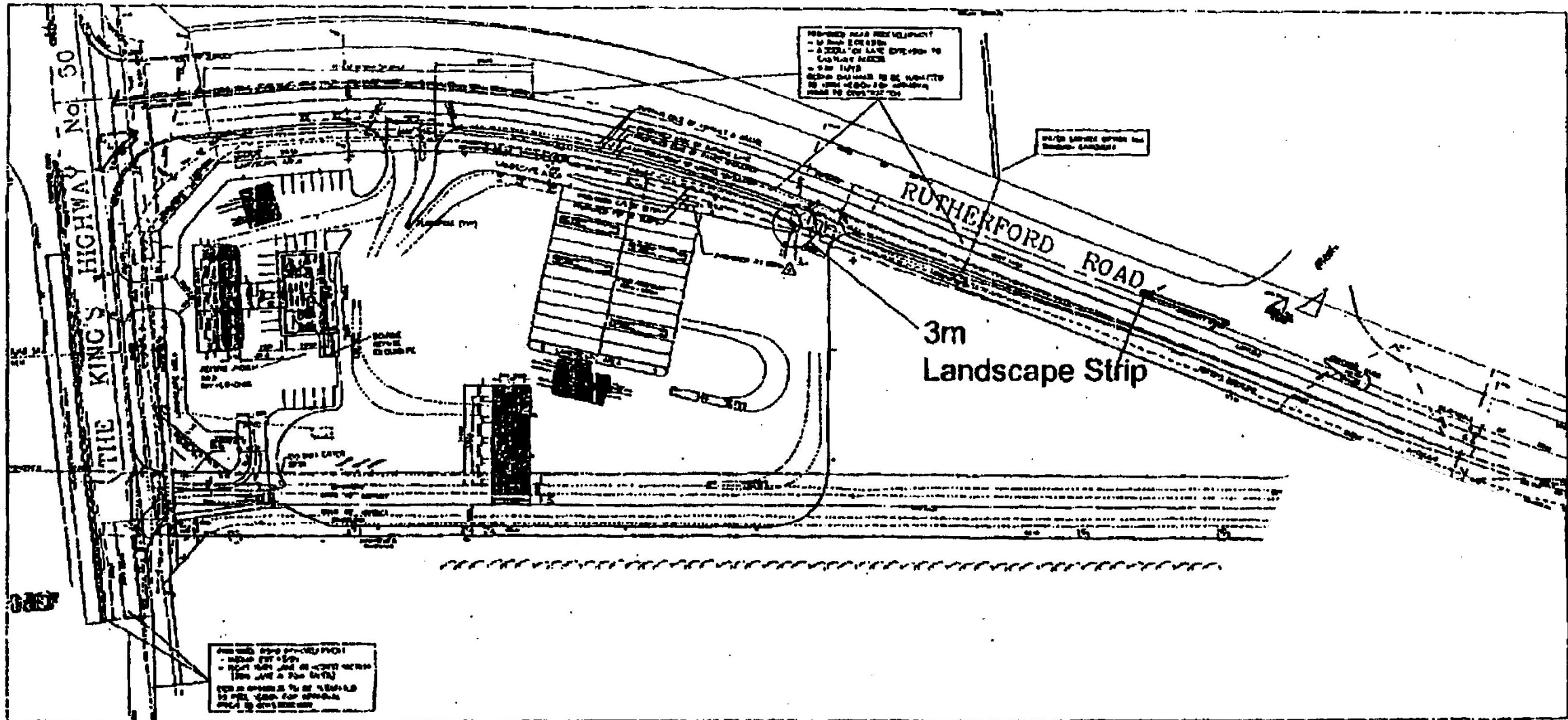
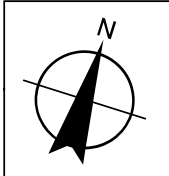
FILE: Z.21.023  
 RELATED FILES: OP.21.013 and DA.23.026  
 LOCATION: 9001 Regional Road 50  
 Part of Lots 14 and 15, Concession 10  
 APPLICANT: Bethpage Properties West Inc.  
 CITY OF VAUGHAN

SIGNING OFFICERS

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 MAYOR

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 CLERK





THIS IS SCHEDULE 'E-1246'  
 TO BY-LAW 1-88  
 SECTION 9(1307)

Not to Scale

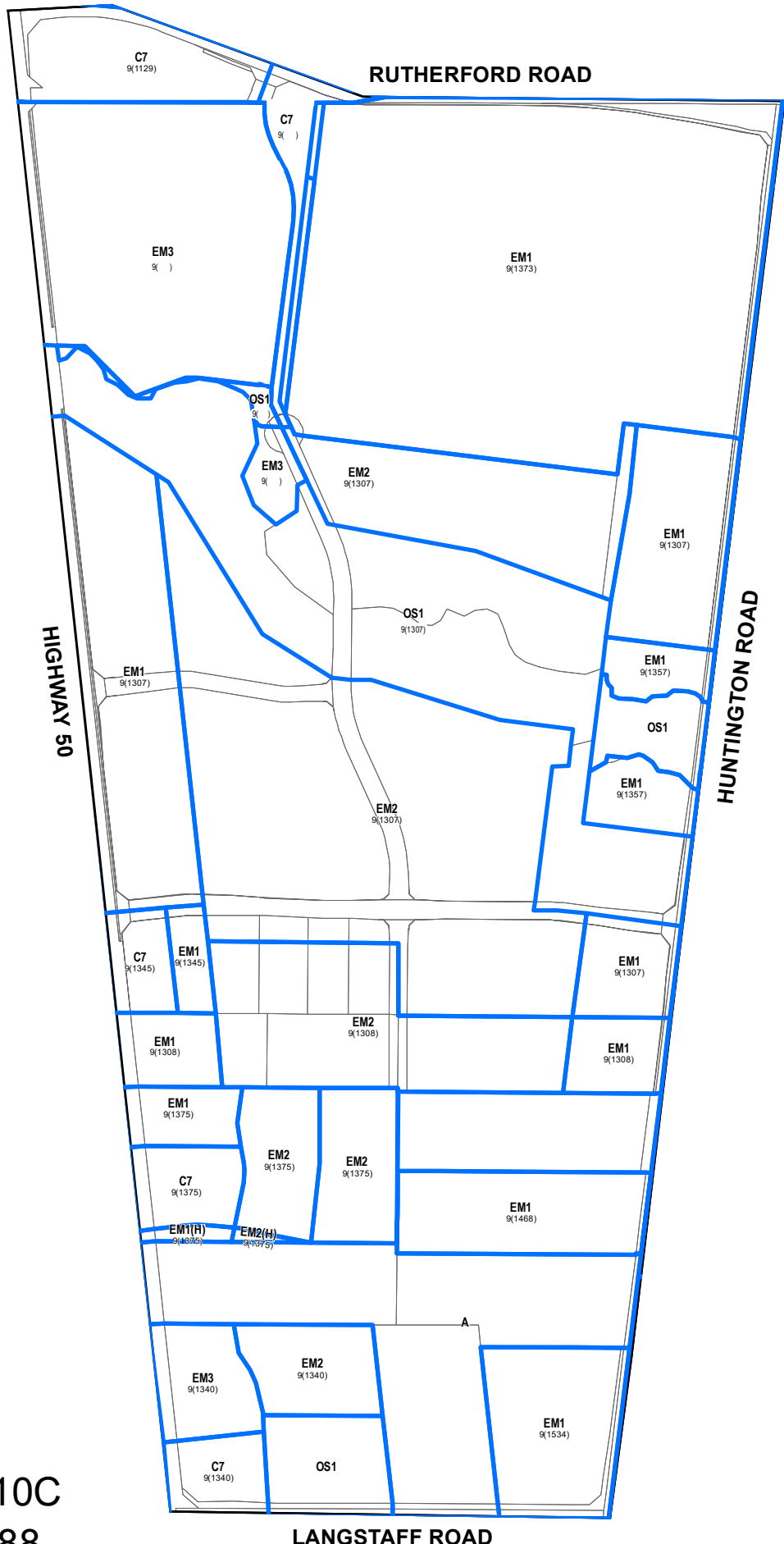
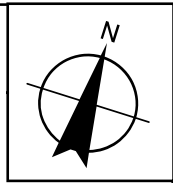
**FILE:** Z.21.023 **RELATED FILES:** OP.21.013 and DA.23.026  
**LOCATION:** 9001 Regional Road 50  
 Part of Lots 14 and 15, Concession 10  
**APPLICANT:** Bethpage Properties West Inc.  
**CITY OF VAUGHAN**

**THIS IS SCHEDULE '3'**  
**TO BY-LAW 080-2023**  
**PASSED THE 20TH DAY OF JUNE, 2023**

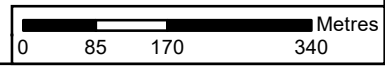
SIGNING OFFICERS

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 MAYOR

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 CLERK



**KEY MAP 10C  
BY-LAW 1-88**



**THIS IS SCHEDULE '4'  
TO BY-LAW 080-2023  
PASSED THE 20TH DAY OF JUNE, 2023**

**FILE:** Z.21.023  
**RELATED FILES:** OP.21.013 and DA.23.026  
**LOCATION:** 9001 Regional Road 50  
 Part of Lots 14 and 15, Concession 10  
**APPLICANT:** Bethpage Properties West Inc.  
**CITY OF VAUGHAN**

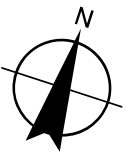
**SIGNING OFFICERS**  
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 MAYOR  
 \_\_\_\_\_  
 CLERK

### **SUMMARY TO BY-LAW 080-2023**

The Subject Lands are located on the east side of Regional Road 50 and south side of Rutherford Road, are municipally known as 9001 Regional Road 50, and are legally described as Part of Lots 14 and 15, Concession 10, in the City of Vaughan.

The purpose of this By-law is to rezone the Subject Lands from EM1 Prestige Employment Area Zone, EM2 General Employment Area Zone, EM3 Retail Warehouse Employment Area Zone and OS1 Open Space Conservation Zone to EM3 Retail Warehouse Employment Area Zone, C7 Service Commercial Zone and OS1 Open Space Conservation Zone.

The By-law also provides site-specific exceptions to the commercial motor vehicle, intermodal container, intermodal facility, landscaping or landscaping area, and parking space definitions, minimum parking spaces, minimum and maximum driveway widths, loading area requirements, minimum landscaping, permitted yard encroachment (retaining wall), zone requirements, outside storage provisions, and permitted uses.



CITY OF  
BRAMPTON

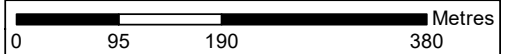
RUTHERFORD ROAD

REGIONAL ROAD 50

HUNTER'S VALLEY ROAD

CAN-AR GATE

TRADE VALLEY DRIVE



# LOCATION MAP TO BY-LAW 080-2023

**FILE:** Z.21.023

**RELATED FILES:** OP.21.013 and DA.23.026

**LOCATION:** 9001 Regional Road 50

Part of Lots 14 and 15, Concession 10

**APPLICANT:** Bethpage Properties West Inc.

**CITY OF VAUGHAN**



Subject Lands